

## PROJECT DESCRIPTION

Bigelow Building  
4114 East Valley Auto Drive  
Mesa, Arizona

Existing 2.5 vacant property facing East Valley Auto Drive.  
Proposing a 31,106 sq. ft. office/warehouse building. Single story (with small mezzanine), tilt concrete walls, steel roof structure.  
Maximum height 36'-0" to top of parapets.

Building will house three office/warehouse tenants, each with separate entries from the east facade. Entries are in-set into the east facade of the building. The entrances are faced in used brick veneer with a painted metal canopy 'eyebrow'.

(2) building concrete panel thicknesses give relief to the east building facade while creating a distinctive shadow line. The thick panel will have an accent dark gray color complementing the main light gray color.

Office/retail building surround us to the north, south and east of us. There is a transmission line easement that runs along the west property line. Behind that is a residential community.

There will be two entries off of East Valley Auto Drive.

There is parking both in front of the building and along the two sides. In front of the building is a large grass open area acting as a buffer between the street and the building. Screen walls along East Valley Auto Drive will screen the on-site parking.

The masonry wall along the north property line and the wrought iron fence along the south property line are existing. We are adding a 7'-0" high masonry wall along the rear (west) property line.

We are also creating (3) storage yards along the rear of the property with 7'-0" masonry screen walls and rolling metal gates.

A recessed truck dock is proposed along the south side of the building.

Landscaping, parking, trash enclosures, fire access lanes, accessible parking all meet or exceed City of Mesa standards.

We believe this in-fill project will be a nice addition to the neighborhood of office and retail businesses.

1. ALL LANDSCAPE AREAS TO RECEIVE 2" LAYER DECOMPOSED GRANITE
2. ALL LANDSCAPE AREA TO BE WATERED BY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
3. THE HEIGHTS AND CALIPERS SHALL COMPLY WITH 'ARIZONA NURSERY ASSOCIATION SPECIFICATIONS' FOR THAT SIZE AND TYPE OF TREE.
4. REQUIRED TREES SHALL BE PROVIDED IN EQUAL NUMBERS OF 15 GALLON SIZE AND 24" BOX SIZE OR LARGER.
5. REQUIRED SHRUBS SHALL HAVE A MATURE GROWTH HEIGHT OF 18" AT LEAST 50% OF REQUIRE SHRUBS SHALL BE 5 GALLON SIZE.
6. PLANT MATERIAL SHALL BE CALCULATED BASED ON A LINEAR MODULE OF 25 FEET. TREES AND SHRUBS MAY BE CLUSTERED.

(2) TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE

(2) TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE

(1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE

(1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE

## TREES: (TOTAL REQUIRED TREES:)

50% SHALL BE 24" BOX OR LARGER

SHRUBS: (TOTAL REQUIRED SHRUBS)

50% SHALL BE 5 GALLON OR LARGER.

NO SHRUBS LESS THAN 1 GALLON

2. 1 TREES AND 2 SHRUBS FOR EVERY 1000

8. 1 TREES AND 3 SHRUBS FOR EVERY 15' PARKING ISLAND  
PARKING SHALL BE INSTALLED @ EACH END OF ROW OF STALLS AND  
IN BETWEEN FOR MAXIMUM OF EIGHT CONTIGUOUS PARKING SPACES

9. FOUNDATION LANDSCAPING: LANDSCAPING TO A MINIMUM HEIGHT OF 18" IS REQUIRED IMMEDIATELY ADJACENT TO, OR PROVIDED IN PLANTER AREAS ADJACENT TO BUILDING, WHICH HAVE FRONTAGE ON A PUBLIC STREET. PLANTING AREAS MUST BE A MIN. OF 5' WIDE AND A MIN. OF 50% PLANT COVERAGE.

10. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA LIST THE APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION".

11. THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE MANUFACTURER AND MODEL NUMBER DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES".

12. ALL WORK WILL BE DONE UNDER SEPARATE PERMIT FOR SIGNS".

13. ALL LANDSCAPING INSTALLED WITH THIS PROJECT TO BE MAINTAINED BY OWNERS ASSOC. OR OWNERS ASSOCIATION OF COMMERCIAL SUBDIVISION OR MANAGEMENT COMPANY IF COMMERCIAL RENTALS

14. THAT ALL TREES AND SHRUBS LOCATED IN LINE-OF-SIGHT WILL BE MAINTAINED TO A CLEAR AREA BETWEEN OF 3' TO 7'

15. RIP-RAP MUST BE ON NATURAL MATERIALS MATCHING D.G COLORS  
CONCRETE OR GUNITE MUST BE COLORED TO MATCH D.G. COLOR

16. TREES SHALL BE PLANTED @ LEAST 20' AWAY FROM ANY STREET LIGHT POLE OR LOCATION. SHRUBS SHALL BE PLANTED @ LEAST 7' FEET AWAY FROM ANY STREET LIGHT POLE OR LCC.

17. 10% OF TOTAL TREES IN PARKING SHALL BE 36" BOX OR LARGER.

VISIBILITY TRIANGLES ARE BASED ON CITY  
OF MESA PUBLIC STREET ACCESS  
GUIDELINES DATED FEB. 15, 2005.

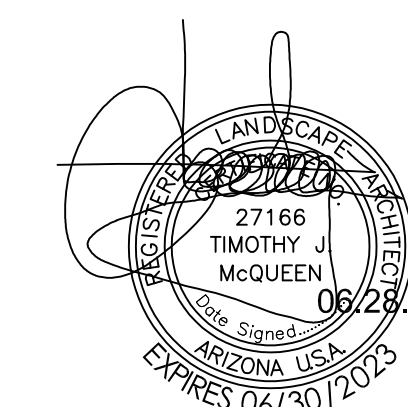
STREET SPEED: 45 MPH  
STREET CROSS SECTION 4LU  
FIGURE 2.3 (50MPH DESIGN SPEED)  
SD=625'

THIS LANDSCAPE IS TO BE MAINTAINED ON A WEEKLY BASIS USING A NATURAL MAINTENANCE PROGRAM AND SHALL BE MAINTAINED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICE OF THE LANDSCAPE INDUSTRY.

ALL TREES AND SHRUBS LOCATED IN THE LIGN OF SIGHT WILL BE MAINTAINED FOR A CLEAR AREA BETWEEN 3' TO 7'. THE LIGN OF SITE IS OUT OF THE SCOPE OF WORK ON THIS PROJECT.

ALL LANDSCAPE AREAS WILL BE MAINTAINED BY THIS OWNER  
OR LESSEE IN ACCORDANCE WITH THESE APPROVED PLANS

REQUIRED LANDSCAPE AREAS SHALL BE FREE FROM ENCROACHMENT BY ANY USE, STRUCTURE, VEHICLE OR FEATURE NOT PART OF THE LANDSCAPE DESIGN.



date: 06.28.22

revisions:

LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING

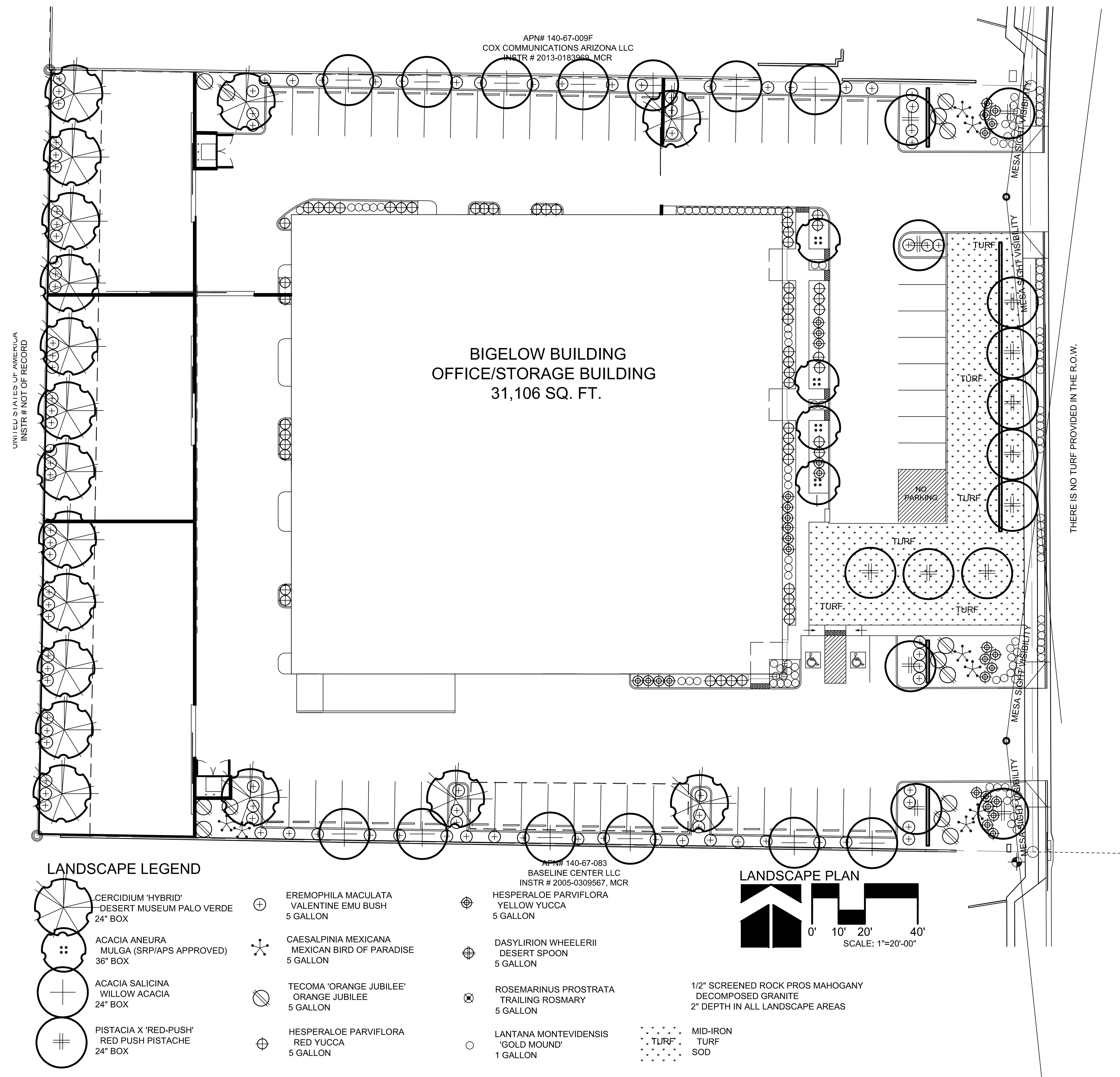
10450 N. 74th Street , Suite 120  
Scottsdale, Arizona 85258  
P.(602)265-0320

EMAIL: [timmcqueen@timla.net](mailto:timmcqueen@timla.net)



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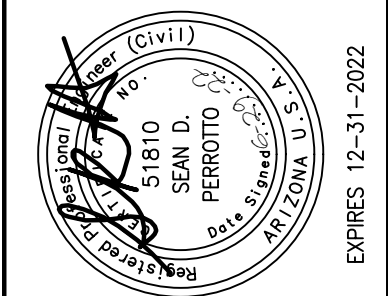




APN 140-67-009E  
4114 EAST VALLEY AUTO DRIVE,  
CITY OF MESA, ARIZONA 85206

OWNER	CIVIL ENGINEER
BRAD BIGELOW 4838 E BASELINE RD. STE #128 MESA, AZ 85206 CONTACT: BRAD BIGELOW	TRICO ENGINEERING, LLC 231 SWANSON AVENUE, STE. 204 LAKE HAVASU CITY, AZ 86403 PH: (928) 230-4969 CONTACT: SEAN PERROTTO, P.E.
<b><u>SURVEYOR</u></b>	<b><u>SITE PLAN DRAWING BY:</u></b>
BENCHMARK SURVEYING & CONSULTING 2738 E GUADALUPE RD, STE #1 GILBERT, AZ 85234 PH: (480) 313-6788	RIGHT ANGLE DRAFTING 11111 WEST WARRIOR ROAD, GILBERT, AZ 85292 PH: (480) 406-1830 CONTACT: KEVIN

A GEOTECHNICAL EVALUATION WAS NOT PREPARED FOR THIS PROJECT.

[illegible]

**TRICO**  
ENGINEERING, LLC

LAKE HAVASI CITY  
331 SWANSON AVENUE, STE. 204  
LAKE HAVASI, AZ 86403  
(928) 236-4969

PHOENIX  
28120 N. ALMA SCHOOL  
LAKE HAVASI, AZ 86403  
SCOTTSDALE, AZ 85262

**BIGELOW OFFICE & WAREHOUSE  
4114 EAST VALLEY AUTO DRIVE  
MESA, AZ 85206**

COVER SHEET	DATE:	JUNE 29, 2022	DRAWN BY:	CCP
	DWG SCALE:	1" = 40'	CHECKED BY:	EJP/SDP
	PROJECT NO:			22406
	APPROVED BY:			SDP

DRAWING NO.:  
**C-1**  
SHEET 1 OF 8

<b>PAVING</b>	<b>UNIT</b>	<b>QTY.</b>
PUBLIC RIGHT-OF-WAY / PRIVATE STREETS & DRIVES	SQ. YDS.	0
PARKING AREAS	SQ. YDS.	0
OVERLAY (ALL)	SQ. YDS.	0
ALLEY SURFACE	SQ. YDS.	0
STREET SIGN BASAE (CITY CODE CHAPTER 40-12.7)	EACH	0
STREET NAME SIGN (CITY)	EACH	0
MILL AND OVERLAY	SQ. YDS.	0
<b>CONCRETE</b>	<b>UNIT</b>	<b>QTY.</b>
CONCRETE DRIVEWAY OR ALLEY ENTRANCE	EACH	0
CONCRETE VALLEY GUTTER	LF	0
CONCRETE APRON	EACH	0
CURB & GUTTER	LF	0
SIDEWALK	SF	0
CATCH BASIN / SCUPPER	EA	0
SIDEWALK RAMP	EA	0
<b>DRAINAGE</b>	<b>UNIT</b>	<b>QTY.</b>
RETENTION BASIN, ON-SITE PLUS OFFSITE (GRADING)	ACRE	0
IRRIG. PIPE (SRP, RWCD AND PRIVATE)	LF	0
STORMWATER PIPE (INCL. BOX CULVERT)	LF	0
HEADWALL	EACH	0
PAVEMENT CUT	SQ. YDS.	0
DRYWELL	EACH	0
STORMWATER RETENTION PIPE	LF	0

## 140-67-009E

ZONE X (SUBJECT PROPERTY) - ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C228MR, DATED NOVEMBER 4, 2015, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X". AREAS OF 0.2% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM THE 1% ANNUAL CHANCE FLOOD AND FLOOD ZONE "A" (THE FLOODWAY) IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT SO THAT THE 1% ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASES IN FLOOD HEIGHTS.

