

# Geneva Villas

**SWC Brown Road & Crismon Road  
Single-family Detached Residential Development**

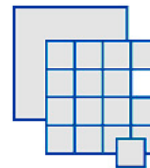
## Annexation, Rezoning, and Preliminary Plat Project Narrative

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*Submitted by:*

**Pew & Lake, PLC**

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Real Estate and Land Use Attorneys

*On behalf of:*

**Brighton Brokerage & Development, LLC**

Jaren Sweeney  
Mesa, AZ



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April 25, 2022



## Contents

I.	Introduction .....	3
II.	Specific Requests.....	3
III.	Existing Site Conditions and Relationship to Surrounding Properties.....	3
IV.	Justification and Compliance with the General Plan .....	5
V.	Proposed PAD Zoning.....	7
VI.	Project Description.....	8
1.	Circulation and Parking.....	9
2.	Preliminary Housing Design.....	9
3.	Landscaping and Open Space .....	10
4.	Development Standards .....	10
5.	Utilities, Services, and Infrastructure .....	12
6.	Project Phasing .....	13
VII.	Neighbor Support.....	13
VIII.	Conclusion .....	14

## List of Figures and Tables

Figure 1 – Site Aerial .....	3
Figure 2 – Existing City of Mesa General Plan Map.....	4
Figure 3 – Existing City of Mesa & Maricopa County Zoning Map .....	4
Figure 4 – Conceptual Site Plan .....	8
Figure 5 – Conceptual Home Elevation .....	10
Table 1 – Surrounding Context .....	5
Table 2 – Density Summary .....	8
Table 3 – Open Space Summary .....	10
Table 4 – Development Standards.....	11



## I. Introduction

Pew & Lake, PLC, on behalf of our client, Brighton Brokerage & Development, LLC, is pleased to submit this narrative and related exhibits in support of an Annexation, Rezoning and Preliminary Plat request for approximately 8 acres located at the southwest corner of Crismon Road and Brown Road ("Property"). The Property is further identified as parcel numbers 220-20-010C and -010D on the Maricopa County Assessor's Map. This request is delivered by Brighton Homes, a reputable, local builder. It is made in conjunction with significant neighborhood support which is shown on the attached Letters of Support. They are proposing 27 single-family detached homes on the Property with significant preserved natural open space. See the site aerial below:

*Figure 1 – Site Aerial*



## II. Specific Requests

Our specific requests to the City of Mesa are for the following:

1. Annexation from Maricopa County to City of Mesa;
2. Rezoning from the comparable commercial zoning to RS-15-PAD; and
3. Preliminary Plat Approval.

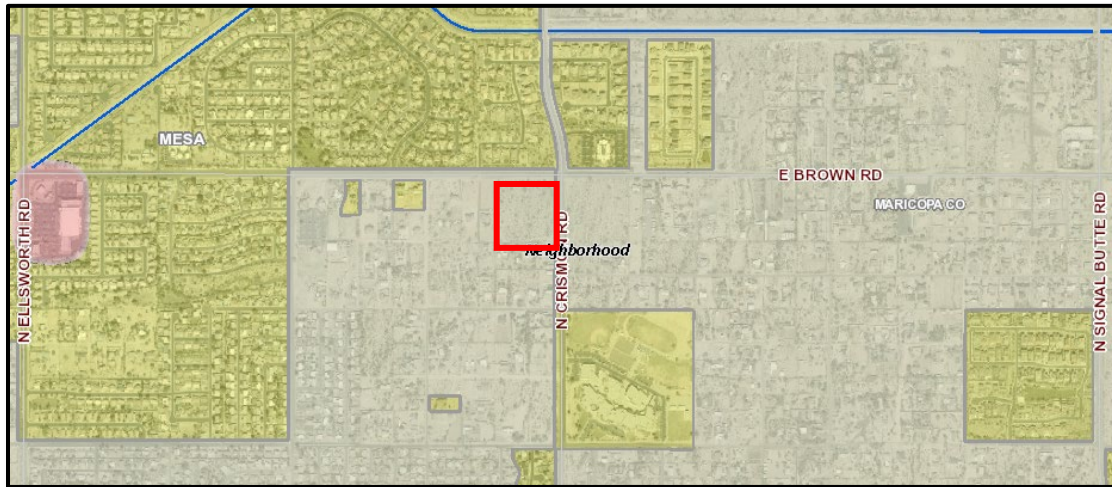
## III. Existing Site Conditions and Relationship to Surrounding Properties

As noted above, the subject site is located at the SWC of Brown Road and Crismon Road in unincorporated Maricopa County. The site topography is largely unremarkable but is encumbered by an SRP transmission line and easement which runs diagonally along the southern approximately 207 feet of the site. This transmission line significantly impacts what can be built (and where) on the property.

The site is located within the Desert Uplands designated area of Mesa but there are no hillside areas on-site. The subject site is designated under the City of Mesa General Plan as Neighborhood as shown on the figure on the next page with the site outlined in red.

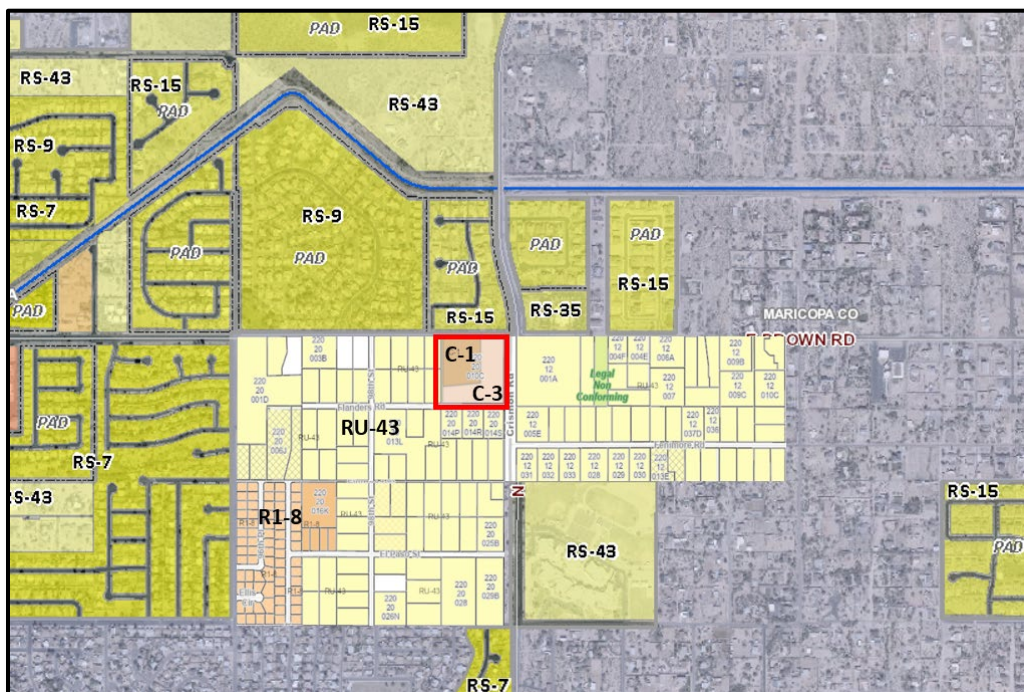


**Figure 2 – Existing City of Mesa General Plan Map**



This 7.917-acre site currently maintains multiple zoning districts, and specifically C-3, C-1 and RU-43 as shown on the figure on the next page. Zoning districts within the surrounding 1/2-mile radius include RS-7-PAD (Mesa), RS-9-PAD (Mesa), RS-15-PAD (Mesa), and R1-8 (Maricopa County).

**Figure 3 – Existing Zoning Map (City of Mesa & Maricopa County)**



North of the site is Brown Road a major arterial, followed by the Whisper View subdivision (single family detached homes), which has been annexed into the City of Mesa. Northeast across the Crismon and Brown intersection is a Latter-day Saint church. East of the site is Crismon Road, also a major arterial, followed by vacant property that is still in the County. South and west of the site are single-family residential properties that are zoned RU-43 in Maricopa County.



The table below further details the adjacent land uses.

**Table 1 – Surrounding Context**

Direction	Owner	Existing Zoning	Existing Use
Subject Property	KMC Holdings LLC	C-3, C-1, & RU-43*	Vacant
North	Whisper View HOA	RS-15 (Mesa)	Single Family Residential
East	Jean W Dong Trust	RU-43	Vacant
South	Multiple Individuals	RU-43	Single Family Residential
West	Multiple Individuals	RU-43	Single Family Residential

\*The previous City of Mesa C-3 Zoning District is now known as General Commercial

#### IV. Justification and Compliance with the General Plan

The proposed development is consistent with the Mesa 2040 General Plan which designates the Property under the Neighborhood Character Area, which is designed to support “primarily residential areas with supporting parks, schools, and other neighborhood services.”

This request proposes to develop the Property with a development that is harmonious with the surrounding neighborhood. The proposed PAD zoning flows out of the fabric of the community and nearby RS-7 zoning districts where residential properties are located in a desirable residential area of the City. The proposed 3.4 du/acre for a quality single-family detached product establishes a high-quality and neighborhood-friendly transition. This proposed development will appeal to the highly demanded need for additional single-family detached housing.

##### 1. Compatibility with Surrounding Uses

In support of the Neighborhood general plan designation, this subdivision proposes single-family detached homes, which is commensurate with the residential and RU-43 zoned vacant property on all sides of the property. Letters of Support have already been obtained from both the adjacent neighbors and residents in the nearby vicinity, supporting the project. The arterial roads on the north and east, along with the common open space along the southern boundary, ensures a generous transition to immediately adjacent neighbors.

##### 2. Consistency with the General Plan Goals and Objectives

In addition, the project complies with the goals, objectives, and policies outlined in the General Plan as follows:

- Annexing this property for the proposed development, supports the objective to



encourage a range of housing options in all areas of the City, namely the Desert Uplands area, in order to allow people to stay in their neighborhood as their housing needs change (p. 4-14)

- Neighborhood Focus - Implements a single-family housing type that supports the city's desired "wide range of housing types." (Neighborhood Focus, p. 7-8)
- Supports the intent of the Desert Uplands Area to provide smaller lots when common open space is utilized to preserve the low-density character of the area (p. 7-9)

### **"Great Neighborhoods" Element**

The General Plan states: *"Neighborhoods are the foundation of communities and cities. To be a great city where people want to live, work and play, we need a variety of great neighborhoods."* Furthermore, the following five characteristics and qualities of great neighborhoods, as described in the General Plan for strong neighborhoods, are utilized in this development proposal:

- *Connectivity & Walkability*
  - *Block lengths developed consistent with the character area standards*

**The size and stand-alone project creates a small block of cohesively arranged homes that provide ease of access between neighbors and the public street network. The project offers common open space and rear yard buffers to the adjacent properties.**

- *Neighborhood Character & Personality*
  - *Reviewing new/reuse developments for the elements needed to add to the surrounding community and create a unique sense of place*
  - *Creating neighborhood boundaries and limiting through traffic into the neighborhoods*

**The project's two entry points will be designed with a quality low-intensity residential character and the eastern entrance will be marked by the presence of natural open space. The development will ensure there will not be through traffic onto Flanders Road and will create an enclave of quality single-family living.**

- *Safe, Clean and Healthy Living Environment*
  - *Encouraging the creation and maintenance of neighborhood associations (formal or informal)*
  - *Maintenance of streets, sidewalks, street lighting, etc. to ensure roadways, paths and trails are safe; improve lighting where needed*
  - *Locate and design public spaces so that there is a high degree of natural surveillance*
  - *Provision of outdoor open space and recreational facilities*
  - *Maintain attractive, well-kept public spaces in neighborhoods*

**The proposed developer will dedicate the private streets, sidewalks, landscaping, and open space/recreation areas to an HOA. This mechanism will oversee the efficient management of**



site maintenance for open space amenities and shared landscaped areas. Natural surveillance of the community parks and amenities are accomplished by the sizing and orientation of the buildings and units, many of which facing onto the natural open space amenity. Lighting throughout the development will be low level in nature and will meet City of Mesa requirements. In addition, the driveway and parking improvements will meet City standards.

## V. Proposed PAD Zoning

This application requests RS-15 PAD zoning for the residential development on the Property. The intent for this proposal is to demonstrate that Geneva Villas community provides equivalent or superior standards in a creative way to meet the intent of the underlying zoning district and general plan. Residential Districts in general should “provide for a variety of housing types,” and “orderly, well-planned, and balanced growth.” This request meets these criteria by offering an appropriate type of lower density residential housing suitable to the Property with special development standards to ensure compatibility and provide for the housing needs in a high demand residential area. The project also complies with the PAD overlay’s intent to implement the General Plan goals through the use of “innovative design and flexibility in projects of sufficient size that are planned for development as a cohesive unit.” The proposed development complies with the city policies and objectives by incorporating the following:

- Well designed and integrated open space held in common ownership under the property management and of a scale that is proportionate to the Property size. In fact, the quantity of common open space exceeds the minimum required within the RS-15 zoning district. The scale of this 27-home community ensures that all homes within the community benefit from preservation of this open space area.
- Implementation of private streets will ensure that maintenance needs are borne by a sustainable homeowners association and not added to the City’s burden.
- Preservation of significant aspects of the natural character of the land is a primary component of this proposal with 35.9% natural preserved open space.
- Absent the proposed residential use and site design, alternatives to commercial development, with primarily RV and Self-Storage uses historically being the proposed for this site, are unlikely to develop on this significantly encumbered site. Thus, the proposed residential use creates a unique and more sustainable alternative to conventional development.
- Sustainable professional management will oversee maintenance of the site as is provided in Brighton Home developments throughout the City;
- Maintenance of this property will be held in common ownership through the use of recorded covenants, conditions, and restrictions; and
- The residential land use activities in this area are organized in a comprehensive manner, and designed to work together in common and in a synergistic manner to the benefit of both the project and the neighboring area.



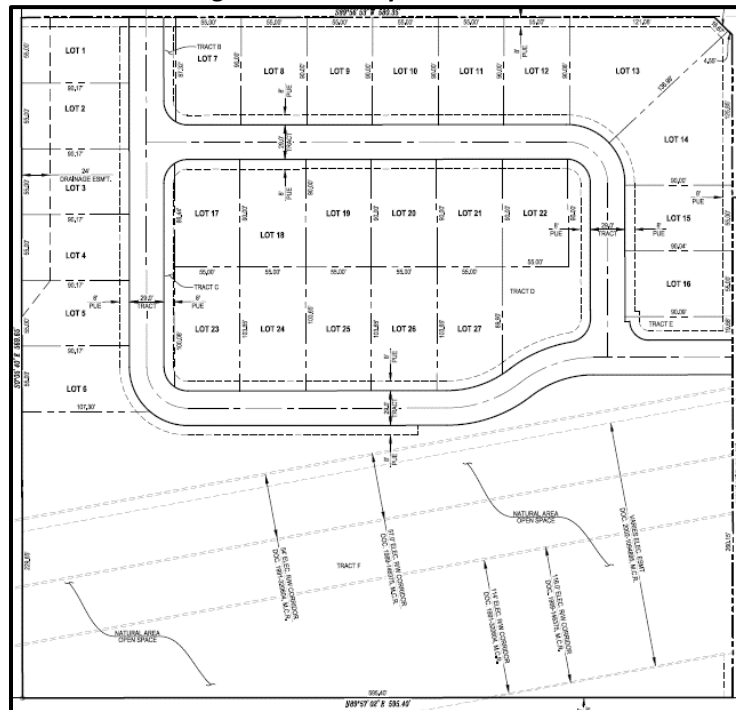
## VI. Project Description

The proposed development features 27 lots for single-family detached residences. The site layout places the homes on the northern portion of the site with an approximately 207-foot-deep open space area on the southern end of the site. This large open space area on the southern portion of the site provides a desirable buffer for adjacent southern neighbors and is necessary to comply with SRP design guidelines under the transmission lines.

The proposed site layout intends to achieve a natural transition between open space areas, road configuration and buildings. The site maintains considerable open space with the large retention and open space area under the SRP transmission lines being maintained on the southern approximately 207 feet of the site.

The conceptual site plan is provided in Figure 4 below.

**Figure 4 – Conceptual Site Plan**



Lot sizes are designed with approximately 5,000 square feet with typical lot dimensions being 55' wide by 90' deep. The net density of the project is 3.4 du/ac with PAD deviations requested to ensure a superior design of the overall site.

