

KEYNOTES

1. PROPOSED CONCRETE TILT PANEL BUILDING WITH STEEL COLUMNS.
2. FIRE PUMP / RISER ROOM.
3. HOUSE ELECTRICAL ROOM WITH ROOF ACCESS.
4. SES LOCATION WITH UTILITY TRANSFORMER.
5. TYPICAL REFUSE AND RECYCLE AREA FOR PROSPECTIVE TENANTS LOCATED IN THE ENCLOSED DOCK YARD BEHIND 8' HIGH WALL WITH 50' CLEAR SPACE IN FRONT OF BINS.
6. ACCESSIBLE PATH TO PUBLIC WAY
7. FIRE DEPARTMENT CONNECTION
8. CONCRETE DRIVE UP RAMP TO THE BUILDING WITH CONCRETE GUARD RAILS
9. FUTURE SES LOCATION WITH UTILITY TRANSFORMER
10. PRELIMINARY MONUMENT SIGN LOCATION - SEPARATE PERMIT REQUIRED.
11. EXISTING STREET LIGHT TO BE RELOCATED
12. PROPOSED LOCATION FOR STREET LIGHT
13. EXISTING DRIVEWAY TO BE REMOVED
14. CONCRETE CURB AND SIDEWALK TO MATCH EXISTING. REFER TO CIVIL DRAWINGS
15. EXISTING CURB, SIDEWALK AND LANDSCAPING TO BE REMOVED
16. CONCRETE CURB, SIDEWALK AND PAVING. REFER TO CIVIL DRAWINGS
17. PROVIDE STAMPED CONCRETE AT PEDESTRIAN CROSS DRIVE AISLE WALKWAYS.

SITE NOTES

A. OVERNIGHT STORAGE OF VEHICLES IN THE REAR YARD IS CONSIDERED OUTDOOR STORAGE AND, PER EXHIBIT 7.38 (OF SECTION 7) OF THE CP, OUTDOOR STORAGE REQUIRES AN ADMINISTRATIVE USE PERMIT. AN ADMINISTRATIVE USE PERMIT APPLICATION IS REQUIRED IF THERE WILL BE ANY OVERNIGHT STORAGE OF FLEET OR OTHER VEHICLES IN THE GATED YARDS.

B. PER MESA AMENDED FIRE CODE SECTION 510.1 NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING. BUILDINGS OR STRUCTURES MORE THAN THREE STORIES ABOVE GROUND LEVEL OR BUILDINGS OR STRUCTURES TOTALING 45,000 SF OR MORE ON ANY SINGLE FLOOR, GC SHALL COORDINATE WITH ARCHITECT DURING CONSTRUCTION.

C. ALL MONUMENT SIGNAGE AND BUILDING SIGNAGE WILL BE A DEFERRED SUBMITTAL.

ADA ACCESSIBLE / PEDESTRIAN WALKWAYS

ADA ACCESSIBLE WALK WAYS

NOTE: WALK WAYS ARE MIN 5' WIDE 6" RAISED CONCRETE SIDEWALKS OUT OF THE LINE OF TRAFFIC. SIDEWALK WALK LOCATIONS THAT CROSS A DRIVE LANE, ARE BUILT OUT OF STAMPED CONCRETE.

LANDSCAPE LEGEND

- COMMON AREA
- ENTRY AREA
- FOUNDATION AREA
- FIRE TRUCK LANE ACCESS OR DRIVE.
- SITE LIGHT POLE LOCATIONS - REFER TO ELECTRICAL DRAWINGS.
- NEW FIRE HYDRANT
- SITE VISIBILITY TRIANGLE AREA PER COM
- TYPICAL TURNING RADIUS

SITE DATA

COMMON, ENTRY AND FOUNDATION AREAS			
BUILDING A	COMMON AREA	REQUIRED: 2,250 SF	PROVIDED: 2,898 SF
	ENTRY AREA	REQUIRED: 900 SF	PROVIDED: 2,011 SF
	FOUNDATION AREA	REQUIRED: 13,260 SF	PROVIDED: 13,267 SF
BUILDING B	COMMON AREA	REQUIRED: 4,081 SF	PROVIDED: 4,342 SF
	ENTRY AREA	REQUIRED: 900 SF	PROVIDED: 3,762 SF
	FOUNDATION AREA	REQUIRED: 15,000 SF	PROVIDED: 20,075 SF
BUILDING C	COMMON AREA	REQUIRED: 2,250 SF	PROVIDED: 2,561 SF
	ENTRY AREA	REQUIRED: 900 SF	PROVIDED: 2,014 SF
	FOUNDATION AREA	REQUIRED: 13,260 SF	PROVIDED: 13,264 SF

SITE DATA

PROJECT DESCRIPTION:
DEVELOPMENT OF EXISTING VACANT LAND INTO AN INDUSTRIAL BUSINESS PARK WITH MIXTURE OF BUILDING SIZES AND HEIGHTS, ALL BUILDINGS WILL HAVE COMPLEMENTARY ARCHITECTURAL STYLES.

PARCEL NUMBER:
APN: 304-31-002Q

ZONING: PC LUG-C (AIRFIELD OVERLAY AREA AOA 3)

PROPOSED OCCUPANCIES:
B, F-1

SITE AREA:
1,911,177 SF / ±39.28 ACRES

CONSTRUCTION TYPE: III-B W/ FIRE SPRINKLER

BUILDING AREA **PRELIMINARY OCCUPANCY**

PHASE 1

BUILDING A: 225,000 SF (B 22,500 SF)
BUILDING B: 408,198 SF (B 40,800 SF)
BUILDING C: 225,000 SF (B 22,500 SF)

TOTAL: 858,198 SF

BUILDING HEIGHT RESTRICTION:
ALLOWED MAX HEIGHT 150'
PROVIDED 45'-55'

BUILDING SETBACKS: PER MZO **LANDSCAPE SETBACKS:**

FRONT - 20' REAR - 20'
REAR - 0' SIDE - 0'
SIDE - 0' SIDE - 0'

PARKING CALCULATIONS

COMMUNITY PLAN SECTION 14.3 GENERAL PARKING STANDARDS (SHELL BUILDING)

PARKING CALCULATION:	REQ.	PROV.	BIKE
BUILDING A: 225,000 SF / 1000 =	225	226	23
BUILDING B: 408,198 SF / 1000 =	409	409	41
BUILDING C: 225,000 SF / 1000 =	225	225	23

TOTAL PARKING REQUIRED: 859 PROVIDED: 860
TOTAL BIKE PARKING REQUIRED: 87 PROVIDED: 90

ALL BUILDINGS TO BE BUILT IN ONE PHASE.

ACCESSIBLE PARKING SPACES REQUIRED (2% OF TOTAL) = 18
ACCESSIBLE PARKING PROVIDED = 22

DEFERRED/ SEPARATE SUBMITTALS

ANTICIPATED DEFERRED/SEPARATE SUBMITTALS:

- FIRE SPRINKLER BY GENERAL CONTRACTOR
- FIRE ALARM - IF REQUIRED BY TENANT
- SIGNAGE - SEPARATE PERMIT
- RACKING - IF REQUIRED BY TENANT

VICINITY MAP

CITY STAMP

PRS21-00146

2929.COM

ARCHITECTURE GROUP

REGISTERED ARCHITECT

66385 KAREN OEHMANN

08/04/2022

4600

EAST INDIAN SCHOOL RD

PHOENIX, ARIZONA 85018

602-840-2929 P

602-840-6646 F

EASTMARK 202 LOGISTICS CENTER

SWC OF ELLIOT RD. AND EVERTON TERR.

MESA, AZ

1ST ISSUED: 03/01/22

Revisions

NO.	DATE	DESCRIPTION
1	8/3/22	P&Z AND EASTMARK COMMENTS

PROJECT NO: 22108

DRAWN BY: ET

CHK'D BY: KO

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OVERALL SITE PLAN

AS-100

NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION: THIS CONTRACT ALLOWS THE OWNER TO CERTIFY AND APPROVE BUILDINGS AND ESTIMATES WITHIN 30 DAYS AFTER THE BUILDING AND ESTIMATES ARE RECEIVED FROM THE CONTRACTOR.

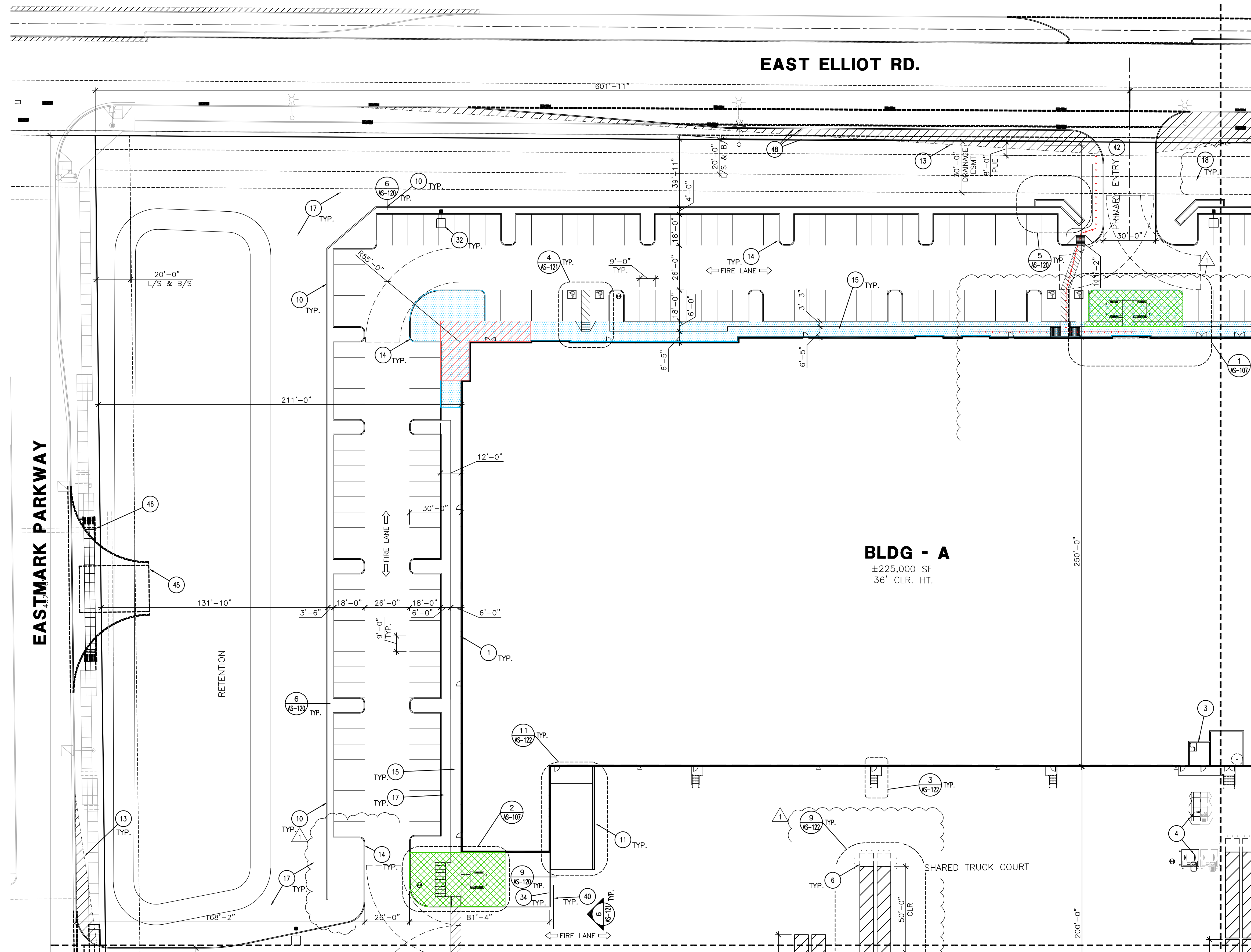
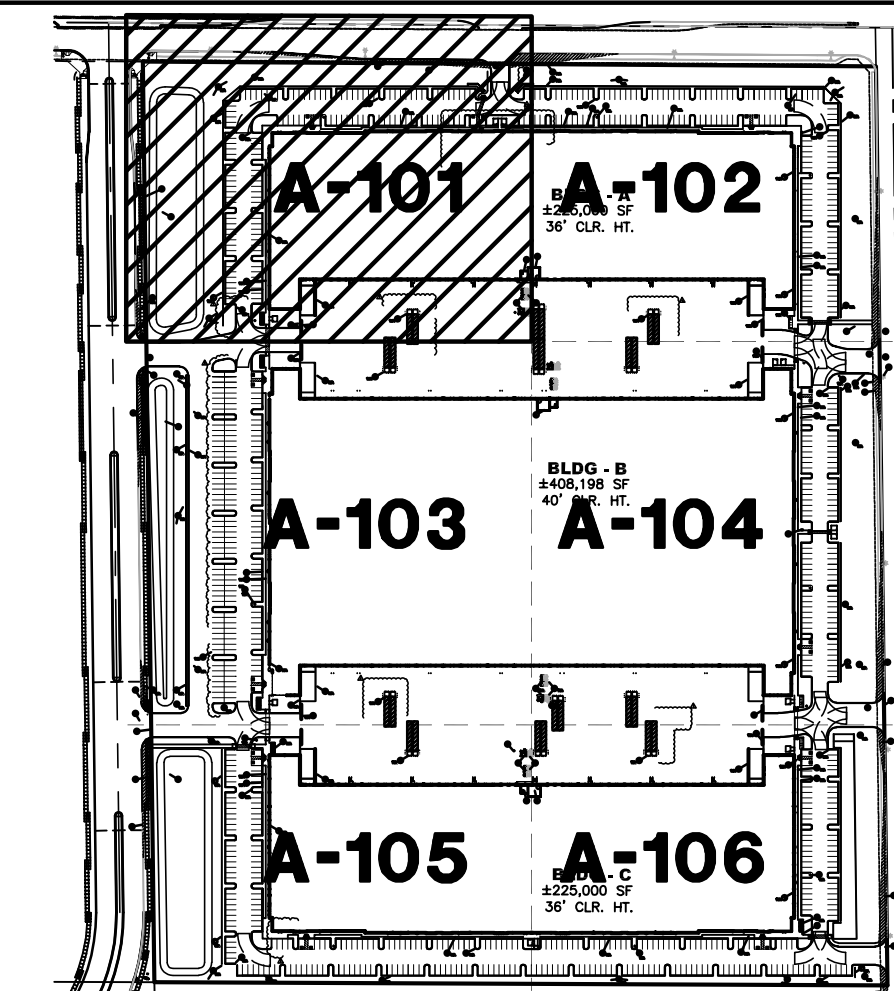
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3. HOUSE ELECTRICAL ROOM WITH ROOF ACCESS.
4. SES LOCATION WITH UTILITY TRANSFORMER.
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10. 3'-4" HIGH MASONRY PARKING SCREEN WALL.
11. CONCRETE DRIVE UP RAMP TO THE BUILDING WITH CONCRETE GUARD RAILS.
13. TRAFFIC VISIBILITY TRIANGLES.
14. 6" CONCRETE CURB.
15. CONCRETE SIDE WALK MIN. 6' WIDE.
17. LANDSCAPE AREA - REFER TO LANDSCAPE PLANS.
18. PRELIMINARY MONUMENT SIGN LOCATION - SEPARATE PERMIT REQUIRED.
32. SITE LIGHT POLE PER ELECTRICAL.
34. 8' HIGH MASONRY SCREEN WALL.
40. 8' HIGH WROUGHT IRON WITH PERFORATED METAL SCREEN SECURITY GATES, REFER TO SITE DETAIL 11/AS-120. GATES WILL BE OPEN DURING BUSINESS HOURS.
42. DRIVEWAY PER CITY OF MESA STANDARDS. REFER TO CIVIL.
45. EXISTING DRIVEWAY TO BE REMOVED.
46. CONCRETE CURB AND SIDEWALK TO MATCH EXISTING. REFER TO CIVIL DRAWINGS.
48. CONCRETE CURB, SIDEWALK, AND PAVING. REFER TO CIVIL DRAWINGS.