THE BASIS OF BEARING FOR THIS SURVEY IS S89°46'24"W FOR THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 NORTH, RANGE 6 EAST AS SHOWN FROM A BOUNDARY SURVEY RECORDED IN BOOK 493, PAGE 49, MARICOPA COUNTY RECORDS.

1. CONTRACTOR SHALL COORDINATE ALL DRIVEWAY LOCATIONS WITH PRIVATE PROPERTY OWNERS AND THE CITY INSPECTOR.
2. FOR THE APPROVED LIST OF PAVING PRODUCTS SEE: <http://www.mesazg.gov/business/engineering/approved-products-equipment-natural-gas-line-contractors>.
3. ALL GUTTER GRADES LESS THAN 0.0020 FT/FT SHALL BE STAKED ALONG THE ACTUAL GUTTER ALIGNMENT (NOT OFFSET) AND CHECKED BY CITY OF MESA INSPECTOR IMMEDIATELY PRIOR TO PLACEMENT OF CONCRETE.
4. ALL FRAMES, COVERS, VALVE BOXES, ETC. SHALL BE ADJUSTED BY THE CONTRACTOR TO FINISHED GRADE AFTER PLACEMENT OF ASPHALT CONCRETE SURFACE COURSE PER MAG STD DETAILS 270, 422, OR 391-1-C.

1. MATERIALS AND INSTALLATION OF WATER AND SEWER MAINS, WATER METERS AND SERVICE LINE CONNECTIONS SHALL CONFORM TO CURRENT CITY DETAILS, MESA AMENDMENTS TO MAG SPECIFICATIONS, AND THE APPROVED PRODUCTS LIST. SEE BELOW FOR APPROVED PRODUCT LISTS FOR WATER AND WASTEWATER.

1. WATER
2. WASTEWATER
3. IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE (A.A.C.) R18-0213, ALL MATERIALS WHICH MAY COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NATIONAL SANITATION FOUNDATION (NSF) STANDARDS 60, 61, AND 372 AND SHALL BE LEAD-FREE AS DEFINED IN A.C. R18-0504 AND R18-04101.
4. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL NECESSARY FITTINGS AND ADAPTERS REQUIRED TO CONNECT DIFFERENT TYPES OF WATER MAIN MATERIALS.
5. PER MESA AMENDMENTS 610.4.2 ALL MINOR VERTICAL OR HORIZONTAL DEFLECTIONS SHALL BE BY PIPE JOINT DEFLECTION UNLESS OTHERWISE NOTED. PIPE JOINT DEFLECTION SHALL NOT EXCEED 3 DEGREES OR 2/3 OF PIPE MANUFACTURER'S RECOMMENDATIONS WHICHEVER IS LESS.
6. PER MAG AND MESA AMENDMENTS 610.11 ALL WATER LINE TESTS SHALL BE COMPLETED SO THAT NO EXISTING LINES, EXISTING VALVES, OR NEWLY INSTALLED VALVES ARE DAMAGED. WATER RESOURCES STAFF IS PROHIBITED TO OPEN A VALVE TO THE EXISTING WATER SYSTEM TO FILL A NEWLY CONSTRUCTED OR REPAIRED PIPELINE AS OUTLINED IN THE MESA AMENDMENTS TO MAG SECTION 610.11 AND 611.
7. SOURCE WATER UTILIZED FOR FILLING, FLUSHING AND TESTING SHALL BE OBTAINED FROM A HYDRANT METER ORDERED THROUGH PERMIT SERVICES AND SET BY THE CITY OF MESA WATER RESOURCES STAFF. IT IS PROHIBITED TO OPEN A VALVE TO THE EXISTING WATER SYSTEM TO FILL A NEWLY CONSTRUCTED OR REPAIRED PIPELINE AS OUTLINED IN THE MESA AMENDMENTS TO MAG SECTION 610.11 AND 611.
8. WATER METERS, METER BOXES, LIDS, ETC. IN CONFLICT WITH NEW CONSTRUCTION SHALL BE RELOCATED PER CITY OF MESA STANDARD DETAIL M-49 BY THE CONTRACTOR. THE RELOCATION SHALL INCLUDE ALL MATERIALS NECESSARY TO RECONNECT THE METER TO THE CITY DISTRIBUTION SYSTEM. SERVICE LINE EXTENSIONS, IF APPROVED IN WRITING BY MESA WATER RESOURCES DEPARTMENT, SHALL CONFORM TO MESA STANDARD DETAIL M-49. WHEN SERVICE LINE EXTENSIONS ARE REQUIRED, THE CONTRACTOR SHALL INSTALL PER MESA STANDARD DETAIL M-49, SERVICE LINE COUPLINGS SHALL NOT BE PLACED UNDER ROADWAY SURFACES, CONCRETE GUTTERS, CURB AND GUTTER, OR CONCRETE DRIVEWAYS.
9. VALVES SHALL BE INSTALLED WITH VALVE BOX AND COVER PER MAG STD DETAILS 391-1, TYPE C WITH A DEEP-SKIRTED LID (4-INCHES MINIMUM) AS NOTED IN THE APPROVED PRODUCTS LIST.
10. ALL WATER LINE ABANDONMENT CUT AND PLUGS FOR ACTIVE LINES SHALL CONFORM TO THE FOLLOWING:
- A. 12" AND SMALLER DIAMETER PER MESA STANDARD DETAIL M-50.
- B. 16" DIAMETER PER M.A.G. STANDARD DETAIL 390, TYPE B.
- C. GREATER THAN 16" DIAMETER, AS DESIGNED PER PLAN.
11. LIME-TREATED AGGREGATE BASE COURSE (ABC) MATERIAL, RECLAIMED CONCRETE MATERIAL (RCM), AND RECLAIMED ASPHALT PAVEMENT (RAP) MATERIALS ARE PROHIBITED FOR USE IN THE PIPE EMBEDMENT ZONE (BEDDING, HAUNCHING, INITIAL BACKFILL) FOR WATERLINE CONSTRUCTION PER MESA AMENDMENTS 610.4.2.
12. PER MESA AMENDMENTS 610.11, APPLICATIONS TO THE CITY OF MESA ENGINEERING SUPERVISOR AND REVIEWED AND APPROVED BY THE WATER RESOURCES DEPARTMENT FOR WATER SYSTEM SHUTDOWN FOR THE PURPOSES OF CONSTRUCTION-RELATED ACTIVITIES SHALL BE MADE A MINIMUM OF FIVE (5) BUSINESS DAYS PRIOR TO THE SCHEDULED SHUTDOWN DATE. THE REQUEST SHALL INCLUDE PRIMARY AND SECONDARY VALVE NUMBERS, WHETHER A TEST SHUTDOWN IS REQUIRED, AND AN ESTIMATE OF THE DURATION OF THE REQUESTED SHUTDOWN. PER MAG 610.11, THE CITY OF MESA DOES NOT GUARANTEE A COMPLETE SHUTDOWN.
13. REQUIRED BACKFLOW PREVENTION ASSEMBLIES SHALL INCLUDE MANUFACTURERS AND MODELS DESIGNATED IN THE CURRENT "LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES" AS PUBLISHED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH, UNIVERSITY OF SOUTHERN CALIFORNIA.
14. BACKFLOW PREVENTION ASSEMBLIES SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA "LIST OF APPROVED INSPECTORS" PRIOR TO THE REQUEST FOR FINAL INSPECTION.
15. ALL WATER METERS ARE TO BE SUPPLIED BY THE CITY OF MESA. CHARGES FOR INSTALLING NEW SERVICES AND METERS WILL BE IN ACCORDANCE WITH THE CURRENT CITY OF MESA SCHEDULE OF FEES. METERS WILL BE DELIVERED AND INSTALLED BY CITY FORCES. METERS LARGER THAN FOUR INCHES WILL BE DELIVERED BY THE CITY AND INSTALLED BY THE CONTRACTOR AND REQUIRE SCHEDULING AND INSPECTIONS WITH CITY FORCES. CONTACT THE DEVELOPMENT SERVICES DEPARTMENT AT 480-644-4273 FOR THE SPECIFIC PROCEDURE. SEE M-27.01 FOR MORE INFORMATION.
16. WHEN GROUTING OR CASTING CONCRETE AROUND PVC SEWER PIPE, SUCH AS AT MANHOLE OR VAULT PENETRATIONS, THE CONTRACTOR SHALL INSTALL WATER STOPS PER MESA AMENDMENTS TO MAG SPECIFICATION 625 AND MANUFACTURERS RECOMMENDATIONS.
17. SEWER BUILDING CONNECTION LATERALS SHALL BE INSTALLED PER MAG STANDARD DETAIL 440. LATERAL WYES SHALL BE INSTALLED AT NO GREATER THAN A 45-DEGREE ANGLE. SLOPES SHALL BE AS INDICATED ON MAG STANDARD DETAIL 440 AND IN NO CIRCUMSTANCE SHALL SEWER LATERAL SLOPES EXCEED 7/8" PER FOOT FOR 8" LATERALS AND 1-1/2" PER FOOT FOR 4" LATERALS. FITTINGS SHALL BE INSTALLED WITH NO ANGULAR JOINT DEFLECTION AND ALL CONNECTIONS SHALL BE GASKETED OR SEALED PER MAG SPECIFICATIONS.
18. SEWER MANHOLE BASES, BENCHES, SHELVES, AND CHANNELS SHALL BE CONSTRUCTED PER MAG STANDARD DETAIL 420. EACH INLET PIPE SHALL HAVE A DESIGNATED, FORMED CHANNEL AND BENCHING. THE DIMENSIONS OF CHANNELS, SHELF SLOPE, AND MINIMUM INLET PIPE ANGLES SHALL BE CONSTRUCTED PER MAG STANDARD DETAIL 420-3.
19. PER MESA DESIGN STANDARDS, SEWER MANHOLES SHALL BE CONSTRUCTED PER MAG STANDARD DETAILS 420-1, TYPE 'A' TOP; AND 423-2 EXCEPT THAT:
- A. MANHOLE SHAFT DIAMETERS SHALL BE 5 FEET.
- B. MANHOLE RINGS AND COVERS SHALL HAVE 30-INCH DIAMETERS.
- C. STEPS SHALL NOT BE INCLUDED.

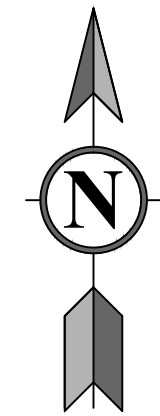
**ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS PUBLISHED BY THE MICHIGAN ASSOCIATION OF GOVERNMENTS OR AS AMENDED BY THE CITY OF MESA. ANY WORK OR MATERIAL NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.**

**2. SEPARATE RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ALL PUBLIC UTILITIES, PUBLIC STREET IMPROVEMENTS AND RIGHT-OF-WAY LANDSCAPING. FOR INFORMATION REGARDING AVAILABILITY AND COST OF RIGHT-OF-WAY PERMITS, CONTACT THE DEVELOPMENT SERVICES DEPARTMENT AT (480) 644-2373 OR IF AN APPROPRIATE CLASS OF LICENSE AND SHALL HAVE ON FILE WITH THE PERMIT SERVICES SECTION PROOF OF INSURANCE COVERAGE. PERMITS COVERED INVALID AND MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK.**

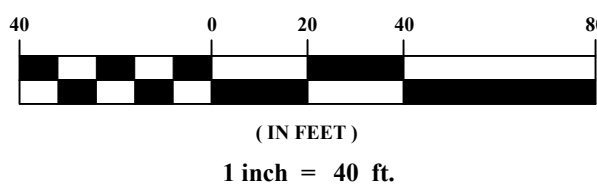
**3. TWENTY FOUR (24) HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK, CONSTRUCTION OR INSTALLATIONS ASSOCIATED WITH THIS PERMIT, THE PERMITTEE SHALL NOTIFY CITY OF MESA ENGINEERING DEPARTMENT AT (480) 644-2251 OF INTENT TO BEGIN AND REQUEST/RECEIVE PRELIMINARY FIELD REVIEW AT THE PROJECT SITE WITH THE CITY OF MESA ENGINEERING DEPARTMENT CONSTRUCTION INSPECTOR (CITY INSPECTOR). FAILURE TO PROVIDE PRIOR INSPECTION NOTIFICATION AS PRESCRIBED ABOVE SHALL BE CAUSE FOR STOPPAGE OF THE PROJECT.**

1. THE DEVELOPER AND THE CONTRACTOR ARE REQUIRED TO COORDINATE THE PLACEMENT OR INSTALLATION OF DRIVEWAYS IN ORDER TO AVOID CONFLICT WITH UTILITY SERVICES.
2. ALL FRAMES, COVERS, VALVE BOXES, MANHOLES, ETC., SHALL BE INSTALLED TO FINISH GRADE OR SHALL BE ADJUSTED TO FINISH GRADE AFTER PLACING OF ASPHALTIC SURF COURSE BY THE CONTRACTOR PER M.A.G. STANDARD DETAIL 270 AND 402
3. THE CONTRACTOR SHALL ADJUST ALL FRAMES, COVERS, VALVE BOXES, MANHOLES, ETC. THAT ARE LOCATED WITHIN THE PARKWAY AREA AFTER FINAL GRADING AND INSTALLATION OF LANDSCAPING.
4. ALL LANDSCAPING IMPROVEMENTS, INCLUDING IRRIGATION SYSTEMS WITHIN THE PUBLIC RIGHT-OF-WAY OR RETENTION BASINS THAT ARE TO BE MAINTAINED BY THE CITY OF MESA, SHALL BE IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION STANDARDS BOOKLET.
5. THE STREET PAVING PERMITTEE/CONTRACTOR IS HEREBY NOTIFIED THAT IN THE EVENT THE ACCEPTANCE OF THE PUBLIC STREET PAVING IS DELAYED, SIX MONTHS OR MORE AFTER STREET PAVING WAS INSTALLED, THE PERMITTEE/CONTRACTOR SHALL APPLY A SEAL COAT TO THE PAVEMENT. TYPE OF MATERIAL AND RATE OF APPLICATION WILL BE DIRECTED BY THE CITY OF MESA ENGINEERING DEPARTMENT.
6. A STANDARD RESIDENTIAL DRIVEWAY APPROACH SHALL BE CONSTRUCTED TO A MAXIMUM WIDTH OF 30 FEET UNLESS SPECIAL APPROVAL HAS BEEN OBTAINED.