**Table 2 – Density Summary**

Lotting	
55' x 90' Lot Size	27
Density	
Gross Acres	9.999
Net Acres	7.917
<b>Net du/acre</b>	<b>3.4</b>



## 1. Circulation and Parking

Two primary access points are proposed on Crismon Road and Brown Road respectively. No access will be derived from the Flanders alignment south of the site. A simple looped private street system connects the primary entries on Crismon Road and Brown Road. The road tract is 29 feet wide (bc/bc) with a sidewalk provided on one side of the street, connecting pedestrian movement directly to Crismon and Brown Roads respectively. This internal looped system will be owned and maintained by the HOA that will be created by the declarant. ADA, code-compliant sidewalks will connect to the arterials including public pedestrian and bicycle paths.

Housing units will include two-car garage and minimum 18-foot setbacks. This will allow for 2 garage spaces and 2 driveway spaces, yielding up to 108 designated parking spaces for the 27-home development.

## 2. Preliminary Housing Design

The intent for the proposed housing plans is to provide a southwestern design theme commensurate with the surrounding development context. Proposed housing plans will comply with all applicable RS-15 standards and guidelines, except as provided in this PAD. The buildings will be designed with upscale architectural features with sophisticated building form consistent with the local vernacular and popular housing trends. The buildings will be punctuated with various design features, details, and colors, but not heavy or overstated. The overall architectural design will provide for enhanced visual interest, environmental comfort, and design quality.

Although this PAD submittal represents the conceptual stage of design, the submitted conceptual elevations give an indication of the type of design character for the project, which will be harmonious with, while adding fresh design features to the character of housing in the area. The applicant anticipates an offering of 2 minimum different housing floorplans with 2 building styles (Spanish and Ranch) for a total of 4 possible housing options for a 27-home site. These plans will fit on all the typical lot sizes, which will promote enhanced variety and interest in the project.

The proposed architectural themes will provide diversity and originality in the community. Housing options are influenced by the popular trends with modern-contemporary characteristics with the use of contrasting gray and natural color tones, stone veneer, and building accents. Identifiable elements and characteristics of this style and design features include:

- Various shading effects through patio overhangs second story dimension changes
- Refined contemporary forms and geometry
- Emphasis on balanced vertical and horizontal lines
- A creative application of various materials
- Functional and open floor plans
- Modern desert architectural style reflecting the theme of the community
- Flexible living and working spaces that offer alternative living arrangements to support workforce trends of employers in recent years



The proposed housing will create a pedestrian-friendly street scene and emphasize sustainable and authentic design elements. The homes will include two-car, front loaded garages to provide ample parking and storage. The overall concept provides marketable homes designed to a wide range of home buyers. A conceptual elevation is provided in Figure 5 below.

**Figure 5 – Conceptual Home Elevation**



### 3. Landscaping and Open Space

A critical component of Desert Uplands development is the preservation of natural open space. This project achieves that aim by providing at least 35% of undisturbed natural common open space. The total common open space area, including areas which will be revegetated or utilized for drainage, is 45.7% of the site. No drainage will be running into the natural open space area under the SRP transmission lines. The proposed landscape plan will comply with the zoning requirements for active and passive open space amenities, pedestrian connectivity, and buffering to the surrounding properties. Emphasis will be made to preserve certain desert plants and revegetate them on site. Open areas and front yards will maintain desert landscapes to match the surrounding area. Table 4 below summarizes how the proposed development meets or exceeds open space standards for the RS-15 category.

**Table 3 – Open Space Summary**

Standard	Net Acreage	Percentage of Net Site
Total Common Open Space	3.56 acres	45.7%
Total Natural Area Open Space	2.78 acres	35%

### 4. Development Standards

The PAD zoning overlay is designed to enable the City to enforce the project's quality and proposed development that fulfills the General Plan objectives and zoning criteria. This PAD



applies the development standards established in the Zoning Ordinance sections for projects in RS-15 zoning, except for modifications that are justified by the proposed development, site constraints, and which provide characteristics that exceed zoning standards. Table 5 below lists the requested modifications to development standards, in which modifications are shown as **bold and underlined**, with a corresponding justification provided in the subsequent section.

**Table 4 – Development Standards**

Standard	MZO RS-15 Required	PAD Provided
Min. Lot Area (SF)	15,000	<b><u>4,950</u></b>
Min. Lot Width (ft.)	110	<b><u>55</u></b>
Min. Lot Depth (ft.)	120	<b><u>90</u></b>
Maximum Lot Coverage (% of lot)	50%	50%
Max. Height (ft.)	30	30
Setbacks (ft.)		
- Front, Building Wall, Livable Area, Porch (ft.)	22	<b><u>10</u></b>
- Front Garage (ft.)	30	<b><u>18</u></b>
- Side, street (ft.)	10	<b><u>5</u></b>
- Side, interior min. (ft.)	7	<b><u>5</u></b>
- Side, interior, aggregate	20	<b><u>15</u></b>
- Rear (ft.)	30	<b><u>22</u></b>
Maximum Building Coverage (% of lot)	75%	50%
Garage Front Distance from Primary Building Front (ft)	3	<b><u>1</u></b>

### **Modifications:**

The modifications listed in the above table and discussed below are respectfully requested given the distinct location within a residential dominant area, along with significant site constraints imposed by the overhead SRP transmission lines, and the proposed overall design of the property. Strict application of the zoning provisions would not enable the proposed development to offer the cohesive design, open space plan, and creativity needed to promote the intended vibrant and sustainable development.

As a general justification for the development standards, the community provides an overall density and open space which is commensurate with the surrounding context and Desert Uplands. Pedestrian connections, open space standards, and quality home design features will make this a highly attractive project.

#### ***a. Front Setbacks***

An 18-foot setback is proposed to the project's garage face with living areas offset depending on the chosen floor plan. The primarily forward living design is consistent with development trends



that promote safety “eyes on the streets” and neighborhood interaction. This is comparable to other types of standards for single-family zoning in the general area.

***a. Side Setbacks***

The property is encumbered by the SRP easement which necessitates placement of homes north of the powerlines, primarily adjacent to the arterial streets. A minimal deviation to the side setback standards is needed to ensure maximum utilization of the residential lots. This is comparable to other types of standards for single-family zoning in the general area. Additionally, there are minimum 15-foot-wide landscape tracts buffering the side setbacks from the private streets.

***b. Rear Setbacks***

Proposed are 22-foot rear setbacks. Along the arterial streets there is a 10’ landscape tract which provides additional buffering to the public street. This development emphasizes common open space areas, but the 22-foot rear setback still allows residents ample room for amenities of their choosing.

***c. Lot Area, Width and Depth***

This is justified by the project’s common open space standards, which exceed the City of Mesa minimum private and common open space standards. In the effort to design a quality housing product with floorplans and subdivision design, the modified lot dimensions proposed comparable to most of today’s single-family detached developments.

As noted above, the open space standards, quantity of elevations, and the sites southern buffer exceed standards. Also, the project’s overall density of 3.4 units per acre is commensurate with the area and less than most of today’s proposed subdivisions. The nature and location of this development will be attractive to a wide variety of households.

***d. Garage Front Distance from Primary Building Front***

The building elevations endeavor to provide a living forward design which is not garage dominant. The garage comprises less than 50% of the total building frontage but they are setback only 1 foot from the covered porch on certain elevation designs. This deviation is justified by the overall quality of the proposed elevations which include attractive material composition and building articulation. The garage setback deviation is also justified given the site being comprised of 45% open space (35% being maintained as NAOS) and the maximum run of adjacent parallel garages being 6 homes.

**5. Utilities, Services, and Infrastructure**

The proposed development will comply with all applicable City of Mesa and MCDOT regulations and standards regarding right-of-way and infrastructure improvements. Utilities in the subject property’s vicinity include City of Mesa for water, sewer, police, fire, gas, and waste disposal. The



subject site is in SRP's electric supply service area. This development is positioned to receive adequate essential services from the City of Mesa without significant additions to public infrastructure or changes to fire and police service areas.

*Water* – The proposed water services for the site will connect to the existing 8-inch water lines. Water services will proceed in an 8-inch domestic line in a looped service in the private streets and will comply with City standards.

*Sewer* – There is adequate sewer capacity. The applicant proposes to install a sewer line consistent with City Standards and Details and will tie into the existing sewer main and will comply with City standards.

*Drainage* – The property generally slopes to the southwest. Drainage will be provided via methods permissible for single-family developments. Consistent with City standards, the Property will retain all runoff from the 100-year, 2-hour storm event and will maintain any pre-project flows through the site. No FEMA delineated floodplains encumber the Property.

*Schools* – Based on the property ownership's experience with the proposed housing product, it anticipates negligible effect on the surrounding public schools, which include a combination of public and alternative educational opportunities. If this request is approved, this development will increase the value of the property, which can indirectly increase the values of surrounding properties in Mesa. Added tax revenues will ultimately benefit funding of local schools in the long run.

*Fire* – The site is likely to receive fire services from Fire Station 213 which is 3.8 miles away and located on University Drive. Google Maps reflects a 6-minute drive time for responders with one turn required indicating an adequate response option. Additionally, Fire Station 216 is 4.5 miles away and Fire Station 217 is 4.9 miles away.

*Police* – The property is located within the Mesa Police Superstition Division service area. It is covered by Beat 76 which covers this northeastern section of Mesa including similarly situated subdivisions.

## **6. Project Phasing**

The proposed development is anticipated to be constructed in one phase. Typically, the proposed access, right-of-way improvements, drainage facilities, and utility services will be installed initially. Thereafter, site work will be developed in conjunction with perimeter and other site landscaping, followed by vertical construction.

## **VII. Neighbor Support**

This proposal represents the desires of a consensus of property owners directly adjacent to the site and within the area. As shown in the six support letters provided to date, these neighbors want the site to be developed with residential uses and have signified their support for the project as proposed. The proposed annexation and rezoning represent a viable option for



development in this part of the city and is supported by the individuals who are directly affected by the proposed use and development standards.

A letter from the property owner's broker has also been included with information about the marketing of this site and alternative interest primarily being from RV & Boat Outdoor Storage users. Commercial uses are strongly opposed by the neighbors in the area.

## **VIII. Conclusion**

Proposed is a high-quality residential use that is similar to existing development in this area of the city. With special consideration to the nearby residential character of the area and the transition this provides, the proposed home product will create a highly demanded land use that will benefit the area. The project and its design character will exceed standards in many instances and contribute to creating a viable community which integrates into the existing development context.



# GENEVA VILLAS

## project consultants

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## sheet index

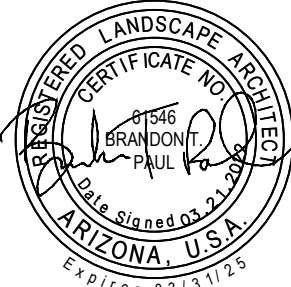
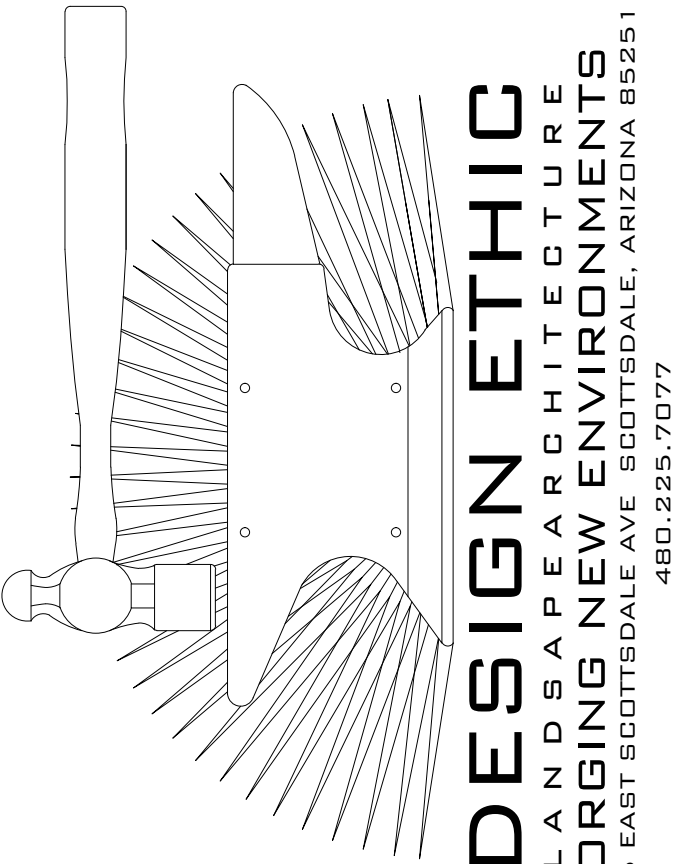
SHEET	TITLE
L.01	COVER SHEET & NOTES
L.02	NATIVE PLANT PRESERVATION PLAN
L.03	OVERALL PLANTING PLAN
L.04 - L.07	PLANTING PLAN
L.08	WALL PLAN
L.09	WALL DETAILS

## city of mesa notes

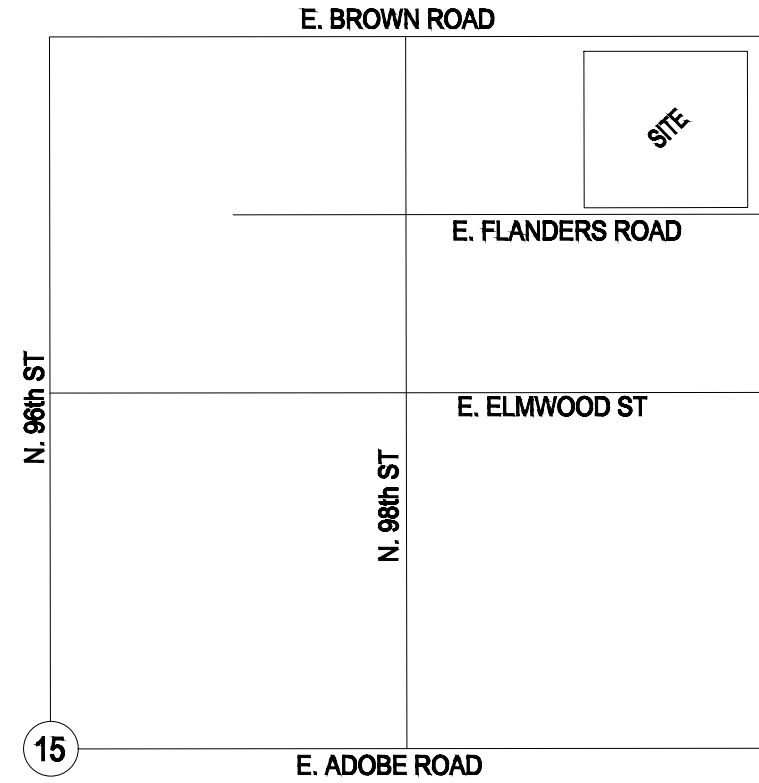
- ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IS IN CONFORMANCE WITH THE LOW WATER USE PLANT LIST PROVIDED BY THE ARIZONA DEPT. OF WATER RESOURCES.
- ALL LANDSCAPING INSTALLED WITH THIS PROJECT SHALL BE MAINTAINED BY OWNER/OR LESSEE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
- TREE HEIGHTS & CALIPERS WILL COMPLY WITH "ARIZONA NURSERY ASSOCIATION SPECIFICATIONS" FOR THAT TYPE & SIZE OF TREE.
- ALL TREES AND SHRUBS LOCATED IN THE LINE-OF-SIGHT WILL BE MAINTAINED FOR A CLEAR AREA BETWEEN 3' TO 7'
- ALL BACKFLOW PREVENTERS 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE MATERIAL LOCATED WITHIN A 6' RADIUS OF OF THE BACKFLOW PREVENTER. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE MESH BASKET AND PAINTED GREEN.

