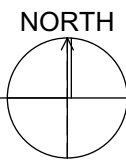
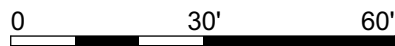


LOCATION:	SOUTHEAST CORNER OF ELLSWORTH ROAD AND CADENCE PARKWAY, CADENCE COMMERCIAL CENTER - SOUTH SIDE OF CADENCE DU1-PHASE 2
SIZE AREA:	40,174 SF (0.9223 ACRES)
ZONING:	PLANNED COMMUNITY (PC), COMMUNITY COMMERCIAL (CC)
USE GROUP (PROPOSED):	OFFICE, MEDICAL AND DENTAL
PARCEL NUMBER (APN):	313-25-873
BUILDING HEIGHT (ALLOWED):	60'-0" MAXIMUM
BUILDING HEIGHT (PROPOSED):	20'-0" TOP OF PARAPET, 22'-0" TOP OF EQUIPMENT SCREEN
BUILDING AREA:	7,018 GSF
BUILDING SETBACK:	15' FRONT AND STREET-FACING, 0' INTERNAL
PARKING (REQUIRED):	1 SPACE PER 200 SF 7,018 / 200 = 35.09 36 SPACES
PARKING (PROVIDED):	56 SPACES (4 ACCESSIBLE)

ARCHITECTURAL SITE PLAN



- A. Remove all existing vegetation, site improvements, etc. whether or not specifically indicated on the drawings to facilitate the completion of all required new work, unless noted otherwise. Visit the site and verify all quantities and items that are required to be removed prior to submittal of bid proposal. Such work shall be considered part of the base bid.
- B. Slope all grades and pavement away from building(s) to provide positive drainage, unless noted otherwise.
- C. Finish grade at sidewalks, buildings, etc., as required to provide smooth transition to grade.
- D. Angles indicated are 45 degrees unless noted otherwise.
- E. Remove construction debris from the site as required to maintain clean and safe conditions on a continuing basis for the duration of construction.
- F. Provide expansion joints at a maximum spacing of 20 feet OC and control joints at 5 feet OC at concrete sidewalks unless otherwise noted.
- G. Perform all clearing, grubbing and earthwork in accordance with the Geotechnical report, unless more restrictive requirements exist.
- H. Verify that slopes in the direction of travel will be no greater than 1:20 (5%) at pavement locations prior to installation of pavement. Notify architect immediately for direction on how to address this condition.
- I. Test all proposed imported fill material utilizing a qualified testing agency to verify that it meets all specification requirements prior to placing on site.
- J. Dimensions shown are to outside face of stem walls/foundations unless noted otherwise.
- K. Document original condition of areas that may be disturbed during the course of construction. Restore all areas disturbed by construction, staging, etc. prior to project completion.
- L. All sidewalks at building entrances shall be "keyed" into building slab to prevent differential movement.

1. Colored concrete walk. Concrete color to match the adjacent development.
2. Bicycle parking for seven (7) bicycles. See details on sheet AS103 (detail 11).
3. Masonry trash/recycle enclosure. Utilize City of Mesa Solid Waste details M-62.01 through M-62.09.
4. 50' clearance rectangle for maneuverability.
5. Masonry parking screen walls. See details on sheet AS103 (details 4 and 8).
6. Extend on-site sidewalk to existing public sidewalk.

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S Ellsworth Rd & E Cadence Pkwy, Mesa, Arizona 85212

REVISION NO. _____ DATE _____

SHEET NO.

AS102