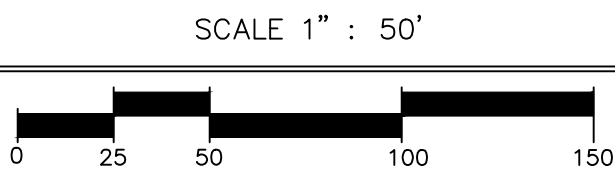


ARCHITECTURAL SITE LAYOUT



SITE & BUILDING DATA

NO PHASING- PROJECT CONSTRUCTED IN ENTIRETY														
BUILDINGS		CONSTR.	OCCUP.	BLDG.		BLDG.	AREA S.F.	AREA S.F.	AFES	APARTMENT UNITS				
TYPE		TYPE	GROUP	HEIGHT	STORIES	NUMBER	PAD S.F.	PER BLDG.	(TOTAL OCC.)	(NPPA)	1/1	2/2	3/2	TOTAL
A (2/2, 24 PLEX)		VA	R-2	36'-6"	3	4	11,480	27,684	110,736	13R	-	96	-	96
B (2/2, 24 PLEX)		VA	R-2	36'-6"	3	2	11,360	34,080	68,160	13R	-	48	-	48
C (1/1, 24 PLEX)		VA	R-2	38'-4"	3	3	9,040	27,120	81,360	13R	72	-	-	72
D (3/2, 8 PLEX)		VA	R-2	26'-0"	2	1	6,293	12,586	12,586	13R	-	-	8	8
E (1/1, 2 PLEX CARRIAGE)		VA	R-2	26'-4"	2	6	1,747	3,005	15,025	13R	10	-	-	8
F CLUBHOUSE (FULLY SPRINKLERED)		VA	A-3/B	32'-8"	2	1	X,XXX	X,XXX	X,XXX	NFPA13	-	-	-	-
G MAINTENANCE		VB	U	14'-8"	1	1	414.0	414.0	414.0	13R	-	-	-	-
TOT. # BLDGS: 18 TOTALS:							XX,XXX	XXX,XXX			TOT. UNITS: 82	144	8	234
ZONING: RM-5 Planned Residential Development (Multi Family Standards)														
SITE AREA: GROSS: 573,138.0 S.F. (13.1574 ACRES)														
NET: 419,726.0 S.F. (9.63 ACRES)														
SITE DENSITY: 234 UNITS / 9.63 = 24.3 Units per Net Acre														
(NET AREA) (Min. Allowed: 20 / Max. Allowed: 43 Units Per Net Acre)														
PARKING: REQUIRED: 2.1 X 234 = 492 SPACES)														
PROVIDED: 495														
(36 GARAGES) (462 SURFACE, 234 OF WHICH ARE CARPORTS)														
(ACCESSIBLE SPACES REQUIRED: 2% 492 X .02 = 9.84)														
(ACCESSIBLE SPACES PROVIDED: 10 / 2 OF WHICH ARE VAN)														
(25 SPACES ARE COMPACT < 0.5% > / 20% ALLOWED)														
BIKE RACKS TO BE PROVIDED AT 1 PER 10 PARKING SPACES OR														
492 / 10 = 49.2 SPACES. 50 BIKE RACK SPACES PROVIDED														
UNIT MIX:														
ONE BEDROOM / ONE BATH: ..... 82 (35.0%)														
TWO BEDROOM / TWO BATH: ..... 144 (61.5%)														
THREE BEDROOM / TWO BATH: ..... 8 (3.5%)														
TOTAL NO. OF UNITS: ..... 234 UNITS														