## landscape general notes

- REQUIRED TREES SHALL BE MINIMUM SIZE AS SPECIFIED IN THE ARIZONA NURSERY ASSOCIATION "RECOMMENDED TREE SPECIFICATIONS" LATEST EDITION. 11-33-2(B)
- ALL LANDSCAPE MATERIAL INSTALLED SHALL BE MAINTAINED BY OWNER/OR LESSEE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. 11-33-2(I)
- NATURAL LANDSCAPE MAINTENANCE PROGRAM SHALL BE MAINTAINED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICE OF THE LANDSCAPING INDUSTRY. 11-33-2(I).
- REQUIRED LANDSCAPE AREAS SHALL BE FREE FROM ENCROACHMENT BY ANY USE, STRUCTURE, VEHICLE OR FEATURE NOT A PART OF THE LANDSCAPING DESIGN. 11-33-2(A)



GENEVA VILLAS  
9960 E FLANDERS ROAD  
MESA, ARIZONA 85207  
COVER SHEET & NOTES



## vicinity map



PROJECT:

JOB NO: 19-032  
DATE:  
DRAWN BY: B. PAUL  
SUBMITTED: 03.21.2022  
REVISED:

SHEET TITLE:

SHEET

L.01 of L.09

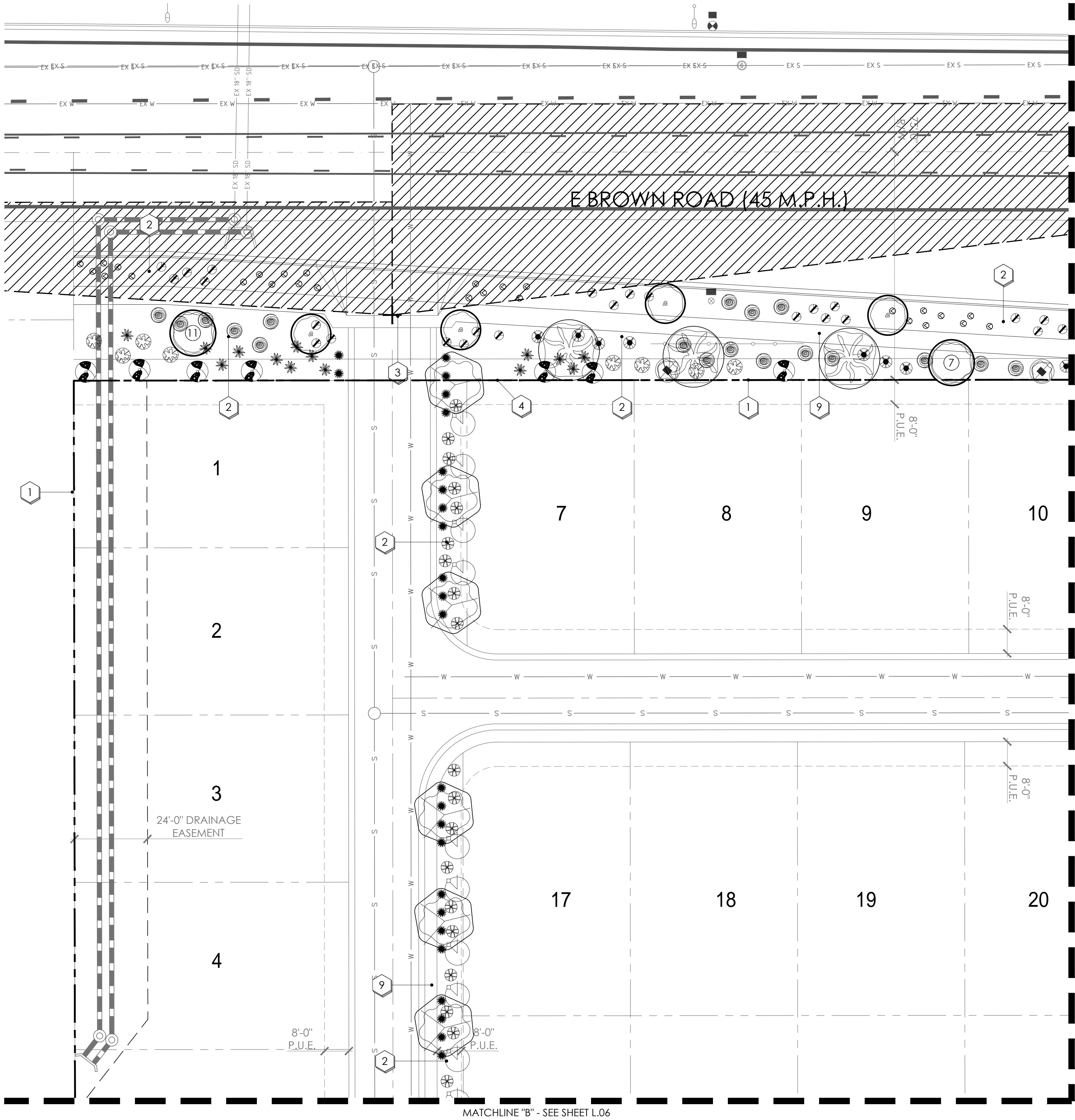






L.03 of L.09





planting key notes

- 1

PROPERTY LINE / RIGHT OF WAY LINE
- 2

DECOMPOSED GRANITE IN ALL PLANTING AREAS
- 3

SITE VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES
- 4

ENTRY WALL. SEE SHEET L.09, DETAIL "D".
- 5

STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- 6

EXISTING POWER POLE.
- 7

OVER HEAD ELECTRIC LINE(O.H.E.).
- 8

LIMITS OF IMPROVEMENT
- 9

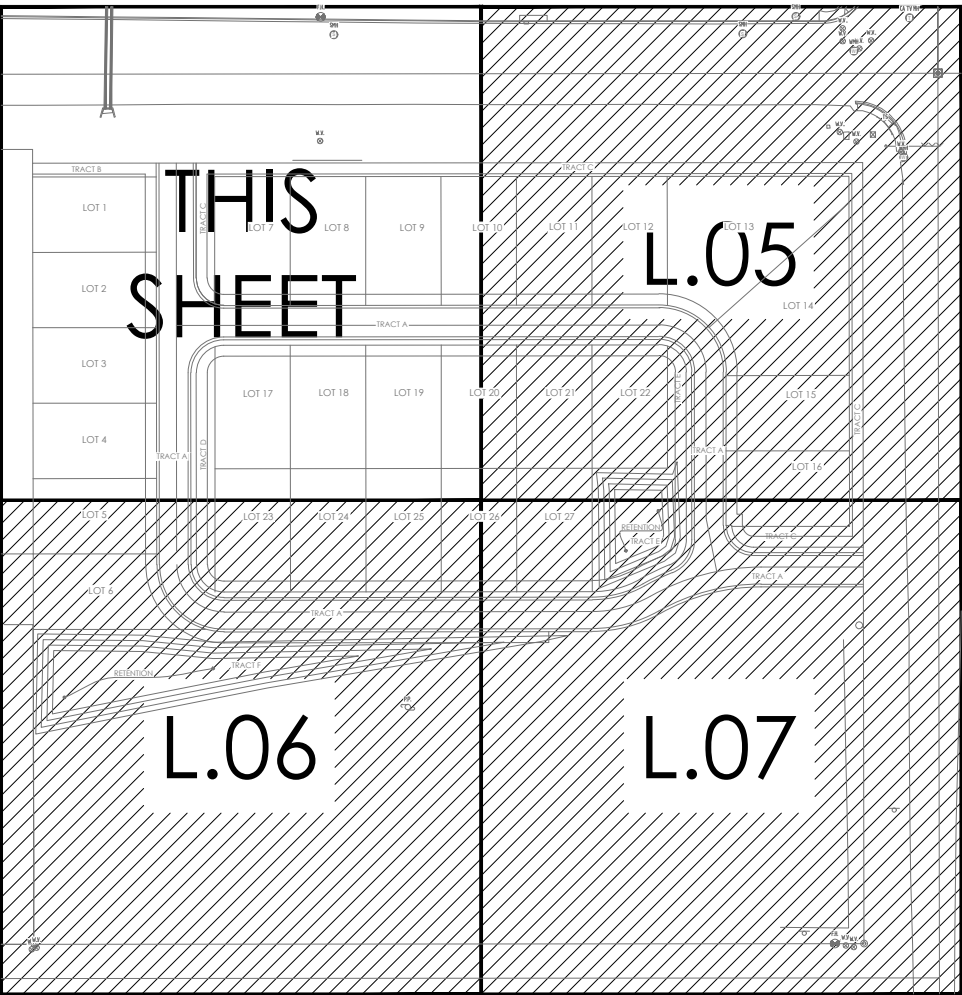
NEW SIDEWALK; THORNY PLANTS, CACTUS, AND OCOTILLO MUST MAINTAIN A MINIMUM SETBACK OF SEVEN FEET (7')
- 10

WABASH SIGNATURE SERIES 6' BENCH - SG403D SEE DETAIL ON SHEET L.03

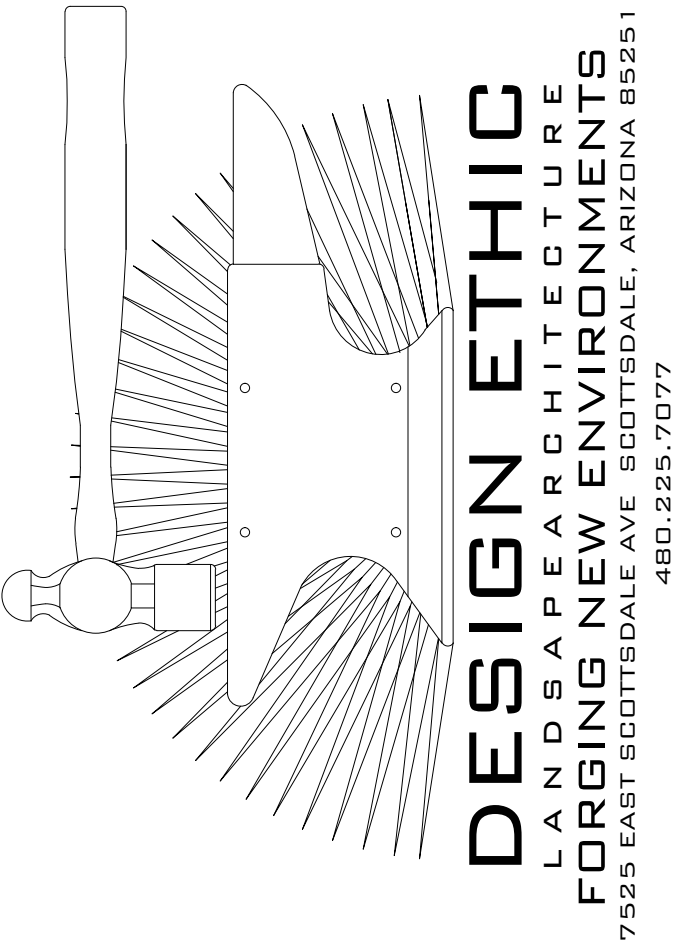
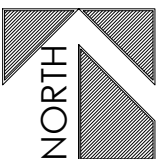
NOTE: NOT ALL KEYNOTES USED ON THIS SHEET.

plant legend

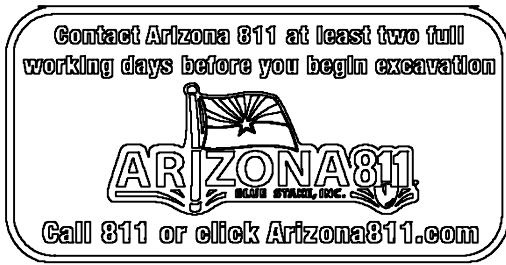
	botanical name common name	emitters	size	qty	comments
native plant preservation plants					
#	PRESERVE IN PLACE TREE SPECIES VARY REFER TO NPPP LIST			5	
#	SALVAGE ON SITE TREE SPECIES VARY REFER TO NPPP LIST			7	
#	PRESERVE IN PLACE CACTUS SPECIES VARY REFER TO NPPP LIST			2	
#	SALVAGE ON SITE CACTUS SPECIES VARY REFER TO NPPP LIST			4	
trees					
@	CAESALPINIA CACALACO SMOOTHIE THORNLESS CASCALOTE	(5 @ 1.0 GPH)	24" BOX	15	8.0H., 5.0W., 1.5CAL. STAKE IN PLACE
@	PARKINSONIA FLORIDUM BLUE PALO VERDE	(5 @ 1.0 GPH)	24" BOX	3	5.0H., 3.0W., 1.0CAL. STAKE IN PLACE
@	PARKINSONIA MICROPHYLLUM "AZI" FOOTHILLS PALO VERDE	(5 @ 1.0 GPH)	24" BOX	3	5.0 H., 4.0 W., 1.0 CAL. STAKE IN PLACE
@	PARKINSONIA PRAECOX PALO BREA	(5 @ 1.0 GPH)	24" BOX	23	5.0H., 3.0W., 1.0CAL. STAKE IN PLACE
@	PROSOPIS SEEDLESS HYBRID "AZITM" "AZITM" SEEDLESS HYBRID MESQUITE	(5 @ 1.0 GPH)	15 GAL.	8	4.0H., 2.0W., 0.5CAL. STAKE IN PLACE
shrubs					
@	CALLIANDRA ERIOPHYLLA PINK FAIRY DUSTER	(1 @ 1.0 GPH)	5 GAL.	25	
@	DODONAEA VISCOSA HOPSEED BUSH	(1 @ 1.0 GPH)	5 GAL.	19	
@	ENCELIA FARINOSA BRITTLEBUSH	(1 @ 1.0 GPH)	5 GAL.	84	
@	JUSTICIA CALIFORNICA CHUPAROSA	(1 @ 1.0 GPH)	5 GAL.	49	
@	LARREA TRIDENTATA CREOSOTE	(1 @ 1.0 GPH)	5 GAL.	56	
@	SENNA ARTEMISIOIDES FEATHERY CASSIA	(1 @ 1.0 GPH)	5 GAL.	47	
@	TECOMA STANS YELLOW BELLS	(1 @ 1.0 GPH)	5 GAL.	26	
accents					
@	DASYLIRION WHEELERI DESERT SPOON		5 GAL.	8	
@	HESPERALOE PARVIFLORA RED YUCCA	(1 @ 1.0 GPH)	5 GAL.	68	
@	YUCCA BACCATA BANANA YUCCA		5 GAL.	14	
grasses					
@	MUHLENBERGIA RIGENS DEER GRASS	(1 @ 1.0 GPH)	5 GAL.	53	
groundcover					
@	AMBROSIA DELTOIDEA BURSAGE	(1 @ 1.0 GPH)	5 GAL.	70	
@	ERICAMERIA LARICIFOLIA TURPENTINE BUSH	(1 @ 1.0 GPH)	5 GAL.	66	
inerts					
2	DECOMPOSED GRANITE EXPRESS BROWN		1" MINUS	50,810 S.F.	2" MINIMUM IN ALL PLANTERS



key map



0' 20' 40' 60'  
SCALE: 1" = 20'-0"



GENEVA VILLAS  
9960 E FLANDERS ROAD  
MESA, ARIZONA 85207

PLANTING PLAN

PROJECT:

