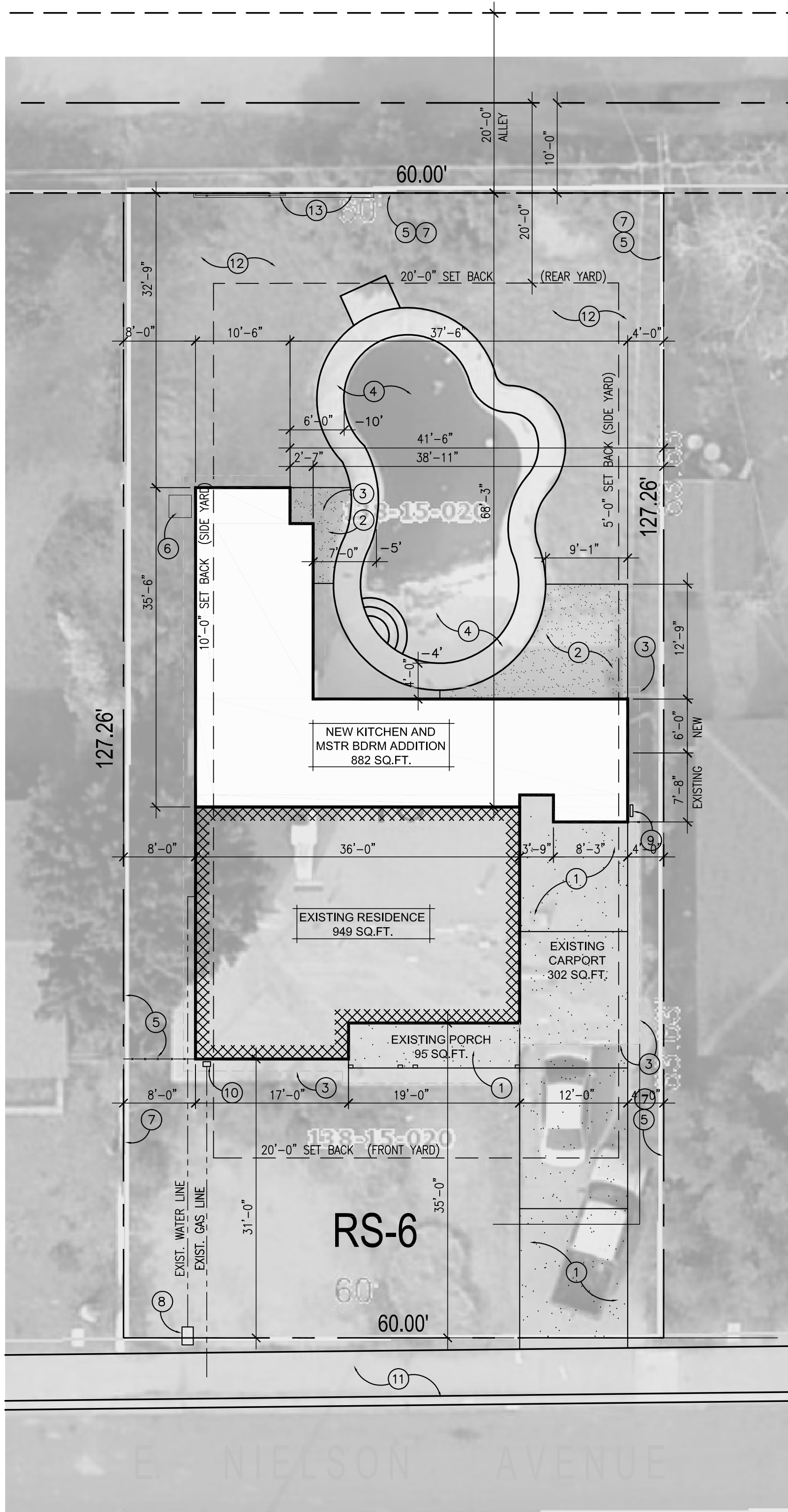


EXISTING SITE PLAN

SCALE: 1"= 10'-0"

LOT AREA	
Lot Square Footage:	7,635.6 Sq.Ft.
LOT COVERAGE	
Building (s) footprint:	1,656 Sq.Ft.
Existing Coverage	22 %
LIVABLE	949 Sq.Ft.
GARAGE	302 Sq.Ft.
PATIO	310 Sq.Ft.
FRONT PORCH	95 Sq.Ft.
	1,656 Sq.Ft.



SITE PLAN

SCALE: 1"= 10'-0"

LOT AREA	
Lot Square Footage:	7,635.6 Sq.Ft.
LOT COVERAGE	
Building (s) footprint:	2,228 Sq.Ft.
Coverage	29 %
LIVABLE	1831 Sq.Ft.
EXISTING CARPORT	302 Sq.Ft.
FRONT PORCH	95 Sq.Ft.
	2,228 Sq.Ft.