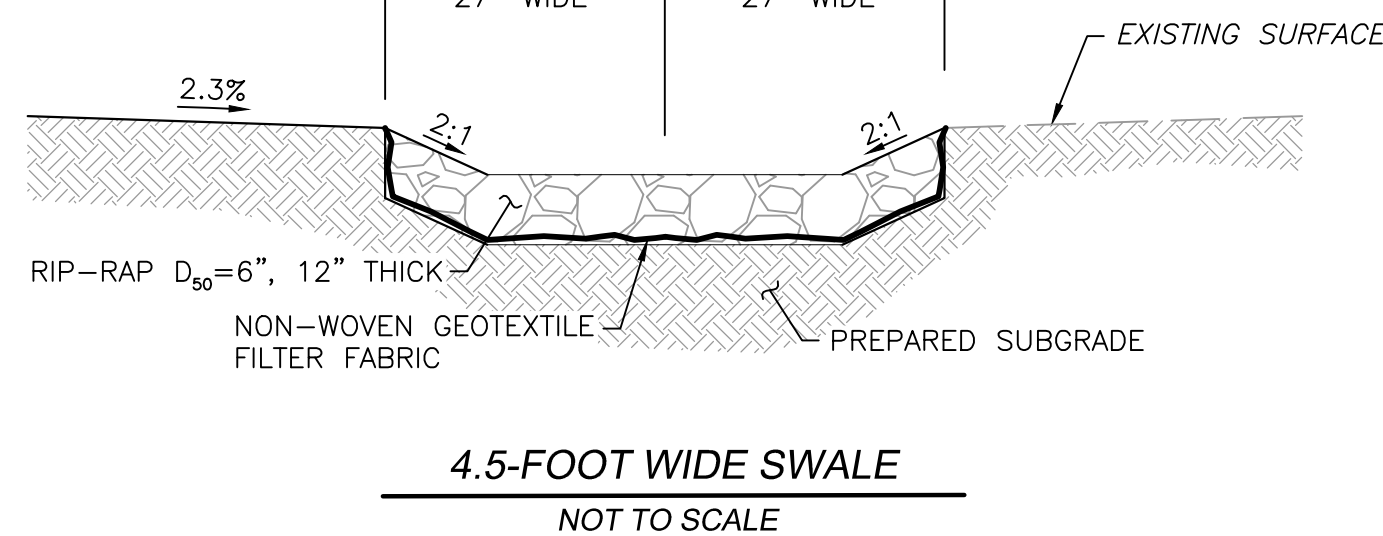
NO.	TITLE
C-1	COVER SHEET
C-2	GRADING & DRAINAGE PLAN
C-3	GRADING & DRAINAGE DETAILS
C-4	CROSS SECTIONS
C-5	UTILITY PLAN (NOT INCLUDED)
C-6	UTILITY DETAILS (NOT INCLUDED)
C-7	EROSION CONTROL PLAN
C-8	EROSION CONTROL DETAILS



### GRAPHIC SCALE







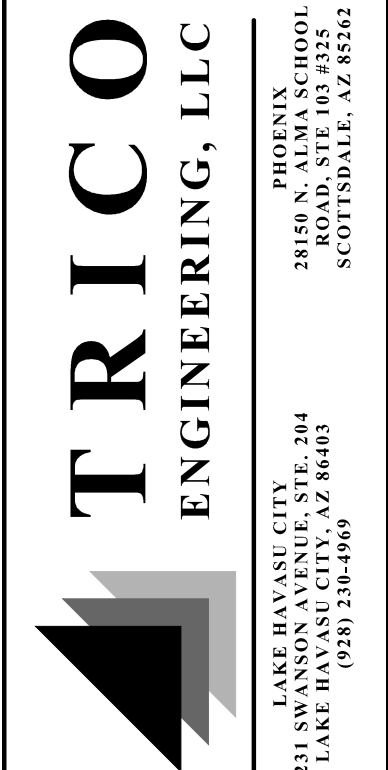
Summary of Computed Runoff Coefficients		
Computed Runoff Coefficient - $C_{comp} = \frac{(C_{imp} \times A_{imp}) + (C_{pav} \times A_{pav}) + (C_{per} \times A_{per})}{A_{TOT}}$		
Where:	$C_{imp}$ = Impervious Runoff Coefficient =	0.95 (Concrete & Rooftops)
	$C_{per}$ = Pervious Runoff Coefficient =	0.50 (Descrete Landscaping)
	$A_{imp} (PRE)$ = Impervious Area (Pre-Developed) =	0.00 Acres
	$A_{per} (PRE)$ = Pervious Area (Pre-Developed) =	2.41 Acres
	$A_{imp} (POST)$ = Impervious Area (Post-Developed) =	1.64 Acres
	$A_{per} (POST)$ = Pervious Area (Post-Developed) =	0.77 Acres
	$A_{TOT}$ = Total Area =	2.41 Acres
	$C_{comp} (PRE)$ =	0.500
	$C_{comp} (POST)$ =	0.806

Summary of Onsite Peak Discharges									
Rational Method - Q = C <sub>xx</sub> X A									
Where:		C <sub>pre</sub> = Runoff Coefficient =		0.50					
		C <sub>post</sub> = Runoff Coefficient =		0.90					
		i = Rainfall Intensity (2-year) =		2.89					
		i = Rainfall Intensity (10-year) =		4.72					
		i = Rainfall Intensity (25-year) =		5.81					
		i = Rainfall Intensity (100-year) =		7.5					
		A = Area in acres							
DESIGN POINT	DRAINAGE AREA (AC)	PRE-DEVELOPED				POST-DEVELOPED			
		PEAK FLOW (cfs)				PEAK FLOW (cfs)			
		2-YR	10-YR	25-YR	100-YR	2-YR	10-YR	25-YR	100-YR
1A	0.26	0.38	0.62	0.76	0.98	0.68	1.11	1.37	1.77
2A	0.96	2.27	2.27	2.80	3.61	4.09	4.09	5.03	6.60
2B	1.13	3.29	2.68	3.29	4.25	5.93	4.82	5.93	7.65

Summary of Retention				
Retention Volume - $V = P/12^{\circ}C \times A$				
C = runoff coefficient =			0.81	
P = Rainfall Depth =			2.20	
A = Area in square feet				
RETENTION BASIN LD.	AREA (Ac)	AREA (sf)	VOLUME REQUIRED (cf)	VOLUME PROVIDED (cf)
1	0.26	11,428	1,689	1,690
2	2.10	91,315	13,493	14,484
TOTAL RETENTION			15,181	16,174

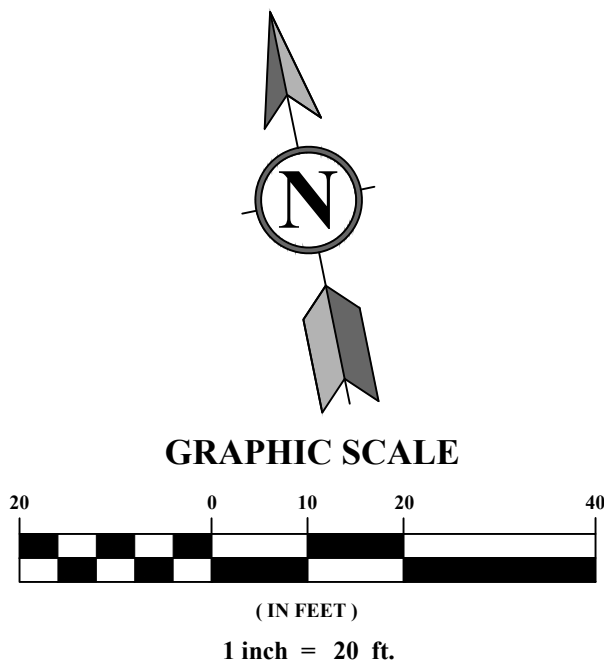
1 SAWCUT EXISTING AC PAVEMENT IN ACCORDANCE WITH LHC SPECIFICATION 02110.

2. CONSTRUCT COMMERCIAL DRIVEWAY PER MESA DETAIL NO. M-42.
3. EXISTING CURB AND GUTTER TO BE PROTECTED IN PLACE.
4. EXISTING SIDEWALK TO BE PROTECTED IN PLACE.
5. INSTALL 3" A.C. ON 6" A.B. ON 12" COMPACTED SUBGRADE. REFER TO GEOTECHNICAL REPORT.
6. EXISTING STORM DRAIN INLETS TO BE PROTECTED IN PLACE.
7. CONSTRUCT SINGLE BIN ENCLOSURE PER MESA DETAIL NO. M-62.02.1.
8. INSTALL CURB STOP.
9. CONSTRUCT RETENTION BASIN AS SHOWN, 3:1 MAX SLOPE.
10. CONSTRUCT SINGLE CURB, TYPE 'A' PER MAG STD. DETAIL NO. 222.
11. CONSTRUCT SIDEWALK PER MAG STD. DETAIL NO. 230.
12. CONSTRUCT EARTHEN SWALE PER DETAIL \_\_\_\_ ON SHEET \_\_\_\_.
13. SUMP & PUMP FOR TRUCK WELL, PUMP DISCHARGE ON HIGH SIDE OF ROCK WALL AS NOTED ON PLAN. REFER TO MECHANICAL AND PLUMBING PLANS FOR SUMP & PUMP DETAILS AND SPECIFICATIONS. A MANUAL SWITCH SHALL BE INSTALLED FOR EACH SUMP & PUMP.
14. CONSTRUCT TRUCK WELL & ASSOCIATED DOCK RETAINING WALLS IN ACCORDANCE WITH THE ARCHITECTURAL PLANS. REFER TO PLAN FOR TRUCK WELL PROPOSED ELEVATIONS.
15. RAISED PLANTER WALL. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
16. PROPOSED SIGNAGE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
17. CONSTRUCT SIDEWALK RAMP - TYPE D PER MESA DETAIL NO. M-44.05.
18. CONSTRUCT SINGLE CURB, TYPE 'B', MODIFIED TO 0" TALL CURB.
19. CONSTRUCT 4.5-FOOT WIDE SWALE PER DETAIL ON THIS SHEET.
20. INSTALL 6" HDPE STORM DRAIN PIPE FOR RETENTION BASIN EQUALIZATION PURPOSES.
21. NO PARKING AREA TO BE TEXTURED AS "NO PARKING".

