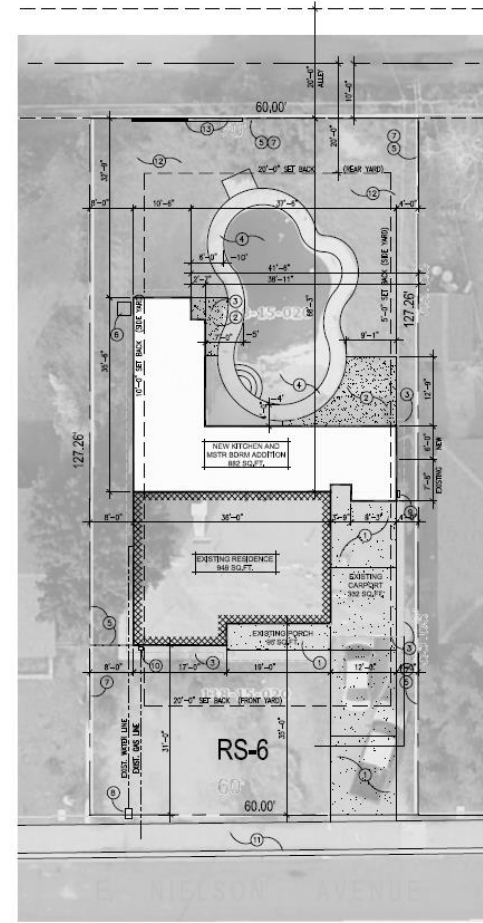
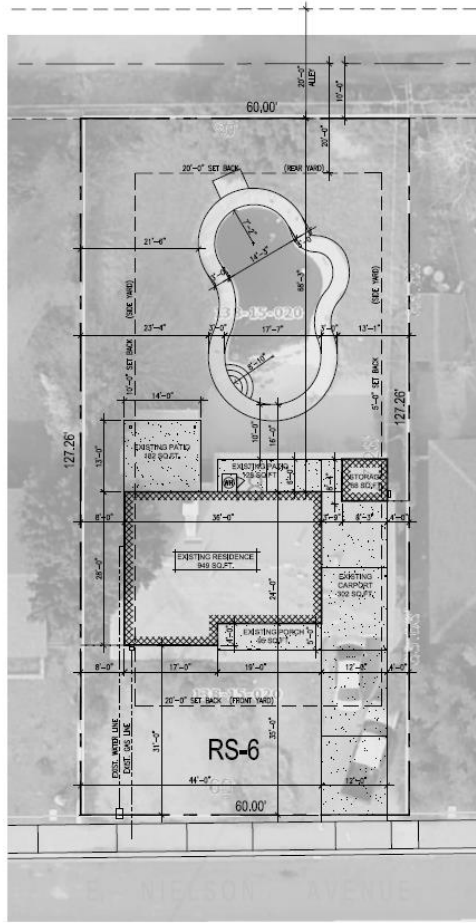
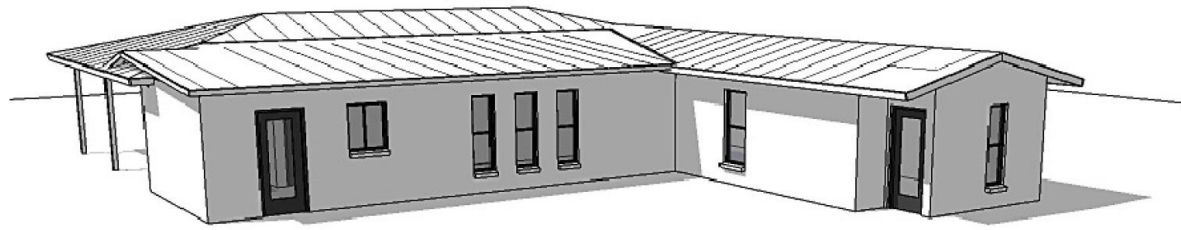