LANDSCAPE LEGEND

- | | |
|--|---|
| | COMMON AREA |
| | ENTRY AREA |
| | FOUNDATION AREA |
| | FIRE TRUCK LANE ACCESS OR DRIVE. |
| | SITE LIGHT POLE LOCATIONS - REFER TO ELECTRICAL DRAWINGS. |
| | NEW FIRE HYDRANT |
| | SITE VISIBILITY TRIANGLE AREA PER COM |
| | TYPICAL TURNING RADIUS |

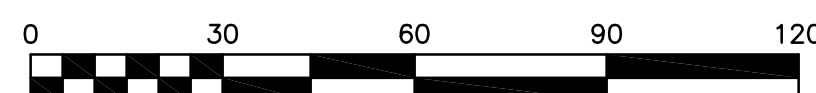
KEYPLAN

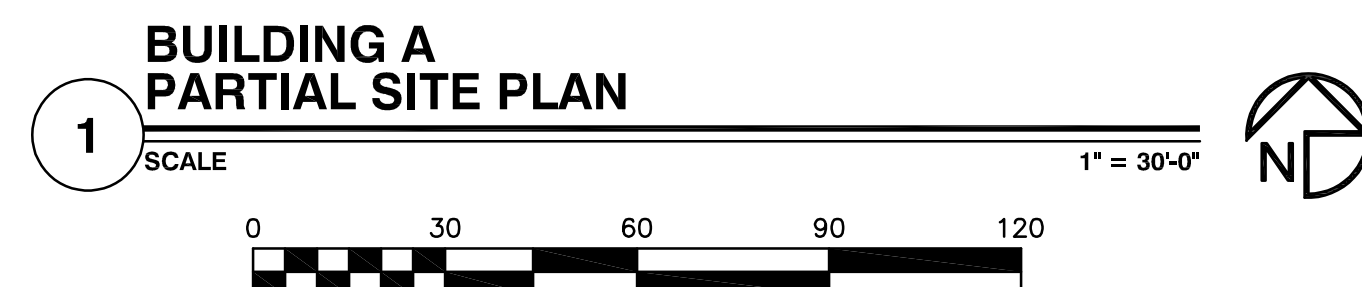
BUILDING A
PARTIAL SITE PLAN

1

SCALE

1" = 30'-0"





AS-102



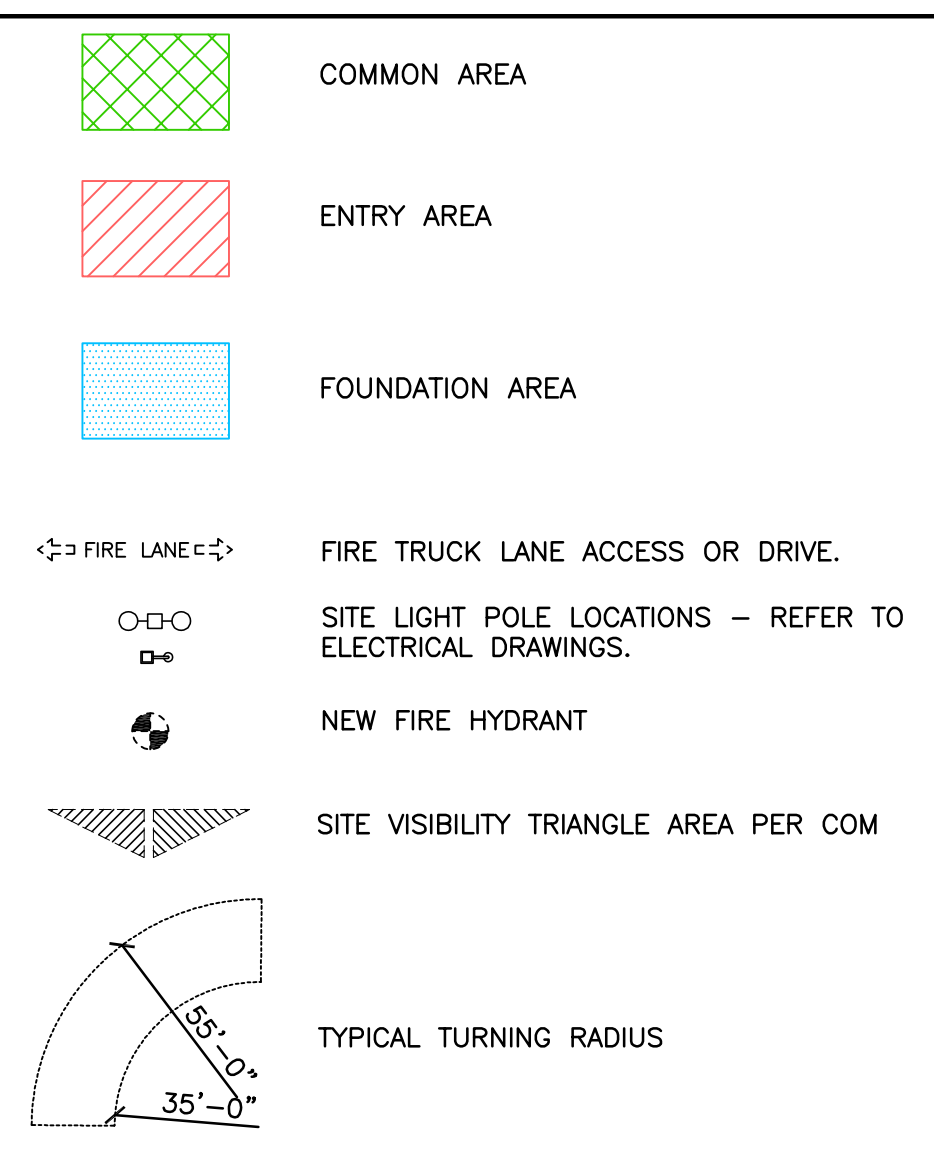
BLDG - B
±408,198 SF
40' CLR. HT.

SOUTH EVERTON TERR.

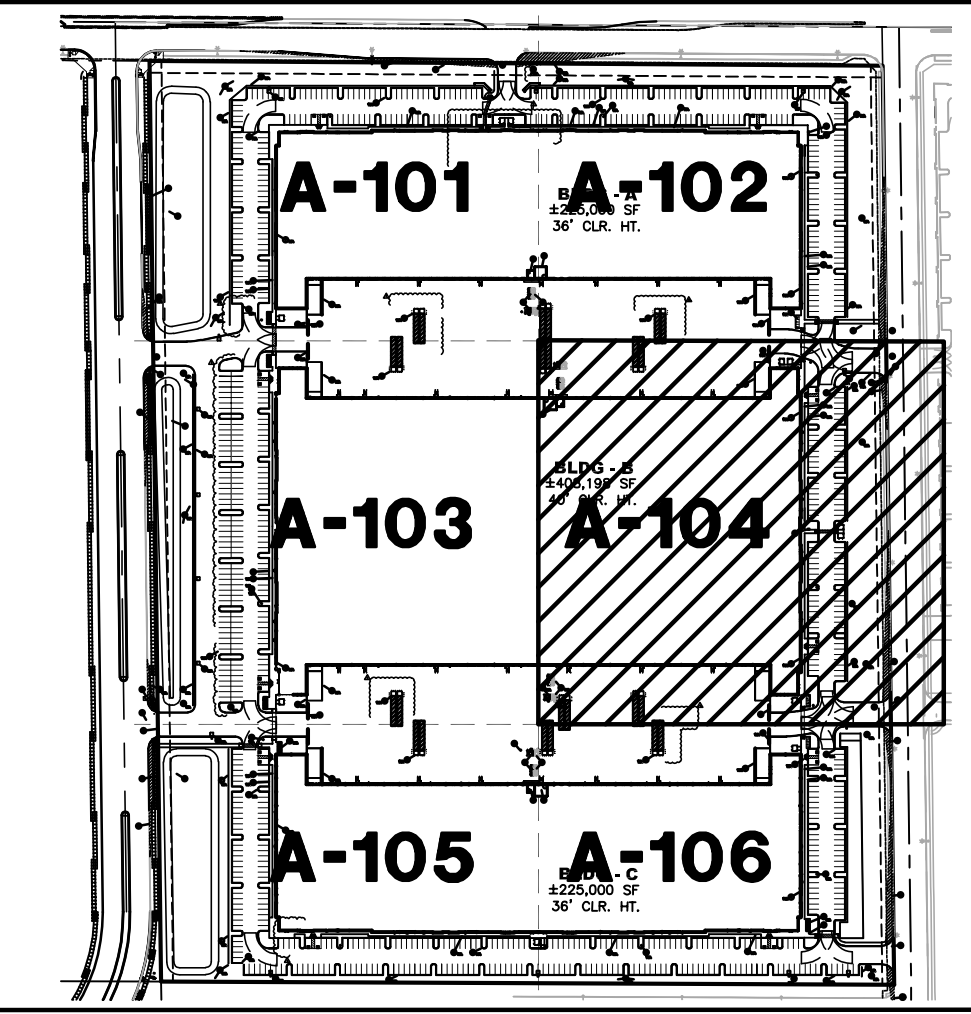
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28. PROPOSED LOCATION FOR STREET LIGHT
32. SITE LIGHT POLE PER ELECTRICAL
34. 8' HIGH MASONRY SCREEN WALL
40. 8' HIGH WROUGHT IRON WITH PERFORATED METAL SCREEN SECURITY GATES, REFER TO SITE DETAIL 11/AS-120.
41. GATES WILL BE OPERATED BY BUSINESS HOURS
42. DRIVEWAY PER CITY OF MESA STANDARDS, REFER TO CIVIL.
47. EXISTING CURB, SIDEWALK AND LANDSCAPING TO BE REMOVED
53. 8 DOOR CLUSTER BOX UNIT WITH PEDESTAL IN MORTAR GREY FINISH TO MATCH ELEVATIONS

