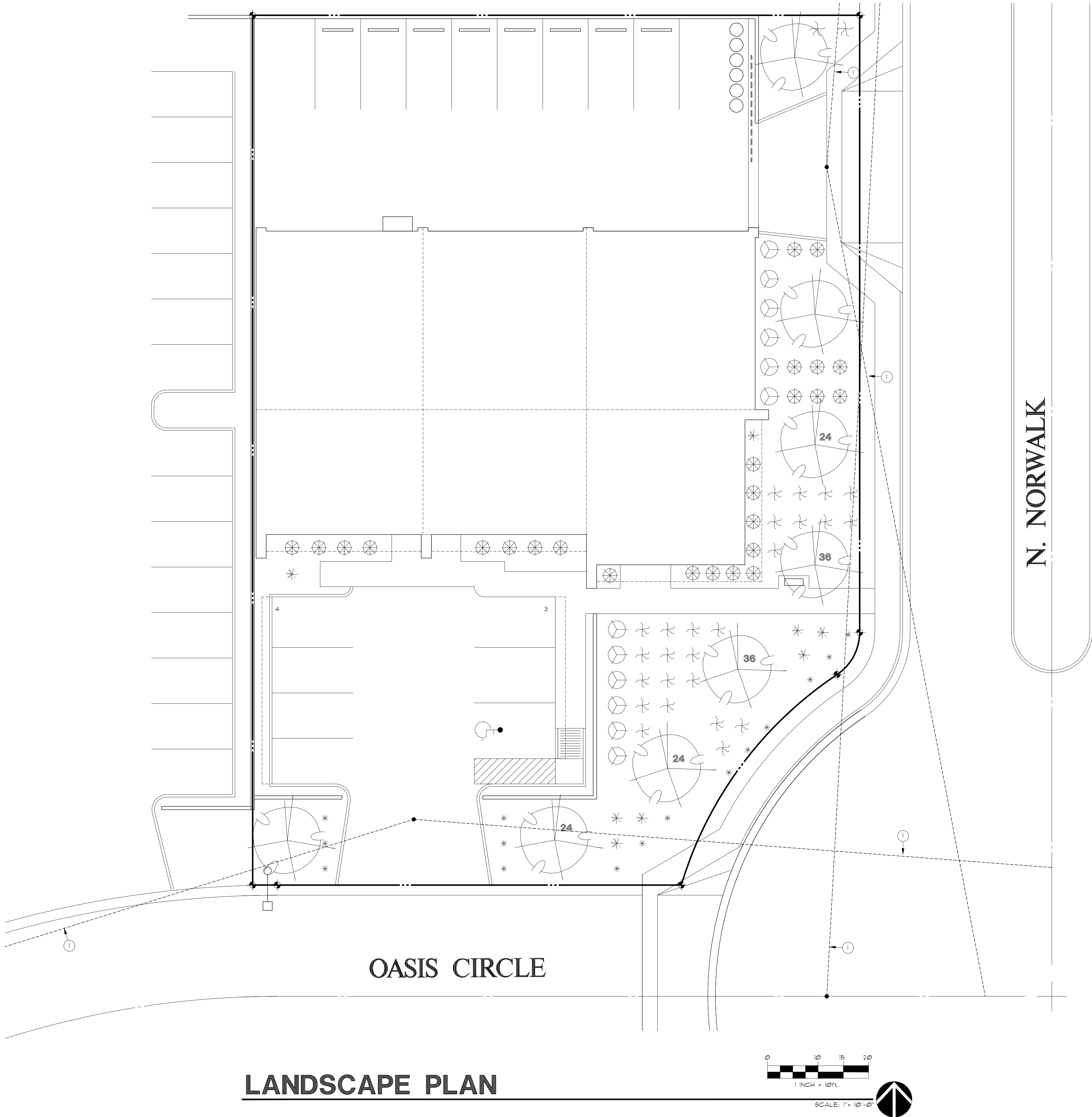


This drawing is the property of the Architect and unauthorized reproduction is prohibited under the Copyright Act. Electronic files when provided are instruments of service and the sole property of Hitchens Associates Architects. No alteration or reproduction shall be made without written permission from Hitchens Associates Architects. The Contractor shall check and verify all dimensions and report any discrepancies to the Architect prior to construction. do not scale this drawing. This drawing is not to be used for construction unless properly signed and sealed by the Architect.



PLANT LEGEND

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	QNT	AREA	
TREES						
	PALO BREA	<i>Parkinsonia praecox</i>	36" BOX 24" BOX 15 GAL.	2 3 3	100 100 100	200 300 300
SHRUBS / GROUND COVER AND ACCENTS						
	OCOTILLO	<i>Fouquieria splendens</i>	5 GAL.	8	25	200
	RED YUCCA	<i>Hesperaloe parviflora</i>	5 GAL.	21	25	675
	SMOOTH AGAVE	<i>Agave desertiana</i>	5 GAL.	25	10	250
	GOLDEN BARREL CACTUS	<i>Echinocactus grusonii</i>	1 GAL.	15	5	75
	SILVER CLOUD SAGE	<i>Leucophyllum candidum</i>	5 GAL.	12	25	300
TOTAL AREA					2300 SF	
'ALL' PLANTING BEDS INORGANIC GROUND COVER TO BE: MIN. 2" DECOMPOSED GRANITE 3/4" SCREENED. COLOR TO BE: "SADDLEBACK BROWN"						

NOTES

① LINE OF SIGHT DISTANCE TRIANGLE. DENOTES AREA TO BE FREE OF OBSTRUCTIONS TO VISION BETWEEN 25 FEET AND 8 FEET ABOVE THE SIDEWALK.

LANDSCAPE CALCULATIONS

REQUIRED FRONTAGE LANDSCAPING: (NORWALK STREET)	134.00' / 25' = 6 TREES 6 X 4 = 24 SHRUBS
PROVIDED FRONTAGE LANDSCAPING: (NORWALK / WEST SIDE)	6 TREES 24 SHRUBS
TOTAL NO. OF TREES REQUIRED:	6
36" BOX REQUIRED:	6 X .25 = 2 TREES
24" BOX REQUIRED:	6 X .50 = 3 TREES
36" BOX PROVIDED:	3
24" BOX PROVIDED:	2
REQUIRED FOUNDATION BASE LANDSCAPING DISTANCE: (ADJACENT TO PUBLIC ENTRANCE)	15 FEET
PROVIDED FOUNDATION BASE LANDSCAPING DISTANCE: (ADJACENT TO PUBLIC ENTRANCE)	VARIES
AVERAGE DEPTH OF FOUNDATION BASE PER 11-33-5-A.3 AREA PROVIDED	15 X 96.61' = 1450 SF 2441 SF
REQUIRED FOUNDATION BASE LANDSCAPING TREES: 1 TREE PER 50 FEET OF EXTERIOR WALL LENGTH	2 TREES (96.61 FEET)
PROVIDED FOUNDATION BASE LANDSCAPING TREES: (WITHIN 30 FEET)	2 TREES
REQUIRED LIVE PLANT MATERIAL IN OPEN SPACE:	1898 X 50' = 979 SF.
PROVIDED LIVE PLANT MATERIAL IN OPEN SPACE:	2300 SF.