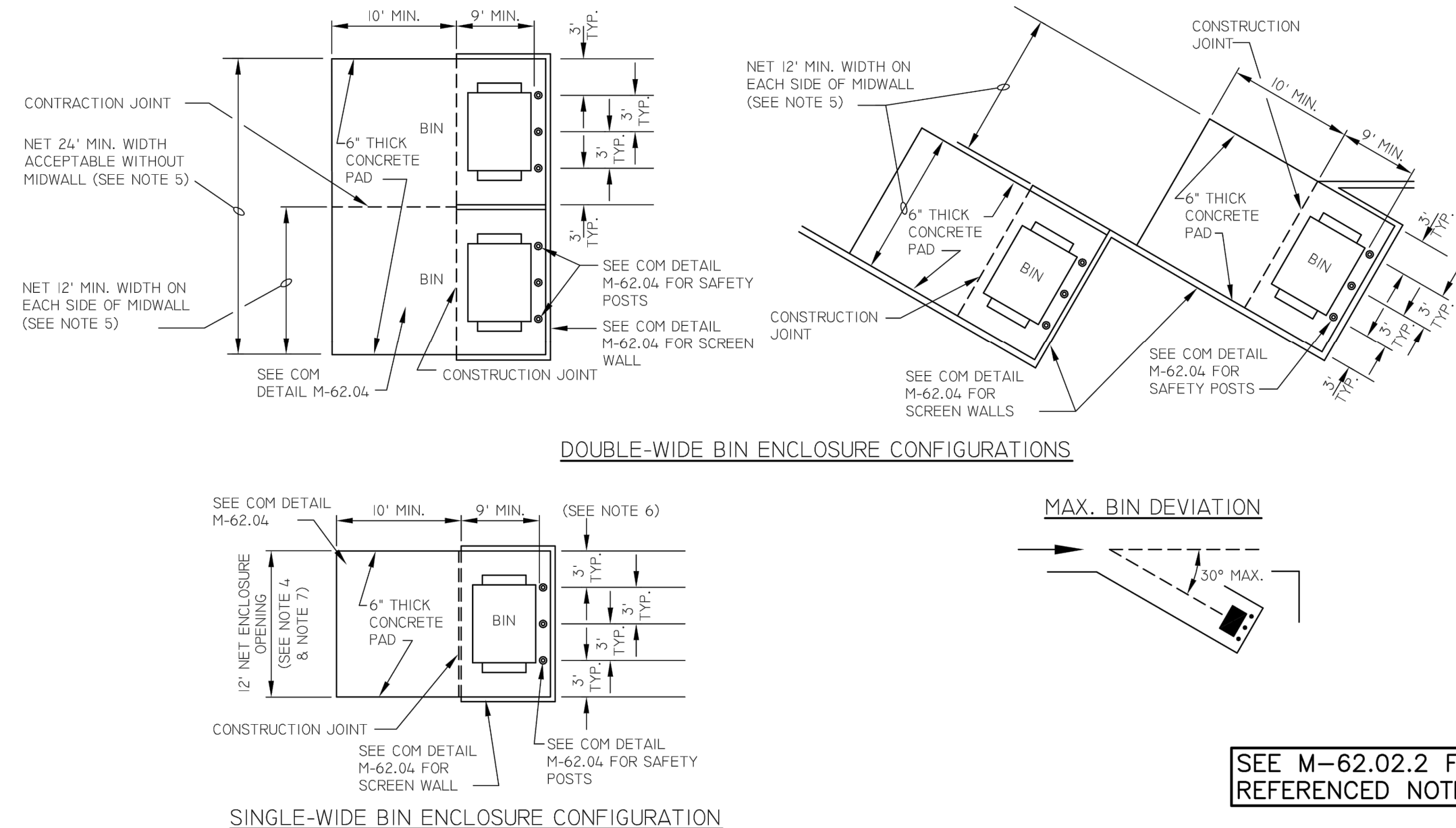
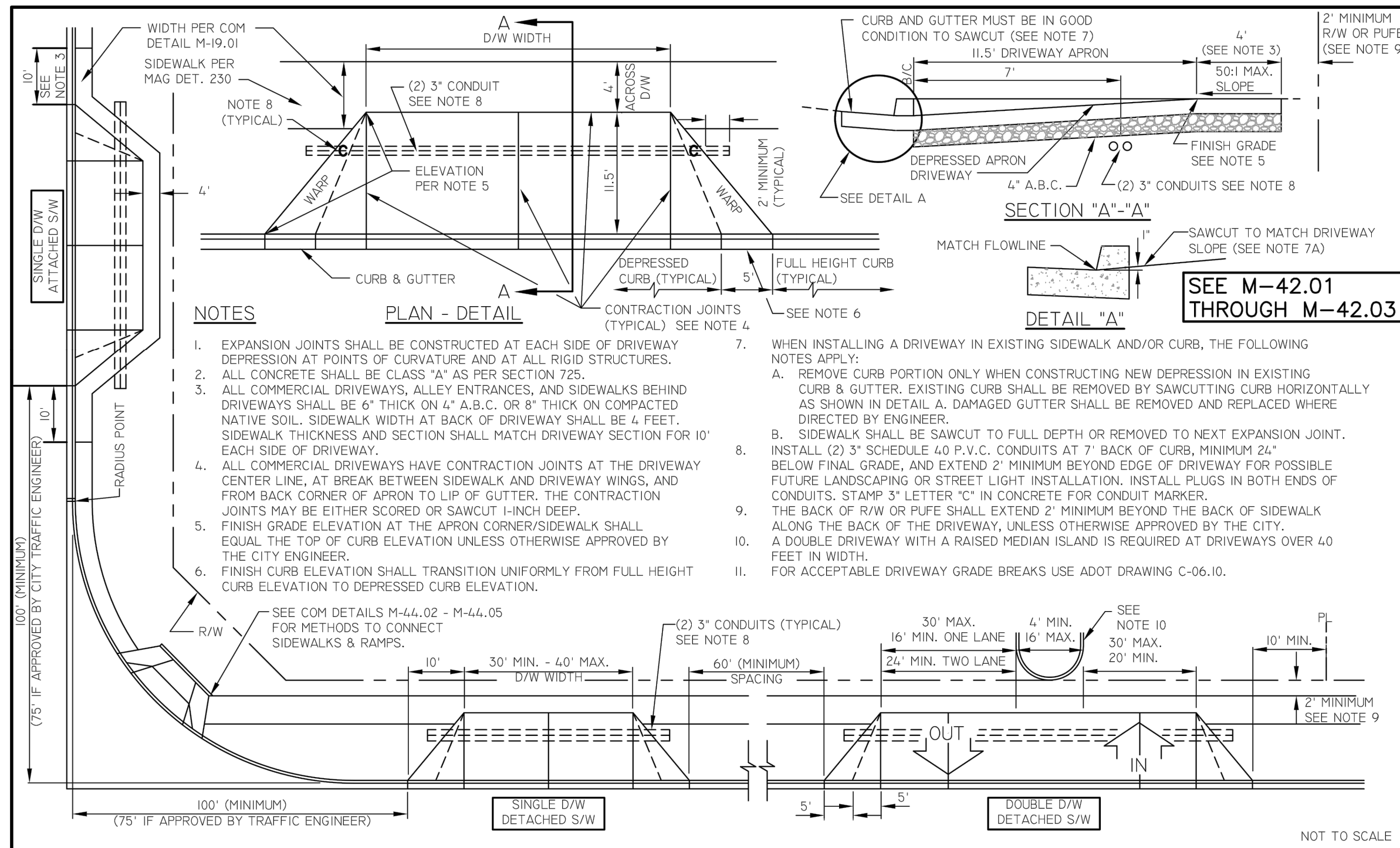
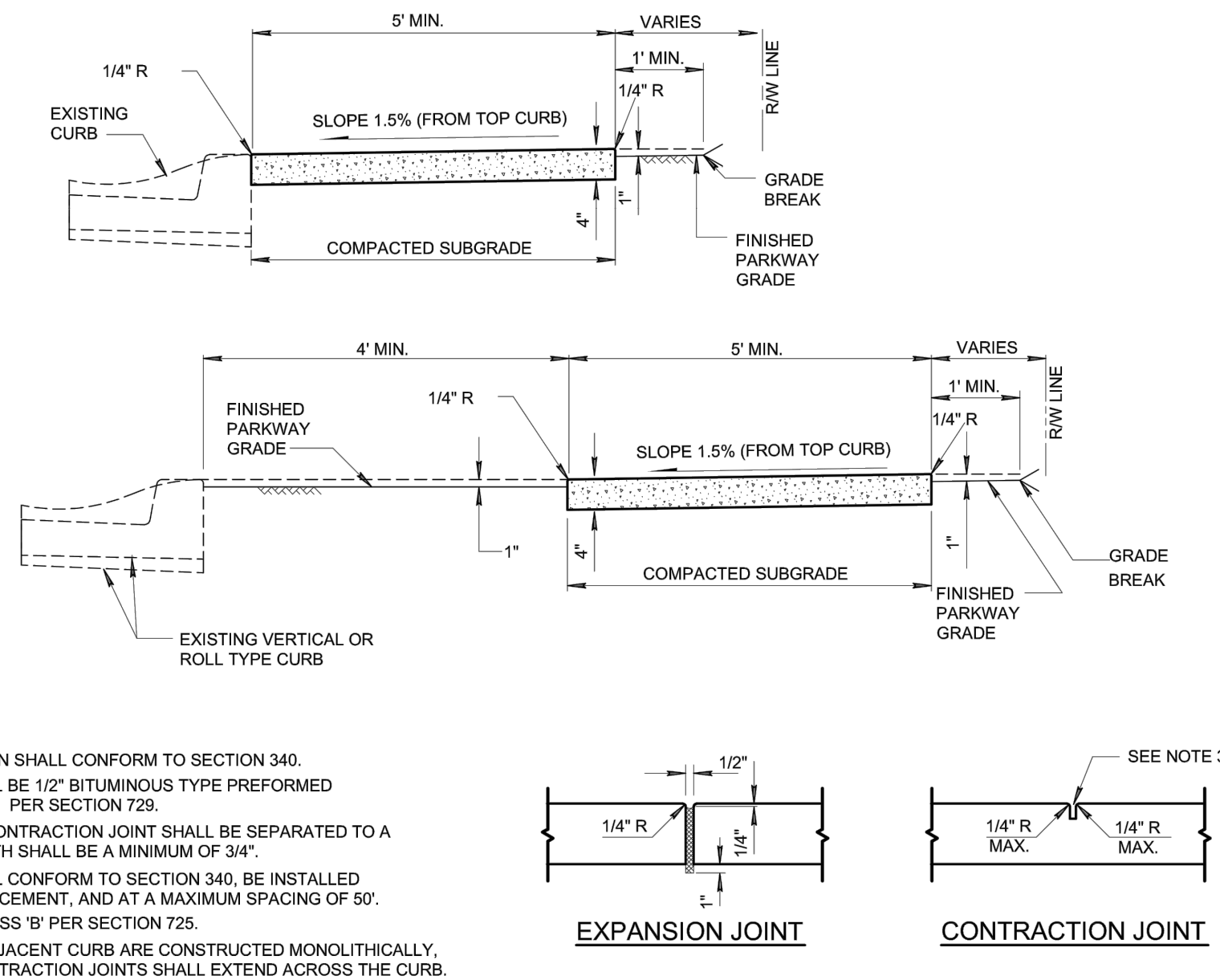
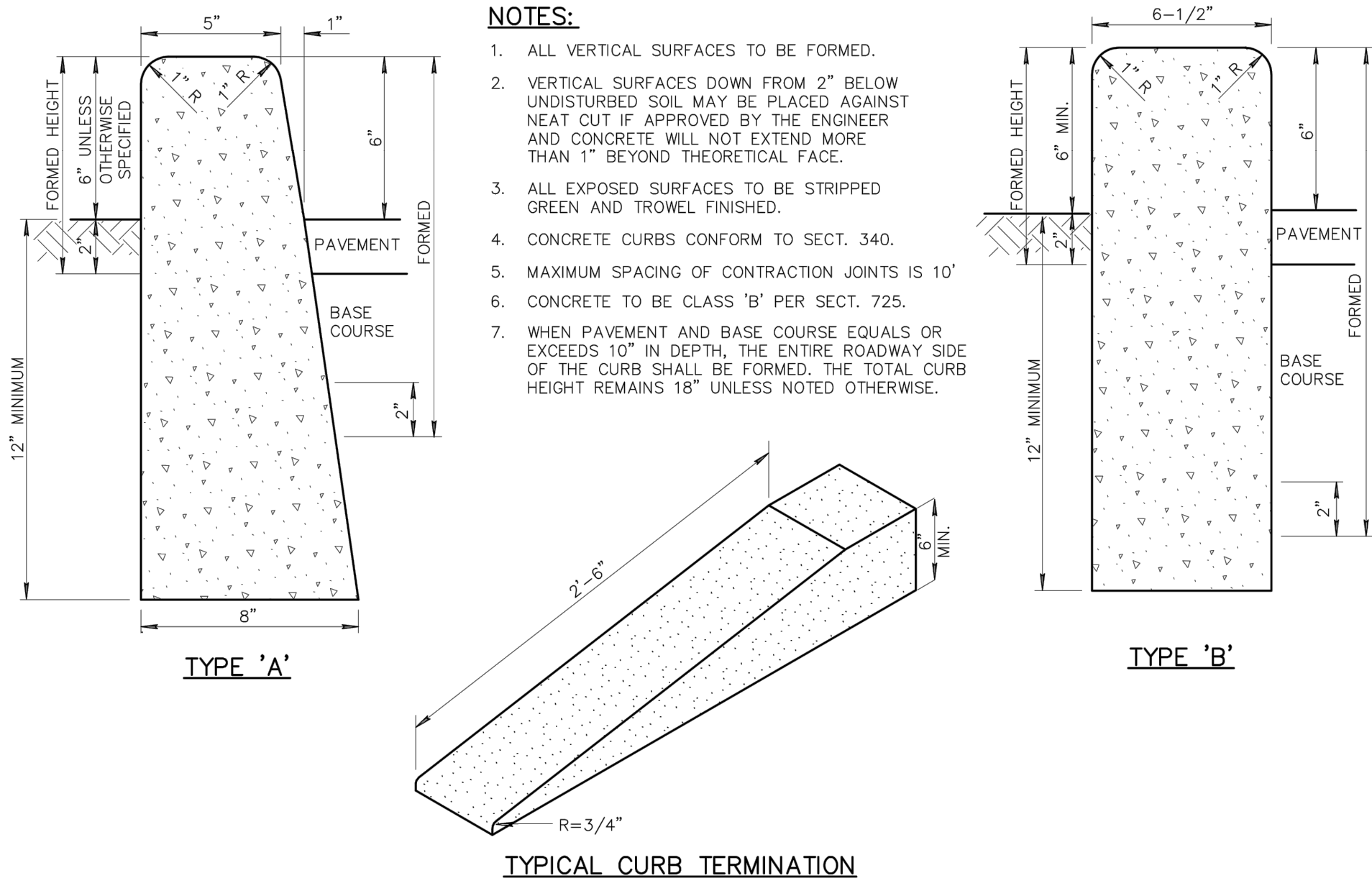

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**BIGELOW OFFICE & WAREHOUSE  
4114 EAST VALLEY AUTO DRIVE  
MESA, AZ 85206**

<div style="text-align: center;"> <h1>GRADING &amp; DRAINAGE PLAN</h1> </div>		DATE:	JUNE 29, 2021	DRAWN BY:	
		DWG SCALE:	1" = 20'	CHECKED BY:	EJP/
		PROJECT NO:			
		APPROVED BY:			
<div style="display: flex; justify-content: space-between;"> <div> DRAWING NO.:  <h2>C-2</h2> </div> <div> SHEET 2 OF 8 </div> </div>					