LANDSCAPE LEGEND



KEYPLAN




BUILDING B
PARTIAL SITE PLAN

1 SCALE 1" = 30'-0"

0 30 60 90 120

North Arrow

2929.COM | CONTRACTOR



ESG
ARCHITECTURE GROUP



4600
EAST INDIAN SCHOOL RD
PHOENIX, ARIZONA 85018
602-840-2929 P
602-840-6646 F

EASTMARK 202 LOGISTICS CENTER
SWC OF ELLIOT RD. AND EVERTON TERR.
MESA, AZ

1ST ISSUED: 5/31/22

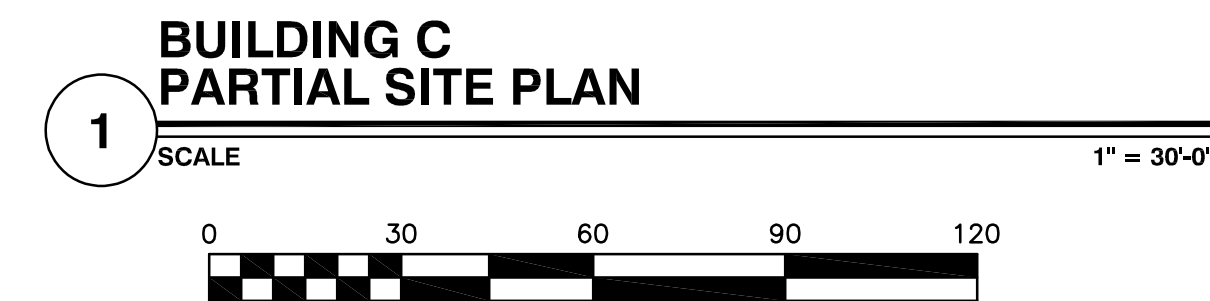
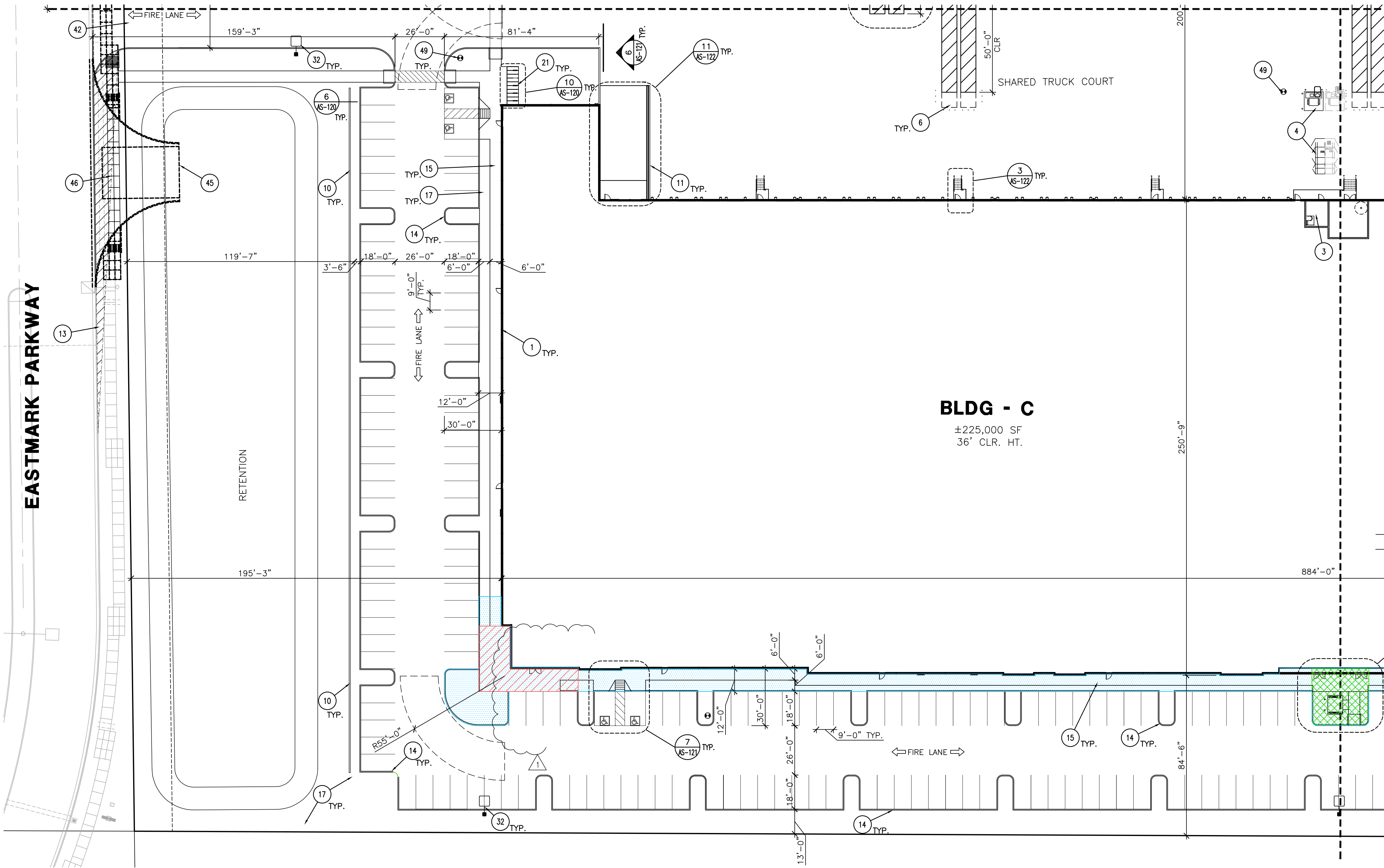
Revisions	
NO.	DATE DESCRIPTION
1	8/3/22 P&Z AND EASTMARK COMMENTS

PROJECT NO: 22108
DRAWN BY: ET
CHK'D BY: KO
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BUILDING B PARTIAL SITE PLAN

AS-104

NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION: THIS CONTRACT ALONG THE OWNER TO CERTIFY AND APPROVE BILLINGS AND ESTIMATES WITHIN 30 DAYS AFTER THE BILLINGS AND ESTIMATES ARE RECEIVED FROM THE CONTRACTOR



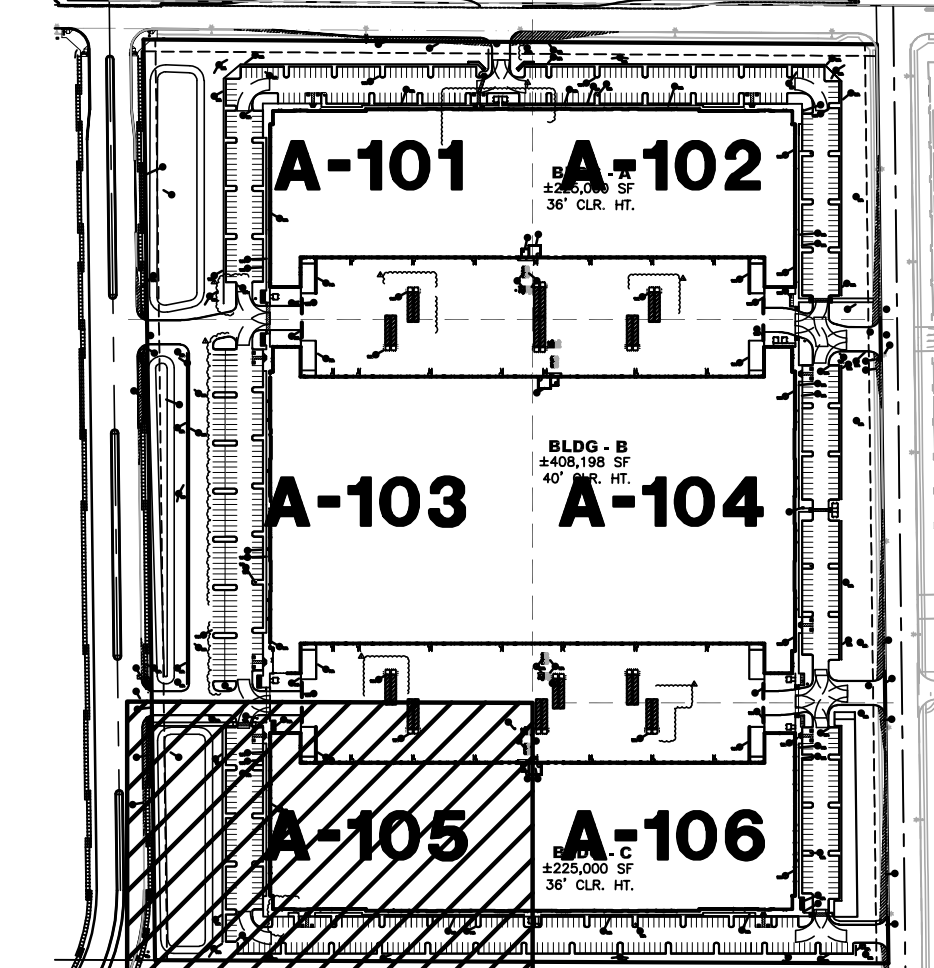
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49. FIRE HYDRANT REFER TO CIVIL

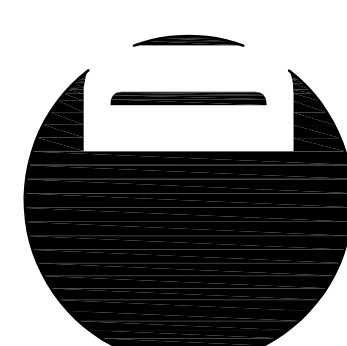
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- NEW FIRE HYDRANT
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- TYPICAL TURNING RADIUS

KEYPLAN



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4600
EAST INDIAN SCHOOL RD
PHOENIX, ARIZONA 85018
602-840-2929 P
602-840-6646 F

EASTMARK 202 LOGISTICS CENTER
SWC OF ELLIOT RD. AND EVERTON TERR.
MESA, AZ

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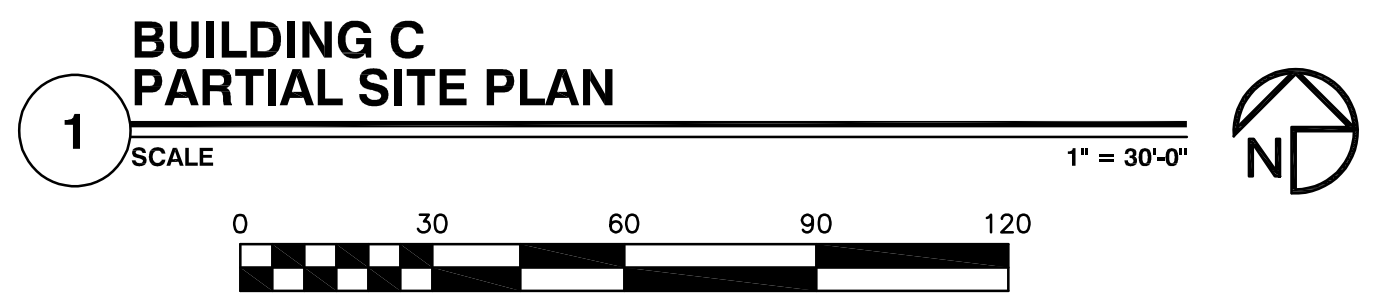
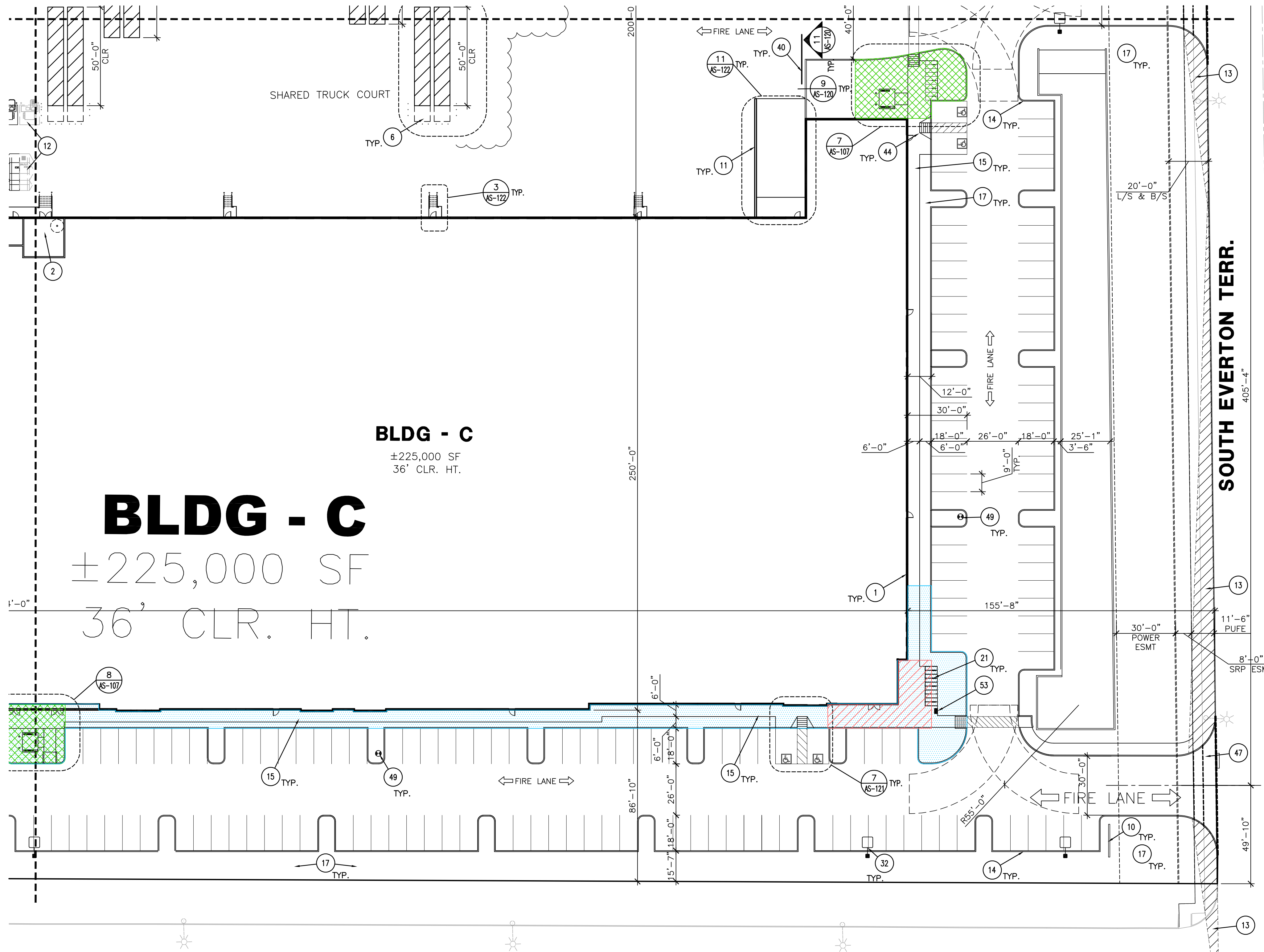
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**BUILDING C
PARTIAL SITE
PLAN**