KEYED NOTES

1. TYPICAL CAR PARKING SPACE, 9'-0" x 18'-0"
2. SIGN / ENTRY FEATURE, UNDER SEPARATE PERMIT
3. 5'-0" WIDE CROSS WALK PAVING TO BE EMBOSSED CONCRETE-COLOR TBD.
4. FACE OF 6" CURB
5. CENTRAL TRASH COMPACTOR ENCLOSURE AT 30 DEG. ANGLE AND 50'-0" BACKUP SPACE TO MEET CITY MESA STANDARD DETAIL M-62.06
6. PRE-FAB COVERED CARPORT, 98" MIN. CLEARANCE AT ACCESSIBLE SPACES
7. ACCESSIBLE CAR PARKING SPACE, SEE SHT. A1.4
8. ALL ACCESSIBLE CROSSWALKS AT ROADWAYS TO BE EXPOSED AGGREGATE CONC. CURB RAMP ARE AT EACH END OF WALK
9. PROPERTY LINE
10. 3'-4" HIGH WROUGHT IRON FENCE WITH 36" WIDE GATES WHERE SHOWN ON SITE. SEE DETAIL SHT. A1.1WF
11. 6' HIGH WROUGHT IRON FENCE AROUND POOL AND SPA AREA WITH CARD KEYED MAIN GATES WHERE SHOWN - SEE SHT. A1.1WF
12. 32" HIGH CMU WALL (CAR SCREEN) WITH STUCCO TO MATCH BUILDINGS - SEE SHT. 1.1WF
13. INDICATES BUILDING TYPE & NUMBER, SEE BUILDING DATA
14. FUNCTIONAL OPEN SPACE, SEE LANDSCAPE DWGS.
15. LANDSCAPE AREA, SEE LANDSCAPE DWGS.
16. DESIGNATED DOG PARK AREA
17. 6'-0" WIDE PEDESTRIAN WALK PATH (DECOMPOSED GRANITE)
18. 8'-0" WIDE PEDESTRIAN WALK PATH (DECOMPOSED GRANITE)
19. ILLUMINATED CONTROLLED ENTRY / EXIT GATES W/ BATTERY BACKUP. MOTORIZED BI-PART GATES, SEE DETAIL 1/A1.1WF SEE ALSO MESA FIRE NOTE IV.
20. VISITOR CALL STATION, SEE 'ACCESS GATE REQUIREMENTS'
21. CITY OF MESA FIRE DEPARTMENT APPROVED PREEMPTIVE DEVICE. GATE CONTROL RELEASES AUTOMATICALLY UPON LOSS OF POWER. IF BATTERY BACKUP IS INSTALLED, UPON LOSS OF POWER OR LOW BATTERY, GATES WILL OPEN AND REMAIN OPEN. EXCEPTION: IF GATES ARE LINKED TO AN EMERGENCY GENERATOR ON SITE AS A SECOND POWER SOURCE. SEE ALSO MESA FIRE NOTE III.
22. ADDRESS DIRECTORY LOCATION - PER CITY OF MESA DESIGN CRITERIA.
23. FIRE RISER AND ALARM MONITORING ROOM
24. 4' WIDE (MIN.) SIDEWALK, FINISHED CONCRETE, ACCESSIBLE ROUTE, TYP. SEE CIVIL DRAWINGS FOR EXACT LAYOUT OF SIDEWALKS AND CURB RAMPS
25. 10' x 20' VISIBILITY TRIANGLE
26. MAIN GATE, 36" MIN. CLEAR WHEN OPEN 90°
27. BBQ GRILL PER OWNER SELECTION
28. PRE-FAB METAL FIRE PIT - 3'-0" DIA. OR AS DIRECTED BY OWNER.
29. FOR FIRE HYDRANT, SEE CIVIL DRAWINGS
30. FIRE HOSE LENGTHS FOR BUILDING ACCESS (MAX. 300')
31. ACCESSIBLE POOL HOIST BY POOL CONTRACTOR.
32. POOL / SPA - SEE LANDSCAPE PLANS
33. ACCESSIBLE GARAGE IS ADJACENT TO ACCESSIBLE CROSSWALK.
34. CONCRETE "WALK" IN FRONT OF GARAGES. (FLUSH WITH PAVING)
35. TYPE "A" ACCESSIBLE DWELLING UNIT, SEE A2.1A AND A2.2A
36. BIKE RACKS, SEE 8/A1.5. SEE DATA BLOCK FOR REQUIRED NUMBER
37. FIRE TRUCK TURN OF 35' INNER AND 55' OUTER RADIUS
38. CURBING TO BE MARKED AS FIRE LANE, SEE MESA FIRE NOTE II, AND 1/A1.2
39. 3'-4" H. WROUGHT IRON FENCE AT ENTRY / EXIT.
40. INSTALL SIGN: "RESIDENT ENTRY ONLY"
41. 2 COMPARTMENT RECYCLE BIN TO COMPLY WITH CURRENT COM STANDARDS M-62.01 THRU M62.04.2
42. 1 COMPARTMENT RECYCLE BIN TO COMPLY WITH CURRENT COM STANDARDS M-62.01 THRU M62.04.2