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**TRICO**  
ENGINEERING, LLC

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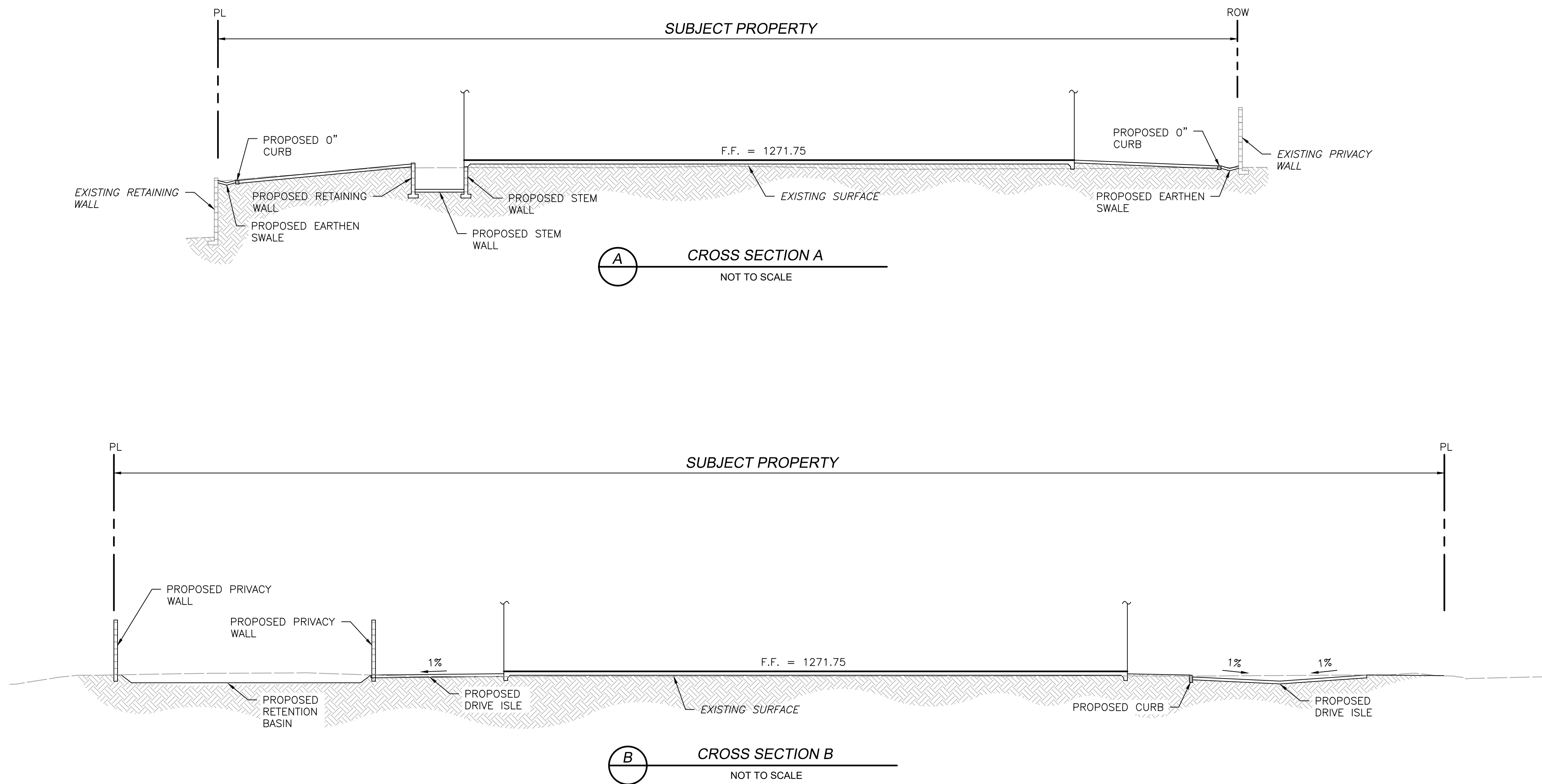
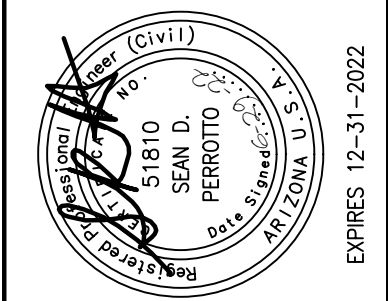
PHOENIX  
28180 N. ALMA SCHOOL  
SCOTTSDALE, AZ 85262

LAKE HAVASU CITY  
231 SWANSON AVENUE, STE. 204  
LAKE HAVASU CITY, AZ 86403  
(928) 236-4965

<b>GRADING &amp; DRAINAGE DETAILS</b>	
DATE: JUNE 29, 2022	DRAWN BY: CCP
DWG SCALE:	N.T.S. CHECKED BY: EJP/SDP
PROJECT NO:	22-0836
APPROVED BY:	SDP

**DRAWING NO.:**  
**C-3**  
**SHEET 3 OF 8**



[illegible]

**TRICO**  
ENGINEERING, LLC

LAKE HAVASI CITY  
331 SWANSON AVENUE, STE. 204  
LAKE HAVASI, AZ 86405  
(928) 236-4969

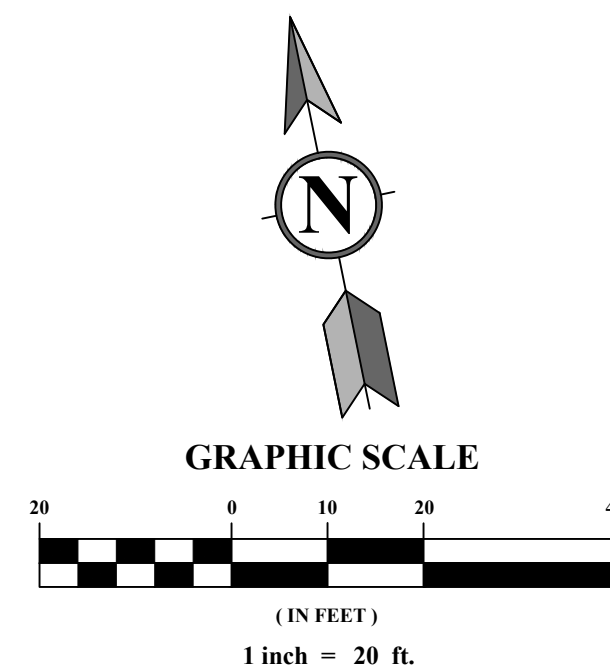
PHOENIX  
28159 N. ALMA SCHOOL  
LAKE HAVASI, AZ 86465  
(928) 236-4562

**BIGELOW OFFICE & WAREHOUSE  
4114 EAST VALLEY AUTO DRIVE  
MESA, AZ 85206**

<div>CROSS SECTIONS</div>					CCP
					EJPSNDP
					22-06
					SDP
DATE:	JUNE 29, 2022	DRAWN BY:			
DWG SCALE:		N.T.S.	CHECKED BY:		
PROJECT NO:					
APPROVED BY:					

**DRAWING NO.:**  
**C-4**  
**SHEET 4 OF 8**


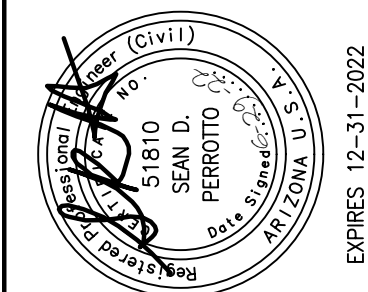




**LEGEND**

—○— PROPOSED SILT FENCE

— — — PROPOSED STRAW WADDLES

[illegible]

**TRICO**  
ENGINEERING, LLC

LAKE HAVASI CITY  
721 SW 1ST AVE, 204  
LAKE HAVASI, AZ 86403  
(928) 236-4069

PHOENIX  
25150 N. SCOTTSDALE  
ROAD, STE 100 #225  
SCOTTSDALE, AZ 85252  
(480) 343-8282

**BIGELOW OFFICE & WAREHOUSE  
4114 EAST VALLEY AUTO DRIVE  
MESA, AZ 85206**

DRAWING NO: <b>C-7</b>		EROSION CONTROL PLAN	
DATE:	JUNE 29, 2021	DRAWN BY:	CCP
DWG SCALE:	1" = 20'	CHECKED BY:	ELJ/SJP
PROJECT NO:	22-036		
APPROVED BY:	SSR		

F:\Trico Engineering LLC\Projects\2022\22-036\_Bigelow Office\CAO\Improvement Plans\22-036\_Erosion Control Plan.dwg LS:(5/26/2022 - ericperratto) - LP: 6/29/2022 11:33 AM



[illegible]



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 2. 1/8" = 1'-0"  
 3. 1/16" = 1'-0"  
 4. 1/32" = 1'-0"  
 5. 1/64" = 1'-0"  
 6. 1/128" = 1'-0"  
 7. 1/256" = 1'-0"  
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 223. 1/269599466687506397946670150870196306736371250797274586470368149504" = 1'-0"  
 224. 1/539198933375012795893340301740392613472742501594549172940736299008" = 1'-0"  
 225. 1/1078397866750025591786680603480785226945485003189098345881472598016" = 1'-0"  
 226. 1/2156795733500051183573361206961570453890970006378196691762945196032" = 1'-0"  
 227. 1/4313591467000102367146722413923140907781940012756393383525890392064" = 1'-0"  
 228. 1/8627182934000204734293444827846281815563880025512786767051780784128" = 1'-0"  
 229. 1/17254365868000409468586889655692563631127760051025573534103561568256" = 1'-0"  
 230. 1/34508731736000818937173779311385127262255520102051147068207123136512" = 1'-0"  
 231. 1/69017463472001637874347558622770254524511040204102294136414246273024" = 1'-



# CITIZEN PARTICIPATION PLAN:

## A: TITLE PAGE:

Office/Warehouse

4114 East Valley Auto Drive  
Mesa, Arizona

Case # ZON22-00593



**B: PARTIES AFFECTED BY APPLICATION:**

Includes all property owners within 1,000' and civic associations within one mile of the subject property.

**C: NOTIFICATION AND INFORMATION PROCEDURES:**

Citizen Outreach:

1. Mailers will be sent out to all property Owners and Civic associations detailing the Site Plan Review request, how to respond, and when public hearings will take place (see attached).
2. Outreach letters will be performed no later than 3 weeks of public hearings.

**D: RESPONSE PROCEDURES:**

1. Citizens responding to mailers:
  - a) A record will be kept of all responses.
  - b) When appropriate applicant will respond to inquiries by phone or email to address any questions or comments.

**E: SCHEDULE OF COMPLETION:**

Schedule is based on timely review by City of Mesa Planning Department and Scheduled hearing dates.

Time is of the essence.

**F: STATUS PROCEDURE:**

Applicant will keep the Planning and Zoning Department staff informed on a regular basis as responses are obtained.

1. Planning & Zoning staff will be provided with a copy of the notification letter, list of citizens and groups within 30 days of application.

Planning & Zoning staff will be provided with Citizen Participation Results Report.





## NEIGHBORHOOD NOTIFICATION LETTER

Dear Neighbor:

This letter is to inform you that we have recently filed a design review application (**ZON22-00593**) for a new Office/Warehouse at 4114 E. Valley Auto Drive.

Our request is for Design Review approval.

City meetings will be announced and published at a later date.

You may attend the City meetings to learn about the case and make your opinions known. Hearing information may also be found on signs posted on the site. You may also make your feelings known on this case by writing to Leslie Davis with the Planning Division, P.O. Box 1466, Mesa, AZ 85211. Leslie Davis may also be reached at (480) 644-4934 or at [leslie.davis@mesaaz.gov](mailto:leslie.davis@mesaaz.gov) and referencing the case number. Your letter will be made a part of the case file.

I would be happy to answer any questions or hear any concerns that you may have regarding this project. You may reach me at (480) 990-2120, or by email at [paul@almondadg.com](mailto:paul@almondadg.com).

Sincerely

A handwritten signature in dark ink, appearing to read "Paul Almond". The signature is fluid and cursive, with the first letter "P" being particularly large and stylized.