BOARD OF ADJUSTMENT



BOA22-00199



Request

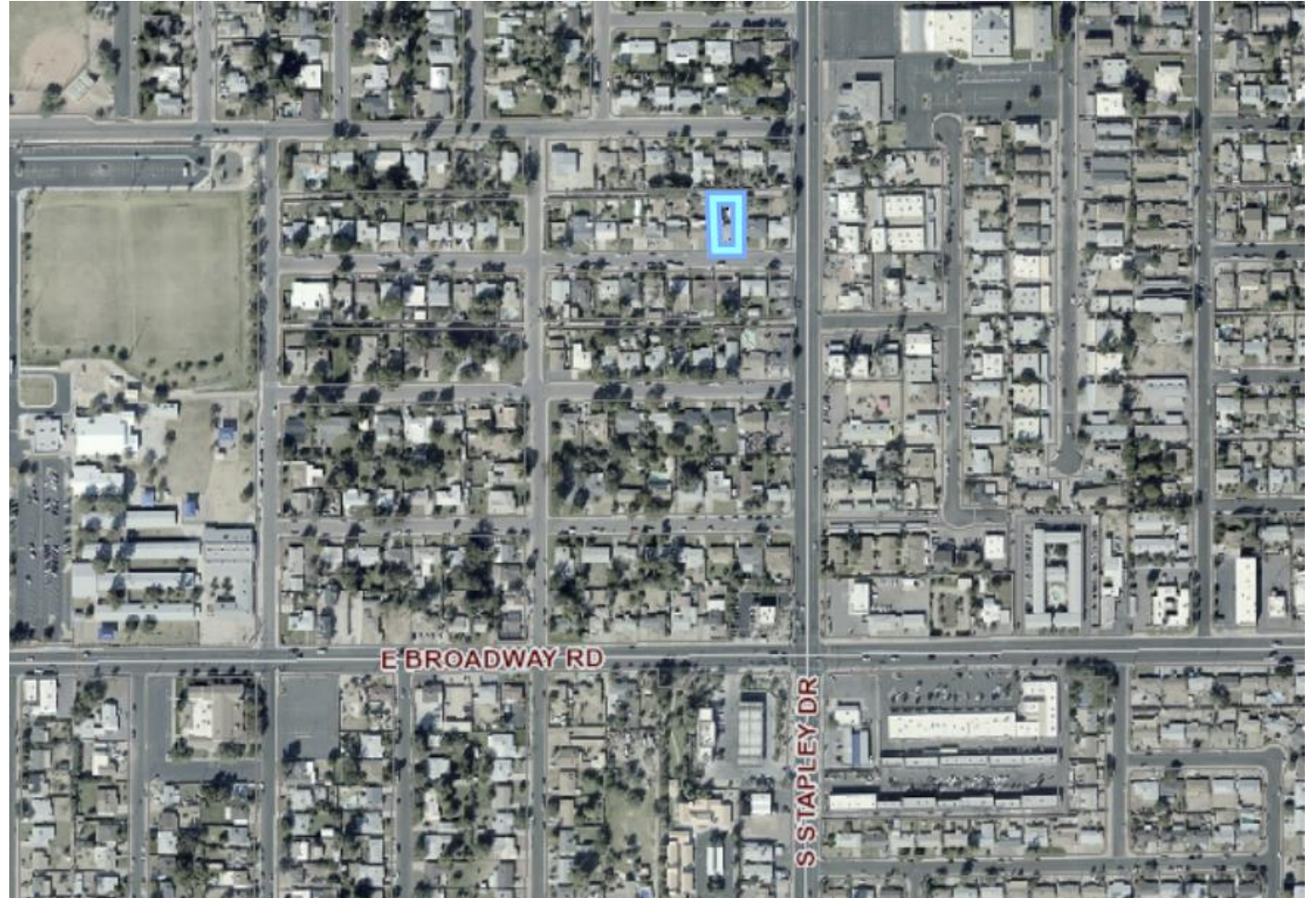
- Special Use Permit

Purpose

- To allow for the enlargement of a legal nonconforming residence along the existing legal nonconforming setback

Location

- 1144 E Nielson Ave
- North of Broadway Road
- West of Stapley Drive





General Plan

Neighborhood

- Safe places for people to live and enjoy the surrounding community
- Wide range of housing options and associated non-residential uses