CITY OF MESA FIRE SITE PLAN NOTES

- I ADDRESS SHALL BE PLACED IN A POSITION THAT IS PLAINLY VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL BE 12" HIGH WITH 2" STROKE. SEE ALSO SHEET A1.1AD - ADDRESSING SITE PLAN.
- II FIRE LANE MARKINGS ARE REQUIRED ON BOTH SIDES OF STREETS LESS THAN 28' IN WIDTH, ON ONE SIDE OF STREET FOR WIDTHS GREATER THAN 28' AND LESS THAN 34' AND ARE NOT REQUIRED ON STREETS 34' OR WIDER.
- III PROVIDE AN APPROVED OPTICAL SENSING DEVICE TO INITIATE THE OPENING OF ALL ELECTRIC GATES RESTRICTING FIRE ACCESS. WHEN TWO GATES ARE PRESENT BOTH MUST OPEN UPON RECEIPT OF A SINGLE SIGNAL. UPON ACTIVATION, ELECTRIC GATES SHALL ACHIEVE THE "FULLY OPEN" POSITION IN NO MORE THAN 15 SECONDS AND SHALL REMAIN OPEN FOR NO LESS THAN 15 MINUTES. ALL GATES SHALL BE PRESSURE-ACTIVATED OR MAGNETIC LOOP FOR EXITING. ALL INSTALLATIONS SHALL PROVIDE A "FREE EXIT" FEATURE THAT REQUIRES NO ACTION BY THE VEHICLE OPERATOR TO EXIT OTHER THAN APPROACHING THE GATE. PLEASE SPECIFY THE UNIT TO BE INSTALLED AND PROVIDE MANUFACTURER'S CUT SHEETS.
- IV IN THE EVENT OF LOSS OF ELECTRICAL POWER TO VEHICLE GATES: THE GATE CONTROLLER OR HYDRAULIC RAM IS ON THE EXTERIOR SIDE OF THE GATE AND CAN BE RELEASED BY USING A KEY PROVIDED IN A KNOX BOX AT THE ENTRANCE.
- V FIRE ACCESS DURING CONSTRUCTION: APPROVED VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE. IFC 1410.1

CONSENT

DATE \_\_\_\_\_  
I CONSENT TO THE REPRODUCTION OF THIS SITE PLAN FOR THE PURPOSE OF FUTURE AMENDMENTS PROVIDED THAT IF MODIFICATIONS ARE MADE, THE ARCHITECTS WHO MAKE SUCH CHANGES ASSUME FULL RESPONSIBILITY AND LIABILITY FOR THE PLAN.

SIGNATURE OF COPYRIGHT OWNER \_\_\_\_\_  
PRINTED NAME OF COPYRIGHT OWNER \_\_\_\_\_

VICINITY MAP



OWNER INFORMATION

Harmony at Hawes Crossing, LLC  
7918 East McClain Drive,  
Scottsdale, Arizona  
480-922-0492

LEGAL DESCRIPTION

RM-5 EAST BOUNDARY DESCRIPTION  
A PORTION OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

APPROVAL STAMPS

CASE #: ZON21-01115  
CASE #: DRB21-01175

PLAT: \_\_\_\_\_  
KIVA # \_\_\_\_\_ PRLM # \_\_\_\_\_  
SDEV # \_\_\_\_\_ SCMJ # \_\_\_\_\_  
PAPP # \_\_\_\_\_ QS # \_\_\_\_\_