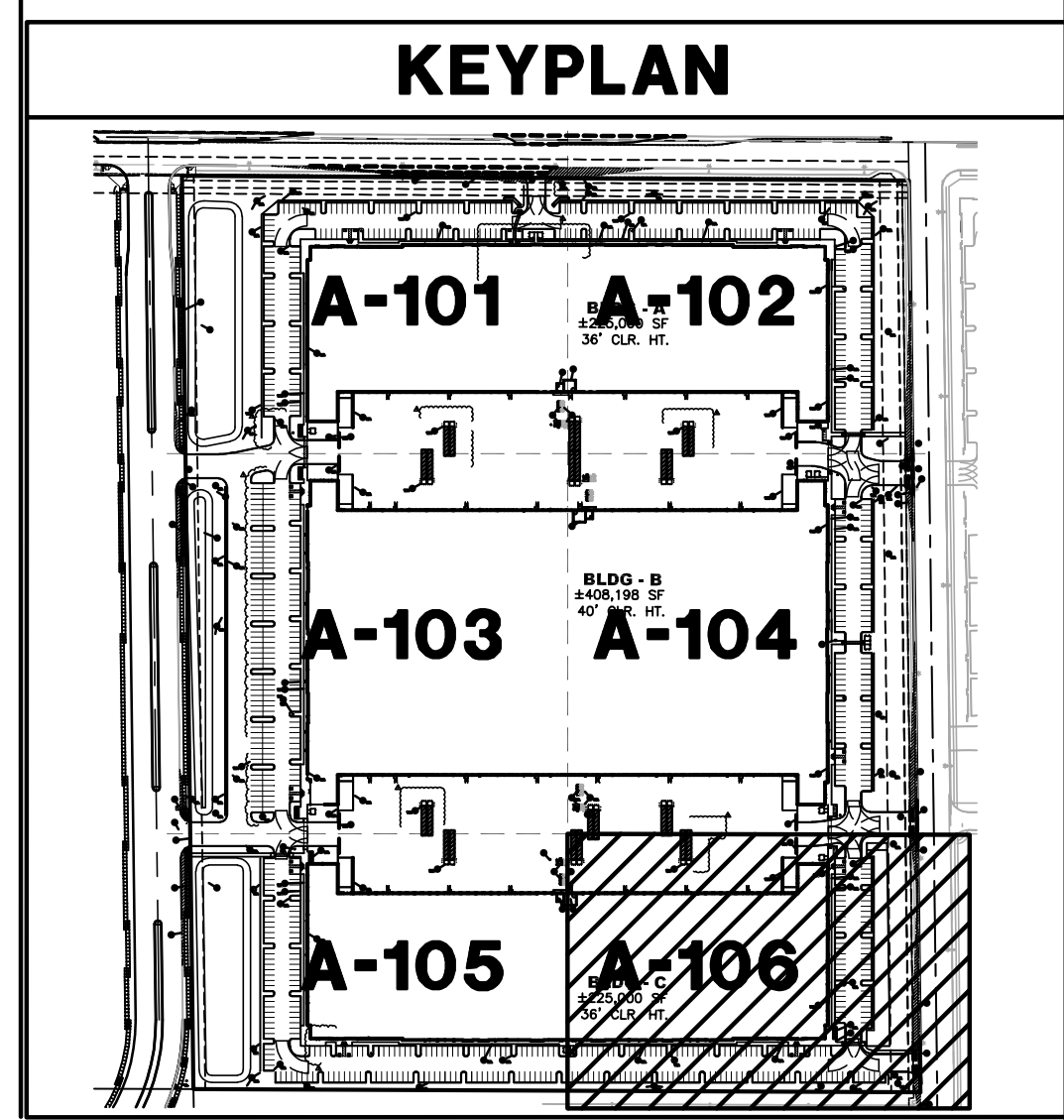
AS-105

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 14. ADA RAMP PER DETAILS
 15. EXISTING CURB, SIDEWALK AND LANDSCAPING TO BE REMOVED
 16. FIRE HYDRANT REFER TO CIVIL
 17. 8 DOOR CLUSTER BOX UNIT WITH PEDESTAL IN MORTAR GREY FINISH TO MATCH ELEVATIONS

- ### LANDSCAPE LEGEND
- COMMON AREA
 - ENTRY AREA
 - FOUNDATION AREA
 - FIRE TRUCK LANE ACCESS OR DRIVE.
 - SITE LIGHT POLE LOCATIONS - REFER TO ELECTRICAL DRAWINGS.
 - NEW FIRE HYDRANT
 - SITE VISIBILITY TRIANGLE AREA PER COM
 - TYPICAL TURNING RADIUS