HITCHENS ASSOCIATES ARCHITECTS

3126 N. LOS ALAMOS MESA, ARIZONA 85213

TELEPHONE: 602-615-0204

PROPOSED OFFICE WAREHOUSE BUILDING

3962 E. OASIS CIRCLE MESA, ARIZONA 85215

PROJECT NO: 22201

DRAWN BY: GLH

DATE: 4-22-2022

LANDSCAPE PLAN

L-1

## **HITCHENS ASSOCIATES ARCHITECTS**

3126 N. Los Alamos  
Mesa, Arizona 85213  
(602) 615-0204

July 18, 2022

City of Mesa  
55 N. Center St.  
Mesa, Arizona

Re: New Office Warehouse Building  
3962 E. Oasis Circle  
Lot 8 Commerce Court II at The Commons  
Updated Project Narrative

This project is located at the northwest corner of Oasis Street and North Norwalk in Commerce Court II at The Commons. The project consists of 19,645 square feet of site area and will have a new two-story 8,239 square foot office/warehouse building with site improvements. The site is currently approved for a 6,557 square foot two story office/warehouse building. The property is part of an 8-lot subdivision back that was formed in 2005. The subdivision was designed and approved with a shared storm water retention basin for all lots and barrel trash pickup to all lots except Lot 6. Prior to 2005 the property was Lot 2, Unit 1 of the Commons Industrial Park at Falcon view. The 8-lot subdivision has gone through two amendments since its initial inception. These were due to market fluctuations. The applicant has been involved with this development from its origin.

Lot 8 is currently flat and vacant. Both streets are fully improved with sidewalk, vertical curb and gutter along Norwalk and flat ribbon curb along Oasis Circle. A portion of the north property line has an existing 7'-4" high CMU wall. Adjacent to the property on the west is an existing 6-foot-high CMU wall. There is an existing driveway to Norwalk at the northeast corner of the property. North of the property is an existing office/warehouse building zoned LI. To the east across North Norwalk, is four suite office/warehouse building also zoned LI. South of the property is a vacant lot zoned LI with an office building complex beyond. West of the property is an existing four suite office/warehouse building zoned LI.

The property is designated in the City of Mesa General Plan as an Employment Character Type and is zoned Light Industrial (LI) PAD. This zoning was established under Zoning Case No. Z05-02 in March of 2005 (Ordinance 4347). A plat was processed to allow for an 8-lot subdivision called Commerce Court II and was recorded on July 28, 2006 (MCR 855-26). In May of 2007, an administrative site plan modification was approved to allow for minor adjustments to building

sizes and heights. In July 2019 Administrative Review Case ADMIN19-00144 was approved to modify the site plan and building designs.

There was a prior zoning case associated with this property in 1999, case Z99-099. Z99-099 was created to alleviate a situation that arose between the property owners west of The Commons, across from the RWCD canal and the industrial users of The Commons. In the late 1990's these two developments had some compatibility issues. As a result, the city brought forth zoning case Z99-099 to create some conditions aimed at improving the situation. The primary focus of the case was directed at those lots of the Commons adjacent to the canal. As was mentioned earlier, the original designation of this property was Lot 2 Unit 1 of the Commons Industrial Park at Falcon View. It was one of the larger lots of the original Commons Industrial Park and a potential candidate for a large industrial user. Zoning Case Z05-002 broke this large lot into a grouping of much smaller lots. The city was supportive of this citing the creation of quieter smaller users would be more compatible with the homes to the west. Below are two tables that have been generated to list the various deviations that have occurred related to this property per the zoning case history.

TABLE ONE OF CHANGES

Case No.	Building Height	Building Area	Oasis Setback	Norwalk Setback	North Setback	West Setback
Z99-099	Per Ord.	Per Ord.	Per Ord.	Per Ord.	Per Ord.	Per Ord.
Z05-002	22 feet	2,888 SF	20 feet	20 feet	Zero feet	Unchanged
Z05-002 Admin	24 feet	3,184 SF	Unchanged	Unchanged	Unchanged	Unchanged
ADMIN 19-00144	24 feet	6,557 SF	Unchanged	Unchanged	Unchanged	Unchanged
Current request	24 feet	8,239 SF	Unchanged	Unchanged	Unchanged	Unchanged

TABLE TWO OF CHANGES

Case No.	Use	Stories	Parking Spaces	Building Footprint
Z99-099	Per Ord.	Per Ord.	Per Ord.	
Z05-002	Office	1	10	2,888 SF
2007 Admin	Office/Warehouse	1-mezzanine	5	3,184 SF
ADMIN19-00144	Office/Warehouse	Two-story	12	5,096 SF
Current request	Office/Warehouse	Two-story	15	6,102 SF

The current request is to modify Lot 8 as follows: (a) reorient and reconfigure the building, (b) increase in size of the building and (c) allow a slight encroachment into the North Norwalk

Street setback for a prominent building architectural feature to occur.

- a) The building is being rotated to be more visible and prominent to the intersection. This orientation will allow for a striking all-glass corner to serve as the feature design element of the building. This will also create a more appealing landscape setting at the corner.
- b) The current approved building footprint is 5,096 square feet. The proposal is to increase this to 6,102 square feet. The owner, by making this change will provide a more marketable office/warehouse product for today's industrial user.
- c) The east side building architectural buttress feature encroaches by four square feet (2'x2') into the setback area. The setback area totals 3476 square feet.