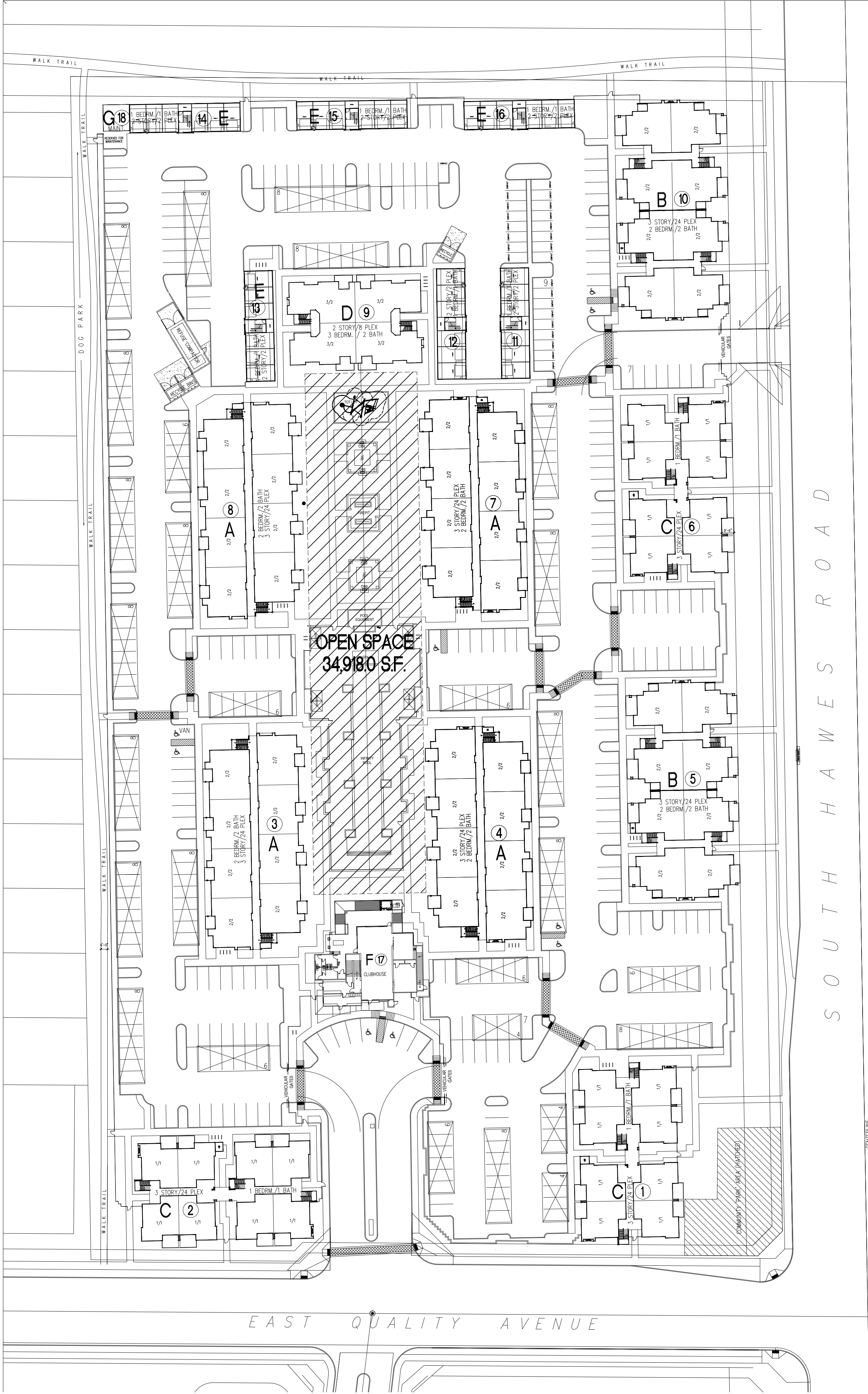


ERIC MILLER • ARCHITECT  
3620 WYOMING BLVD. NE, SUITE 213  
ALBUQUERQUE, NM 87111  
(505) 764-8650

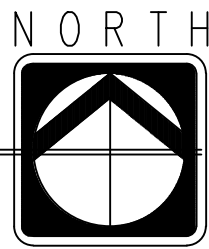
HARMONY APARTMENTS @ HAWES CROSSING  
8336 EAST QUALITY AVE.  
MESA ARIZONA

DRAWN BY: AM  
DATE: 8-2-22  
REVISIONS:  
3-28-22 CITY COMMENTS  
6-11-22 CITY COMMENTS  
REF. RESPONSE LETTER  
7-21-22 CITY COMMENTS  
PLANNING