Paul Almond  
Project Architect  
Almond ADG Architects

attachment:    Application  
                  Site Plan  
                  Elevations  
                  Floor Plan  
                  Landscape Plan

7330 EAST EARLL DRIVE SUITE A  
SCOTTSDALE, ARIZONA 85251

480-990-2120  
FAX 480-990-2130

ARCHITECTURE    PLANNING    INTERIORS    DESIGN



600ft

-111.733905 33.385282 Degrees



APN	Owner	MAIL_ADDR1	MAIL_CITY	MAIL_STATE	MAIL_ZIP
14066004	UNITED STATES OF AMERICA	10 CAMPUS BLVD	NEWTOWN SQUARE	PA	19073
14066127	HESNEY FAMILY LIVING TRUST	1915 S 39TH ST UNIT 1	MESA	AZ	85206
14066128	YOUNG MICHEAL J	1915 S 39TH ST UNIT 2	MESA	AZ	85206-3813
14066129	ELLIOTT CHARLIE R/VICTORIA P TR	19695 E VIA DEL ORO	QUEEN CREEK	AZ	85242
14066130	BROWN TYLER E/PETER F	1915 S 39TH ST NO 4	MESA	AZ	85206
14066131	MCKENZIE KELLY S	1915 S 39TH ST UNIT 5	MESA	AZ	85206
14066132	KERR DARIN J/TAYLOR	1915 S 39TH ST UNIT 6	MESA	AZ	85206
14066133	PROGRESS RESIDENTIAL BORROWER 5 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261
14066134	PERSON PATRICIA	1915 S 39TH ST NO 8	MESA	AZ	85206
14066135	SCHEIDER KELLY/AGUIRRE-MARTINEZ ANDRES	1915 S 39TH ST UNIT 9	MESA	AZ	85206
14066136	MAVIS-BARNES JUSTIN/BORQUEZ ELIZABETH A	1915 S 39TH ST UNIT 10	MESA	AZ	85206
14066137	CIRA PHYLLIS ANN TR	1915 S 39TH ST NO 11	MESA	AZ	85206
14066138	CAROL A HOYLE TRUST/KAREN E HOYLE TRUST	1915 S 39TH ST UNIT 12	MESA	AZ	85206
14066139	SIMPSON DAVID T/PEGGY NEWELL	1915 S 39TH ST	MESA	AZ	85206
14066140	MILE HIGH BORROWER 1 CORE LLC	PO BOX 4090	SCOTTSDALE	AZ	85261
14066141	VALENZUELA JUSTIN J/ALEJANDRA	1915 S 39TH ST UNIT 15	MESA	AZ	85206-3813
14066142	HJALMARSSON KRISTJAN	1916 S 39TH ST UNIT 16	MESA	AZ	85206
14066143	GONKO LLC	67 S HIGLEY ROAD SUITE 103-225	GILBERT	AZ	85206
14066144	BOISSELLE CALEB	1915 S 39TH ST UNIT 18	MESA	AZ	85206
14066145	SFR INVESTMENTS V BORROWER 1 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261
14066146	JONES JODI L	PO BOX 86143	PHOENIX	AZ	85080
14066147	WHIPPLE KRISTIN K/HENRY KYLE	1915 S 39TH ST UNIT 21	MESA	AZ	85206
14066148	PROGRESS PHOENIX LLC	PO BOX 4090	SCOTTSDALE	AZ	85261
14066149	LETSON ANDREA R	1915 S 39TH ST UNIT 23	MESA	AZ	85206-3814
14066150	ERICKSON JEREMY/LINCOLN LYNNE	1915 S 39TH ST NO 24	MESA	AZ	85206
14066151	COOK MARIA T	1915 S 39TH ST 25	MESA	AZ	85206
14066152	LOFARO MICHAEL	1915 S 39TH ST UNIT 26	MESA	AZ	85234
14066153	ELIZABETH A KLEIN LIVING TRUST	1915 S 39TH ST UNIT 27	MESA	AZ	85206
14066154	SYNERGY RESOURCES LLC	2120 E CATAMARAN DR	GILBERT	AZ	85206
14066155	HUXHOLD LARRY E	1915 S 39TH ST #29	MESA	AZ	85206
14066156	WILCOX JONATHAN/ANDREA	4943 HOLLYHLEN CT	MOORPARK	CA	93021
14066157	RIDDLE NICHOLAS/KLUG ARISSA	1915 S 39TH ST UNIT 31	MESA	AZ	85206
14066158	VALDEZ EDWARD O	1915 S 39TH ST 32	MESA	AZ	85206
14066159	DONNELLY PROPERTIES LLC	1604 CORTE ORCHIDIA	CARLSBAD	CA	92011
14066160	RUESGA MORGAN R/SCHERMANN MICHELLE M	1915 S 39TH ST UNIT 34	MESA	AZ	85206
14066161	LORONA DAVID	1915 S 39TH ST NO 35	MESA	AZ	85206
14066162	AZIMUTH PROPERTY I LLC	2023 E UNIVERSITY STE 3	TEMPE	AZ	85281

14066163 THORNTON ZACHARY	1915 S 39TH ST UNIT 37	MESA	AZ	85206
14066164 LEE JULIE	1915 S 39TH ST NO 38	MESA	AZ	85206
14066165 JLO FAMILY LIMITED LIABILITY LIMITED PARTNERSHIP L	3674 E VAUGHN AVE	GILBERT	AZ	85234
14066166 BADGETT KATRINA	1915 S 39TH ST UNIT 40	MESA	AZ	85206
14066167 FAIRCLOUGH CAROLINE	1915 S 39TH ST UNIT 41	MESA	AZ	85206
14066168 HASKILL CORY/JANETTE A	4221 E RAY RD UNIT 2037	PHOENIX	AZ	85044
14066169 DURAN MANUEL TREVIZO/HUEY ALYSE	1915 S 39TH ST UNIT 43	MESA	AZ	85206
14066170 LOKE DANIEL J	1915 S 39TH ST 44	MESA	AZ	85206
14066171 JMB MANAGEMENT LLC	2601 E THOMAS RD NO 117	PHOENIX	AZ	85016
14066172 GAYTAN BERTHA	1915 S 39TH ST UNIT 46	MESA	AZ	85206-3815
14066173 GAZA MICHELLE/RUCKMAN MICHAEL	1915 S 39TH ST UNIT 47	MESA	AZ	85206-3816
14066174 MCQUADE JOAN E	1915 S 39TH ST #48	MESA	AZ	85206
14066175 SMITH CHRISTOPHER	10812 E ELMWOOD ST	MESA	AZ	85206
14066176 TALEGHANI KOOROSH AZIMI TR	1915 S 39TH ST NO 50	MESA	AZ	85207
14066177 COUTURE MICHELLE BRIANNE/MICHAEL/MARY	1915 S 39TH ST UNIT 51	MESA	AZ	85206
14066178 JACKSON MICHELLE	1915 S 39TH ST UNIT 52	MESA	AZ	85206
14066179 MASON STEVEN ANDREW	1915 S 39TH ST UNIT 53	MESA	AZ	85206
14066180 FENECK MARY K	1915 S 39TH ST UNIT 54	MESA	AZ	85206
14066181 MOORE DALLAS	1915 S 39TH ST	MESA	AZ	85206
14066182 SALAIS GUADALUPE DEL PARDO	1915 S 39TH ST UNIT 56	MESA	AZ	85206
14066183 STRIHARSKY WILLIAM H/LINDA L	1915 S 39TH ST	MESA	AZ	85206
14066184 ANTHONY AND KAREN STEPPER FAMILY TRUST	230 BURLEIGH PL	DANVILLE	CA	94526
14066185 LUX STACY	1915 S 39TH ST UNIT 59	MESA	AZ	85206
14066186 VILLANUEVA PROSPERO/CARMEN	1915 S 39TH ST 60	MESA	AZ	85206
14066187 RESPLENDENT LLC	110 S MESA DR STE 1	MESA	AZ	85210
14066188 PALMER RODNEY J/MIA	2088 E PARK AVE	GILBERT	AZ	85234
14066189 WILKINS LINDSEY R	1915 S 39TH ST NO 63	MESA	AZ	85206
14066190 ARNOLD DEVANTE R/BAILEY STOKES	4033 S GALAXY LN	MESA	AZ	85212
14066191 WEBER MICHELLE/TIMOTHY J	1915 S 39TH ST UNIT 65	MESA	AZ	85206
14066192 DREAMZ DALLAS	1915 S 39TH ST UNIT 66	MESA	AZ	85206-3817
14066193 HERBERGER CHRISTY A	1915 S 39TH ST UNIT 67	MESA	AZ	85206
14066194 BELANDRIA JAIRO VALERO/VALERO ANISDAY DE	1915 S 39TH ST UNIT 68	MESA	AZ	85206
14066195 LOVATO CATHERINE E	1915 S 39TH ST UNIT 69	MESA	AZ	85206
14066196 ASA FAMILY LIVING TRUST	1134 W PENINSULA DR	GILBERT	AZ	85233
14066197 IDA VIRGINIA CASILLAS LIVING TRUST	1915 S 39TH ST UNIT 71	MESA	AZ	85206
14066198 2017-2 IH BORROWER LP	1717 MAIN ST STE 2000	DALLAS	TX	75201
14066199 B A L B TRUST/SHEIK CARMELA LEA	1150 S 9TH AVE	YUMA	AZ	85364
14066200 TLAMAYANCO-CASTRO DANIEL	1915 S 39TH ST UNIT 74	MESA	AZ	85206



14066201	ANTHONY AND KAREN STEPPER FAMILY TRUST	230 BURLEIGH PL	DANVILLE	CA	94526
14066202	DEAR STEPHEN	19615 S 39TH ST UNIT 76	MESA	AZ	85206
14066203	JAMIESON TROY/CONNIE	226 RICHWOOD DR	SOMERSET	KY	42503
14066204	HUNEMULLER SARA ANN	1915 S 39TH ST UNIT 78	MESA	AZ	85206
14066205	WHITSON LAURA	1915 S 39TH ST NO 79	MESA	AZ	85206
14066206	PAEZ LAURA LYNN ALONSO/NOAKES KIMBERLY DAWN/	2107 POINT MORADA AVE	NORTH LAS VEGAS	NV	89031
14066207	WALKER LAURASIA/DAVID	1915 S 39TH ST NO 81	MESA	AZ	85208
14066208	ABRAMS JOSEPHINE T	1915 S 39TH ST UNIT 82	MESA	AZ	85206
14066209	MUSIC SINISA/IVANKA	1915 S 39TH ST 83	MESA	AZ	85206
14066210	LACEY MICHELLE L	1915 S 39TH ST UNIT 84	MESA	AZ	85206-3818
14066211	DIAZ JESUS A	1915 S 39TH ST UNIT 85	MESA	AZ	85206
14066212	SHANLEY MARGARET A	1915 S 39TH ST NO 86	PHOENIX	AZ	85206
14066213	PAULINE JO LOGAN SURVIVORS TRUST	2106 ROCKEFELLER LN UNIT C	REDONDO BEACH	CA	90278
14066214	MARTINEZ MONICA	1915 S 39TH ST UNIT 88	MESA	AZ	85206
14066215	WEBER CODY N	1915 S 39TH ST UNIT 89	MESA	AZ	85206
14066216	NERENBERG KYLE L	1915 S 39TH ST UNIT 90	MESA	AZ	85206
14066217	SPECHT JILL	1915 S 39TH ST UNIT 91	MESA	AZ	85206
14066218	HUEMMER JAMES T/KIRK ROBYN ISABEL	31 JOYNT ST	HAMILTON	AZ	85206-3818
14066219	HULL SAVANNAH	7930 E PALM LN	SCOTTSDALE	AZ	QLD 4-007
14066220	SCHRANZ AUSTIN	1915 S 39TH ST UNIT 94	MESA	AZ	85257
14066221	TOMCHECK KAY LYNN	1915 S 39TH ST #95	MESA	AZ	85206-3819
14066222	BOWERSOCK JESSICA LAUREN/ARAGON-SIERRA JORGE	1915 S 39TH ST UNIT 96	MESA	AZ	85205
14066223	IHG PROPERTY PHOENIX LP	8665 E HARTFORD DR STE 200	SCOTTSDALE	AZ	85206
14066224	TAH 2018-1 BORROWER LLC	1508 BROOKHOLLOW DR	SANTA ANA	AZ	85255
14066225	BE RIEL TRUST	2791 BARITE DR	LAKE HAVASU CITY	CA	92705
14066226	HITE NANCY J	1915 S 39TH ST UNIT 100	MESA	AZ	86404
14066227	RODRIGUEZ ROBERTO G/MCMMASTER MEGAN	1915 S 39TH ST UNIT 101	MESA	AZ	85206
14066228	MELENDEZ VIVIAN	1915 S 39TH ST UNIT 102	MESA	AZ	85206
14066229	YAMASA CO LTD	PO BOX 4090	SCOTTSDALE	AZ	85206
14066230	RANDLE E DUKES JR TRUST	105 LANGLY CT,	MADISON	AZ	85261
14066231	FISHER TRUST IN JIRAH	2840 FLETCHER PARKWAY UNIT 241	EL CAJON	AL	35758
14066232	BEHRENS CHRISTOPHER S	741 N GRANITE ST	GILBERT	CA	92020
14066233	LOPEZ MARIA CHRISTINA	1915 S 39TH ST UNIT 107	MESA	AZ	85234
14066234	ZABA ZANIELLE ANN	1915 S 39TH ST UNIT 108	MESA	AZ	85208
14066235	PINERES-HERMAN LUCY A	1915 S 39TH ST UNIT 109	MESA	AZ	85206
14066236	CUYLER JOSHUA/MARIAH	1915 S 39TH ST UNIT 110	MESA	AZ	85206
14066237	YAMASA CO LTD	PO BOX 4090	SCOTTSDALE	AZ	85206
14066238	REISENAUER EDWARD F/BONNIE J	1915 S 39TH ST 112	MESA	AZ	85261