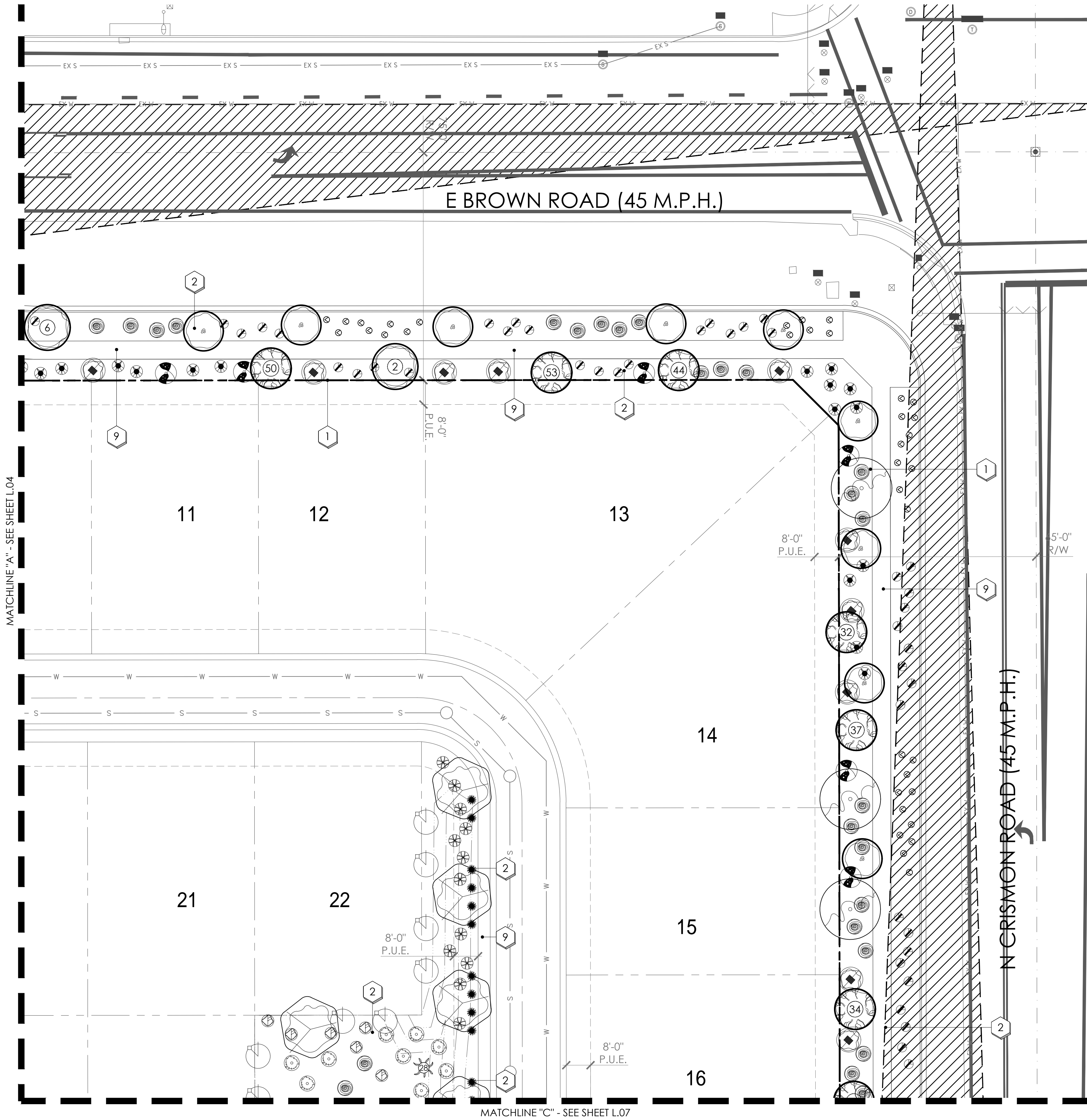
JOB NO: 19-032  
DATE:  
DRAWN BY: B. PAUL  
SUBMITTED: 03.21.2022  
REVISED:

SHEET TITLE:

L.04 of L.09

SHEET





MATCHLINE "A" - SEE SHEET L.04

MATCHLINE "C" - SEE SHEET L.07

planting key notes

- 1

PROPERTY LINE / RIGHT OF WAY LINE
- 2

DECOMPOSED GRANITE IN ALL PLANTING AREAS
- 3

SITE VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES
- 4

ENTRY WALL. SEE SHEET L.09, DETAIL "D".
- 5

STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- 6

EXISTING POWER POLE.
- 7

OVER HEAD ELECTRIC LINE(O.H.E.).
- 8

LIMITS OF IMPROVEMENT
- 9

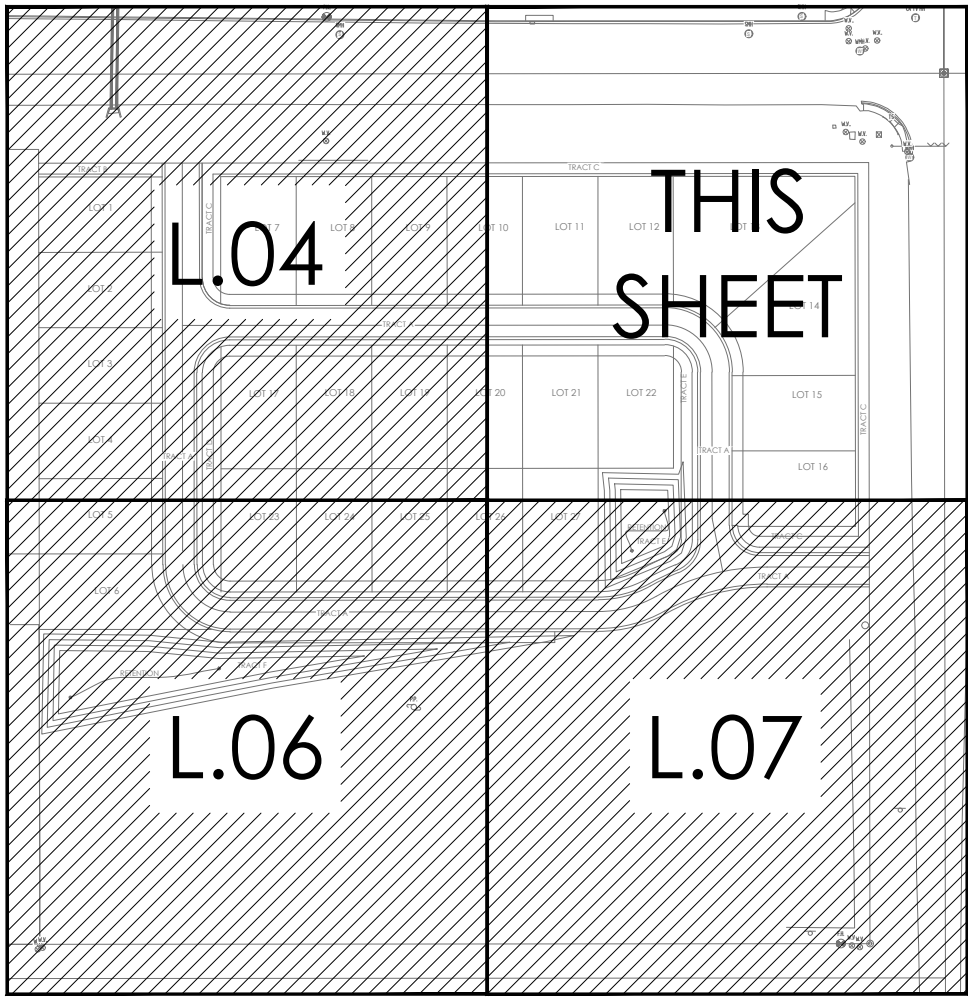
NEW SIDEWALK; THORNY PLANTS, CACTUS, AND OCOTILLO MUST MAINTAIN A MINIMUM SETBACK OF SEVEN FEET (7')
- 10

WABASH SIGNATURE SERIES 6' BENCH - SG403D SEE DETAIL ON SHEET L.03

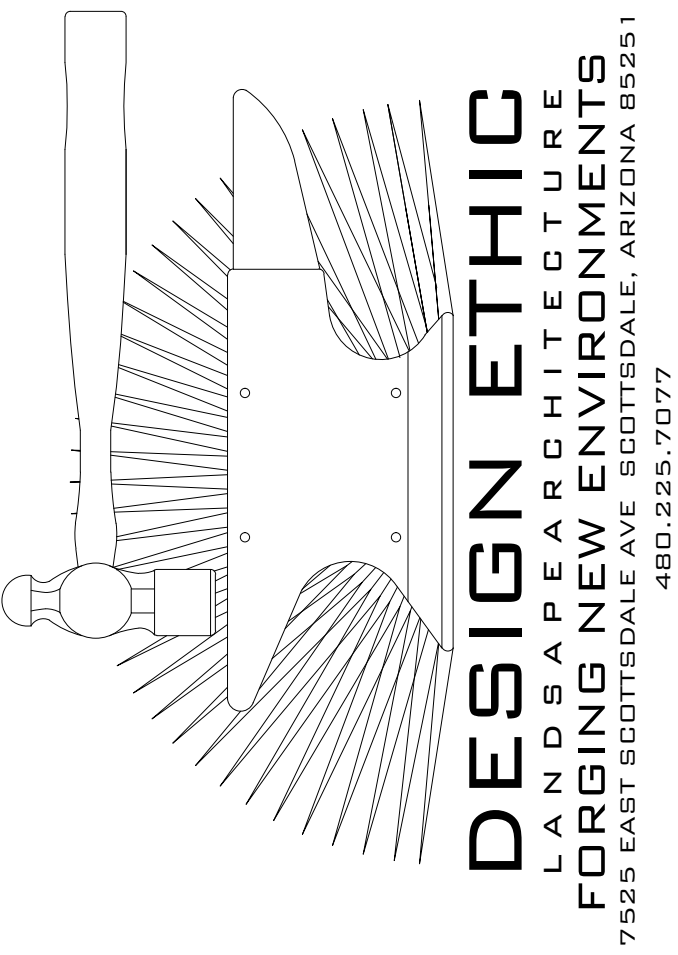
NOTE: NOT ALL KEYNOTES USED ON THIS SHEET.

plant legend

	botanical name common name	emitters	size	qty	comments
native plant preservation plants					
#	PRESERVE IN PLACE TREE SPECIES VARY REFER TO NPPP LIST			5	
#	SALVAGE ON SITE TREE SPECIES VARY REFER TO NPPP LIST			7	
#	PRESERVE IN PLACE CACTUS SPECIES VARY REFER TO NPPP LIST			2	
#	SALVAGE ON SITE CACTUS SPECIES VARY REFER TO NPPP LIST			4	
trees					
@	CAESALPINIA CACALACO SMOOTHIE THORNLESS CASCALOTE	(5 @ 1.0 GPH)	24" BOX	15	8.0H., 5.0W., 1.5CAL. STAKE IN PLACE
@	PARKINSONIA FLORIDUM BLUE PALO VERDE	(5 @ 1.0 GPH)	24" BOX	3	5.0H., 3.0W., 1.0CAL. STAKE IN PLACE
@	PARKINSONIA MICROPHYLLUM "AZT" FOOTHILLS PALO VERDE	(5 @ 1.0 GPH)	24" BOX	3	5.0 H., 4.0 W., 1.0 CAL. STAKE IN PLACE
@	PARKINSONIA PRAECOX PALO BREA	(5 @ 1.0 GPH)	24" BOX	23	5.0H., 3.0W., 1.0CAL. STAKE IN PLACE
@	PROSOPIS SEEDLESS HYBRID "AZT" "AZT" HYBRID MESQUITE	(5 @ 1.0 GPH)	15 GAL.	8	4.0H., 2.0W., 0.5CAL. STAKE IN PLACE
shrubs					
@	CALLIANDRA ERIOPHYLLA PINK FAIRY DUSTER	(1 @ 1.0 GPH)	5 GAL.	25	
@	DODONAEA VISCOSA HOPSEED BUSH	(1 @ 1.0 GPH)	5 GAL.	19	
@	ENCELIA FARINOSA BRITTLEBUSH	(1 @ 1.0 GPH)	5 GAL.	84	
@	JUSTICIA CALIFORNICA CHUPAROSA	(1 @ 1.0 GPH)	5 GAL.	49	
@	LARREA TRIDENTATA CREOSOTE	(1 @ 1.0 GPH)	5 GAL.	56	
@	SENNA ARTEMISIOIDES FEATHERY CASSIA	(1 @ 1.0 GPH)	5 GAL.	47	
@	TECOMA STANS YELLOW BELLS	(1 @ 1.0 GPH)	5 GAL.	26	
accents					
@	DASYLIRION WHEELERI DESERT SPOON		5 GAL.	8	
@	HESPERALOE PARVIFLORA RED YUCCA	(1 @ 1.0 GPH)	5 GAL.	68	
@	YUCCA BACCATA BANANA YUCCA		5 GAL.	14	
grasses					
@	MUHLENBERGIA RIGENS DEER GRASS	(1 @ 1.0 GPH)	5 GAL.	53	
groundcover					
@	AMBROSIA DELTOIDEA BURSAGE	(1 @ 1.0 GPH)	5 GAL.	70	
@	ERICAMERIA LARICIFOLIA TURPENTINE BUSH	(1 @ 1.0 GPH)	5 GAL.	66	
inerts					
2	DECOMPOSED GRANITE EXPRESS BROWN		1" MINUS	50,810 S.F.	2" MINIMUM IN ALL PLANTERS



key map



0' 20' 40' 60'  
SCALE: 1" = 20'-0"



GENEVA VILLAS  
9960 E FLANDERS ROAD  
MESA, ARIZONA 85207

PLANTING PLAN

PROJECT:

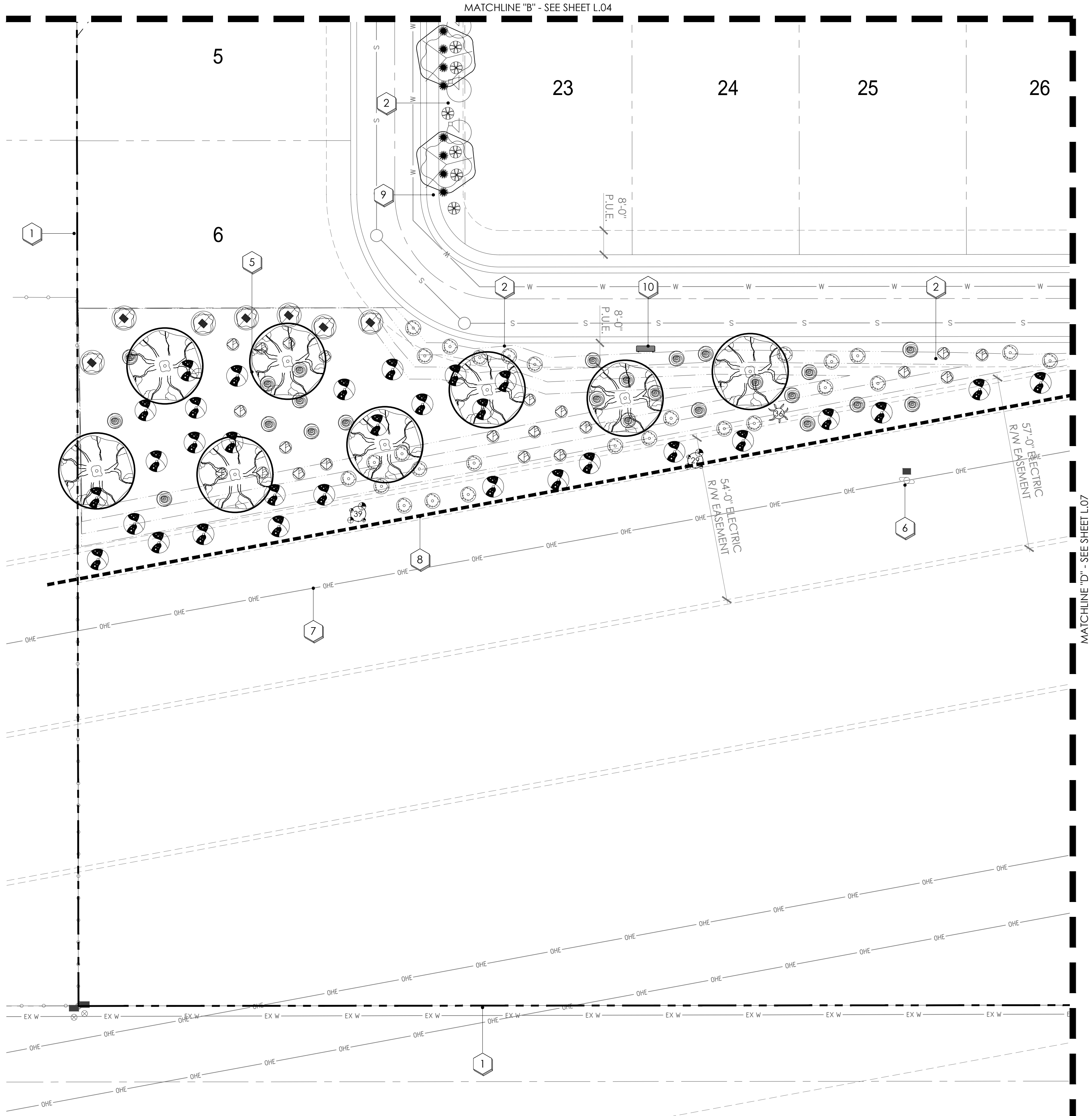
JOB NO: 19-032  
DATE:  
DRAWN BY: B. PAUL  
SUBMITTED: 03.21.2022  
REVISED:

SHEET TITLE:

L.05 of L.09

SHEET





planting key notes

- 1

PROPERTY LINE / RIGHT OF WAY LINE
- 2

DECOMPOSED GRANITE IN ALL PLANTING AREAS
- 3

SITE VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES
- 4

ENTRY WALL. SEE SHEET L.09, DETAIL "D".
- 5

STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- 6

EXISTING POWER POLE.
- 7

OVER HEAD ELECTRIC LINE(O.H.E.).
- 8

LIMITS OF IMPROVEMENT
- 9

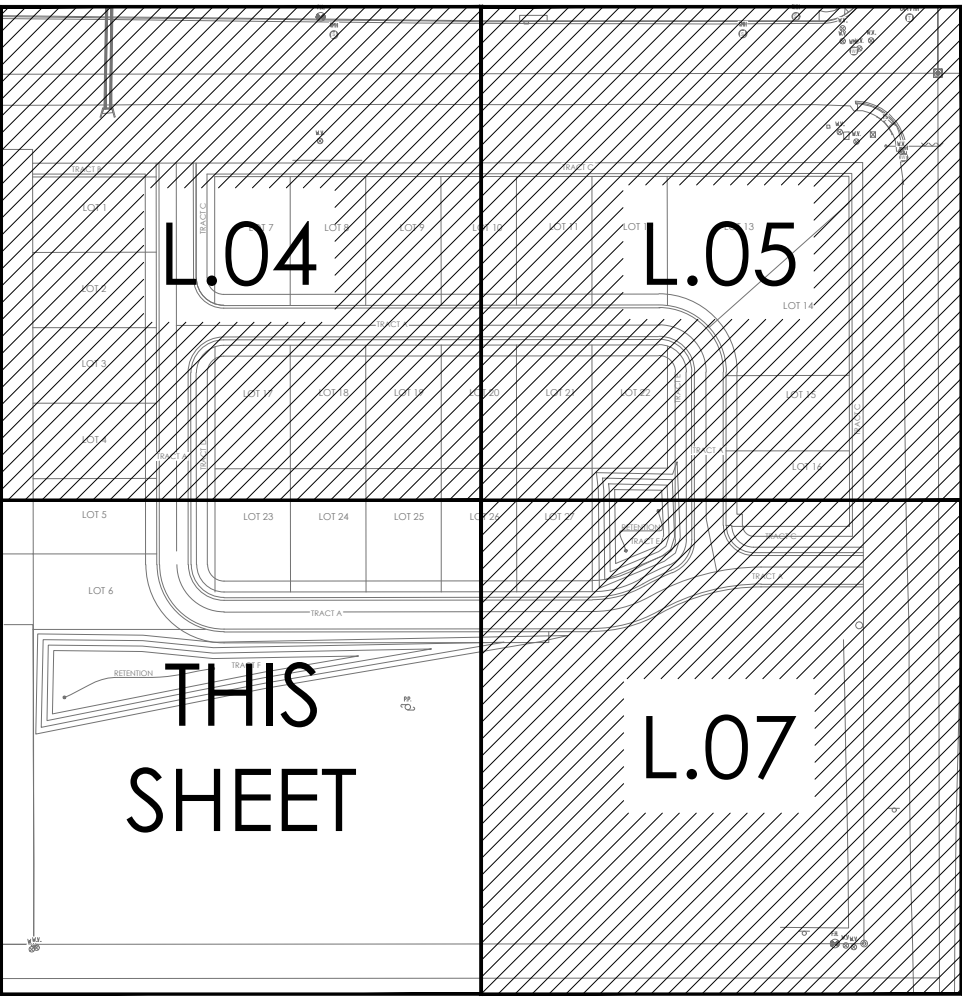
NEW SIDEWALK; THORNY PLANTS, CACTUS, AND OCOTILLO MUST MAINTAIN A MINIMUM SETBACK OF SEVEN FEET (7')
- 10

WABASH SIGNATURE SERIES 6' BENCH - SG403D SEE DETAIL ON SHEET L.03

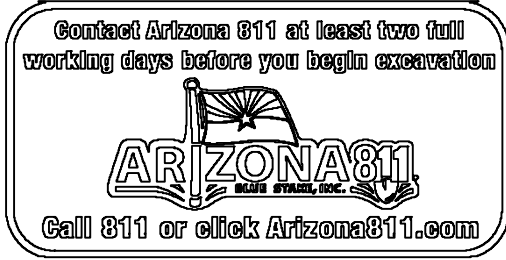
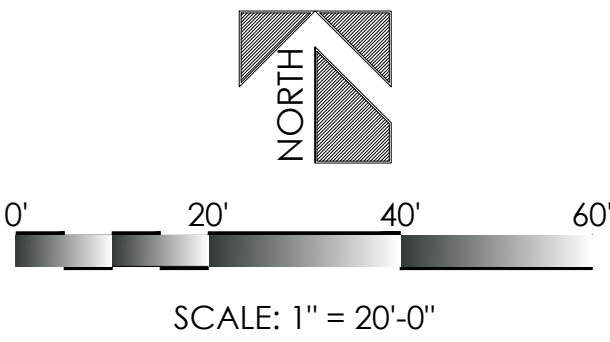
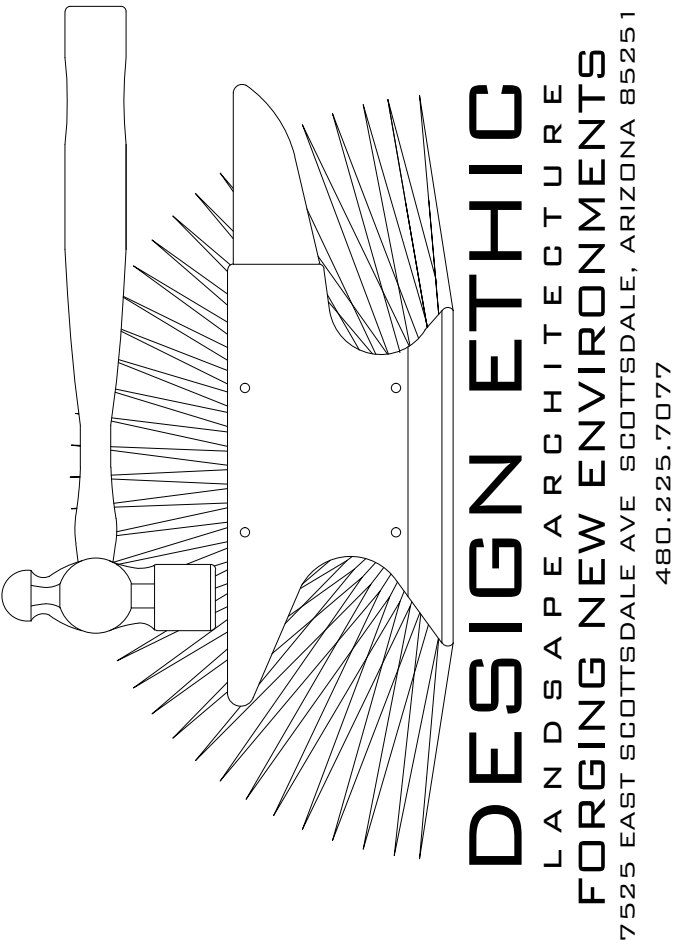
NOTE: NOT ALL KEYNOTES USED ON THIS SHEET.

plant legend

	botanical name common name	emitters	size	qty	comments
native plant preservation plants					
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#	SALVAGE ON SITE CACTUS SPECIES VARY REFER TO NPPP LIST			4	
trees					
@	CAESALPINIA CACALACO SMOOTHIE THORNLESS CASCALOTE	(5 @ 1.0 GPH)	24" BOX	15	8.0H., 5.0W., 1.5CAL. STAKE IN PLACE
@	PARKINSONIA FLORIDUM BLUE PALO VERDE	(5 @ 1.0 GPH)	24" BOX	3	5.0H., 3.0W., 1.0CAL. STAKE IN PLACE
@	PARKINSONIA MICROPHYLLUM "AZI" FOOTHILLS PALO VERDE	(5 @ 1.0 GPH)	24" BOX	3	5.0 H., 4.0 W., 1.0 CAL. STAKE IN PLACE
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@	PROSOPIS SEEDLESS HYBRID "AZIT" "AZITM" SEEDLESS HYBRID MESQUITE	(5 @ 1.0 GPH)	15 GAL.	8	4.0H., 2.0W., 0.5CAL. STAKE IN PLACE
shrubs					
•	CALLIANDRA ERIOPHYLLA	(1 @ 1.0 GPH)	5 GAL.	25	
•	PINK FAIRY DUSTER	(1 @ 1.0 GPH)	5 GAL.	19	
•	DODONAEA VISCOSA	(1 @ 1.0 GPH)	5 GAL.	84	
•	ENCELIA FARINOSA	(1 @ 1.0 GPH)	5 GAL.	49	
•	JUSTICIA CALIFORNICA	(1 @ 1.0 GPH)	5 GAL.	56	
•	LARREA TRIDENTATA	(1 @ 1.0 GPH)	5 GAL.	47	
•	CREOSOTE	(1 @ 1.0 GPH)	5 GAL.	26	
•	SENNA ARTEMISIODES	(1 @ 1.0 GPH)	5 GAL.		
•	FEATHERY CASSIA	(1 @ 1.0 GPH)	5 GAL.		
•	TECOMA STANS	(1 @ 1.0 GPH)	5 GAL.		
•	YELLOW BELLS	(1 @ 1.0 GPH)	5 GAL.		
accents					
•	DASYLIRION WHEELERI		5 GAL.	8	
•	DESERT SPOON		5 GAL.	68	
•	HESPERALOE PARVIFLORA	(1 @ 1.0 GPH)	5 GAL.	14	
•	RED YUCCA		5 GAL.		
•	YUCCA BACCATA		5 GAL.		
•	BANANA YUCCA		5 GAL.		
grasses					
•	MUHLENBERGIA RIGENS	(1 @ 1.0 GPH)	5 GAL.	53	
groundcover					
•	AMBROSIA DELTOIDEA	(1 @ 1.0 GPH)	5 GAL.	70	
•	BURSAGE	(1 @ 1.0 GPH)	5 GAL.	66	
•	ERICAMERIA LARICIFOLIA	(1 @ 1.0 GPH)	5 GAL.		
•	TURPENTINE BUSH	(1 @ 1.0 GPH)	5 GAL.		
inerts					
2	DECOMPOSED GRANITE EXPRESS BROWN		1" MINUS	50,810 S.F.	2" MINIMUM IN ALL PLANTERS



key map



GENEVA VILLAS  
9960 E FLANDERS ROAD  
MESA, ARIZONA 85207

PLANTING PLAN

PROJECT:

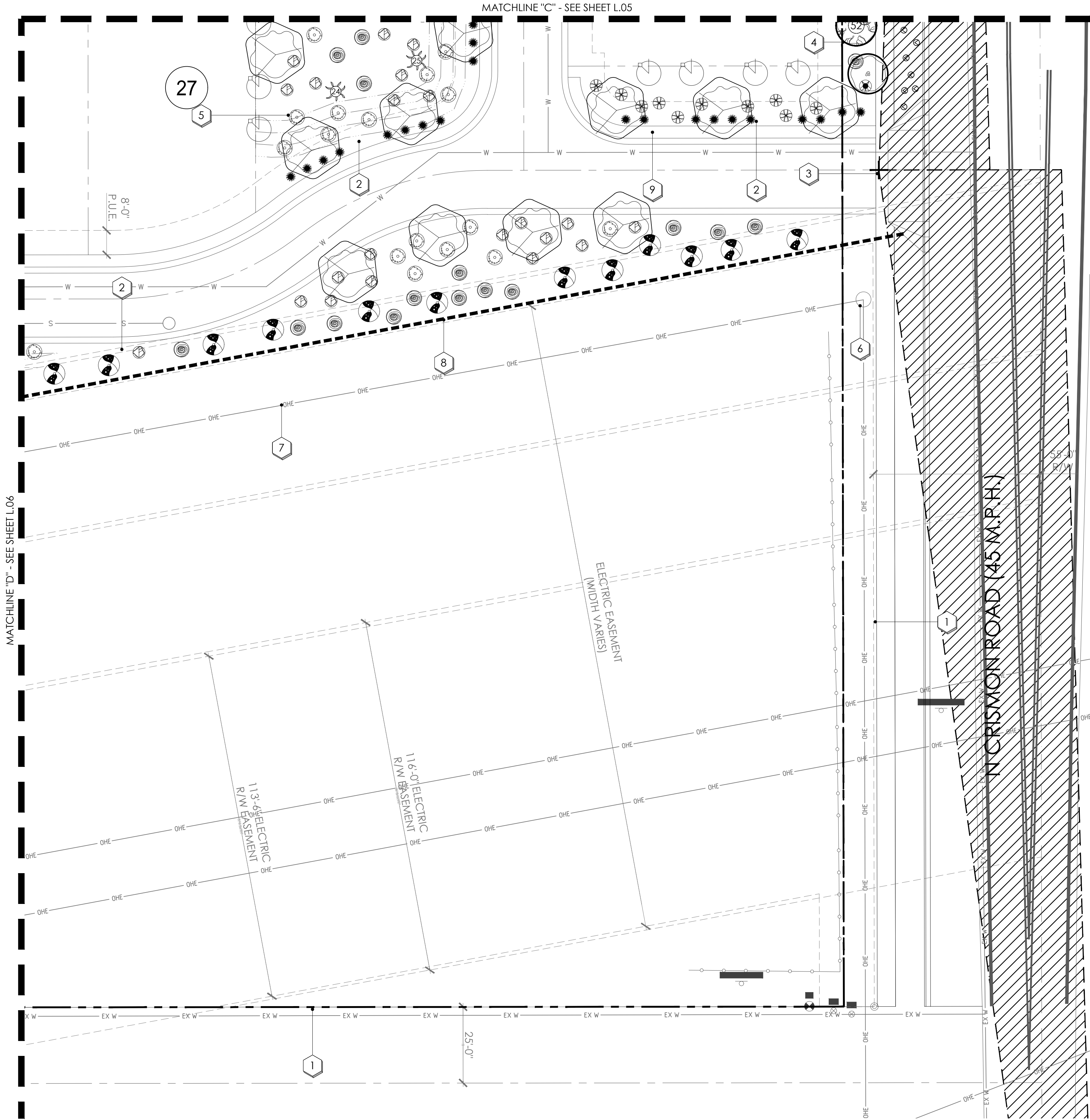
JOB NO: 19-032  
DATE:  
DRAWN BY: B. PAUL  
SUBMITTED: 03.21.2022  
REVISED:

SHEET TITLE:

L.06 of L.09

SHEET





planting key notes

- 1

PROPERTY LINE / RIGHT OF WAY LINE
- 2

DECOMPOSED GRANITE IN ALL PLANTING AREAS
- 3

SITE VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES
- 4

ENTRY WALL. SEE SHEET L.09, DETAIL "D".
- 5

STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- 6

EXISTING POWER POLE.
- 7

OVER HEAD ELECTRIC LINE(O.H.E.).
- 8

LIMITS OF IMPROVEMENT
- 9

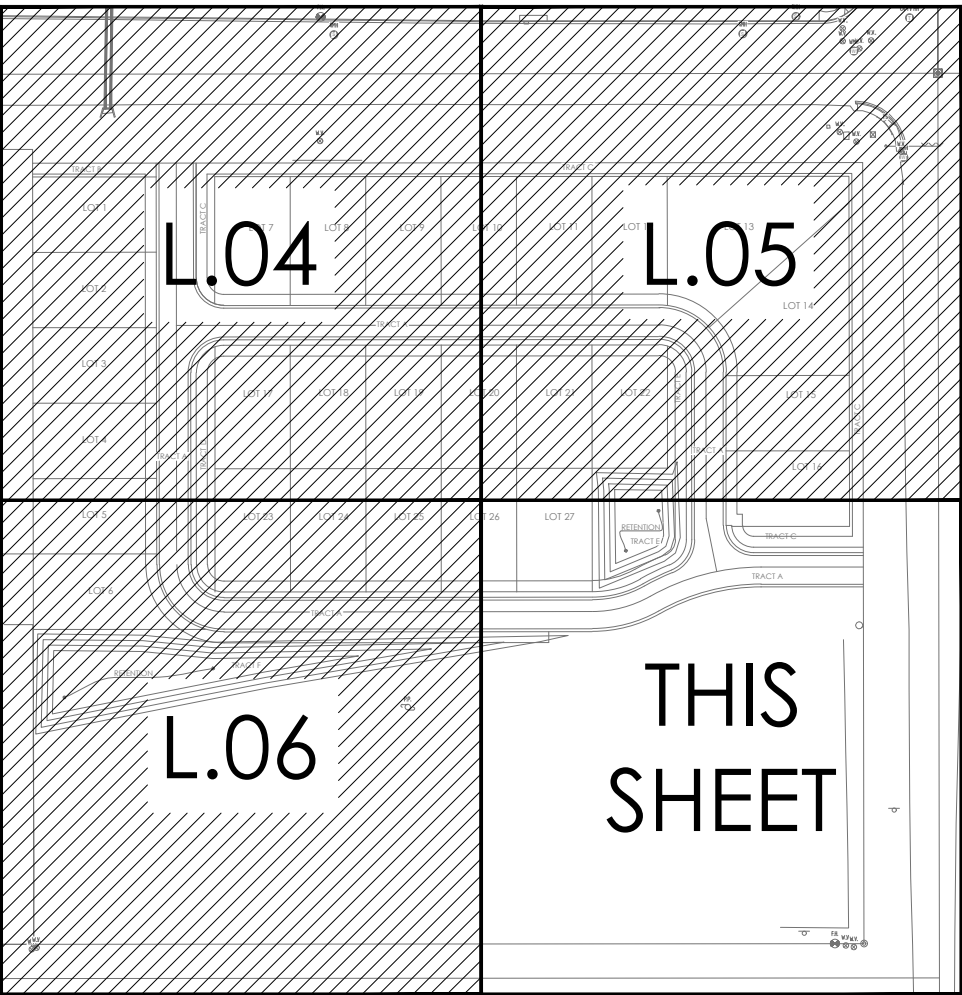
NEW SIDEWALK; THORNY PLANTS, CACTUS, AND OCOTILLO MUST MAINTAIN A MINIMUM SETBACK OF SEVEN FEET (7')
- 10