ARCHITECTURAL  
A1.0  
ARCHITECTURAL  
SITE PLAN

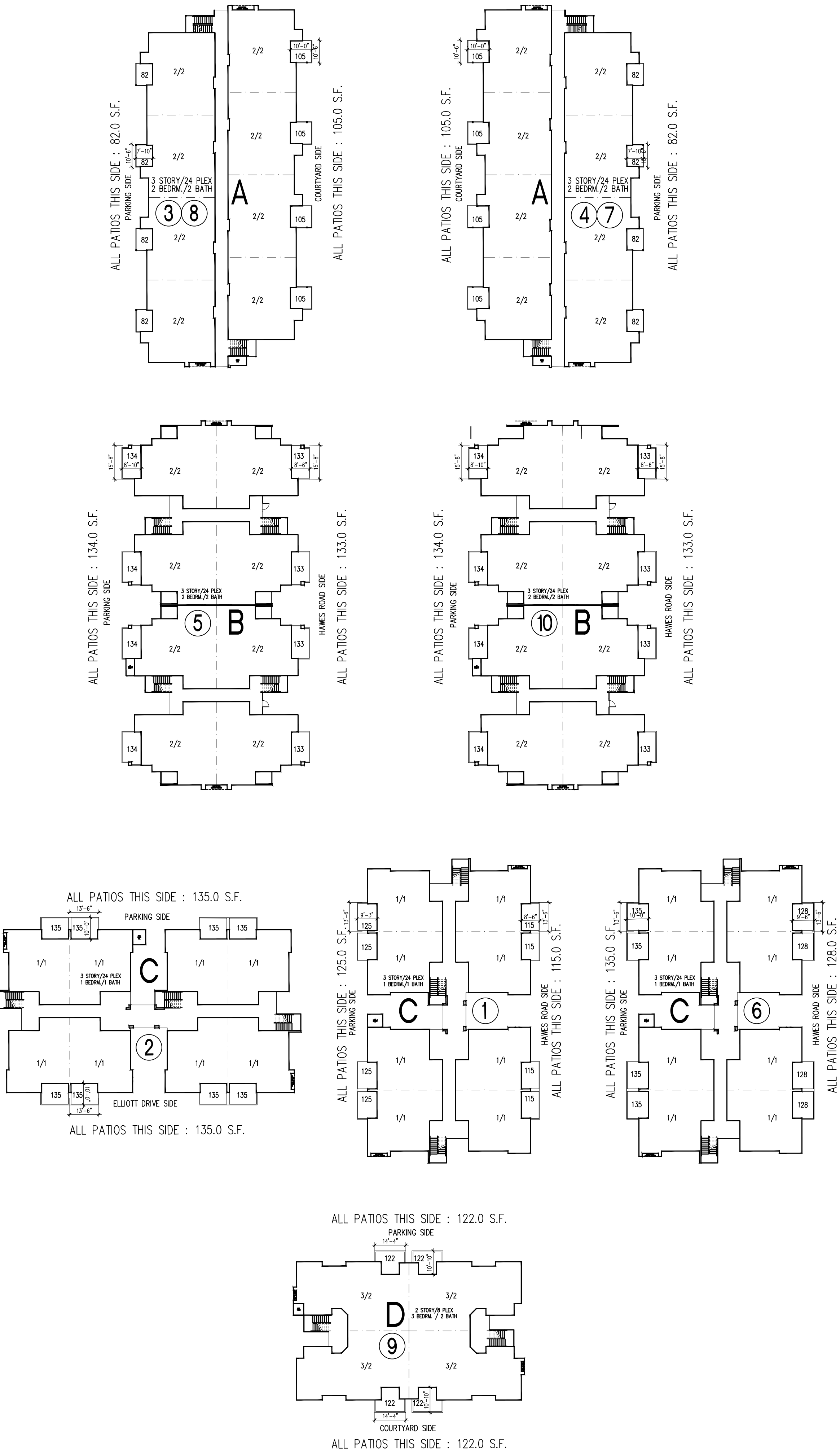


OPEN SPACE EXHIBIT (PUBLIC & PRIVATE)