2929.COM

ARCHITECTURE GROUP

REGISTERED ARCHITECT

66385
KAREN
OHMANN
08/04/2022
Expires 08/04/2024

4600
EAST INDIAN SCHOOL RD
PHOENIX, ARIZONA 85018
602-840-2929 P
602-840-6646 F

EASTMARK 202 LOGISTICS CENTER
SWC OF ELLIOT RD. AND EVERTON TERR.
MESA, AZ

1ST ISSUED: 5/31/22

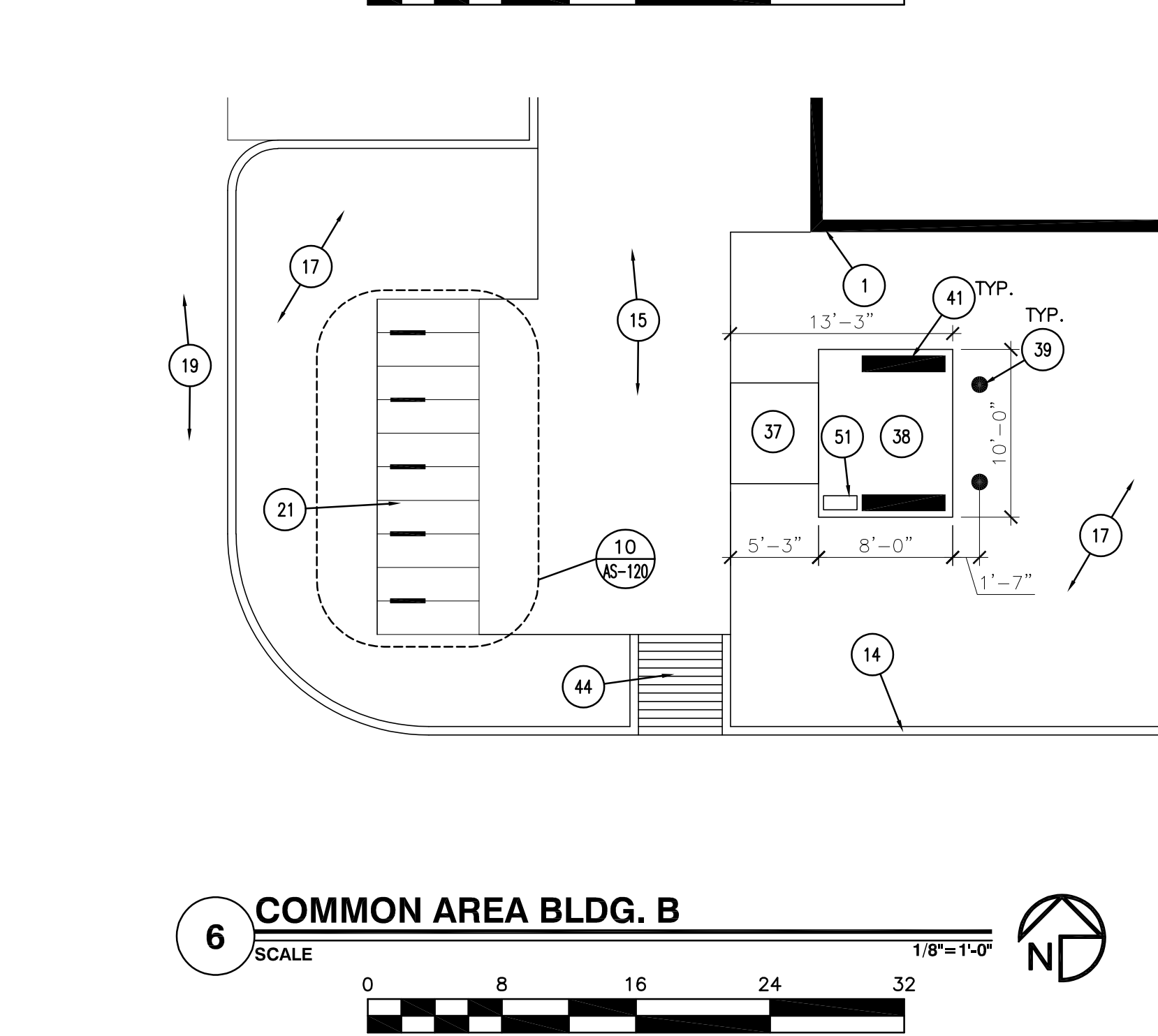