14066239	STRATTON MICHELLE/TYSON KENT	780 E SEATTLE SLEW LN	GILBERT	AZ	85296
14066240	BROWN WILLIAM A/WENDY I	1706 E OAK HARBOR DR	GILBERT	AZ	85234
14066241	DAY CRAIG MICHAEL/AMANDA MARIE	1915 S 39TH ST UNIT 115	MESA	AZ	85206
14066242	HOLLANDER MEGAN/DILLON	1915 S 39TH ST UNIT 116	MESA	AZ	85206
14066243	HIGGINS ANGELA	1915 S 39TH ST UNIT 117	MESA	AZ	85206
14066244	DOMAGALSKI SEAN J	1915 S 39TH ST NO 118	MESA	AZ	85206
14066245	NIEVES DANIEL	1915 S 39TH ST UNIT 119	MESA	AZ	85206
14066246	KREDLO ANGELA C	1915 S 39TH ST UNIT 120	MESA	AZ	85206
14066247	DRAKE MITCHELL A/TOBER ROBYN	1915 S 39TH ST UNIT 121	MESA	AZ	85206
14066248	MOHSIN MARYUM/PERWEZ	1915 S 39TH ST UNIT 122	MESA	AZ	85206
14066249	THOMPSON DAVID E/KRISTA L	1915 S 39TH ST UNIT 123	MESA	AZ	85206
14066257	VISTA VILLAGES INC	7255 E HAMPTON AVE STE 101	MESA	AZ	85209
14066258A	VISTA VILLAGES INC	7255 E HAMPTON AVE	MESA	AZ	85209
14066259	VISTA VILLAGES INC	7255 E HAMPTON AVE	MESA	AZ	85209
14066260	VISTA VILLAGES INC	7255 E HAMPTON AVE	MESA	AZ	85209
14066261	VISTA VILLAGES INC	7255 E HAMPTON AVE	MESA	AZ	85209
14066262	VISTA VILLAGES INC	7255 E HAMPTON AVE	MESA	AZ	85209
14066269	SZETO KAKEUNG	2554 HARTFORD ST	MESA	AZ	85209
14066270	BROCK URSULA	3313 N 68TH ST UNIT 206	SAN DIEGO	CA	92110
14066359	BREITER BARBARA A	1822 S 39TH ST #97	SCOTTSDALE	AZ	85251
14066377	ORLANDO PETER C/ROBERTA L TR	716 W MOORE AVE	MESA	AZ	85206
14066378	RIVERA DORETHA	1822 S 39TH ST UNIT 116	GILBERT	AZ	85233
14066379	JULIE M ADAIR FAMILY TRUST	550 W BASELINE RD UNIT 102-165	MESA	AZ	85206
14066380	GRAFF ROBYN DEE	1822 S 39TH ST UNIT 118	MESA	AZ	85210
14066393	HARRISON DEOMIA	1915 S 39TH ST UNIT 124	MESA	AZ	85206
14066394	HOLCOMB BRIAN/JANE	1915 S 39TH ST NO 125	MESA	AZ	85206
14066395	THR PHOENIX LP	8665 E HARTFORD DR STE 200	SCOTTSDALE	AZ	85206
14066396	RH PARTNERS OWNERCO LLC	5001 PLAZA ON THE LAKE SUITE 200	AUSTIN	AZ	85255
14066397	CINCOTTA JESSICA J/DAMIAN J	1915 S 39TH ST NO 128	MESA	TX	78746
14066398	WARGIN SUSAN A	1915 S 39TH ST NO 129	MESA	AZ	85206
14066399	LIMA ENRIQUE/AUDELO DORIS NELLY	1915 S 39TH ST UNIT 130	MESA	AZ	85206
14066400	JONES JEREMY	1704 S 39TH ST NO 1	MESA	AZ	85206
14066401	CERECERES PATRICIA D	1704 S 39TH ST NO 2	MESA	AZ	85206
14066402	DANNY AND MARY GEURTZ FAMILY TRUST	1704 S 39TH ST UNIT 3	MESA	AZ	85206
14066403	PROGRESS RESIDENTIAL BORROWER 16 LLC	PO BOX 4090	SCOTTSDALE	AZ	85206
14066420	YATSKA JEAN	9039 E ASTEE DR	SCOTTSDALE	AZ	85261
14066421	BAUER ASHLEIGH NICOLE	1704 S 39TH ST UNIT 22	SCOTTSDALE	AZ	85260
14066447	JESPERSON JILL	1704 S 39TH ST UNIT 48	MESA	AZ	85206



14066448	ABDELHAQ FAMILY TRUST	1704 S 39TH ST UNIT 49	MESA	AZ	85206
14066449	SCIORTINO DAVID ANTHONY JOSEPH	1704 S 39TH ST 50	MESA	AZ	85206
14066450	GEORGES THOMAS J/JENNIFER D	1704 S 39TH ST NO 51	MESA	AZ	85206
14066451	POLK CAMERON M/HOWARD A/GERALYN A	14682 THOR RUN DR	FISHERS	IN	46040
14066452	CONCORD PLACE HOMEOWNERS ASSOC INC	7500 N DOBSON RD STE 150	SCOTTSDALE	AZ	85256
14066453	CONCORD PLACE HOMEOWNERS ASSOC INC	7500 N DOBSON RD STE 150	SCOTTSDALE	AZ	85256
14066455	CONCORD PLACE HOMEOWNERS ASSOC INC	7500 N DOBSON RD STE 150	SCOTTSDALE	AZ	85256
14066456	CONCORD PLACE HOMEOWNERS ASSOC INC	7500 N DOBSON RD STE 150	SCOTTSDALE	AZ	85256
14066457	CONCORD PLACE HOMEOWNERS ASSOC INC	7500 N DOBSON RD STE 150	SCOTTSDALE	AZ	85256
14066523	CVHA HOMEOWNERS ASSOCIATION INC	1822 S 39TH ST NO 54	MESA	AZ	85206
14066524	FELIPE D J JIMENEZ AND MARLEN S D JIMENEZ TR	1811 S 39TH ST UNIT 1	MESA	AZ	85206
14066525	VEGA FRANCISCA	1811 S 39TH ST UNIT 2	MESA	AZ	85206
14066526	PROGRESS RESIDENTIAL BORROWER 5 LLC	PO BOX 4090	SCOTTSDALE	AZ	85206
14066527	CARON JO-MARIE/STEPHENS TODD R/TAMMARA K	321 E ORAIBI DR	PHOENIX	AZ	85261
14066528	JOHNSTONE FAMILY TRUST	3706 EFFINGHAM PL	LOS ANGELES	AZ	85024
14066529	HODGES JANYLE E	PO BOX 8074	MESA	CA	90027
14066530	BOYD GUY	1811 S 39TH ST UNIT 7	MESA	AZ	85214
14066531	SAVOIA MICHAEL	1811 S 39TH ST UNIT 8	MESA	AZ	85206
14066532	SCHULZ MARGARET	1811 S 39TH ST	MESA	AZ	85206
14066533	WARD MICHAEL L & SHARON S	1811 S 39TH ST #10	MESA	AZ	85206
14066534	WILLOW CASEY/JAMES	1811 S 39TH ST NO 11	MESA	AZ	85206
14066535	GALLARDO BLANCA SALDANA	1811 S 39TH ST UNIT 12	MESA	AZ	85206
14066536	HUNN DAVID R J	1303 RIVERSIDE AVE UNIT 29	PROVO	AZ	85206-3835
14066537	YAMASA CO LTD	PO BOX 9040	SCOTTSDALE	UT	84604
14066538	MORGAN JOSHUA I/VALDEZ-CALVILLO JESUS/VALDEZ R	1811 S 39TH ST UNIT 15	MESA	AZ	85261
14066539	RS XII NM PHOENIX OWNER 1 LP	717 N HARWOOD ST STE 2800	DALLAS	AZ	85206
14066540	SEARLS CHAD L/KATHERINE L	1811 S 39TH ST UNIT 17	MESA	TX	75201
14066541	GONZALEZ ANGELICA	1811 S 39TH ST UNIT 18	MESA	AZ	85206-3836
14066542	PARKS CHLOE MARIE/BUSH EVAN TYLER	1811 S 39TH ST UNIT 19	MESA	AZ	85206
14066543	ALIRE JAMES JOSEPH	1811 S 39TH ST UNIT 20	MESA	AZ	85206
14066544	SHERWOOD BENJAMIN J/JACQUELINE	PO BOX 20335	MESA	AZ	85277
14066545	SCOTT SPECULATIONS LLC	16365 SW COPPER CREEK DR	TIGARD	OR	97224
14066546	VOSHALL FAMILY REVOCABLE TRUST	22156 ROMAR ST	CHATSWORTH	CA	91311
14066547	KINGERY SHELLEY KEATS BYRON	1811 S 39TH ST 24	MESA	AZ	85206
14066548	NIKKEL SETH/CARIELLO AMY E	1811 S 39TH ST UNIT 25	MESA	AZ	85206
14066549	MITCHELL ALEXANDER D	1811 S 39TH ST UNIT 26	MESA	AZ	85206
14066550	CORRAL RANDY/TINA	282 E PHELPS ST	GILBERT	AZ	85295
14066551	VAZQUEZ ESPINOZA ROSA MARIA/CARDENAS RAMOS C	1811 S 39TH ST UNIT 28	MESA	AZ	85206

14066552	HORVATH ANTAL/ZSOFIA TR	1842 E EMERSON	MESA	AZ	85210
14066553	HIBISCUS EQUITY LLC	929 N VAL VISTA DR C109	GILBERT	AZ	85234
14066554	WEI YUEXIAN	1811 S 39TH ST UNIT 31	MESA	AZ	85206
14066555	BATEMAN BENIGNA A	1811 S 39TH ST UNIT 32	MESA	AZ	85206
14066556	SEVEN POINTS BORROWER LLC	810 7TH AVE FL 24	NEW YORK	NY	10019
14066557	JR WHITTAKER FAMILY TRUST	1811 S 39TH ST NO 34	MESA	AZ	85206
14066558	LAYSER MICHAEL L/LY NICOLE	1811 S 39TH ST UNIT 26	MESA	AZ	85206
14066559	GARRETSON JASON T/DOUGLAS NICOLE A	1811 S 39TH ST UNIT 36	MESA	AZ	85206
14066560	LAMIA SCOTT	16511 ROBINSON RD	SNOOMISH	WA	98296
14066561	LOSCHIEDER COLIN/YANELI	1811 S 39TH ST UNIT 38	MESA	AZ	85206-3837
14066562	2018-3 IH BORROWER LP	1717 MAIN ST SUITE 2000	DALLAS	TX	85201
14066563	TRAMMELL TANJA	1811 S 39TH ST UNIT 40	MESA	AZ	85206
14066564	CLYBURN JEFFREY T/EVELYN M	1811 S 39TH ST UNIT 41	MESA	AZ	85206-3837
14066565	SHAVER ERIN ELIZABETH	1811 S 39TH ST NO 42	MESA	AZ	85206
14066566	FLAHART JULIE ANN	1811 S 39TH ST #43	MESA	AZ	85206
14066567	BROWN WILLIAM A/WENDY I	1706 E OAK HARBOR DR	GILBERT	AZ	85206
14066568	FOSHEE ROBYN LYN	1811 S 39TH ST UNIT 45	MESA	AZ	85234
14066569	KENNEY KEVIN P/DENISE TR	1811 S 39TH ST UNIT 46	MESA	AZ	85206
14066575	HARDER SARAH/JASON	1811 S 39TH ST	MESA	AZ	85206
14066576	MONTGOMERY BRUCE/LORI	1811 S 39TH ST UNIT 53	MESA	AZ	85206
14066613	BAXTER ROBERT/VESELY JENNIFER	1811 S 39TH ST UNIT 90	MESA	AZ	85206
14066614	SPEER CINDY	1811 S 39TH ST UNIT 91	MESA	AZ	85206
14066615	SALAZAR LIBERTY B/SAMUEL B	4430 A ALLESANDRO CT	GILBERT	AZ	85206
14066616	TOVAR PABLO	10113 W ILLINO ST	TOLLESON	AZ	85297
14066617	TELLEZ EMILEE	1811 S 39TH ST UNIT 94	MESA	AZ	85353
14066618	JEFFREY S GUY TRUST	1811 S 39TH ST UNIT 95	MESA	AZ	85206
14066619	RAY ALICE H	1811 S 39TH ST #96	MESA	AZ	85206
14066620	JACOB GEORGE K/KIRTIKAR VIDULA TR	41370 CARMEN ST	FREMONT	AZ	85205
14066621	ROCCO WILLIAM C/GENA A	1811 SOUTH 39TH STREET	MESA	CA	94539
14066622	FRISCHE DEREK	PMB 116	MESA	AZ	85206
14066623	PIERCE ASHLEY/RYAN	1811 S 39TH ST UNIT 100	MESA	AZ	85201
14066624	J AND B BEAR PROPERTIES 3 LLC	1700 E LAKESIDE DR UNIT 34	GILBERT	AZ	85206
14066625	VISTA VILLAGES UNIT TWO HOMEOWNERS ASSN	7255 E HAMPTON AVE STE 101	MESA	AZ	85234
14066626	VISTA VILLAGES UNIT TWO HOMEOWNERS ASSN	7255 E HAMPTON AVE STE 101	MESA	AZ	85209
14066627	VISTA VILLAGES UNIT TWO HOMEOWNERS ASSN	7255 E HAMPTON AVE STE 101	MESA	AZ	85209
14066628	VISTA VILLAGES UNIT TWO HOMEOWNERS ASSN	7255 E HAMPTON AVE STE 101	MESA	AZ	85209
14066629	VISTA VILLAGES UNIT TWO HOMEOWNERS ASSN	7255 E HAMPTON AVE STE 101	MESA	AZ	85209
14066631	HIRATA RIEKO TR	1822 S 39TH ST NO 4	MESA	AZ	85209