WABASH SIGNATURE SERIES 6' BENCH - SG403D SEE DETAIL ON SHEET L.03

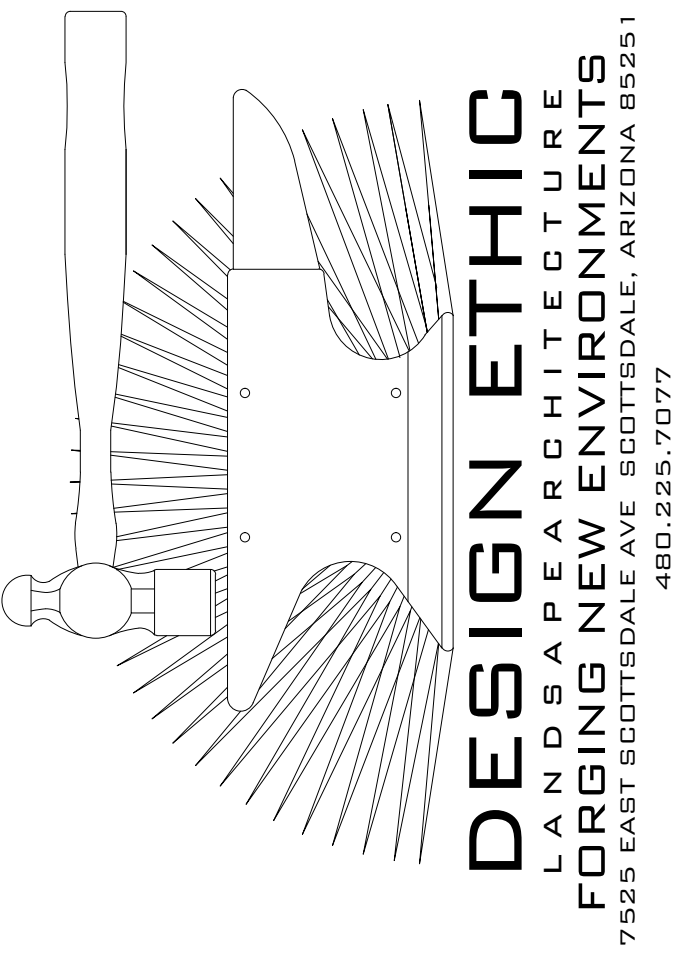
NOTE: NOT ALL KEYNOTES USED ON THIS SHEET.

plant legend

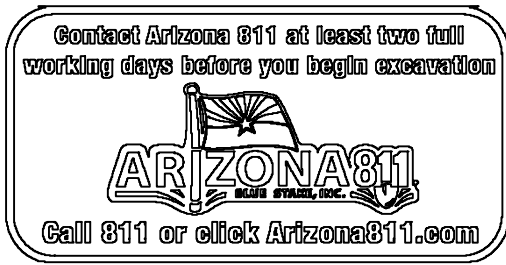
	botanical name common name	emitters	size	qty	comments
native plant preservation plants					
#	PRESERVE IN PLACE TREE SPECIES VARY REFER TO NPPP LIST			5	
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inerts					
2	DECOMPOSED GRANITE EXPRESS BROWN		1" MINUS	50,810 S.F.	2" MINIMUM IN ALL PLANTERS



key map



0' 20' 40' 60'  
SCALE: 1" = 20'-0"



GENEVA VILLAS  
9960 E FLANDERS ROAD  
MESA, ARIZONA 85207

PLANTING PLAN

PROJECT:

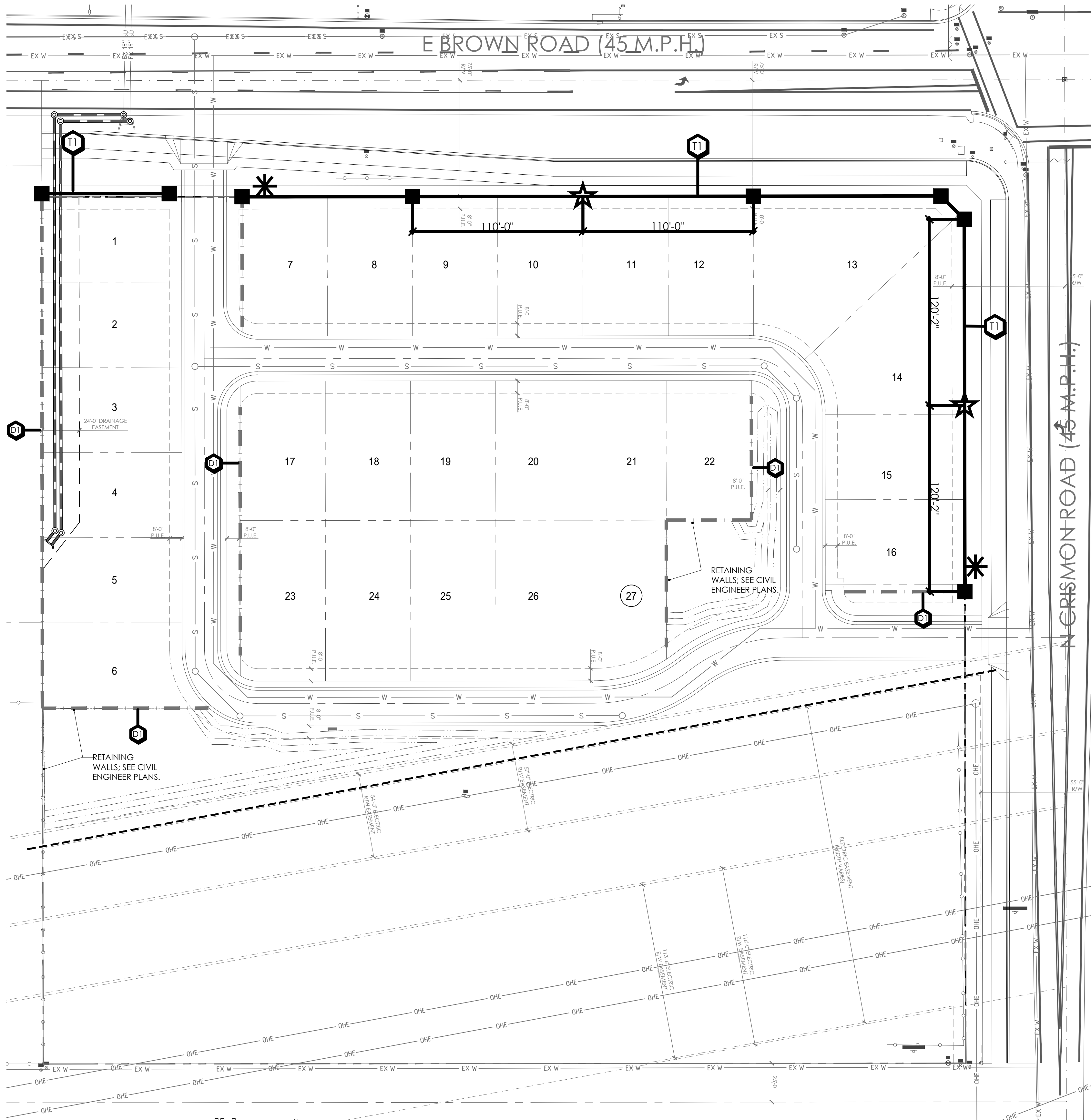
JOB NO: 19-032  
DATE:  
DRAWN BY: B. PAUL  
SUBMITTED: 03.21.2022  
REVISED:

SHEET TITLE:

L.07 of L.09

SHEET





wall key notes

- T1

8" HIGH PERIMETER THEME WALL.  
SEE SHEET L.09, DETAIL 'A'.  
800 L.F.
- D1

6" HIGH DOOLEY WALL.  
SEE SHEET L.09, DETAIL 'B'.  
980 L.F.
- 24" X 24" CMU COLUMN.  
SEE SHEET L.09 DETAIL 'C'.
- \*

PROPOSED ENTRY WALL.  
SEE SHEET L.09, DETAIL 'D'.
- ★

PROPOSED WALL VARIATION.  
SEE SHEET L.09, DETAIL 'E'.

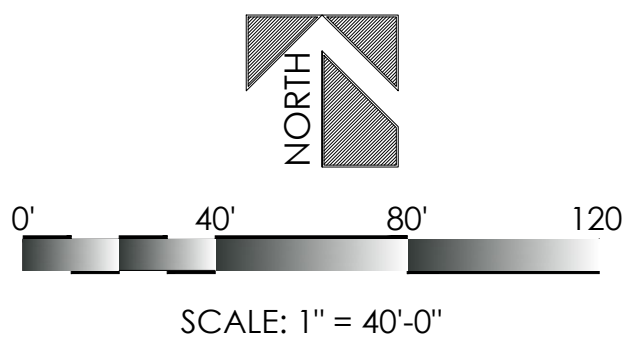
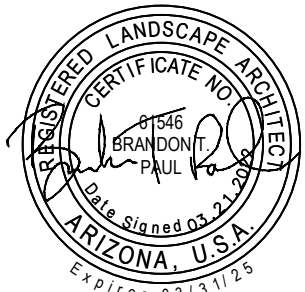
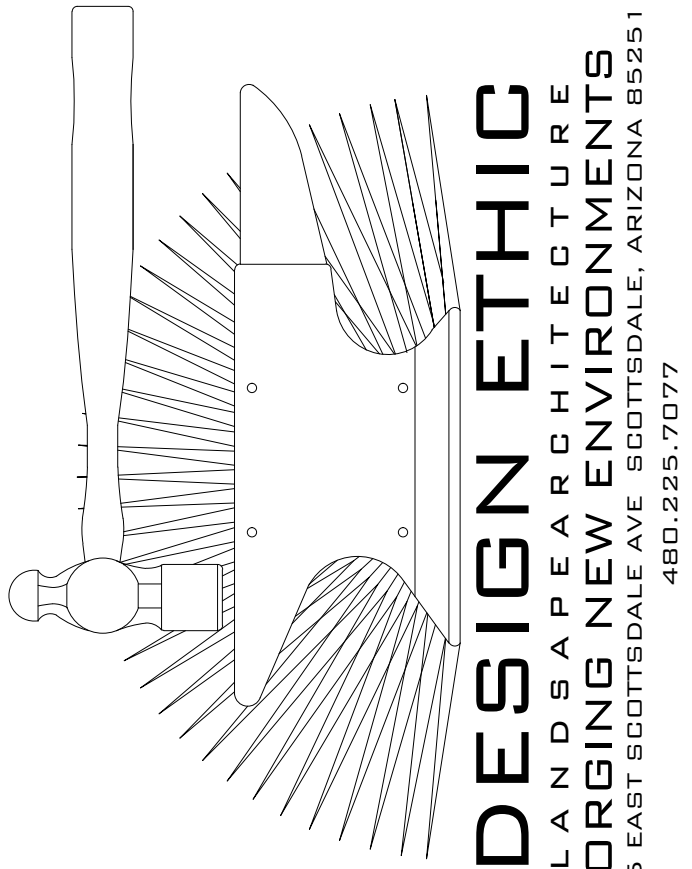
NOTE: ALL PERIMETER AND INTERIOR WALLS NOT NOTED ABOVE SHALL BE STANDARD 8" X 8" X 16" CMU FENCE BLOCK UNLESS SPECIFIED OTHERWISE BY OWNER. OWNER TO SELECT PAINT COLOR.

wall notes

1. THESE NOTES ARE GENERAL AND MAY BE SUPERSEDED BY EITHER THE SPECIFICATIONS OR LOCAL TRADE PRACTICES. ALL WALLS, FENCES AND STRUCTURES SHALL CONFORM TO APPLICABLE JURISDICTIONAL REGULATIONS.
2. ALL WALLS AND FENCES SHALL CONFORM TO APPLICABLE POOL FENCING ORDINANCES.
3. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION. REQUIRED SHOP DRAWINGS SHALL INCLUDE BUT NOT LIMITED TO WALL, COLUMNS, ENTRY GATES, POOL FENCE, AND WATER FEATURES. THE LANDSCAPE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR ANY ITEMS REQUIRING SHOP DRAWING UNLESS THE LANDSCAPE ARCHITECT HAS REVIEWED AND APPROVED THE SHOP DRAWINGS.
4. ALL VIEW FENCING SHALL BE POWDER COATED.
5. FOOTINGS SHALL BEAR IN UNDISTURBED NATIVE SOIL OR COMPACTED FILL.
6. THE EXPOSED UPPERMOST SOIL TO RECEIVE FILL SHALL BE SCARIFIED 6" DEEP, MOISTURE CONDITIONED TO 3% ± OF OPTIMUM DENSITY CURVE FOR EACH TYPE OF SOIL ENCOUNTERED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY PER ASTM D-2922 OR D-3017.
7. FILL MATERIAL SHALL BE PREDOMINANTLY GRANULAR, NON-EXPANSIVE, CLEAN OF ALL ORGANIC OR DETRITUS SUBSTANCES, AND HAVE A PLASTICITY INDEX LESS THAN SEVEN (7). BACKFILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY IN HORIZONTAL 8" LIFTS.
8. EXCAVATIONS FOR FOUNDATIONS SHALL BE NEAT TO BE REMOVED FROM SURFACE TO RECEIVE CONCRETE.
9. ALLOWABLE SOIL BEARING PRESSURES AT FOOTING ON COMPACTED SOIL: 1500 PSI.
10. CONCRETE MIX DESIGN SHALL BE MAG CLASS "B" (2500 PSI), UNLESS OTHERWISE NOTED ON DRAWINGS. SUBMIT TEST REPORTS FOR CONCRETE MIX DESIGNS TO LANDSCAPE ARCHITECT FOR REVIEW.
11. NO PIPES OR DUCTS SHALL BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED.
12. CONCRETE FOOTINGS SHALL BE CONTINUOUS POUR TO GREATEST EXTENT PRACTICAL. STEP FOOTINGS IN EVEN BLOCK INCREMENTS.
13. IF STRUCTURAL DRAWINGS ARE NOT PROVIDED BY THE LANDSCAPE ARCHITECT, THEN THE WALL CONTRACTOR SHALL BE RESPONSIBLE FOR STRUCTURAL CALCULATIONS FOR THE WALLS. SUCH ENGINEERING SHALL CONFORM TO APPLICABLE JURISDICTIONAL REGULATIONS.
14. WATERPROOF ALL WALLS TO HIGH GRADE, IF APPLICABLE. GROUT SOLID ALL C.M.U. CELLS AND VOIDS BELOW GRADE AND/OR CONTAINING REBAR.
15. ALL IRON/STEEL WORK TO BE OF HIGHEST QUALITY WITH WELDS GROUND SMOOTH. ALL IRON WORK, EXCEPT WHERE NOTED, TO BE PRIMED AND PAINTED. PAINT COLOR TO BE SELECTED BY OWNER AND/OR LANDSCAPE ARCHITECT. CONTRACTOR SHALL PROVIDE A 1 YEAR RUST WARRANTY ON IRON/STEEL WORK.
16. VERIFY HEIGHTS AND SLOPES AND TURNDOWNS BEFORE POURING FOOTINGS.
17. NEW WALL FINISHES SHALL MATCH EXISTING SURFACES, UNLESS OTHERWISE NOTED ON DRAWINGS.
18. ALL PERIMETER AND INTERIOR WALLS NOT NOTED ABOVE SHALL BE STANDARD 4" X 8" X 16" CMU FENCE BLOCK UNLESS SPECIFIED OTHERWISE BY OWNER. OWNER TO SELECT PAINT COLOR.
19. ALL C.M.U. AND CONCRETE WALLS SHALL BE PRIMED AND PAINTED, UNLESS OTHERWISE NOTED. PAINT COLOR TO BE SELECTED BY OWNER AND/OR LANDSCAPE ARCHITECT
20. ALL STEPS IN WALLS SHALL OCCUR AT PROPERTY CORNERS. THE REAR WALLS OF EACH LOT SHALL MAINTAIN A CONSISTENT TOP OF WALL ELEVATION.
21. THE CONTRACTOR TO COORDINATE THE END OF SIDE YARD WALLS WITH THE HOUSING PRODUCT AND BUILDING SETBACKS.
22. WIND LOAD DESIGN SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODE.