GENERAL NOTES

- CONTRACTOR SHALL FOLLOW ALL CODES AND REGULATIONS MANDATED BY FEDERAL, STATE, COUNTY AND CITY AGENCIES.
- CONTRACTOR SHALL REPAIR AND OR REPLACE ALL FINISHES THAT ARE DAMAGED DURING THE COURSE OF CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER
- CONTRACTOR SHALL REPAIR OR REPLACE ALL EXISTING UTILITY LINES DAMAGED DURING THE COURSE OF CONSTRUCTION
- CONTRACTOR SHALL REPAIR OR REPLACE ALL EXISTING UTILITY LINES DAMAGED DURING THE COURSE OF CONSTRUCTION
- CONTRACTOR SHALL SECURE MAINTAIN THE JOB SITE AT ALL TIMES DURING CONSTRUCTION. ALL THEFT AND VANDALISM SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WASTE MATERIAL SHALL BE DEPOSITED IN A PROPERLY DISPOSAL SITE

SITE NOTES

- PRIOR TO CONSTRUCTION FIELD VERIFY ALL SETBACK EASEMENTS, PROPERTY LINES, LOT NUMBER AND SUB-DIVISION.
- VERIFY ALL FIELD CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- STRIP AND REMOVE ALL SOILS, VEGETATION, DEBRIS AND RUBBLE FROM THE PAVING AREA. CLEAN AND WIDEN DEPRESSION RESULTING FROM TREE REMOVAL TO ACCOMMODATE COMPACTION EQUIPMENT
- SCAFFRY, MOISTEN OR DRY, AS REQUIRED, AND COMPACT ALL EXPOSED SUB GRADE SOILS TO A MINIMUM DEPTH OF 8"
- PLACE AND COMPACT REQUIRED FILL IN HORIZONTAL COMPACTED LIFTS TO FINISH SUB GRADE LEVELS, LIFT THICKNESS SHOULD BE CONTINGENT UPON COMPACTION EQUIPMENT USED TO ACHIEVE MINIMUM UNIFORM DENSITIES. ON-SITE SOILS DERIVED FROM SHALLOW EXCAVATIONS CLEAN AND FREE OF ANY VEGETATION AND SPOILS WILL BE SUITABLE FOR FILL UNDER PAVEMENT AREAS
- SUBGRADE PREP AND FILL SHOULD BE ACCOMPLISHED UNDER OBSERVATION
- TESTING THAT IS DIRECTED BY A SOILS ENGINEER SHALL MEET SOILS REPORT SPECIFICATIONS AND MINIMUM COMPACTION
- EXCAVATED DIRT IS NOT TO BE EXPORTED OFF-SITE. IF ANY, OWNER WILL DESIGNATE PLACEMENT
- VERIFY ALL EXISTING ELECTRICAL, WATER, SEWER AND SEPTIC LINES
- SLOPE BERMS AWAY FROM BUILDING, TYPICAL AT ALL SIDES

KEY NOTES

- EXISTING CONCRETE SLAB
- NEW EXTERIOR CONCRETE SLAB.
- ROOF LINE ABOVE.
- EXISTING POOL AND DECK
- EXISTING CHAINLINK FENCE
- NEW A/C COMPRESSOR
- PROPERTY LINE
- WATER METER
- EXISTING ELECTRICAL PANEL/METER
- EXISTING GAS METER
- EXISTING SIDEWALK, CURB AND GUTTER
- EXISTING LAWN
- NEW CHAINLINK ROLLING GATE ASSEMBLY

PROJECT DATA

ADDRESS:	1144 E. Nielson Avenue Mesa, Az. 85204
LEGAL DESCRIPTION	PARCEL 1 138-15-020 Section Township Range: NE 1/4, SECTION 29, T.2S., R.6E.
ZONING:	RS-6
CONSTRUCTION TYPE:	V-B
ADDITION BUILDING AREA:	LIVABLE 882
EXISTING BUILDING AREA:	LIVABLE 949
LOT AREA:	7,635.6
SUBDIVISION:	DE LOS SANTOS

SCOPE OF WORK:

A 882 SQ.FT. ADDITION ON 7,635.6 SQ.FT. LOT. IN THE CITY OF MESA, THE ADDITION WILL CONSIST OF THE RELOCATION OF THE EXISTING KITCHEN AND DINING AREA. ADDITION OF A NEW LAUNDRY ROOM, MASTER BEDROOM, MASTER BATHROOM AND CLOSET.

GOVERNING CODES:

BUILDING:	2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
MECHANICAL:	2018 INTERNATIONAL RESIDENTIAL CODE (IMC)
ELECTRICAL:	2017 NATIONAL ELECTRICAL CODE (NEC)
PLUMBING:	2018 INTERNATIONAL PLUMBING CODE (IPC)
FUEL GAS:	2018 INTERNATIONAL FUEL GAS CODE (IFGC)
ENERGY:	2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
POOL:	2018 INTERNATIONAL SWIMMING POOL-SPA CODE (ISPC)

SHEET INDEX:

AS1.0	COVER SHEET / SITE PLANS
A1.0	FLOOR PLAN
A1.1	FRAMING / FOUNDATION PLANS
A2.0	ELEVATIONS / BUILDING SECTIONS
A3.0	DETAILS - CARPORT PLAN
MPE1.0	MECHANICAL/PLUMBING/ELECTRICAL PLAN

VICINITY MAP



A RESIDENTIAL ADDITION
ALEX BAUTISTA
1144 E. NIELSON AVENUE, MESA ARIZONA 85204

COVER SHEET/
SITE PLANS

DRAWN	PM
CHECKED	PM
DATE	12.27.18
SCALE	PER PLAN
JOB NO.	-
SHEET	

AS1.0
04.06.22