Zoning

- Single Residence-6
 - Existing use allowed
 - Property is legal nonconforming



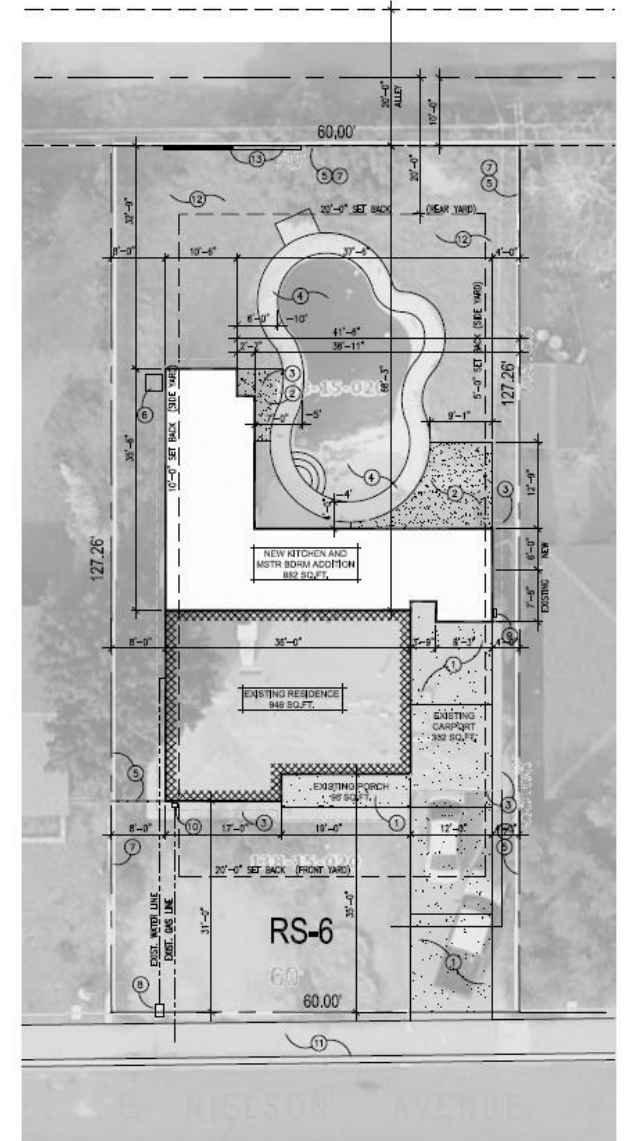
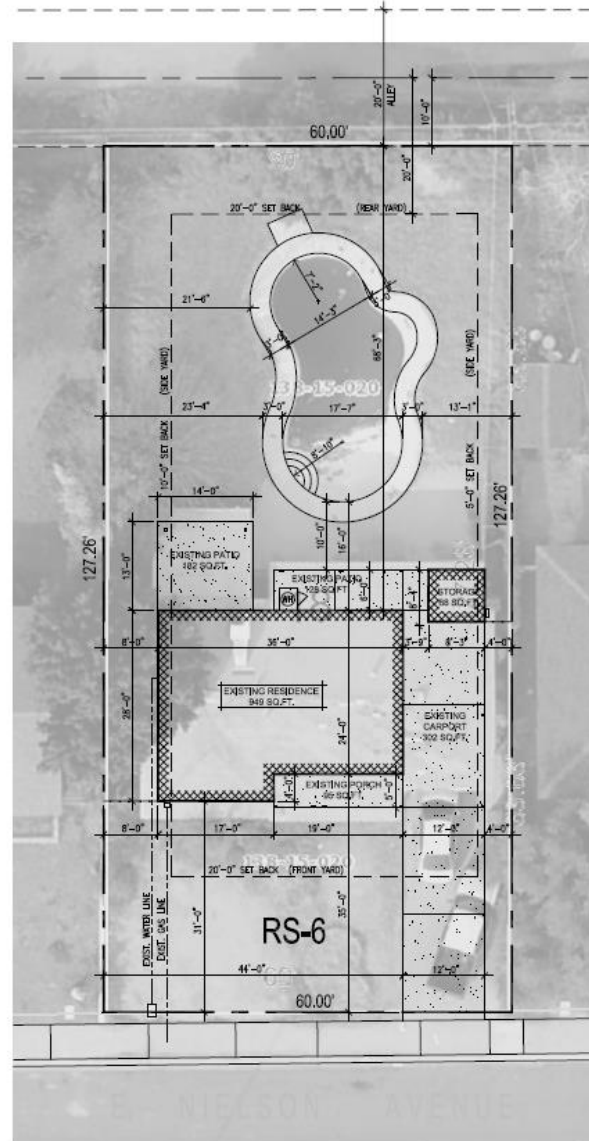
Site Photo