general masonry notes

1. THESE NOTES ARE GENERAL AND MAY BE SUPERSEDED BY EITHER THE SPECIFICATIONS OR LOCAL TRADE PRACTICES.
2. MASONRY UNITS: SHALL BE GRADE "N" TYPE I CONFORMING TO LATEST ASTM STANDARD SPECIFICATION C-90 AND MANUFACTURED IN ACCORDANCE WITH "CONCRETE MASONRY ASSOCIATION" STANDARDS. SPECIFICALLY BLOCK SHALL BE AS NOTED ON PLANTS.
3. MORTAR: SHALL BE TYPE S, CONFORMING TO ASTM C270, WITH A 28 DAY COMPRESSIVE STRENGTH OF 1800 PSI.
4. GROUT: FRESHLY PREPARED AND UNIFORMLY MIXED. GROUT SHALL BE COMPOSED BY VOLUME OF 1 PART PORTLAND CEMENT AND 2 1/4 TO 3 PARTS SAND, TO WHICH MAY BE ADDED NOT MORE THAN ONE-TENTH PART LIME. WATER SHALL BE ADDED TO PRODUCE CONSISTENCY OF POURING WITHOUT SEGREGATION OF THE CONSTITUENTS. GROUT SHALL ATTAIN A COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS.
5. PORTLAND CEMENT: SHALL BE TYPE II AND CONFORM TO LATEST ASTM STANDARDS SPECIFICATION C-150.



GENEVA VILLAS  
9960 E FLANDERS ROAD  
MESA, ARIZONA 85207

WALL PLAN AND DETAILS

PROJECT:

JOB NO: 19-032  
DATE:  
DRAWN BY: B. PAUL  
SUBMITTED: 03.21.2022  
REVISED:

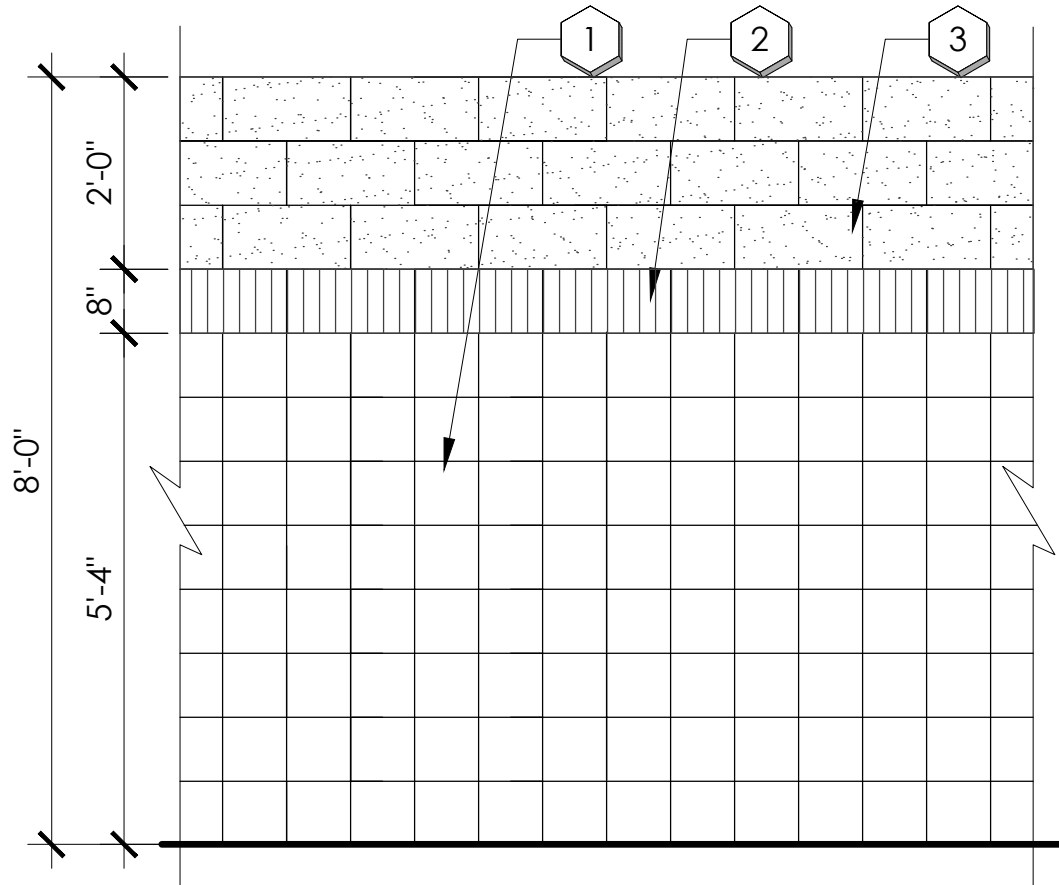
SHEET

L.08 of L.09



key notes

- 1
- 8" x 8" x 16" VERTICAL SCORE BLOCK  
COLOR: "BASKET BEIGE" SW6143
- 2
- 8" x 8" x 16" FLUTED FACE BLOCK  
COLOR: "FOXY" SW6333
- 3
- 8" x 8" x 16" SPLIT FACE BLOCK  
COLOR: "BASKET BEIGE" SW6143



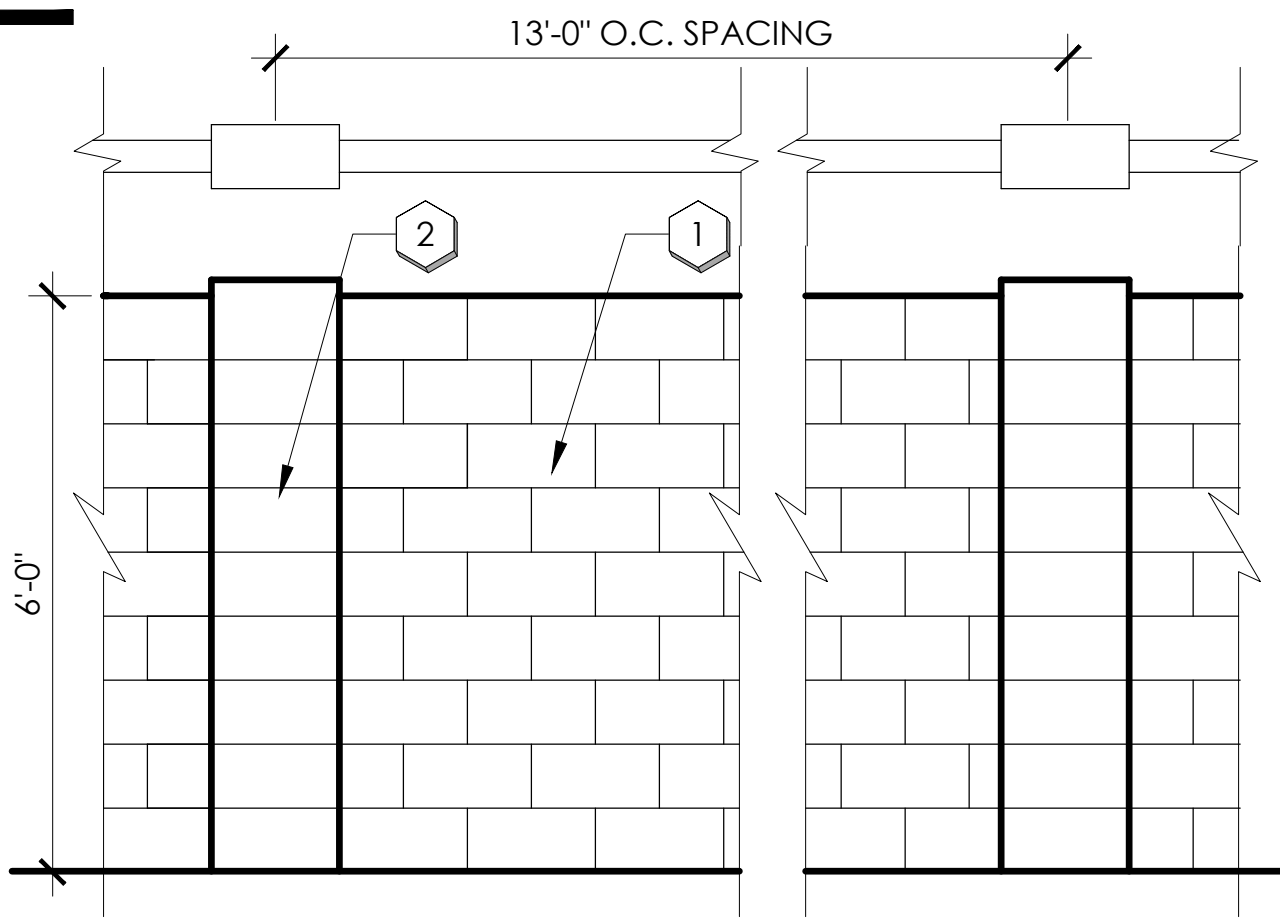
A PERIMETER THEME WALL ELEVATION

NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION. STRUCTURAL ENGINEER TO PROVIDE FINAL DETAILS AND CALCULATIONS.

SCALE: 1/2" = 1'-0"

key notes

- 1
- 4"X8"X16" CMU BLOCK WALL  
COLOR: TBD
- 2
- 8"X8"X16" H-BLOCK  
COLUMNS 13' O.C.



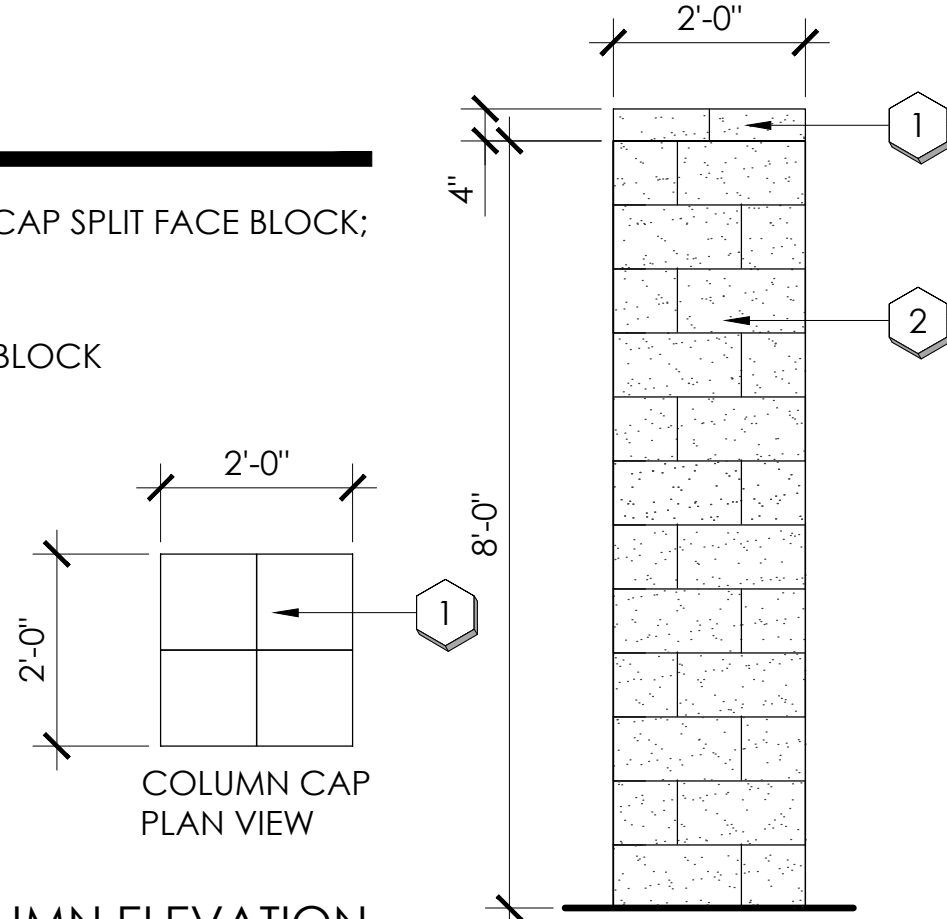
B 4' X 8' X 16" CMU WALL W/ 8"X8"X16" H BLOCK COLUMNS

NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.

SCALE: 1/2" = 1'-0"

key notes

- 1
- 12" X 4" X 12" COLUMN CAP SPLIT FACE BLOCK;  
2-SIDES MINIMUM  
COLOR: BY OWNER
- 2
- 8" x 8" x 16" SPLIT FACE BLOCK  
COLOR: BY OWNER



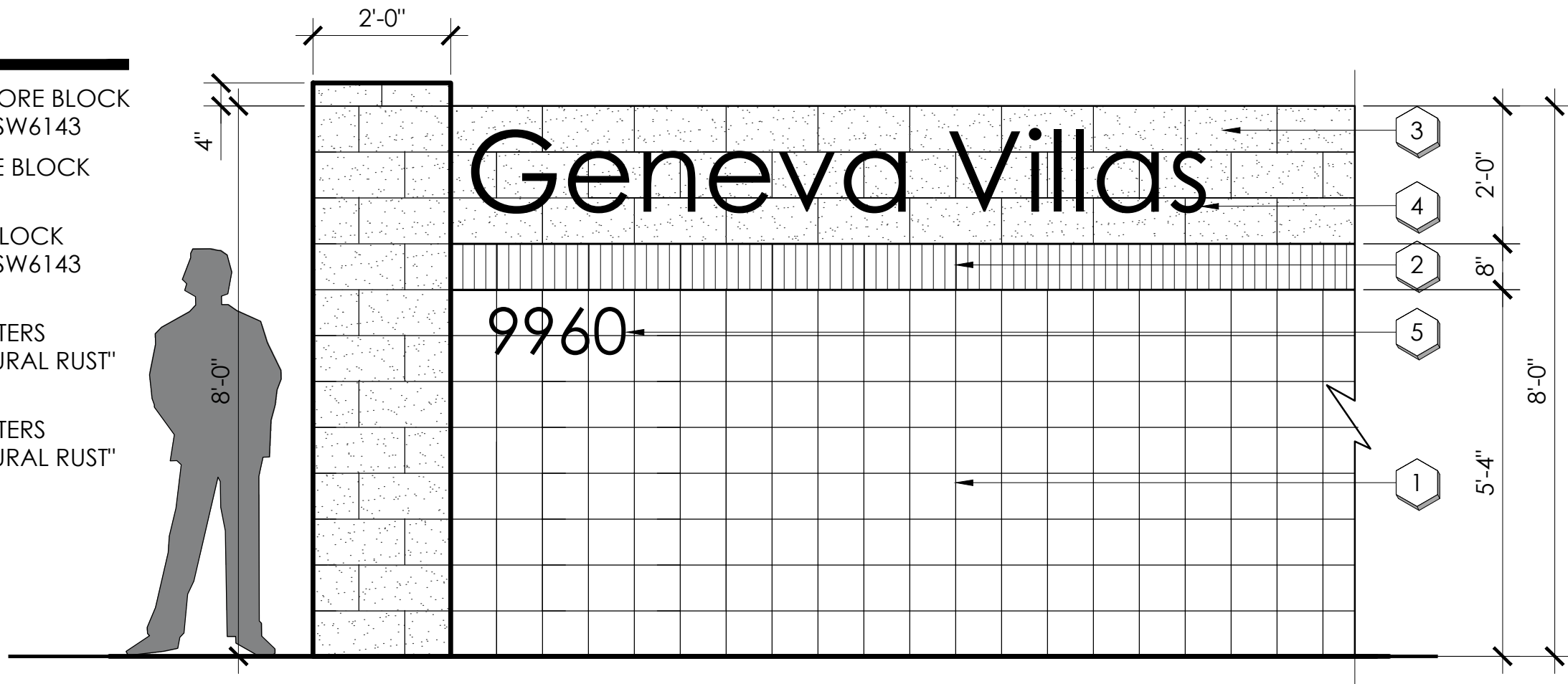
C 8'-4" HEIGHT COLUMN ELEVATION

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SCALE: 1/2" = 1'-0"

key notes

- 1
- 8" x 8" x 16" VERTICAL SCORE BLOCK  
COLOR: "BASKET BEIGE" SW6143
- 2
- 8" x 8" x 16" FLUTED FACE BLOCK  
COLOR: "FOXY" SW6333
- 3
- 8" x 8" x 16" SPLIT FACE BLOCK  
COLOR: "BASKET BEIGE" SW6143
- 4
- 14" TALL PIN MOUNTED  
FCO 1/2" ALUMINUM LETTERS  
POWDER COATED "NATURAL RUST"
- 5
- 14" TALL PIN MOUNTED  
FCO 1/2" ALUMINUM LETTERS  
POWDER COATED "NATURAL RUST"