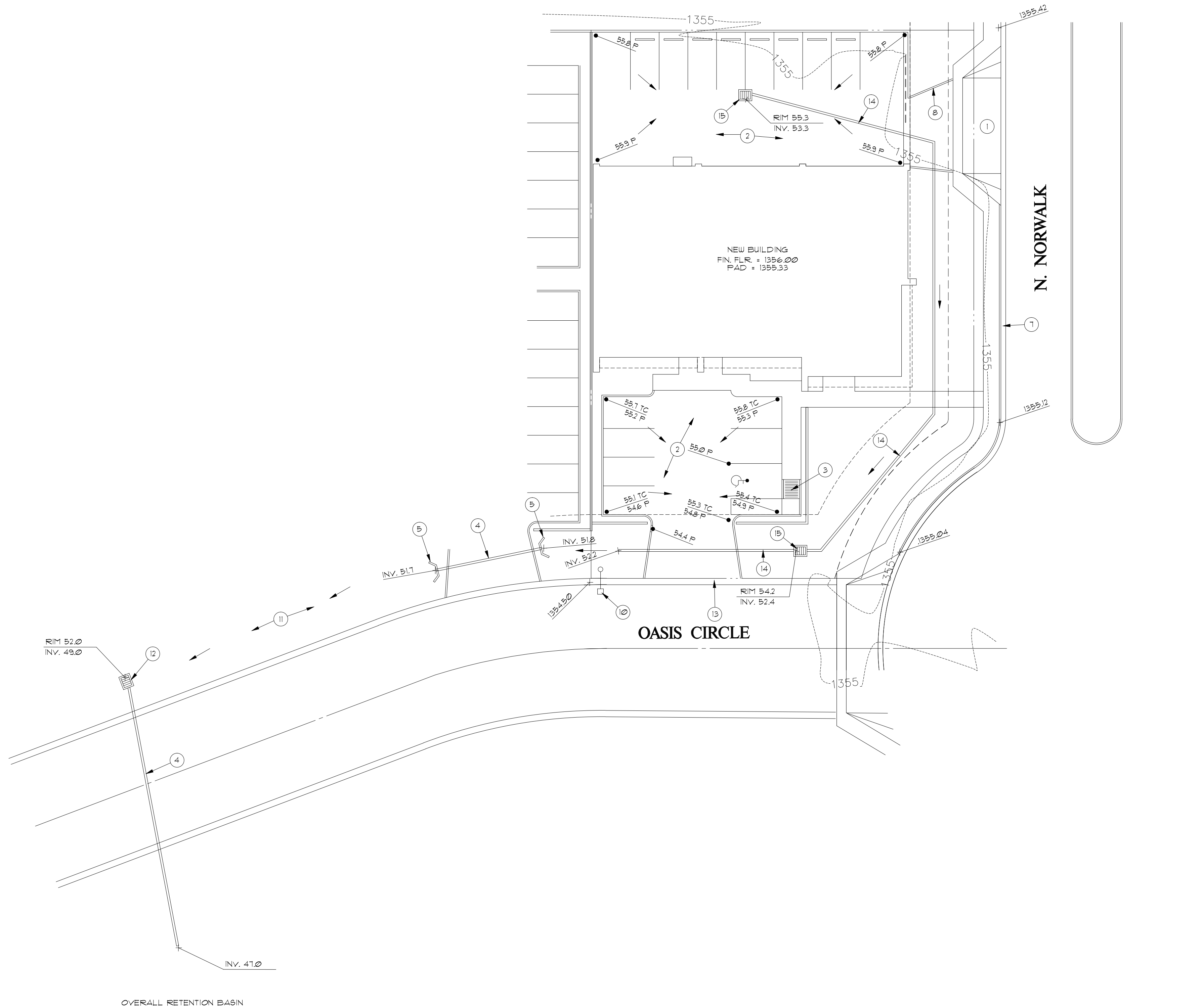
A Design Review application is being requested to allow for changes to some of the approved building materials and overall building design. The current approved elevations include scored regular CMU block, split face CMU and decorative metal window awnings. The new elevations will introduce metal siding and metal panels similar to what was approved through the 2019 administrative review case.

- The new architectural buttress features will utilize the scored CMU block.
- The upper portion of the building will consist of horizontal metal siding.
- The awnings will change from the current steel feature to vertical metal panels.
- The glazing changes will introduce more glass at the building corner and at the entry doors.

The above listed modifications are considerable improvements to the existing site plan and elevations. The proposed design is consistent with, sensitive to and bears similarity to the surrounding uses in the development.



This drawing is the property of the architect and no part of it may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. The architect shall not be responsible for any errors or omissions in this drawing. The architect shall not be responsible for any errors or omissions in this drawing. The architect shall not be responsible for any errors or omissions in this drawing.



PRELIMINARY GRADING PLAN

GRADING DDENOTES

- 1 EXISTING DRIVEWAY
- 2 INSTALL 2' OF ASPHALT OVER 6" OF ABC IN PAVED AREAS.
- 3 ACCESSIBILITY RAMP
- 4 EXISTING 8 INCH DRAINAGE PIPE
- 5 EXISTING HEADWALL
- 6 INSTALL 2' CURB OPENING, SEE DTL. 6 SHIT, C-4.
- 7 EXISTING CURB, GUTTER AND SIDEWALK
- 8 NEW 6" CONCRETE CURB
- 9 DRIVE CURB TAPER
- 10 EXISTING STREET LIGHT
- 11 EXISTING DRAINAGE SWALE
- 12 EXISTING CATCH BASIN
- 13 EXISTING 2'-0" WIDE FLAT CURB
- 14 NEW 8" DRAINAGE PIPE
- 15 NEW CATCH BASIN

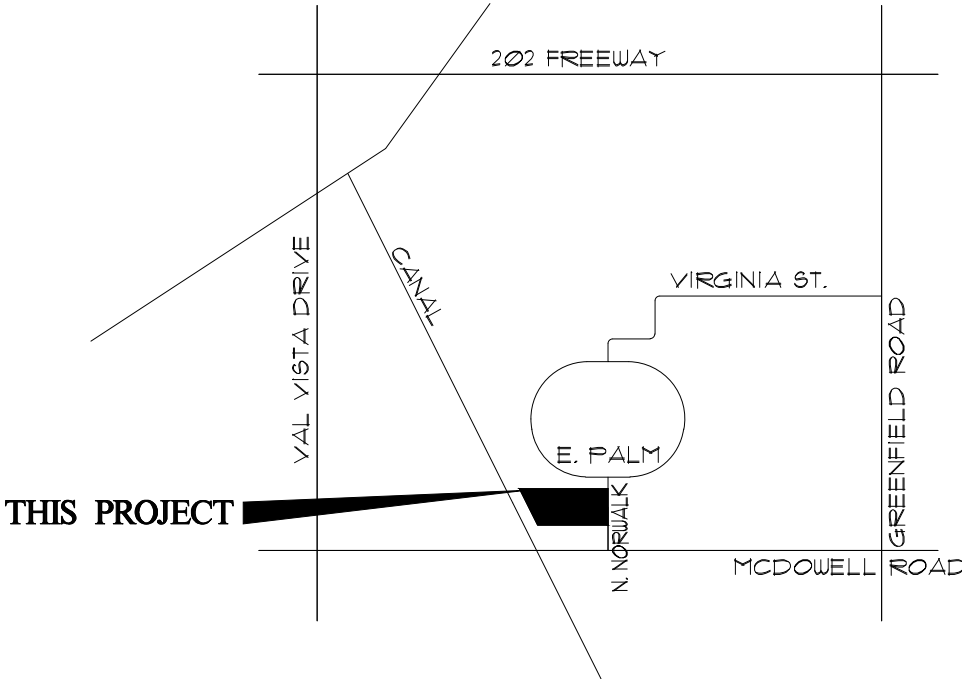
LEGEND

- EXISTING GRADE
- FINISH GRADE
- EXISTING CONTOUR
- FIRE HYDRANT
- DRAINAGE ARROW
- SEWER MANHOLE

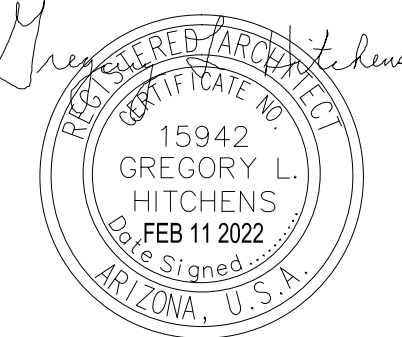
RETENTION CALCULATIONS

RETENTION PROVIDED:  
RETENTION VOLUME IS BEING PROVIDED FOR THIS SITE IN THE COMMON RETENTION BASIN ESTABLISHED FOR THE ENTIRE DEVELOPMENT AT THE SOUTHWEST CORNER. REQUIRED RETENTION FOR THE ORIGINAL 8 LOT SUBDIVISION IS 44,636 CF., PROVIDED RETENTION IS 46,871 CF.  
OUTFALL FROM THE SITE IS AT THE SOUTHWEST CORNER.