OPEN SPACE EXHIBIT (GROUND LEVEL PRIVATE)

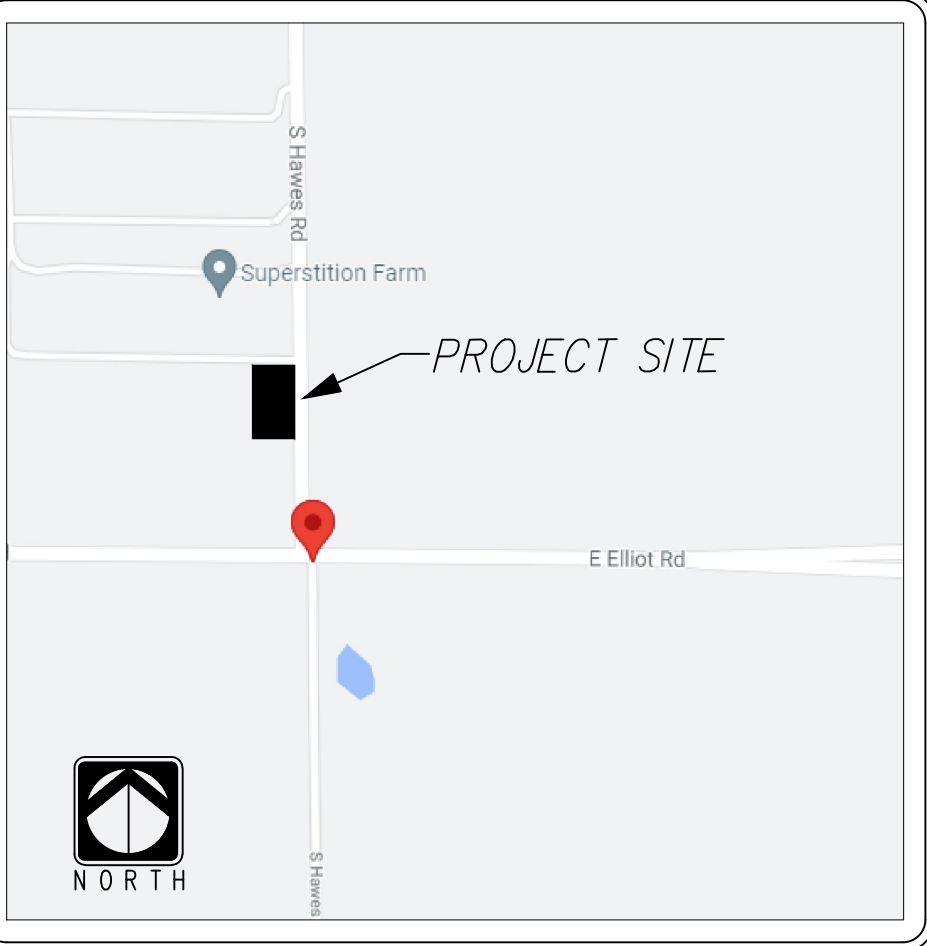
SCALE 1/32" = 1'-0"