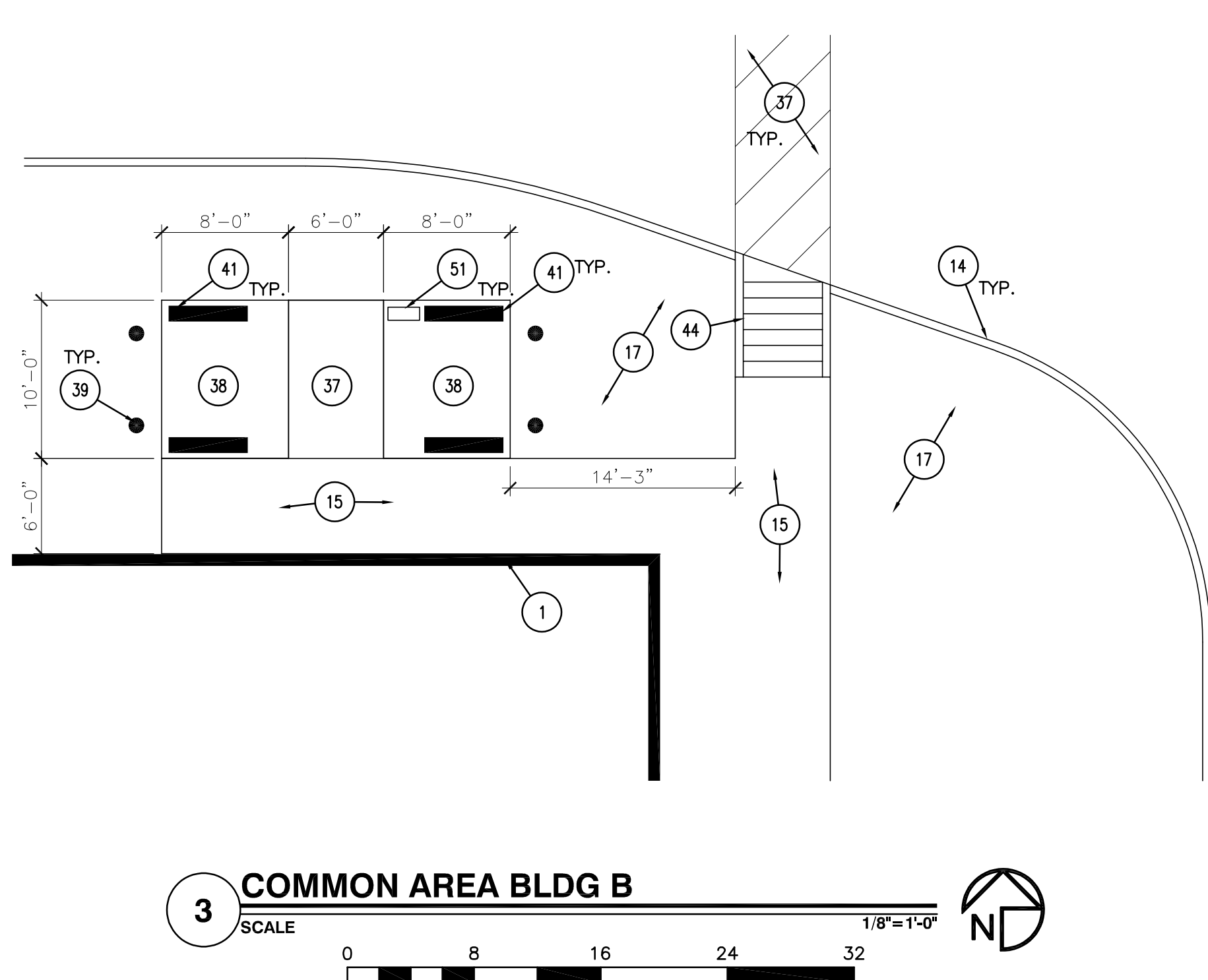
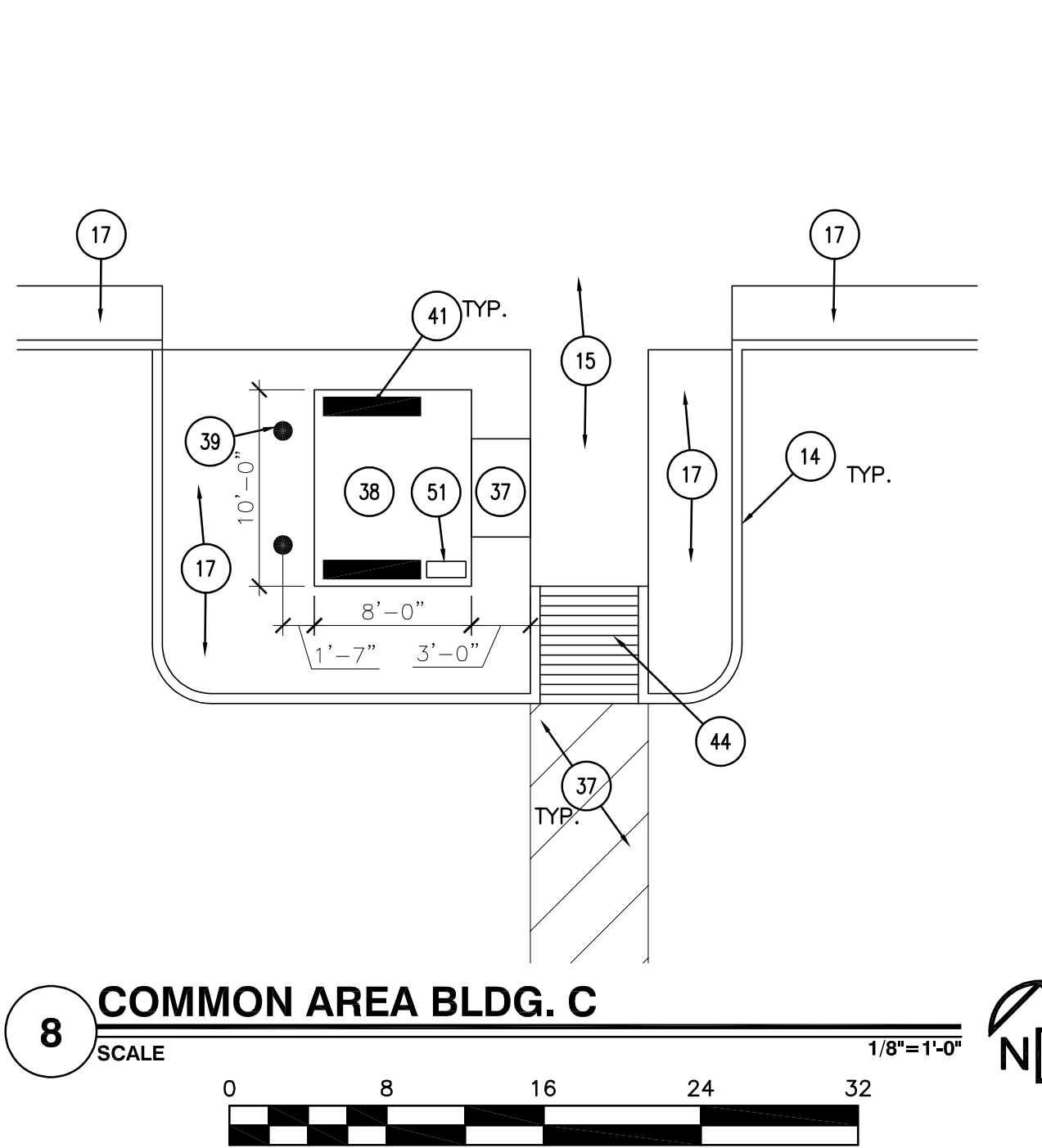
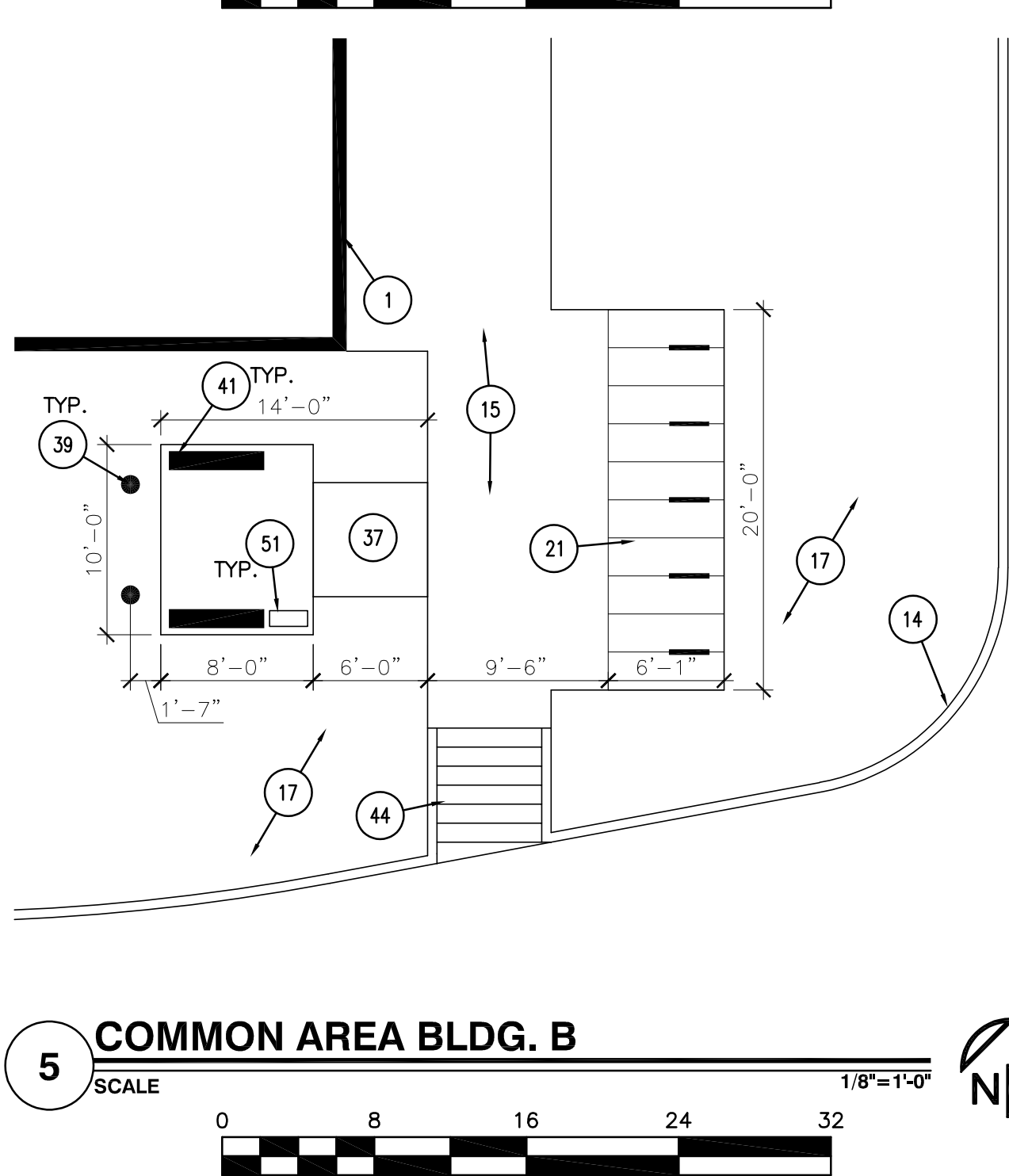
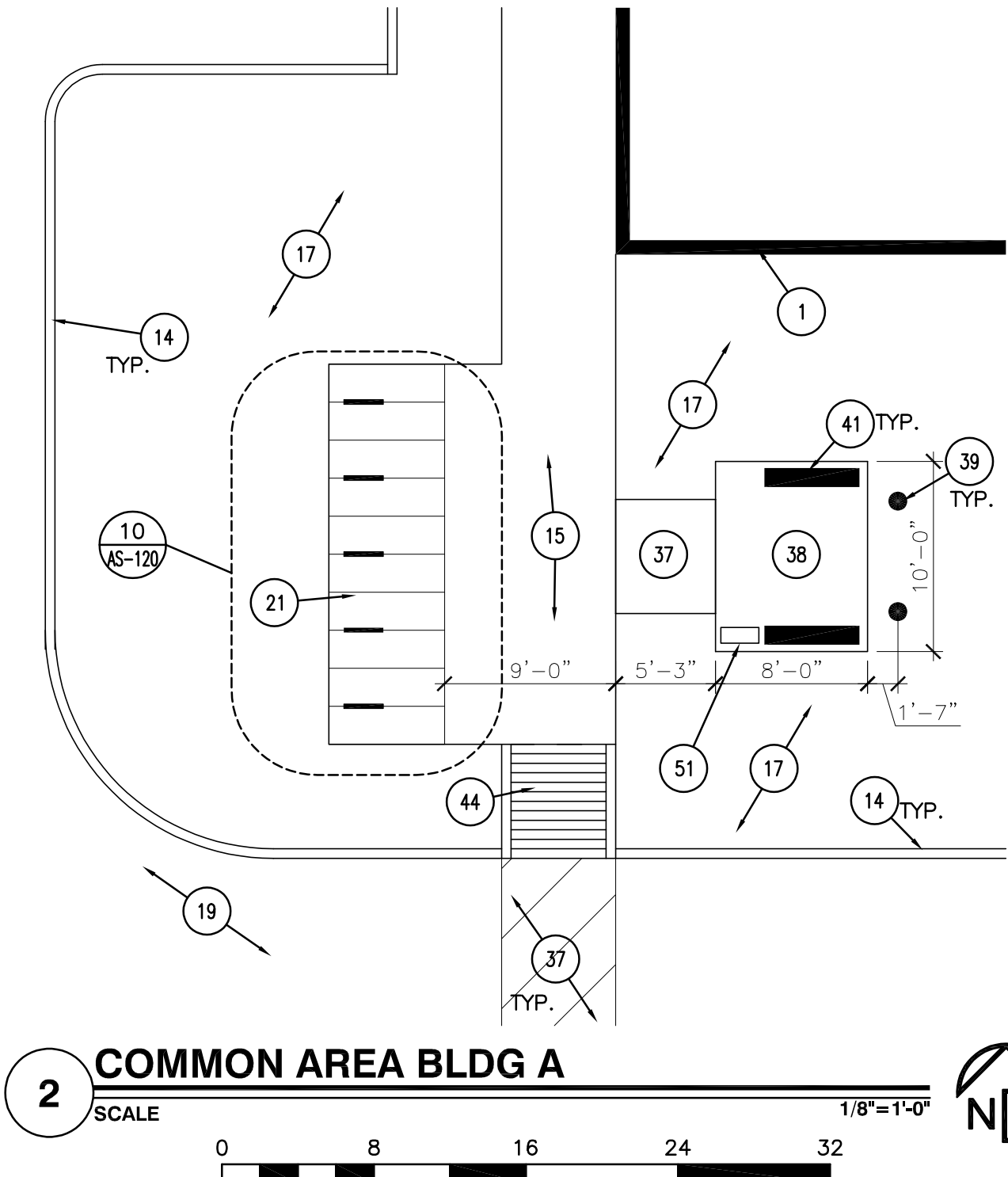
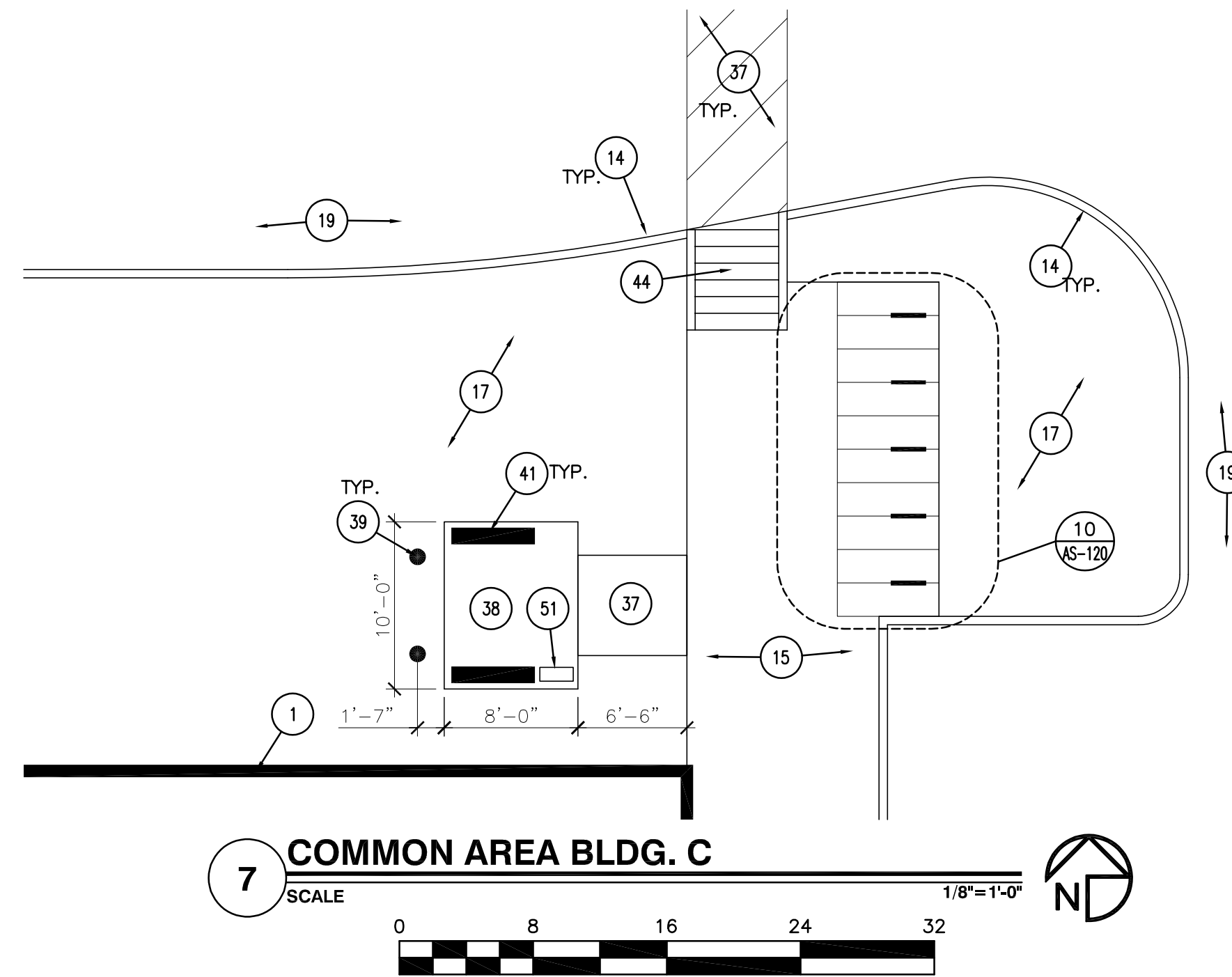
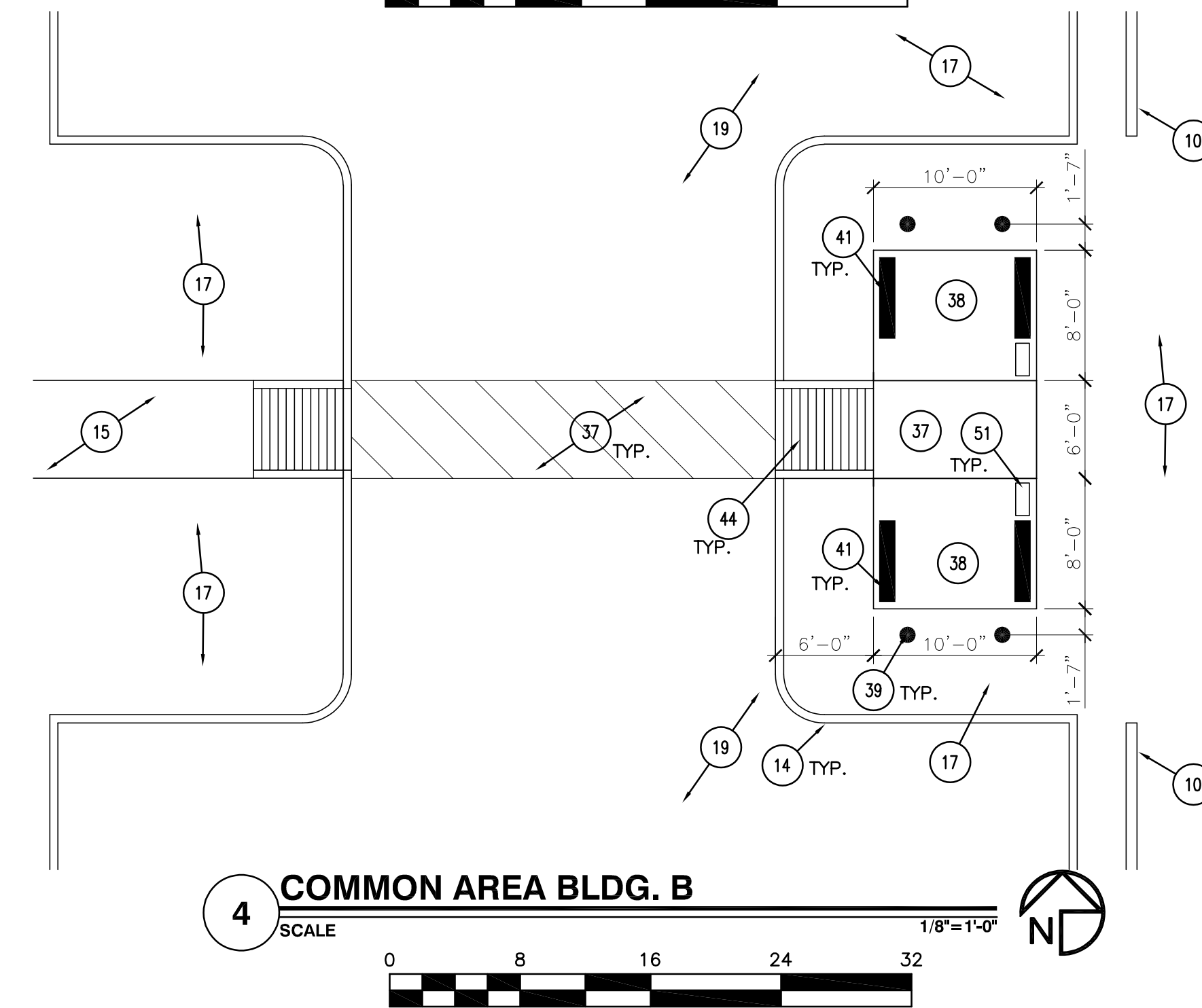
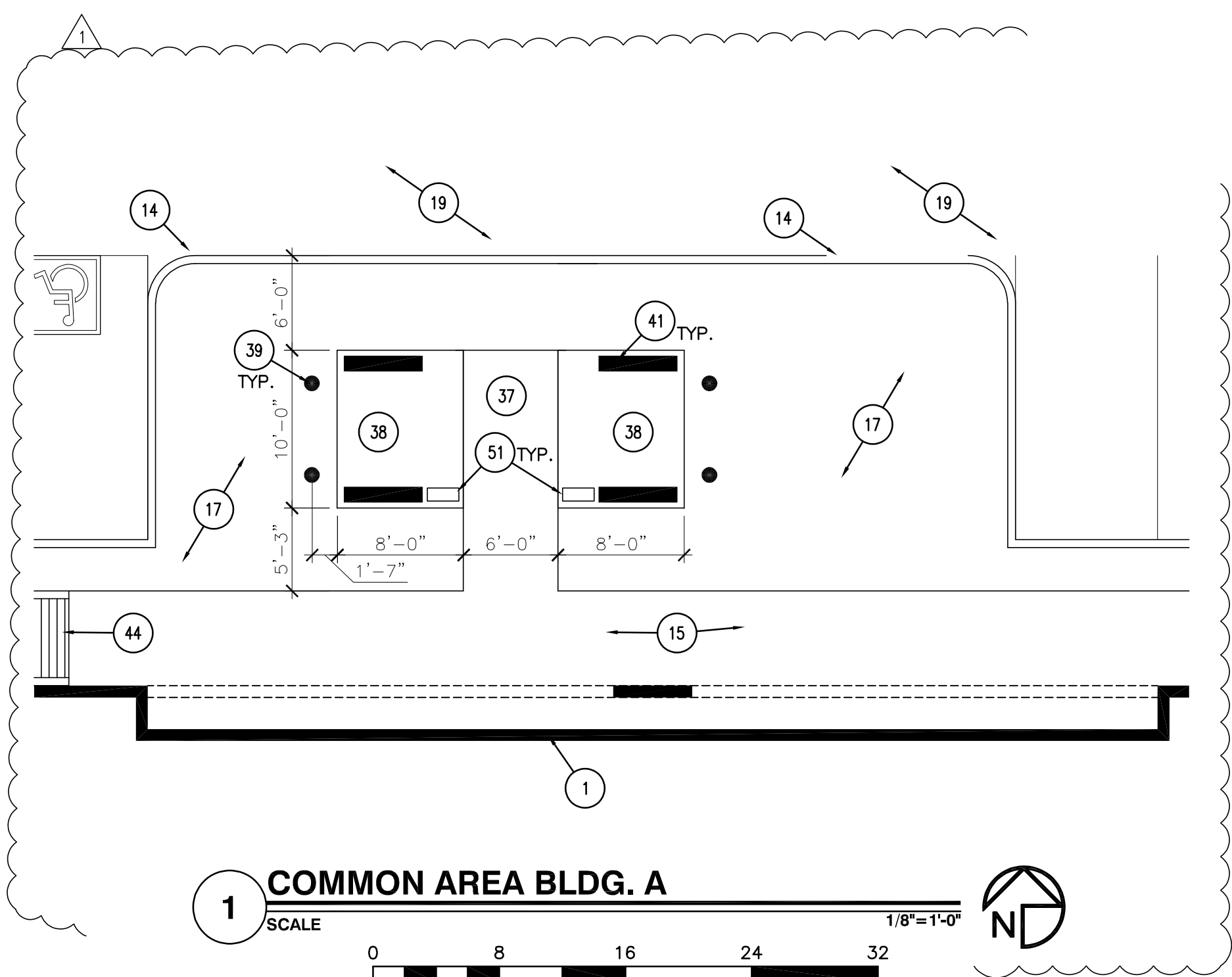
Revisions		
NO.	DATE	DESCRIPTION
1	8/3/22	P&Z AND EASTMARK COMMENTS