VICINITY MAP



HITCHENS ASSOCIATES  
ARCHITECTS  
3126 N. LOS ALAMOS  
MESA, ARIZONA 85213  
TELEPHONE:  
602-615-1004



REVISIONS

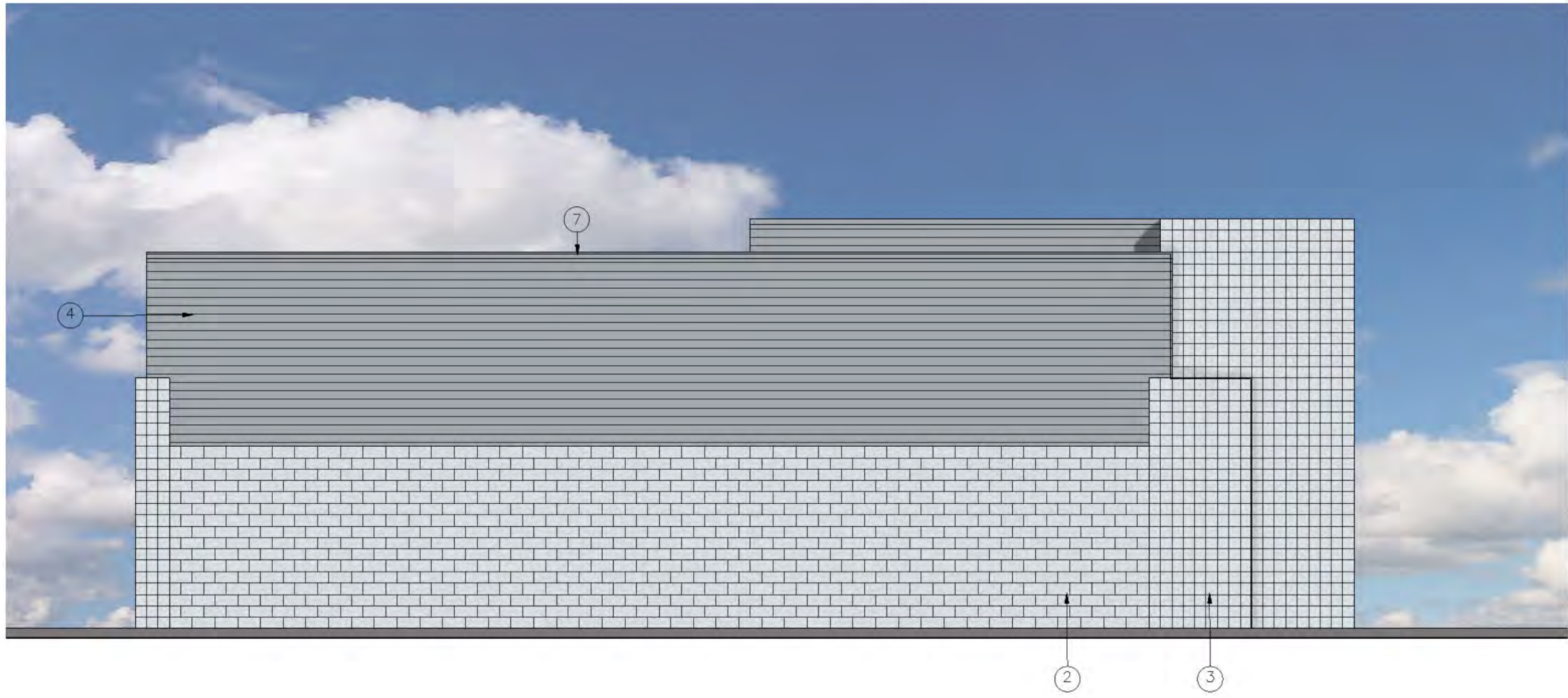
PROPOSED  
OFFICE WAREHOUSE  
BUILDING  
3962 E. OASIS CIRCLE  
MESA, ARIZONA  
85215

PROJECT NO: 22201  
DRAWN BY: GLH  
DATE: 4-22-2022

PRELIMINARY  
GRADING PLAN



This drawing is the property of the Architect and is loaned to the Client for their use only. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect. The Contractor shall check and verify all dimensions and report any discrepancies to the Architect prior to construction. Do not scale this drawing.



WEST ELEVATION

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION

SCALE: 3/16" = 1'-0"



NORTH ELEVATION

SCALE: 3/16" = 1'-0"

FACADE MATERIAL CALCULATIONS									
SYMBOL	MATERIAL	WEST ELEVATION		SOUTH ELEVATION		NORTH ELEVATION		EAST ELEVATION	
		AREA	PERCENT	AREA	PERCENT	AREA	PERCENT	AREA	PERCENT
②	REGULAR CMU	812 SF	44	536 SF	25	424 SF	25	522 SF	33
③	SCORED CMU	117 SF	08	107 SF	05	117 SF	06	77 SF	05
④	HORIZONTAL METAL SIDING	668 SF	48	675 SF	31	857 SF	41	565 SF	37
⑤	VERTICAL METAL PANELS			292 SF	13			107 SF	07
⑥⑨	STOREFRONT/DOORS			570 SF	26	570 SF	28	266 SF	18
		1398 SF	100	2180 SF	100	2088 SF	100	1517 SF	100

MATERIAL/COLOR SCHEDULE:	
① METAL ROOF	AEP SPAN STANDING SEAM METAL ROOF PANELS COLOR: ZINCALUME PLUS
② 8X8X16 REGULAR CMU	SUPERLITE BLOCK COLOR: GRAY
③ 8X8X16 SCORED BLOCK CMU	SUPERLITE BLOCK COLOR: GRAY
④ HORIZONTAL METAL SIDING	AEP SPAN NU-WAVE CORRUGATED METAL SIDING COLOR: ZINCALUME PLUS
⑤ VERTICAL METAL PANELS	AEP SPAN FLAT SHEET WALL PANEL COLOR: DARK BRONZE
⑥ ALUMINUM WINDOWS/STOREFRONT	COLOR: BRONZE ANNOIDIZED
⑦ METAL CAP FLASHING	COLOR: ZINCALUME PLUS
⑧ GUTTER/DOWNSPOUT	COLOR: ZINCALUME PLUS
⑨ MANDOOK/OVERHEAD DOOR	SHERWIN WILLIAMS SW 6868 - REAL RED
⑩ S.E.S./GATE	SHERWIN WILLIAMS SW 6868 - REAL RED