OPEN SPACE DATA

REQUIRED:	120 SQ. FT. PER UNIT (COMBINED PRIVATE AND PUBLIC)
	120 SQ. FT. X 234 UNITS = 28,080 SQ. FT.
REQUIRED:	PRIVATE OPEN SPACE @ GROUND LEVEL
BLDG. A (2/2) = 4 X 8 = 32 X 100 S.F. =	3,200 S.F.
BLDG. B (2/2) = 2 X 8 = 16 X 100 S.F. =	1,600 S.F.
BLDG. C (1/1) = 2 X 8 = 16 X 60 S.F. =	1,440 S.F.
BLDG. D (3/2) = 1 X 4 = 4 X 120 S.F. =	480 S.F.
TOTAL	= 6,720.0 S.F.
PROVIDED:	PRIVATE OPEN SPACE @ GROUND LEVEL
BLDG.'S A (2/2) = (105 + 82 S.F.) X 4 X 4 =	2,992.0 S.F.
BLDG.'S B (2/2) = (134 + 133 S.F.) X 4 X 2 =	2,136.0 S.F.
BLDG. C1 (1/1) = (125 + 115 S.F.) X 4 X 1 =	960 S.F.
BLDG. C2 (1/1) = 135 S.F. X 8 X 1 =	1,080 S.F.
BLDG. C6 (1/1) = (135 + 128 S.F.) X 4 X 1 =	1,052 S.F.
BLDG. D (3/2) = (122 S.F.) X 8 X 1 =	488 S.F.
TOTAL PRIVATE PATIO SPACE PROVIDED	= 8,708.0 S.F.
PUBLIC OPEN SPACE PROVIDED @ CENTER COURTYARD AREA	= 34,918.0 S.F.
TOTAL OPEN SPACE PROVIDED	= 43,626.0 S.F.

VICINITY MAP



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APPROVAL STAMPS

CASE #: ZON21-01115	ENTIRE SHEET UPDATED
CASE #: DRB21-01175	
PLAT:	
KIVA #	PRLM #
SDEV #	SCMJ #
PAPP #	QS #

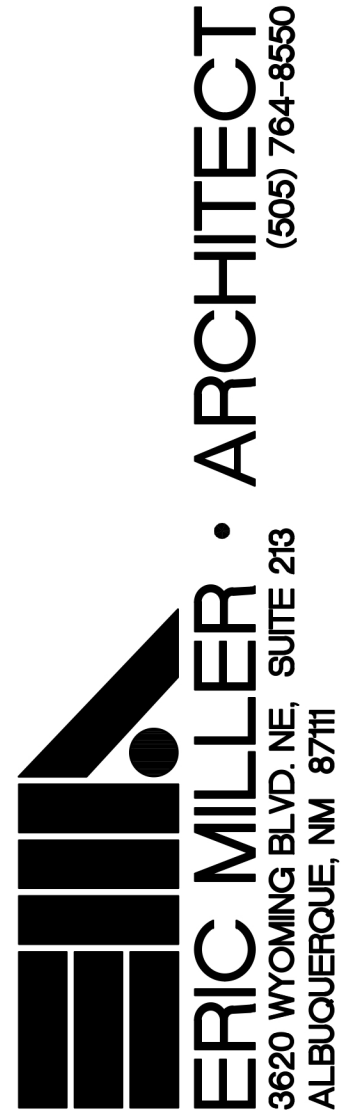


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MESA, ARIZONA

**DRAWN BY:** AM  
**DATE:** 8-2-22  
**REVISIONS:**  
3-28-22 CITY COMMENTS  
6-11-22 CITY COMMENTS  
RESPONSE LETTER

**ARCHITECTURAL**  
**A1.10S**  
**PROJECT SITE**  
**OPEN SPACE**



**HARMONY APARTMENTS @ HAWES CROSSING**  


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**8336 EAST QUALITY AVE.**  
**MESA ARIZONA**

**DRAWN BY:** AM  
**DATE:** 8-22-22  
**REVISIONS:**  
4-12-21 CITY COMMENTS  
PLANNING  
6-11-22 CITY COMMENTS  
PLANNING  
REF. RESPONSE LETTER

ARCHITECTURAL

# A1.4

SITE DETAILS