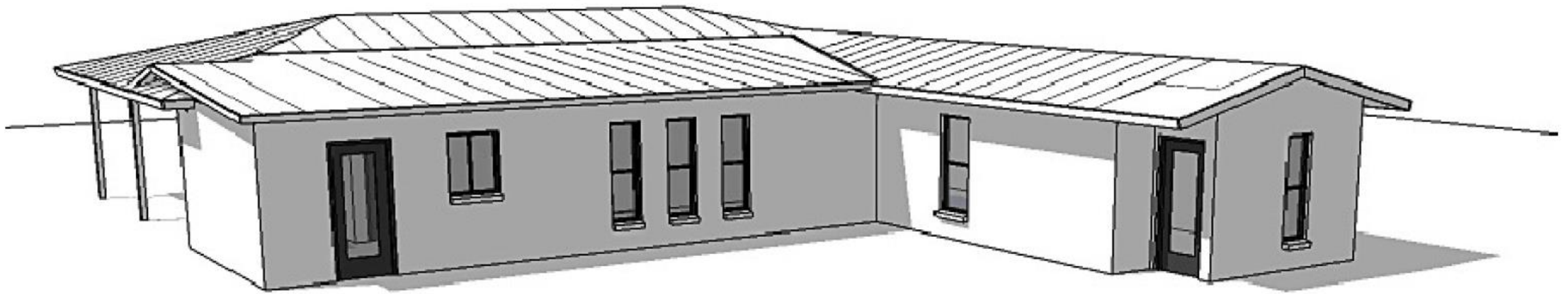
View of existing building

Site Plan

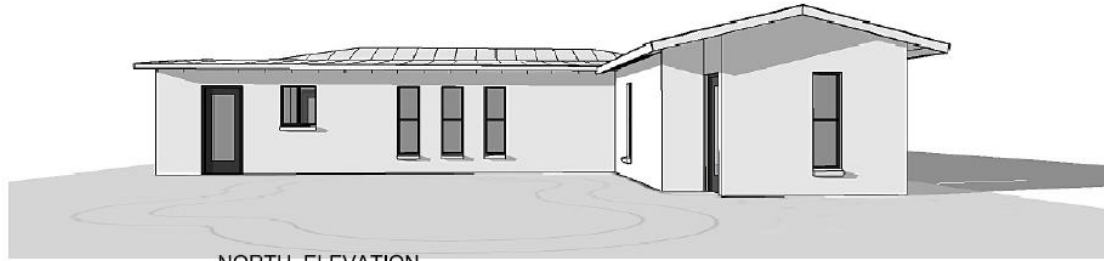
- Min. side setback 5 ft
- Min. aggregate side setback 15 ft
- Existing house side setbacks
 - East: 4 feet
 - Aggregate: 12 feet
- New Addition side setbacks
 - East: 4 feet
 - Aggregate: 12 feet



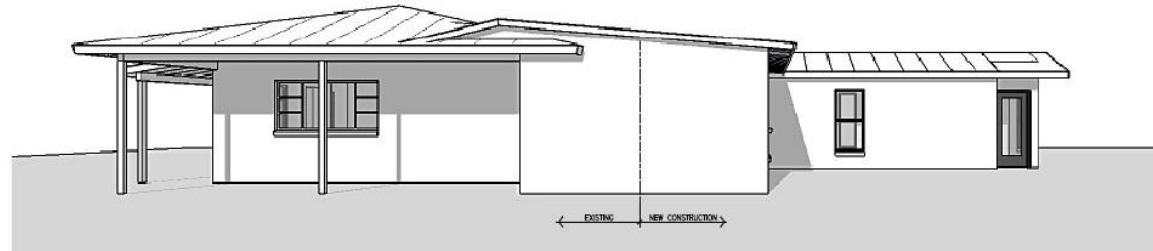
Elevations



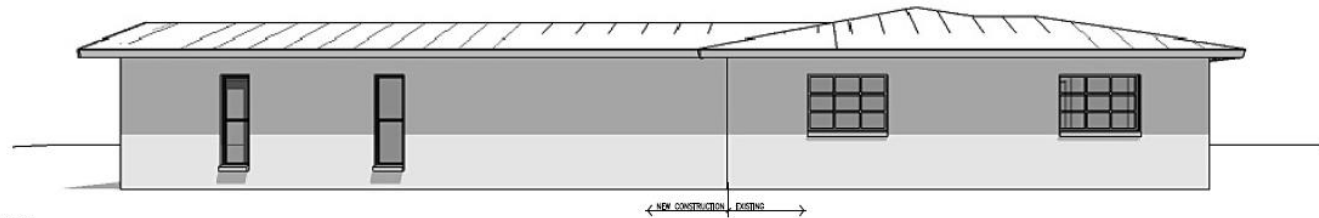
Elevations



NORTH ELEVATION
NOT TO SCALE



EAST ELEVATION
NOT TO SCALE



WEST ELEVATION
NOT TO SCALE

Approval Criteria

Section 11-70-5(E) SUP Criteria

✓	#1 Project will advance the goals and objectives of the General Plan and other City plan and/or policies;
✓	#2 Location, size, design, and operating characteristics are consistent with the purpose of the district where it is located and conforms with the General Plan and any other applicable City plan or policies;
✓	#3 Project will not be injurious or detrimental to the surrounding properties, the neighborhood, or to the general welfare of the City; and
✓	#4 Adequate public services, public facilities, and public infrastructure are available.

Summary

Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Meets SUP findings of Section 11-70-5(E) of the MZO

Staff Recommendation

Approval with Conditions



BOA22-00199

August 3, 2022