HITCHENS ASSOCIATES  
ARCHITECTS

3126 N. LOS ALAMOS  
MESA, ARIZONA 85213

TELEPHONE:  
602-615-1004



REVISIONS

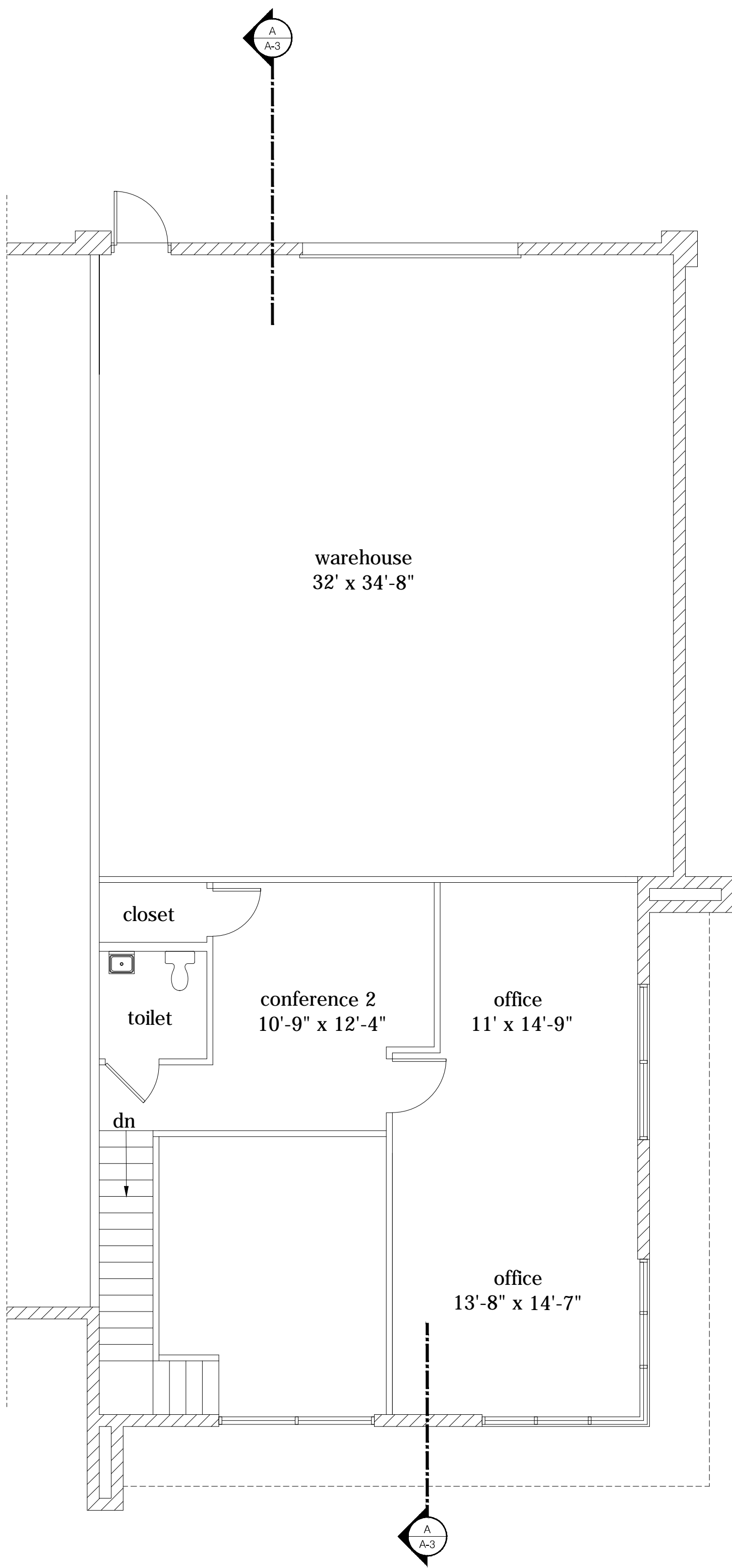
PROPOSED  
OFFICE WAREHOUSE  
BUILDING  
3962 E. OASIS CIRCLE  
MESA, ARIZONA  
85215

PROJECT NO: 22201  
DRAWN BY: GLH  
DATE: 4-22-2022

ELEVATIONS  
A2.0

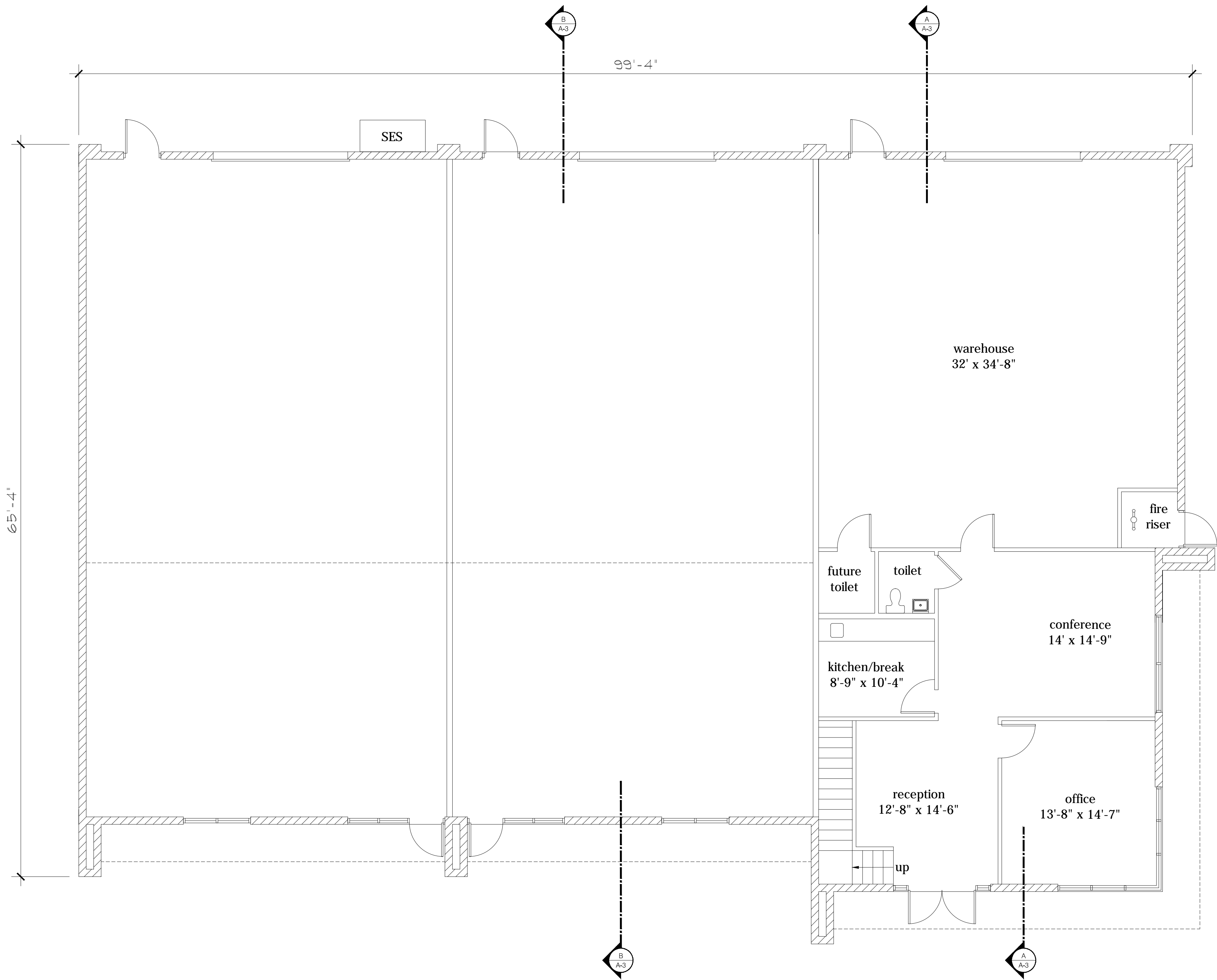


This drawing is the property of the Architect and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect. The Contractor shall check and verify all dimensions and report any discrepancies to the Architect prior to construction; do not scale this drawing. This drawing shall not be used for construction unless properly signed and sealed by the Architect.



SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

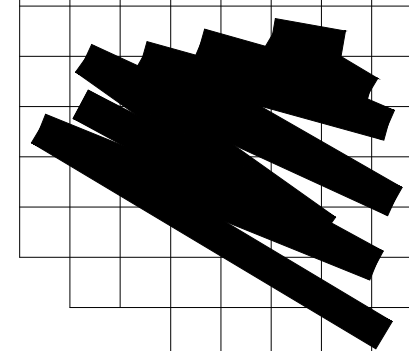


FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"



HITCHENS ASSOCIATES  
ARCHITECTS



TELEPHONE:  
602-615-0204

3126 N. LOS ALAMOS  
MESA, ARIZONA 85213



REVISIONS

PROPOSED  
OFFICE WAREHOUSE  
BUILDING

3962 E. OASIS CIRCLE  
MESA, ARIZONA  
85215

PROJECT NO: 22201  
DRAWN BY: GLH  
DATE: 4-22-2022

FLOOR PLANS

A-1



## **CITIZEN PARTICIPATION PLAN**

*JBN Holdings, LLC*

**Date:** April 14, 2022

**Purpose:** The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, and businesses in the vicinity of the proposed project regarding our application for construction of an industrial office/warehouse building located at 3926 E. Oasis St., Mesa, Az 85215 located on Norwalk and Oasis, north of McDowell Rd. between Greenfield and Val Vista. The application and consideration requires Design Review and Site Plan review, but does not require rezoning or modification of the general plan. Outreach is primarily to engage discussion about design and construction elements so that any owners within proximity of the project have ample opportunity to learn about and comment on the project proposal.

**Contact:**

Nathan Palmer, Manager  
JBN Holdings, LLC  
2929 N. Power Rd. #101-C20, Mesa, Az 85215  
480-522-7898 / [reoptions@me.com](mailto:reoptions@me.com)

**Meetings:** An initial consultation meeting in response to the request for administrative review was held on April 12, 2022. As part of the review, staff recommended that a Citizen Participation Plan be adopted so that the below named participants would be notified of the development and kept informed of any upcoming Design Review Board meetings and Planning & Zoning hearings.

**Action Plan:** The following plan is designed to accommodate the surrounding properties and comply with the request for neighbor and neighborhood involvement by the City of Mesa:

1. Contact all property owners within 1,000' of the site, as well as any registered neighborhoods and homeowners associations recommended by the City of Mesa, regarding any Design Review Board meeting or Planning & Zoning hearing.
2. The named participants will be notified by mailed letter containing the project description, conceptual site plan, elevations, and landscape plan together with invitations and information regarding the design review and planning & zoning process with instructions on how to participate/comment on the proposed development.

# **JBN HOLDINGS, LLC**

## **Citizen Participation Report**

**Date:** August 8, 2022

**Purpose:** The Purpose of this Citizen Participation Report is to inform the City of Mesa of the neighborhood outreach efforts and any received correspondence from concerned neighbors.

**Contact:**

Nathan Palmer, Member / JBN Holdings, LLC  
2929 N. Power Rd. #101-C20, Mesa, Az, 85215  
480-522-7898 / [reoptions@me.com](mailto:reoptions@me.com)

**Meetings:** A Pre-submittal meeting was held for the project in April of 2022 as PRS22-00315. Subsequently Design Review Board Meetings and Planning & Zoning Meetings were held and approved in August of 2022 for cases DRB22-00534 and ZON22-00535 respectively. As part of the initial design and planning review, staff recommended that the participants named in this plan be notified of the proposed development.

**Action Plan:** The following plan was designed to accommodate the surrounding properties and comply with the request for neighbor and neighborhood involvement by the City of Mesa:

1. Contact and invite all property owners by mail within 1,000' of the site, registered neighborhoods within 1 mile of the site, and HOA's within 1/2 mile of the site regarding any Design Review Board meeting, Planning & Zoning hearings, and neighborhood meetings. (Planning staff subsequently reduced the mailing requirement for property owners within 500' of the site.)
2. Post any required Design Review Board or Planning/Zoning Notices on the Property as required by City planning staff.
3. Mail all interested parties a letter, project description, conceptual site plan, concept elevations, and any invitations and information regarding the planning and design review process and how to participate/comment on the proposed development at any relevant neighborhood meeting, design review, or planning and zoning hearing. Exhibits and mailing lists for all property owners, registered neighborhoods, and HOA's will be submitted to the City of Mesa for verification and review.
4. Submit a Citizen participation Report with the results of all outreach and meetings to the City of Mesa at least 10 business days prior to the Planning and Zoning public hearing.

**Plan and Activity Report:** As of 8/8/2022 the following actions have occurred:

1. Applicant created and submitted to the City of Mesa a list of all owners within 500' of the site, along with a corresponding exhibit map, as well as a list of all registered neighborhoods within 1 mile of the site and HOA's within 1/2 mile of the site, along with sample notices which were to be mailed to such parties.