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**BUILDING C
PARTIAL SITE
PLAN**

AS-106

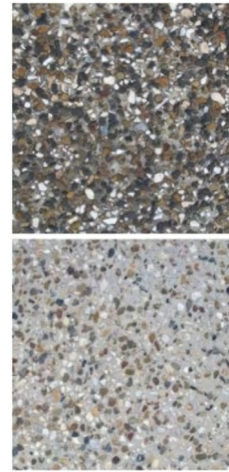
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15. CONCRETE SIDE WALK MIN, 6' WIDE
17. LANDSCAPE AREA - REFER TO LANDSCAPE PLANS
19. PAVEMENT PER CIVIL PLANS.
21. BIKE PARKING
37. EXPOSED AGGREGATE CONCRETE NATURAL GRAY
38. EXPOSED AGGREGATE CONCRETE WITH BLACK STONES
39. LED LIGHT BOLLARD FIXTURE - PER ELECTRICAL PLANS.
41. CONCRETE GARDEN BENCH.
44. ADA RAMP PER DETAILS
51. TRASH RECEPTACLE REFER TO FINISH ITEMS LEGEND.

FINISH ITEMS



- 38 EXPOSED AGGREGATE WITH BLACK STONE
- 37 EXPOSED AGGREGATE WITH GRAY STONE



41 GARDEN BENCH

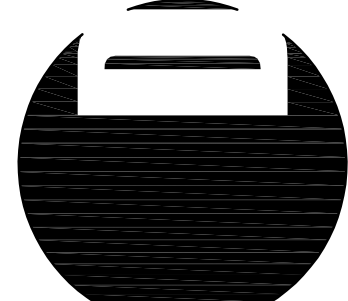


39 MCGRAW EDISON BRT6 LED LIGHT BOLLARDS - BLACK



51 SLUNN-24SSS UNIVERSAL RECEPTACLE, 24-GALLON SIDE OPENING

2929.COM



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PHOENIX, ARIZONA 85018