14066632	DANIEL LUCAS/SIMPSON CYDNI	1168 W TREMAINE AVE	GILBERT	AZ	85233
14066633	PERALTA ANTHONY R	1822 S 39TH ST UNIT 6	MESA	AZ	85206
14066662	MIDNIGHT BLUE SKY LLC	11041 WOLFF WAY	WESTMINISTER	CO	80031
14066663	AFFRUNTI ELAINE A	1822 S 39TH ST 48	MESA	AZ	85206
14066664	SFR ACQUISITIONS 1 LLC	6500 INTERNATIONAL PKWY	PLANO	TX	75093
14066665	LANG KARA A	1822 S 39TH ST	MESA	AZ	85206
14066674	HERNANDEZ BRANDO	1822 S 39TH ST UNIT 108	MESA	AZ	85206
14066675	GIMENEZ NORMAN	650 E HOUSTON AVE	GILBERT	AZ	85234
14066676	WALKER BRENT D	1822 S 39TH ST 114	MESA	AZ	85206
14066677	JULIAN JEFFRY/MISTY	1822 S 39TH ST UNIT 119	MESA	AZ	85206
14066678	2018-1 1H BORROWER LP	8665 E HARTFORD DR STE 200	SCOTTSDALE	AZ	85255
14066679	IH6 PROPERTY PHOENIX L P	1822 S 39TH ST UNIT 121	MESA	AZ	85206
14066680	DANIEL JACK E/SHANE B	1822 S 39TH ST #122	MESA	AZ	85206
14066681	WAGNER TIMOTHY M/TERESA R	1822 S 39TH ST NO 123	MESA	AZ	85206
14066682	CVHA HOMEOWNERS ASSOCIATION INC	1822 S 39TH ST NO 54	MESA	AZ	85206
14066683	CVHA HOMEOWNERS ASSOCIATION INC	1822 S 39TH ST NO 54	MESA	AZ	85206
14066857	VAL VISTA PROFESSIONAL PARK ASSOCIATION INC	1855 E SOUTHERN AVE #106	MESA	AZ	85204
14067009E	BIGELOW BRADLEY/JAMIE	4838 E BASELINE RD SUITE 128	MESA	AZ	85206
14067009F	COX COMMUNICATIONS ARIZONA LLC	1400 LAKE HEARN DR	ATLANTA	AZ	30319
14067010A	MESA COLLISION INC	200 SW FIRST AVE 14TH FL	FT LAUDERDALE	FL	33301
14067010E	AAA ARIZONA INC	P O BOX 10810	PHOENIX	AZ	85064
14067017	ARIZONA STATE OF DEPARTMENT OF TRANSPORTATION	205 S 17TH AVE	PHOENIX	AZ	85007-3212
14067018E	LAKEVIEW4 LLC	5400 CARILLON POINT 4TH FL	KIRKLAND	WA	98032
14067018C	34975 N NORTH VALLEY PKW LLC/4115 E VALLEY AUTO	2323 W UNIVERSITY DR	TEMPE	AZ	85281
14067020	AGARWAL RAJ K	256 3RD ST	NIAGRA FALLS	NY	14303
14067023E	SPIRIT MASTER FUNDING X LLC	1600 E PLANO PKWY	PLANO	TX	75074
14067024	STENEHJEM HOLDINGS LLC	PO BOX 607	WATFORD CITY	ND	58854
14067025	A BROADER APPROACH LLC	2451 E BASELINE RD STE 420	GILBERT	AZ	85234
14067026	A BROADER APPROACH LLC	2451 E BASELINE RD STE 420	GILBERT	AZ	85234
14067027	A BROADER APPROACH LLC	2451 E BASELINE RD STE 420	GILBERT	AZ	85234
14067028	A BROADER APPROACH LLC	2451 E BASELINE RD STE 420	GILBERT	AZ	85234
14067029	A BROADER APPROACH LLC	2451 E BASELINE RD STE 420	GILBERT	AZ	85234
14067030	A BROADER APPROACH LLC	2451 E BASELINE RD STE 420	GILBERT	AZ	85234
14067031	A BROADER APPROACH LLC	2451 E BASELINE RD STE 420	GILBERT	AZ	85234
14067032	BODY & SOUL MESSAGE AND WELLNESS CENTER	3749 W WHITE CANYON RD	QUEEN CREEK	AZ	85142
14067033	ADVANCED SPINE & REHAB	4121 E VALLEY AUTO DR NO 110	MESA	AZ	85201
14067034	ADVANCED SPINE & REHAB	4121 E VALLEY AUTO DR NO 110	MESA	AZ	85201
14067035	ADVANCED SPINE & REHAB	4121 E VALLEY AUTO DR NO 110	MESA	AZ	85201

14067036	ADVANCED SPINE & REHAB	4121 E VALLEY AUTO DR NO 110	MESA	AZ	85201
14067037	J&D COMMERCIAL PROPERTIES LLC	4121 E VALLEY AUTO DR 122	MESA	AZ	85206
14067038	VALLEY AUTO DRIVE PROPERTY LLC	6870 S HIGHWAY 95 STE 243	MOHAVE VALLEY	AZ	86440-8964
14067039	PICKRON ENTERPRISES LLC	433 E RAWHIDE	GILBERT	AZ	85296
14067040	PICKRON ENTERPRISES LLC	433 E RAWHIDE	GILBERT	AZ	85296
14067041	PICKRON ENTERPRISES LLC	433 E RAWHIDE	GILBERT	AZ	85296
14067042	MICON OFFICE CONDOMINIUMS L L C	1826 N SUNDIAL	MESA	AZ	85205
14067049	INLAND KENWORTH INC	2482 DOUGLAS RD	BURNABY	BC	V5C6C9
14067051	WALMART STORES INC	1301 S E 10TH ST	BENTONVILLE	AR	72716
14067055	AMJO LLC/AMY JO GOTTFURCHT 1999 IRREV TRUST	6642 N PRAYING MONK RD	PARADISE VALLEY	AZ	85253
14067056	AMJO LLC/AMY JO GOTTFURCHT 1999 IRREV TRUST	6642 N PRAYING MONK RD	PARADISE VALLEY	AZ	85253
14067057	AMJO LLC/AMY JO GOTTFURCHT 1999 IRREV TRUST	6642 N PRAYING MONK RD	PARADISE VALLEY	AZ	85253
14067058	AMJO LLC/AMY JO GOTTFURCHT 1999 IRREV TRUST	6642 N PRAYING MONK RD	PARADISE VALLEY	AZ	85253
14067059	AMJO LLC/AMY JO GOTTFURCHT 1999 IRREV TRUST	6642 N PRAYING MONK RD	PARADISE VALLEY	AZ	85253
14067060	AMJO LLC/AMY JO GOTTFURCHT 1999 IRREV TRUST	6642 N PRAYING MONK RD	PARADISE VALLEY	AZ	85253
14067061	AMJO LLC/AMY JO GOTTFURCHT 1999 IRREV TRUST	6642 N PRAYING MONK RD	PARADISE VALLEY	AZ	85253
14067062	AMJO LLC/AMY JO GOTTFURCHT 1999 IRREV TRUST	6642 N PRAYING MONK RD	PARADISE VALLEY	AZ	85253
14067063	AMJO LLC/AMY JO GOTTFURCHT 1999 IRREV TRUST	6642 N PRAYING MONK RD	PARADISE VALLEY	AZ	85253
14067064	AMJO LLC/AMY JO GOTTFURCHT 1999 IRREV TRUST	6642 N PRAYING MONK RD	PARADISE VALLEY	AZ	85253
14067064A	4140 BASELINE RD LLC	1180 N TOWN CENTER DR STE 100	LAS VEGAS	NV	89144
14067064E	AMJO LLC/AMY JO GOTTFURCHT 1999 IRREV TRUST	6642 N PRAYING MONK RD	PARADISE VALLEY	AZ	85253
14067065	BASELINE 111 LLC	7707 W DEER VALLEY RD SUITE 115	PEORIA	AZ	85382
14067066	AAAI INVESTMENTS LLC	5605 W EUGIE AVE NO 200	GLENDALE	AZ	85304
14067067	AAAI INVESTMENTS LLC	5605 W EUGIE AVE NO 200	GLENDALE	AZ	85304
14067068	AAAI INVESTMENTS LLC	5605 W EUGIE AVE NO 200	GLENDALE	AZ	85304
14067069	BASELINE OFFICE LLC	460 S GREENFIELD RD 2	MESA	AZ	85206
14067070	BASELINE OFFICE LLC	460 S GREENFIELD RD 2	MESA	AZ	85206
14067071	BASELINE OFFICE LLC	460 S GREENFIELD RD 2	MESA	AZ	85206
14067072	BASELINE OFFICE LLC	460 S GREENFIELD RD 2	MESA	AZ	85206
14067073	BASELINE OFFICE LLC	460 S GREENFIELD RD 2	MESA	AZ	85206
14067074	BASELINE OFFICE LLC	460 S GREENFIELD RD 2	MESA	AZ	85206
14067075	BASELINE OFFICE LLC	460 S GREENFIELD RD 2	MESA	AZ	85206
14067076A	BASELINE OFFICE LLC	460 S GREENFIELD RD 2	MESA	AZ	85206
14067076E	PICKRON ENTERPRISES LLC	4140 E BASELINE RD STE 208	MESA	AZ	85206
14067077	PICKRON ENTERPRISES LLC	4140 E BASELINE RD STE 208	MESA	AZ	85206
14067078	PICKRON ENTERPRISES LLC	4140 E BASELINE RD STE 208	MESA	AZ	85206
14067079A	EAST VALLEY ENT INVESTMENT GROUP LLC	14146 N 106TH WY	SCOTTSDALE	AZ	85206
14067079E	PICKRON ENTERPRISES LLC	4140 E BASELINE RD STE 208	MESA	AZ	85255
14067080	EAST VALLEY ENT INVESTMENT GROUP LLC	14146 N 106TH WY	SCOTTSDALE	AZ	85206
			SCOTTSDALE	AZ	85255



14067081 EAST VALLEY ENT INVESTMENT GROUP LLC	14146 N 106TH WY	SCOTTSDALE	AZ	85255
14067082 EAST VALLEY ENT INVESTMENT GROUP LLC	14146 N 106TH WY	SCOTTSDALE	AZ	85255
14067083 BASELINE CENTER LLC	1826 N SUNDIAL	MESA	AZ	85205
14067084 NAVY FEDERAL CREDIT UNION	820 FOLLIN LN	VIENNA	VA	22180
14067085 JOHN F LONG FOUNDATION INC	1118 E MISSOURI AVE STE A	PHOENIX	AZ	85014
14067086 HH-GREENFIELD GATEWAY LLC	5050 N 40TH ST STE 350	PHOENIX	AZ	85018
14067087 SPIRIT SPE PORTFOLIO 2012 4 LLC	PO BOX 35547	TULSA	OK	74153
14067088 HH-GREENFIELD GATEWAY LLC	5050 N 40TH ST STE 350	PHOENIX	AZ	85018
14067089 HH-GREENFIELD GATEWAY LLC	5050 N 40TH ST STE 350	PHOENIX	AZ	85018
30409156 SERENA SHORES SPE CORP	7 CORPORATE PLAZA	NEWPORT BEACH	CA	92660
30409865 VAL VISTA LAKES COMMUNITY ASSOC THE	1600 E LAKESIDE DR	GILBERT	AZ	85234
30409866 VAL VISTA LAKES COMMUNITY ASSOC THE	1600 E LAKESIDE DR	GILBERT	AZ	85234
30409965 JABBEL HOLDINGS LLC	12879 HARBOR BLVD SUITE N1	GARDEN GROVE	CA	92840
30409966 JABBEL HOLDINGS LLC	12879 HARBOR BLVD SUITE N-1	GARDEN GROVE	CA	92840
30409985 GATEWAY TRIANGLE DEVELOPMENT LLC	5225 WHISHIRE BLVD SUITE 1000	LOS ANGELES	CA	90036
30498850 JONES RICHARD C/JENIFER B	1518 N PIEDMONT DR	GILBERT	AZ	85234
30498851 PANELLA WILLIAM R/CATHERINE L TR	1534 N PIEDMONT DR	GILBERT	AZ	85234
30498852 TILLEY BRADEN A/CHELSEY	1542 N PIEDMONT DR	GILBERT	AZ	85234
30498853 WHITE CLIFFORD B/KRIS J	1541 N PIEDMONT	GILBERT	AZ	85234
30498854 MEDER ERICH V/TERRI R	1533 W PIEDMONT DR	GILBERT	AZ	85234
30498855 CORE RANDY	1525 N PIEDMONT DR	GILBERT	AZ	85234
30498856 WEATHERBY KELLI/LEE B	1517 N PIEDMONT DR	GILBERT	AZ	85234
30498948 MERLIN FINANCIAL GROUP LLC	1839 S ALMA SCHOOL RD STE 200	MESA	AZ	85210
30498949 MERLIN FINANCIAL GROUP II LLC	4145 E BASELINE RD	GILBERT	AZ	85234
30498950 CANTON JOHN/SARAH	1880 SOUTHPARK DR	HOOVER	AL	35244
30498986 AZG GREENFIELD PLAZA LLC	1129 S OAKLAND STE 101	MESA	AZ	85206

NeighborhoodName	FirstName	LastName	Address	Unit	City	State	Zip
Concord Village	Nancy	Sin	1822 S 39th St		Mesa	AZ	85206
Hunter's Glen Homeowner's Association	Dustin	Snow	4135 S Power Rd	122	Mesa	AZ	85212
Marlborough at Dana Ranch Community Association	Marjean	Swanson	1066 E 3300 N		Ogden	UT	84414
Marlborough at Dana Ranch Community Association	Max	Newton	1213 S Almar Cir		Mesa	AZ	85204
Vista Villages Unit Two Homeowners Association	Michael	Ward	1811 S 39th St	10	Mesa	AZ	85206



# CITIZEN PARTICIPATION REPORT:

## A: TITLE PAGE:

Office/Warehouse

4114 East Valley Auto Drive  
Mesa, Arizona

Case # ZON22-00593

**B: PARTIES AFFECTED BY APPLICATION:**

Includes all property owners within 1,000' and civic associations within one mile of the subject property.

**C: NOTIFICATION AND INFORMATION PROCEDURES:**

Citizen Outreach:

1. Mailers will be sent out to all property Owners and Civic associations detailing the Site Plan Review request, how to respond, and when public hearings will take place (see attached).
2. Outreach letters will be performed no later than 3 weeks of public hearings.

**D: RESPONSE PROCEDURES:**

1. Citizens responding to mailers:
  - a) A record will be kept of all responses.
  - b) When appropriate applicant will respond to inquiries by phone or email to address any questions or comments.

**E: SCHEDULE OF COMPLETION:**

Schedule is based on timely review by City of Mesa Planning Department and Scheduled hearing dates.

Time is of the essence.

**F: STATUS PROCEDURE:**

Applicant will keep the Planning and Zoning Department staff informed on a regular basis as responses are obtained.

1. Planning & Zoning staff will be provided with a copy of the notification letter, list of citizens and groups within 30 days of application.

Planning & Zoning staff will be provided with Citizen Participation Results Report.

**E: RESULTS OF MAILERS:**

We mailed over 300 letters to surrounding neighbors and civic associations announcing our proposal to construct a new building at 4114 E. Valley Auto Rd.

1. We received zero (0) responses from any of the letters.