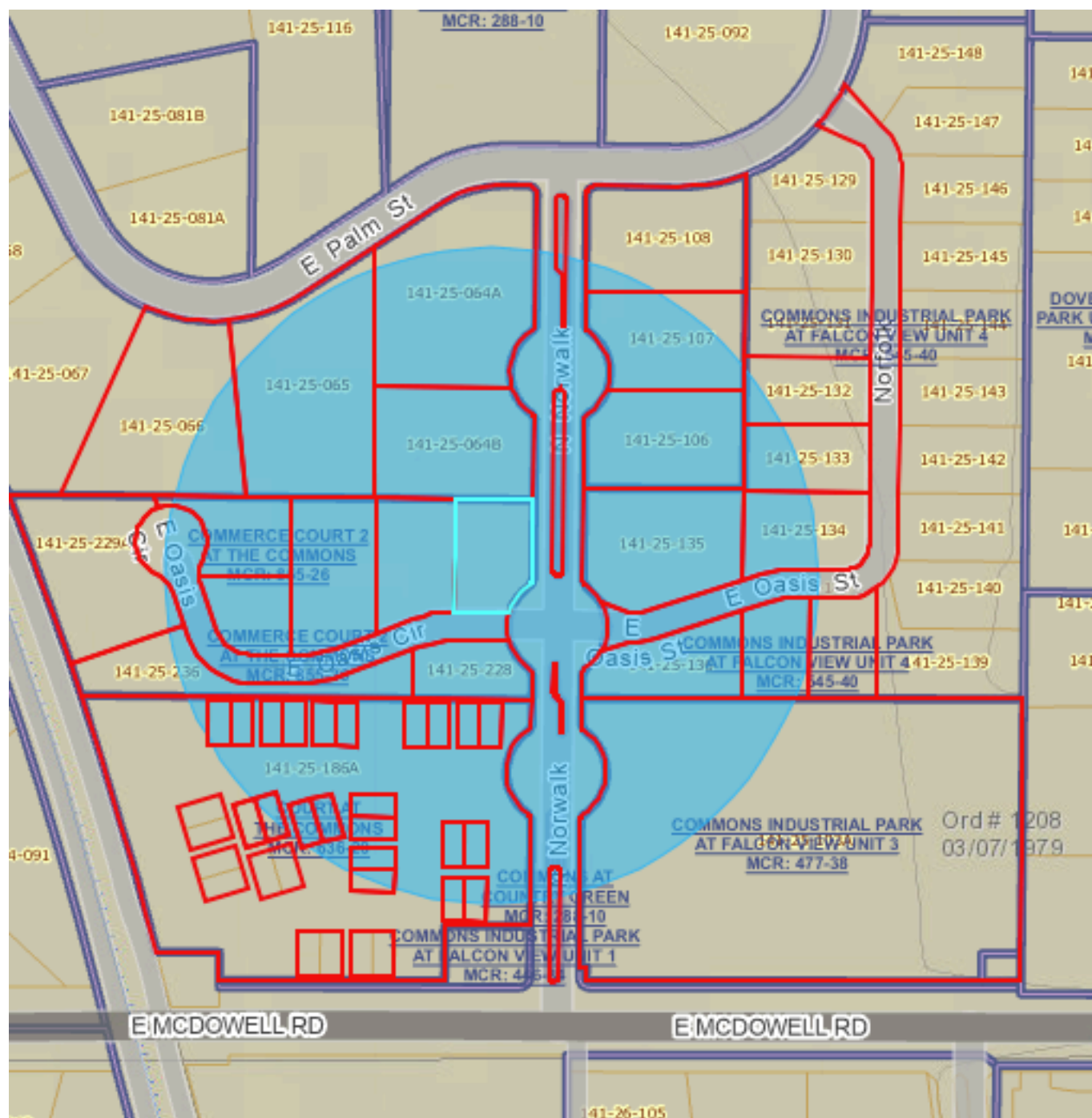
2. Mailings to all property owners within 500' of the site, registered neighborhoods within 1 mile of the site, and HOA's within 1/2 mile of the site were prepared and mailed on July 20th, 2022 providing notice and invitation to attend or participate in a Design Review Board meeting to be held on August 9, 2022 in the lower level of the City Council chambers. The notice included contact information for the applicant along with proposed site plan, landscape plan, and elevations.
3. Mailings to all property owners within 500' of the site, registered neighborhoods within 1 mile of the site, and HOA's within 1/2 mile of the site were prepared and mailed on August 4, 2022 providing notice and invitation to attend or participate in a Planning and Zoning hearing to be held on August 24, 2022 in the City Council chambers. The notice included contact information for the applicant along with proposed site plan, landscape plan, and elevations.
4. On August 8, 2022, applicant installed a sign-post on property notifying the public of the application for Site Plan Review with all meeting details and contact information for applicant. Applicant further submitted all required affidavits and consent/waiver forms related to such posting.
5. As of the date of this Citizen Participation Report there have been **0 responses** to all of the mailings. No other responses have been received from any neighbor as a result of the mailings, and no other feedback has been received.

I certify that the above information is true and correct to the best of my knowledge.

August 8, 2022

Nathan Palmer, Member

JBN Holdings, LLC





NeighborhoodName	FirstName	LastName	Address	Unit	City	State	Zip
Somerset Estates Homeowners Association	Larry	Tyler	3821 E Palm Cir		Mesa	AZ	85207