602-840-2929 P
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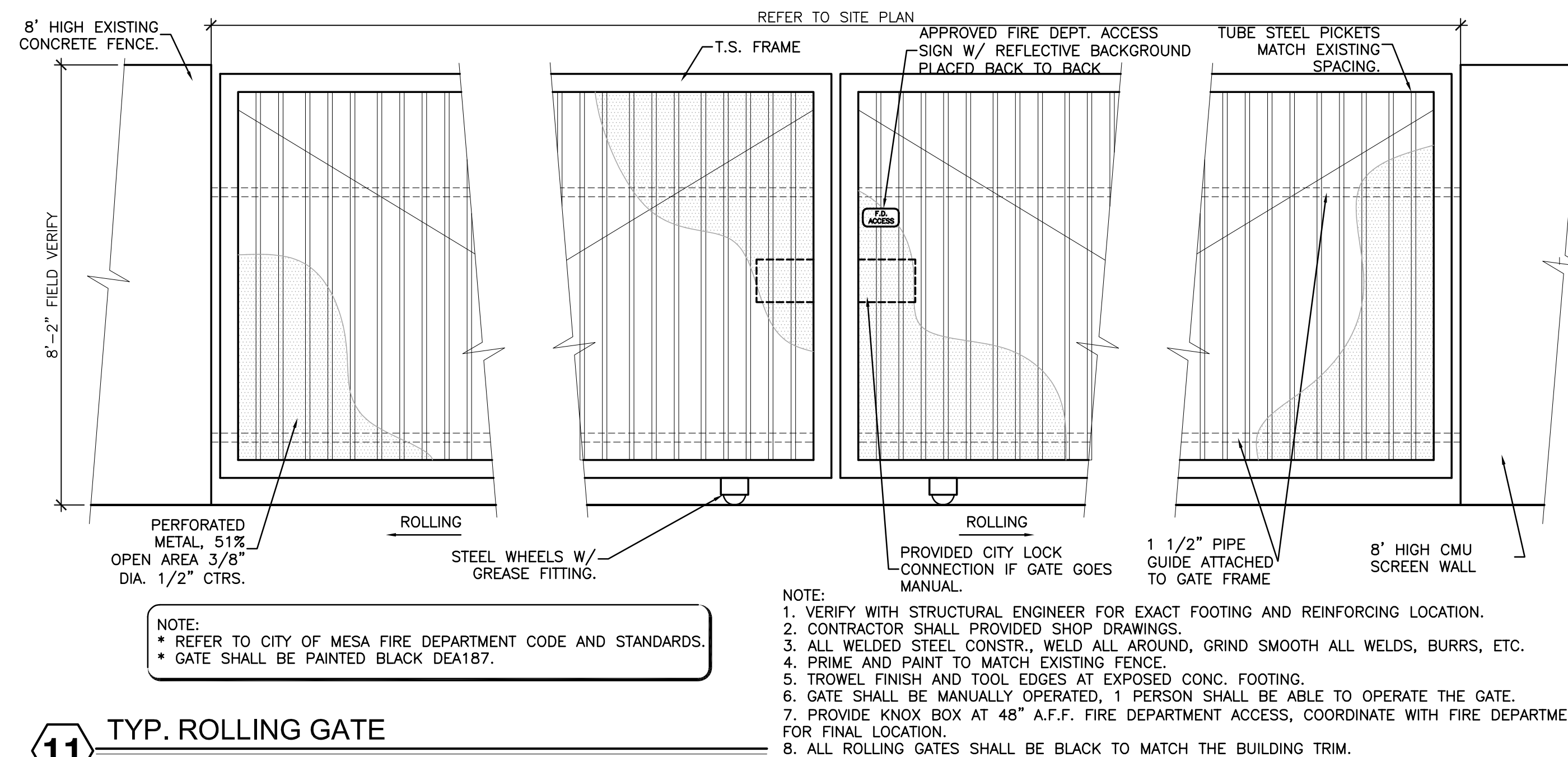
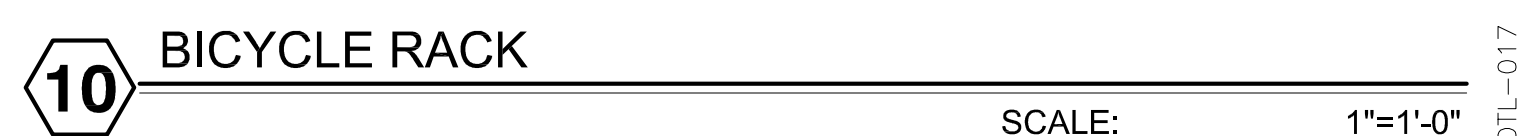
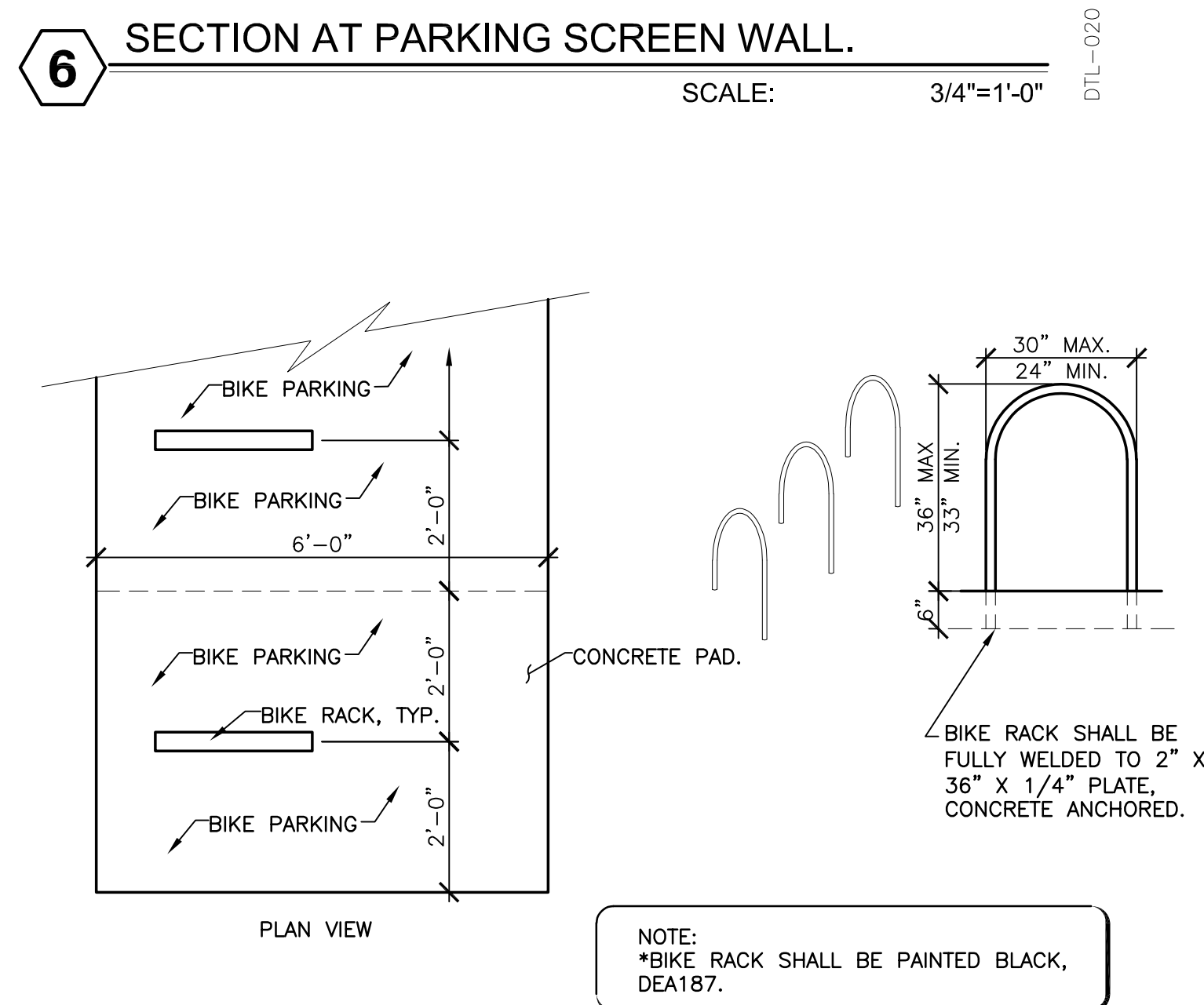
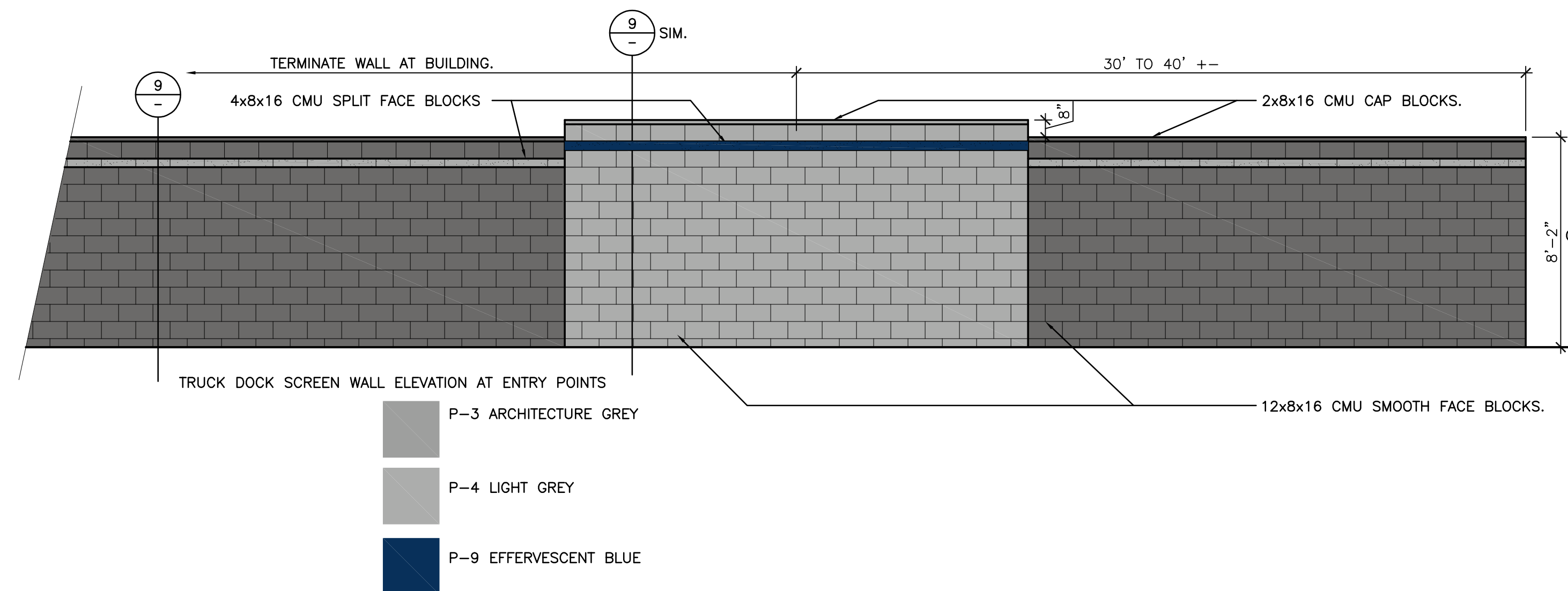
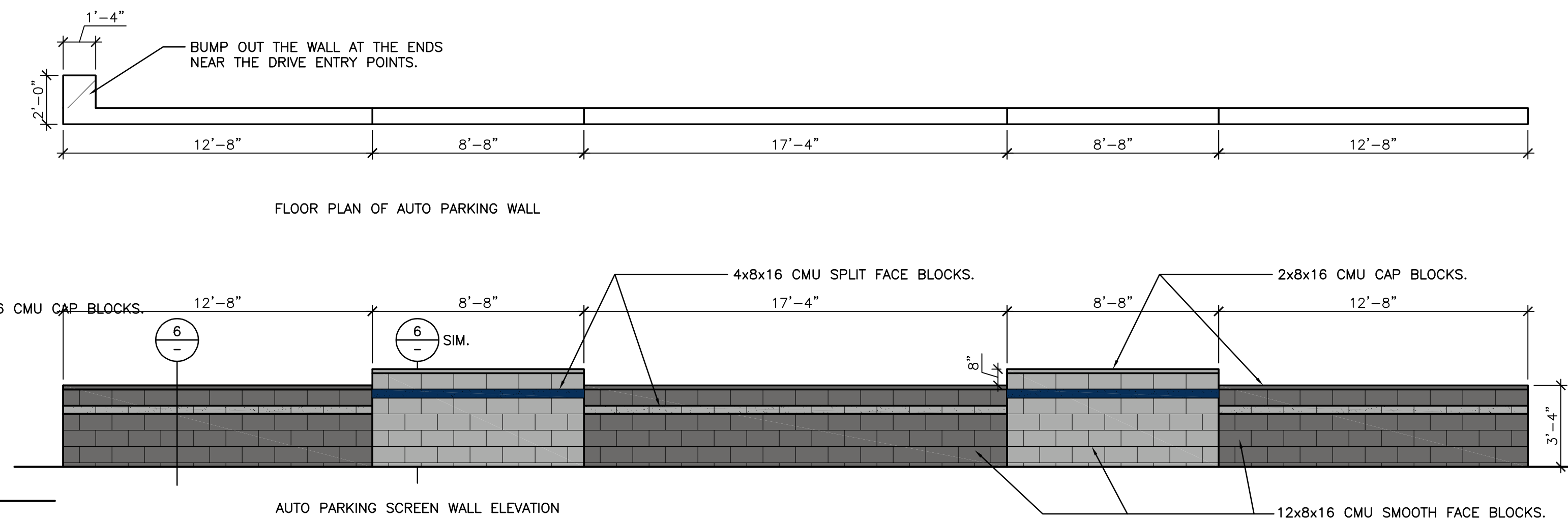
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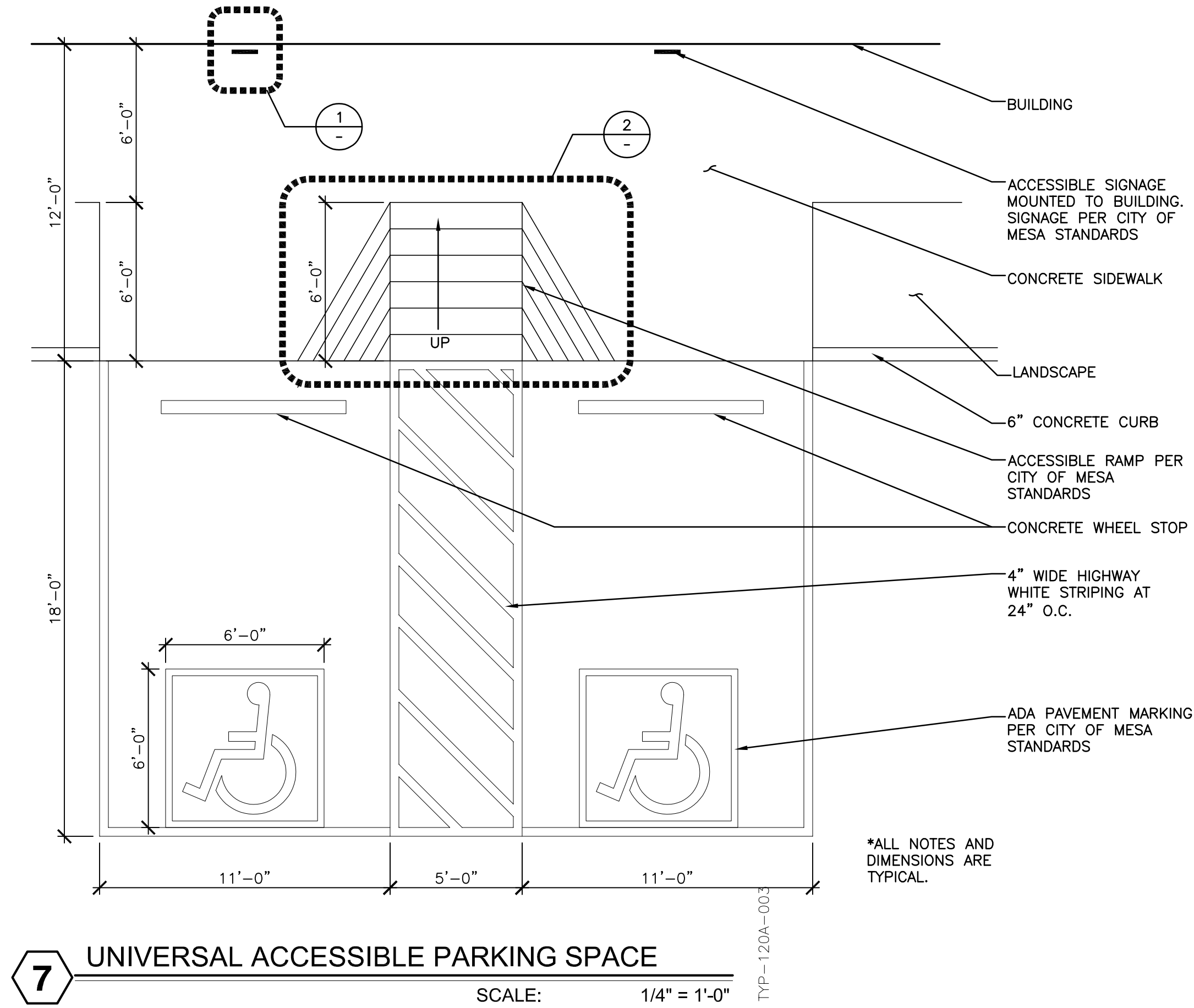
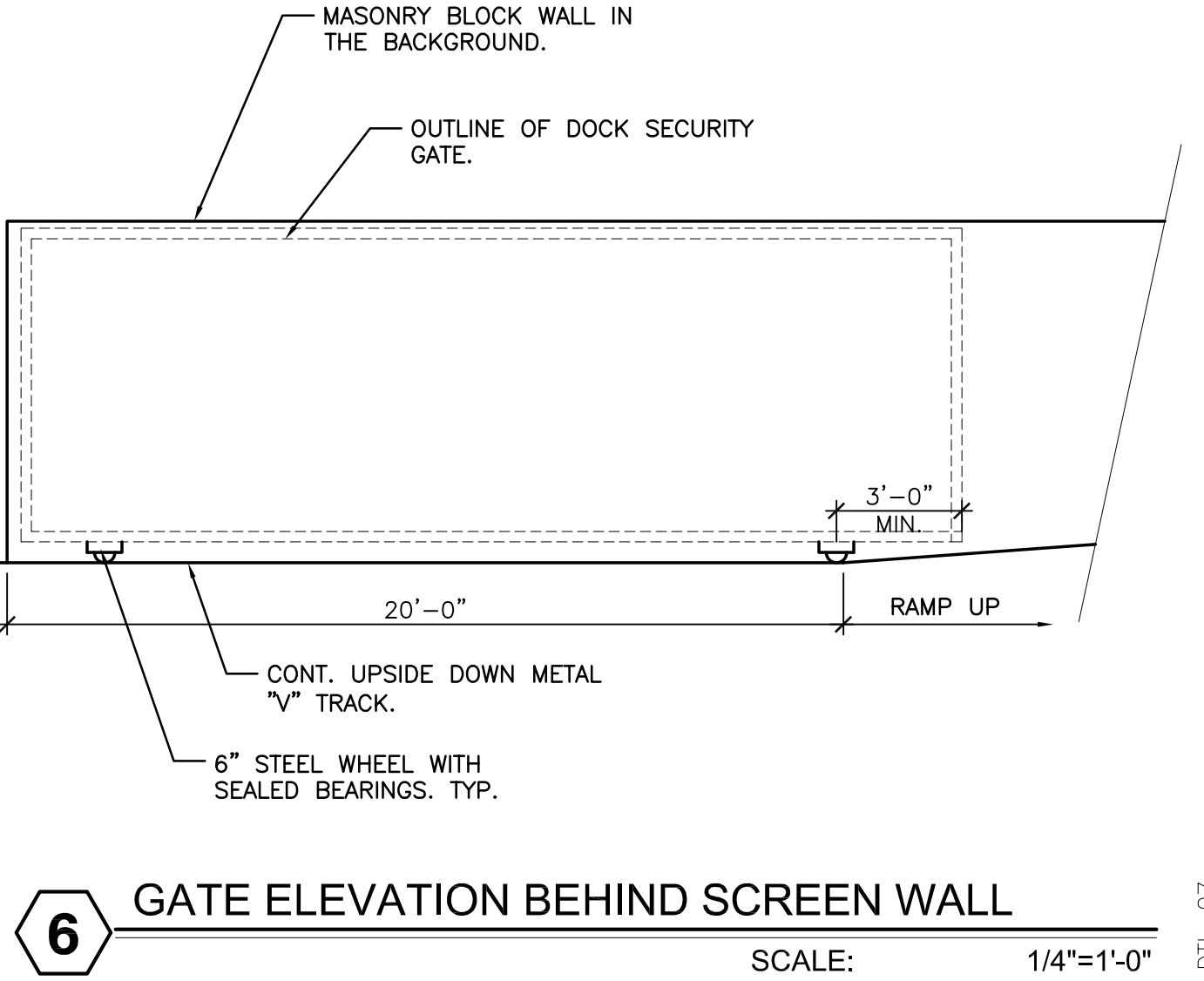
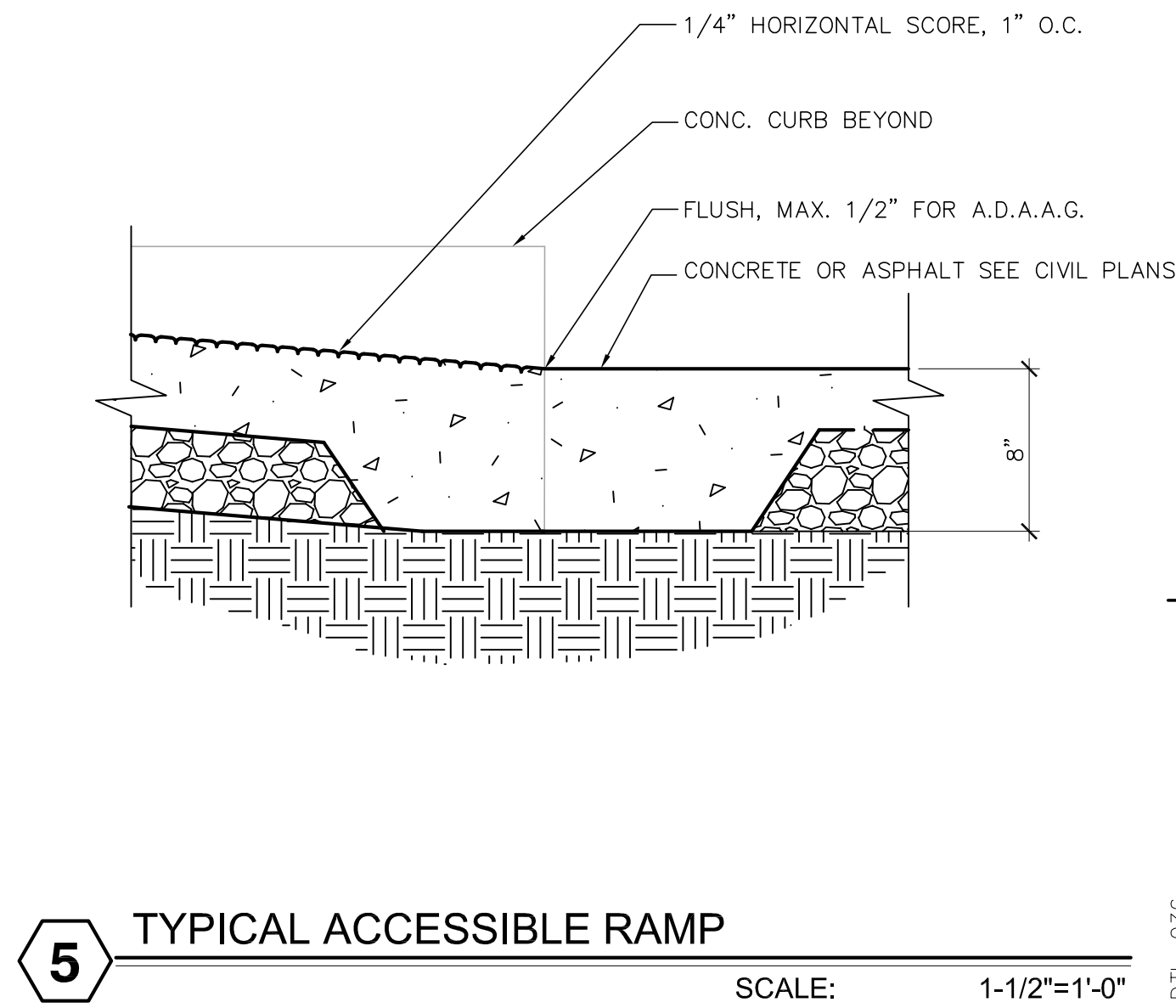
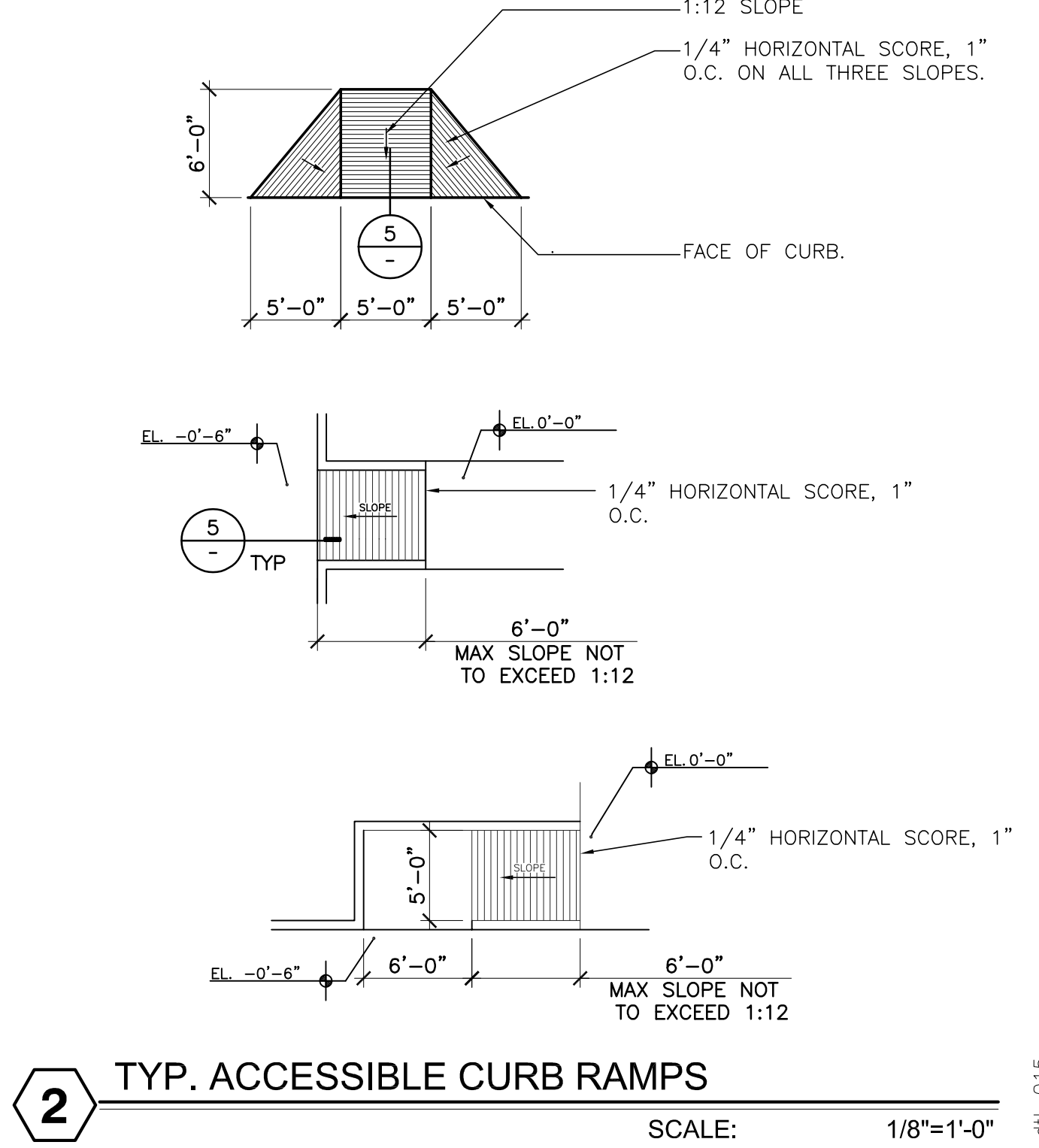
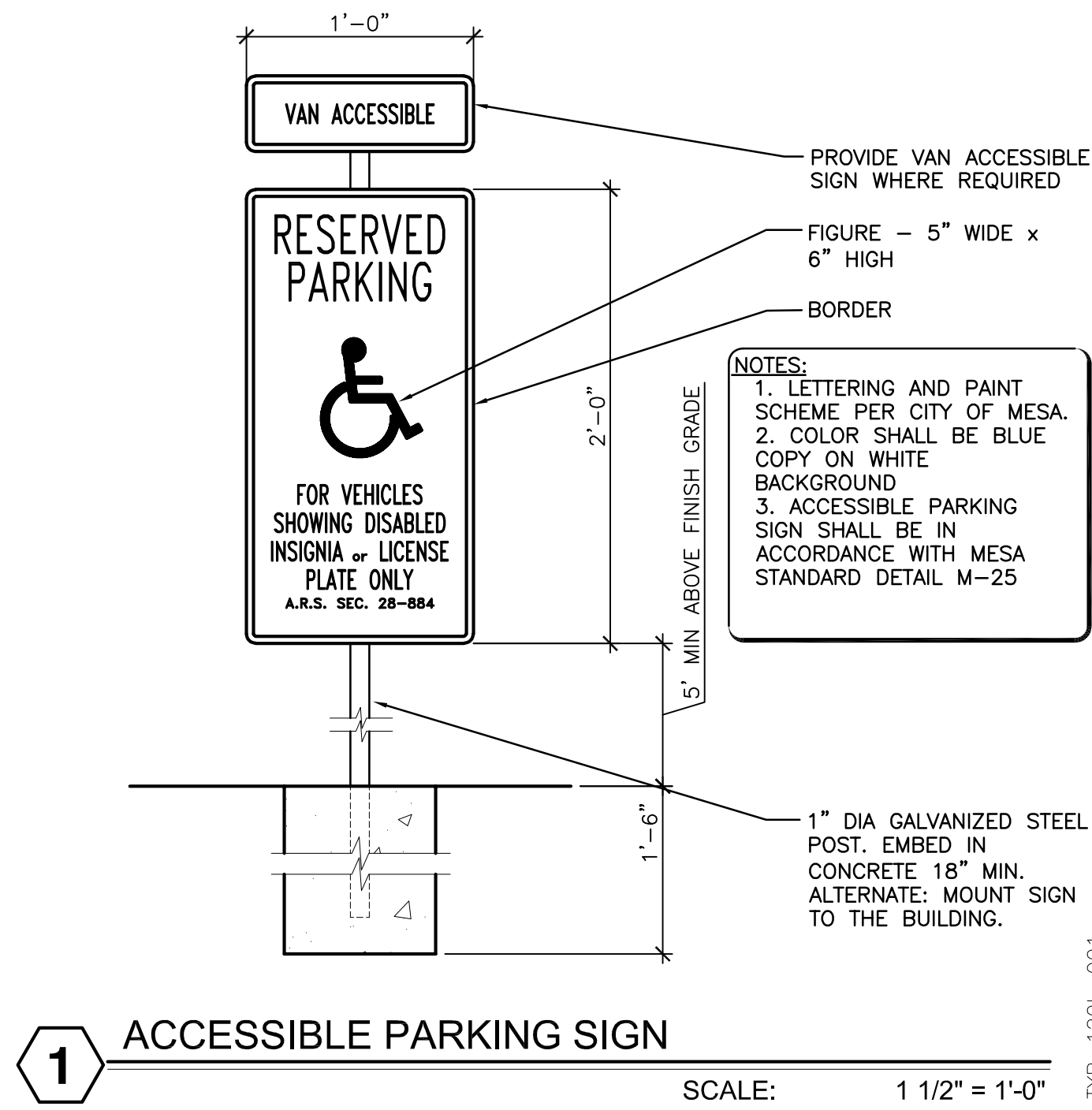
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ENLARGE SITE PLAN

AS-107

NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION: THIS CONTRACT ALLOWS THE OWNER TO CERRY AND APPROVE BILLINGS AND ESTIMATES WITHIN 30 DAYS AFTER THE BILLINGS AND ESTIMATES ARE RECEIVED FROM THE CONTRACTOR





Revisions	
NO.	DATE
1	8/3/22
DESCRIPTION	
P&Z AND EASTMARK COMMENTS	