AZCC

<https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=07433811>

Search Results\_ Parcels

Parcel Number	Owner	Property Address	Mailing Address	Book	Page	SUBNAME
141-25-057A	COMMONS INDUSTRIAL PARK AT FALCON VIEW ASSOC	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK 105 MESA AZ USA 85215	288	10	COMMONS AT COUNTRY GREEN
141-25-058	COMMONS INDUSTRIAL PARK AT FALCON VIEW ASSOC	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK 105 MESA AZ USA 85215	288	10	COMMONS AT COUNTRY GREEN
141-25-059	COMMONS INDUSTRIAL PARK AT FALCON VIEW ASSOC	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK 105 MESA AZ USA 85215	288	10	COMMONS AT COUNTRY GREEN
141-25-060	COMMONS INDUSTRIAL PARK AT FALCON VIEW ASSOC	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK 105 MESA AZ USA 85215	288	10	COMMONS AT COUNTRY GREEN
141-25-064A	EMBREY SHARON	4005 E PALM ST MESA 85215	269 N DEEP SPRING RD ORANGE CA USA 92869	446	34	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 1
141-25-064B	MTV INVESTMENTS LLC	2840 N NORWALK MESA 85215	2840 N. NORWALK MESA AZ USA 85215-1126	446	34	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 1
141-25-065	AMERICAN SHOTCRETE CONSTRUCTION INC	3951 E PALM ST MESA 85215	120 E LEHI RD MESA AZ USA 85201	446	34	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 1
141-25-066	DANDI VILLAGE PROPERTIES LLC	3935 E PALM ST MESA 85215	PO BOX 22273 MESA AZ USA 85277	446	34	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 1
141-25-103A	WAX PROPERTIES LTD	4200 E MCDOWELL RD MESA 85215	PO BOX 23506 SAN DIEGO CA USA 92193	477	38	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 3
141-25-106	KAHL TERRILL HOWARD TR	2863 N NORWALK MESA 85215	2863 N NORWALK STE 101 MESA AZ USA 85215	477	38	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 3
141-25-107	TIPPETTS COMMERCIAL HOLDINGS LLC	2911 N NORWALK MESA 85215	2911 N NORWALK MESA AZ USA 85215	477	38	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 3
141-25-108	WAGNER BROTHERS PROPERTIES LLC	2925 N NORWALK MESA 85215	2925 N NORWALK ST MESA AZ USA 85215	477	38	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 3
141-25-132	JESPERSEN TODD L	2926 N NORFOLK MESA 85215	PO BOX 20972 MESA AZ USA 85277	545	40	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 4
141-25-133	IMPALA LLC	2914 N NORFOLK MESA 85215	2339 N VAL VISTA DR MESA AZ USA 85213	545	40	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 4
141-25-134	IMPALA LLC	2902 N NORFOLK MESA 85215	2339 N VAL VISTA DR MESA AZ USA 85213	545	40	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 4
141-25-135	COMMONS BUILDING I LLC	4020 E OASIS ST MESA 85215	PO BOX 21835 MESA AZ USA 85277	545	40	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 4
141-25-136	WIERZGACZ WAYNE E	4019 E OASIS ST MESA 85215	3655 E HALIFAX CIR MESA AZ USA 85205	545	40	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 4
141-25-137	ONEALL RICHARD C/JANICE G TR	4035 E OASIS ST MESA 85215	PO BOX 13160 PRESCOTT AZ USA 86304	545	40	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 4
141-25-138	KENNETH ALLAN STOUT AND CYNTHIA LYNN STOUT TR	4045 E OASIS ST MESA 85215	3138 E LOS ALTOS CT GILBERT AZ USA 85297	545	40	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 4
141-25-149	COMMONS INDUST PK @FALCON VIEW UN 4 P O ASSOC	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK 105 MESA AZ USA 85215	545	40	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 4
141-25-152	ASH CECIL P/LINDA J	2812 N NORWALK 101 MESA 85215	2812 N NORWALK 105 MESA AZ USA 85215	636	20	COURT AT THE COMMONS
141-25-153	ASH EDWIN D/CECIL PAUL	2812 N NORWALK 102 MESA 85215	2812 N NORWALK STE 105 MESA AZ USA 85215	636	20	COURT AT THE COMMONS
141-25-154	EEL HOLDINGS LLC	2812 N NORWALK 103 MESA 85215	2812 N NORWALK ST UNIT-103 MESA AZ USA 85215	636	20	COURT AT THE COMMONS
141-25-155	EEL HOLDINGS LLC	2812 N NORWALK 104 MESA 85215	2812 N NORWALK ST UNIT-103 MESA AZ USA 85215	636	20	COURT AT THE COMMONS
141-25-156	REEB HAROLD H	2812 N NORWALK 105 MESA 85215	2812 N NORWALK STE 105 MESA AZ USA 85215	636	20	COURT AT THE COMMONS
141-25-157	ASH TRESSA A	2812 N NORWALK 106 MESA 85215	2812 N NORWALK STE 105 MESA AZ USA 85215	636	20	COURT AT THE COMMONS
141-25-158	CJP PROPERTY LLC	2812 N NORWALK 107 MESA 85215	2621 E ODESSA CIR MESA AZ USA 85213	636	20	COURT AT THE COMMONS
141-25-159	CJP PROPERTY LLC	2812 N NORWALK 108 MESA 85215	2621 E ODESSA CIR MESA AZ USA 85213	636	20	COURT AT THE COMMONS
141-25-160	NORWALK COMMONS LLC	2812 N NORWALK 109 MESA 85215	3106 E HERMOSA VISTA DR MESA AZ USA 85213	636	20	COURT AT THE COMMONS
141-25-161	AUGUSTA INVESTMENTS LLC	2812 N NORWALK 110 MESA 85215	2812 N NORWALK ST BLD 5-110 MESA AZ USA 85215	636	20	COURT AT THE COMMONS
141-25-164	PHPE HOLDINGS LLC	2812 N NORWALK 113 MESA 85215	8641 E Kael CIR MESA AZ USA 85207	636	20	COURT AT THE COMMONS
141-25-165	PHPE HOLDINGS LLC	2812 N NORWALK 114 MESA 85215	8641 E Kael CIR MESA AZ USA 85207	636	20	COURT AT THE COMMONS
141-25-166	NORWALK PATRIOTS LLC	2812 N NORWALK 115 MESA 85215	3661 E NANCE CIRCLE MESA AZ USA 85215	636	20	COURT AT THE COMMONS
141-25-167	NORWALK PATRIOTS LLC	2812 N NORWALK 116 MESA 85215	3661 E NANCE CIRCLE MESA AZ USA 85215	636	20	COURT AT THE COMMONS
141-25-168	DURATAIN INC	2812 N NORWALK 117 MESA 85215	2812 N NORWALK BLDG 9 SUITE 117 MESA AZ USA 85207	636	20	COURT AT THE COMMONS
141-25-169	RJD LLC	2812 N NORWALK ST 118 MESA 85215	2920 N POWER ROAD NO 103 MESA AZ USA 85215	636	20	COURT AT THE COMMONS
141-25-170	AMBER HILLS REALTY LLC	2812 N NORWALK 119 MESA 85215	3549 W MAGELLAN DR ANTHEM AZ USA 85086	636	20	COURT AT THE COMMONS
141-25-171	TAND INVESTMENT GROUP LLC	2812 N NORWALK 120 MESA 85215	4795 S VIRGINIA WAY CHANDLER AZ USA 85249	636	20	COURT AT THE COMMONS
141-25-180	WAGNER BROTHERS PROPERTIES LLC	2812 N NORWALK 129 MESA 85215	2925 N NORWALK MESA AZ USA 85215	636	20	COURT AT THE COMMONS
141-25-181	WAGNER BROTHERS PROPERTIES LLC	2812 N NORWALK 130 MESA 85215	2925 N NORWALK MESA AZ USA 85215	636	20	COURT AT THE COMMONS
141-25-182	RBR-CDC LLC	2812 N NORWALK 131 MESA 85215	633 E RAY RD STE 108 GILBERT AZ USA 85296-4202	636	20	COURT AT THE COMMONS
141-25-183	RBR-CDC LLC	2812 N NORWALK 132 MESA 85215	633 E RAY RD STE 108 GILBERT AZ USA 85296-4202	636	20	COURT AT THE COMMONS
141-25-186A	COURT AT THE COMMONS PROPERTY OWNERS ASSOC	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK 105 MESA AZ USA 85215	636	20	COURT AT THE COMMONS
141-25-228	VIEWPOINT RESORT LC	3959 E OASIS CIR MESA 85215	2812 N NORWALK STE 105 MESA AZ USA 85215	855	26	COMMERCE COURT 2 AT THE COMMONS
141-25-229A	DANDI VILLAGE PROPERTIES LLC		3935 E PALM ST MESA AZ USA 85215	855	26	COMMERCE COURT 2 AT THE COMMONS
141-25-231	JESPERSEN TODD	3936 E OASIS CIR MESA 85215	PO BOX 20972 MESA AZ USA 85277	855	26	COMMERCE COURT 2 AT THE COMMONS
141-25-232	COMMONS BUILDING III LLC	3942 E OASIS CIR MESA 85215	4020 E OASIS ST STE 1 MESA AZ USA 85215	855	26	COMMERCE COURT 2 AT THE COMMONS
141-25-233	COMMONS BUILDING III LLC	3948 E OASIS CIR MESA 85215	4020 E OASIS ST STE 1 MESA AZ USA 85215	855	26	COMMERCE COURT 2 AT THE COMMONS
141-25-234	LORTIE JOCE	3954 E OASIS CIR MESA 85215	11101 E RENFIELD AVE MESA AZ USA 85212	855	26	COMMERCE COURT 2 AT THE COMMONS
141-25-235	JBN HOLDINGS LLC	3962 E OASIS CIR MESA 85215	2929 N POWER RD STE 101 PMB C20 MESA AZ USA 85215	855	26	COMMERCE COURT 2 AT THE COMMONS
141-25-236	COMMERCE COURT II AT THE COMMONS PROPERTY OWNERS ASSOCIATION	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK STE 105 MESA AZ USA 85215	855	26	COMMERCE COURT 2 AT THE COMMONS
141-25-237	COMMERCE COURT II AT THE COMMONS PROPERTY OWNERS ASSOCIATION	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK STE 105 MESA AZ USA 85215	855	26	COMMERCE COURT 2 AT THE COMMONS