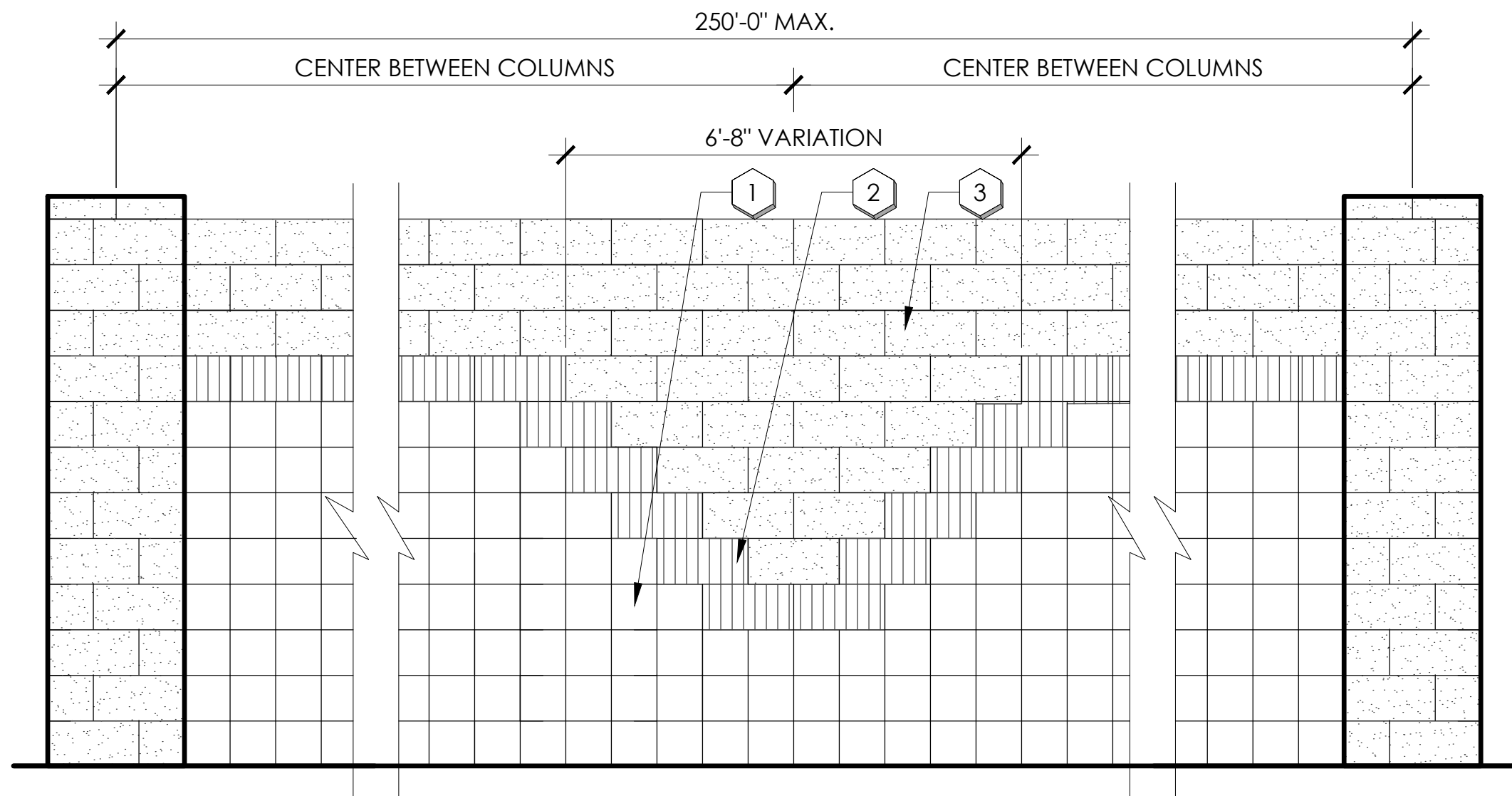
D ENTRY WALL CONCEPT

NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION. STRUCTURAL ENGINEER TO PROVIDE FINAL DETAILS AND CALCULATIONS.

SCALE: 1/2" = 1'-0"

key notes

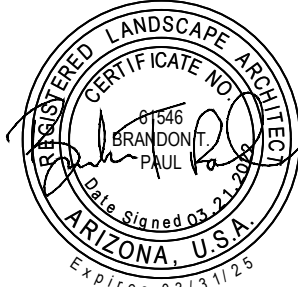
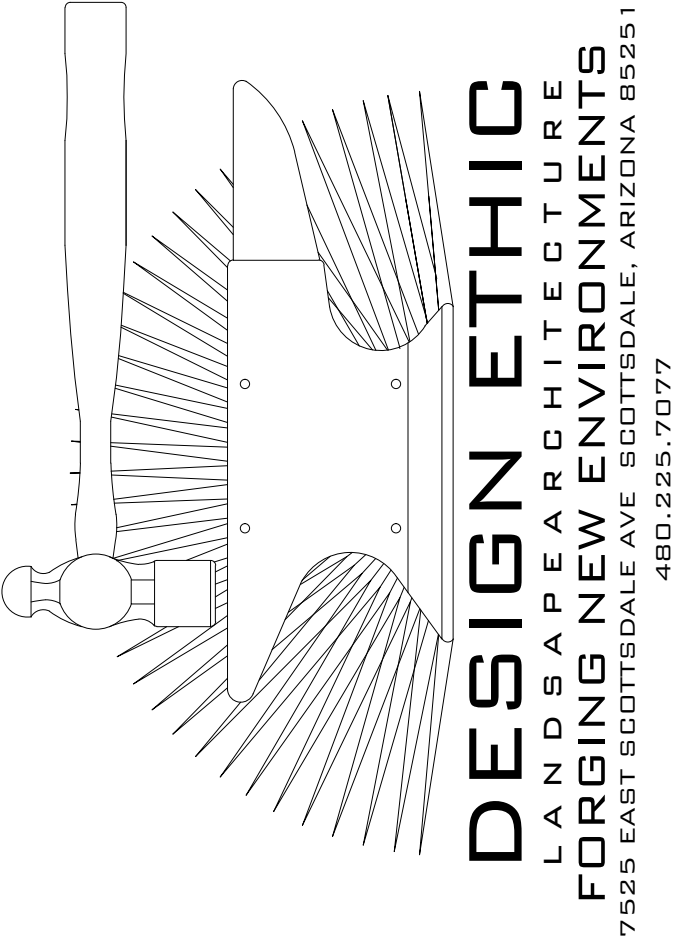
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COLOR: "BASKET BEIGE" SW6143
- 2
- 8" x 8" x 16" FLUTED FACE BLOCK  
COLOR: "FOXY" SW6333
- 3
- 8" x 8" x 16" SPLIT FACE BLOCK  
COLOR: "BASKET BEIGE" SW6143



E PERIMETER THEME WALL HORIZONTAL VARIATION

NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION. STRUCTURAL

SCALE: 1/2" = 1'-0"



SCALE: 1" = 40'-0"



GENEVA VILLAS  
9960 E FLANDERS ROAD  
MESA, ARIZONA 85207

WALL PLAN AND DETAILS

PROJECT:

JOB NO: 19-032  
DATE:  
DRAWN BY: B. PAUL  
SUBMITTED: 03.21.2022  
REVISED:

SHEET

L.09 of L.09



**Geneva Villas**  
**Mesa, Arizona**  
**Citizen Participation Plan & Preliminary Report**  
**Case No. PRS21-00578**  
**Annexation, Rezoning, and Preliminary Plat**  
**February 14, 2022**

---

**Overview:**

The purpose of this Citizen Participation Plan and Preliminary Report is to provide the City of Mesa staff with information regarding the efforts to be made by the Applicant in support of an Annexation, Rezoning and Preliminary Plat request for approximately 8 acres located at the southwest corner of Crismon Road and Brown Road (APNs 220-20-010C and -010D). Notably, significant support for this proposal has already been achieved with neighbors by way of individual outreach and the holding of a neighborhood meeting. The Letters of Support received for the proposal are attached.

By providing opportunities for additional citizen participation, the Applicant will ensure that those affected by this application have an adequate opportunity to learn about and comment on the proposed plan. The Applicant will provide neighborhood notice for future public hearings and any other meetings which staff proposes.

**Contact Information:**

Those coordinating the Citizen Participation activities are as follows:

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Pew & Lake, PLC  
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sean.lake@pewandlake.com

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jon.gillespie@pewandlake.com

**Planned and Taken Actions:**

In order to provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities for feedback from surrounding property owners and interested parties:

1. Individual outreach to the neighboring property owners will continue to be attempted.
2. A neighborhood meeting was held with the applicant, citizens and interested parties to discuss the proposed project. A “Neighborhood Meeting Summary” was created. Additional meetings can be arranged as needed.



3. The notification list for the neighborhood meeting included all property owners within 1000' of the subject property. Additionally, registered neighborhood contacts within 1-mile of the property were notified (the registered neighborhood contacts list will be obtained from the City of Mesa).
4. In accordance with ARS § 9-462.04 (A) (4) and Mesa Zoning Ordinance Section 11-67-5, property owners within 500-feet of the property will be notified of future hearings at least 14-days prior to any scheduled hearing. Attendees at the neighborhood meeting will also be notified.

**Summary of Comments Received:**

1. Attendees at the neighborhood meeting were primarily Maricopa County residents who supported residential uses on the property and wanted to ensure that they were not being annexed into the city.
2. Answers regarding estimated construction time frames and street improvements were provided.
3. Residents want to preserve the rural, open feel of the area.

**Attached Exhibits:**

- A) Letters of Support from neighboring property owners and subject property broker
- B) List of property owners within 1000' feet of the subject property and registered neighborhood contacts within 1 mile of the property
- C) 1000' Notification Map of surrounding property owners
- D) Notification letter for the Neighborhood Meeting
- E) Neighborhood Meeting Registrants List
- F) Neighborhood Meeting Summary

**Tentative Schedule:**

Pre-Submittal Conference – July 2, 2021  
Follow-up Pre-Submittal Conference – December 14, 2021  
Neighborhood Meeting – January 4, 2022  
Formal Application – February 14, 2022  
2<sup>nd</sup> Submittal – *TBD*  
Planning and Zoning Board Hearing – *TBD*  
City Council Introduction – *TBD*  
City Council Final Action – *TBD*



February 11, 2022

Dr. Nana K Appiah  
Planning Director  
City of Mesa  
55 N Center St.  
Mesa, AZ 85211-1466

RE: Support of rezoning to build a Single-Family Residential Development at SWC Crismon and Brown

Dear Dr. Appiah,

My wife and I have reviewed the plans for development of a sub-division for 27 homesites. We fully support the rezoning for residential homes versus having any commercial building, gas station, storage facility or the like at this location. We have lived at 950 N Crismon Rd. since July of 2014. We have watched the crime and traffic increase around Ellsworth and University with the building of gas stations. There are homeless communities that have been built in the open desert areas that again increase the use of drugs and crime to the neighboring areas.

We do not want increased "outsider" traffic in this area especially so close to a Junior high-school. Any commercial site will be an attractant to this outsider traffic and we strongly feel it will not better the communities surrounding the school. This specific corner has been a dumpsite of abandoned cars, motorhomes, dumpsite for trash and a place for wanderers to squat for the past 5 years. This development will remove one more area that allows for this to take place.

Last point we will make to support the residential community versus any commercial development on the SWC of Crismon and Brown: The required development of the streets and open areas under the powerlines will address a longstanding problem of flooding and erosion due to a lack of landscape during large rainfall. Any development with added ground cover will slow the velocity of the water that runs down Crismon.

Sincerely,

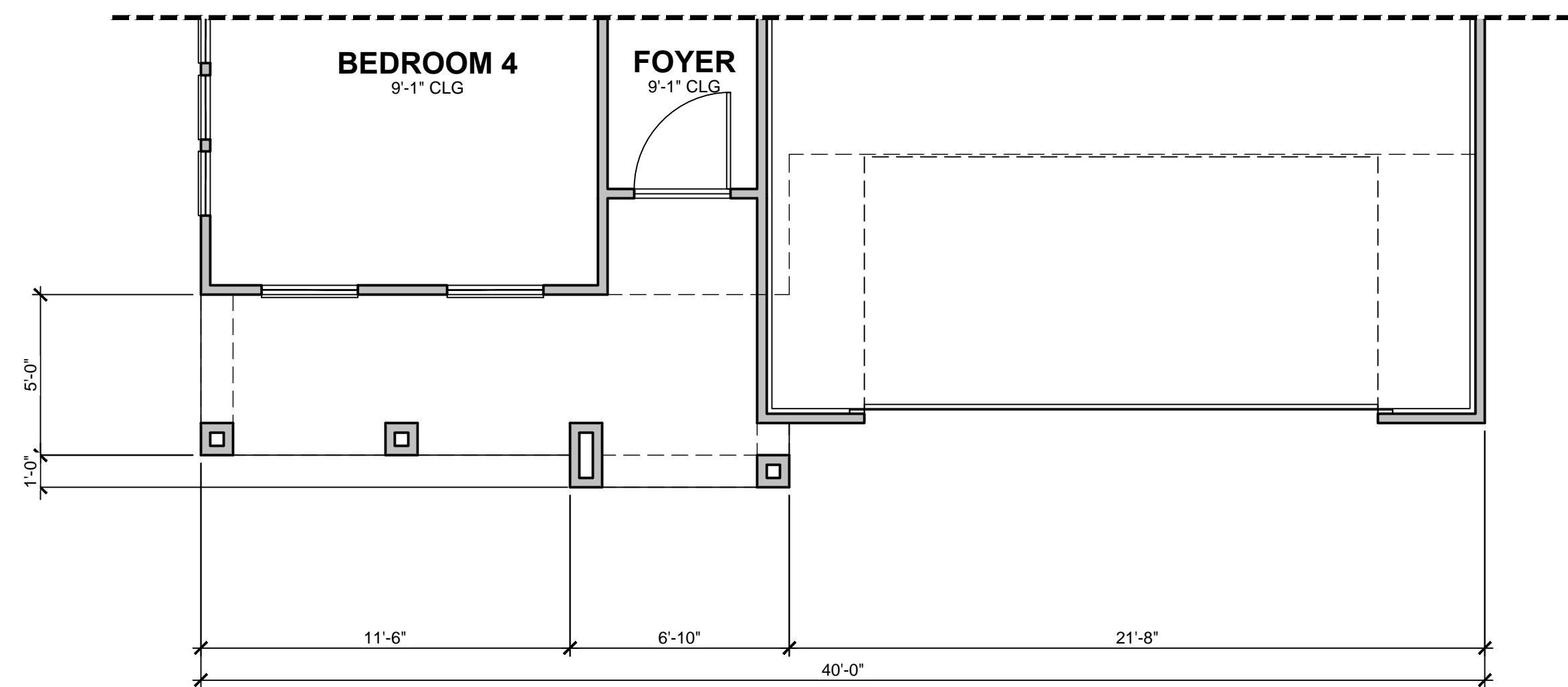


Derek C Rast



JaNae J Rast





FIRST FLOOR PLAN  
ELEVATION B  
1/4" = 1'-0"

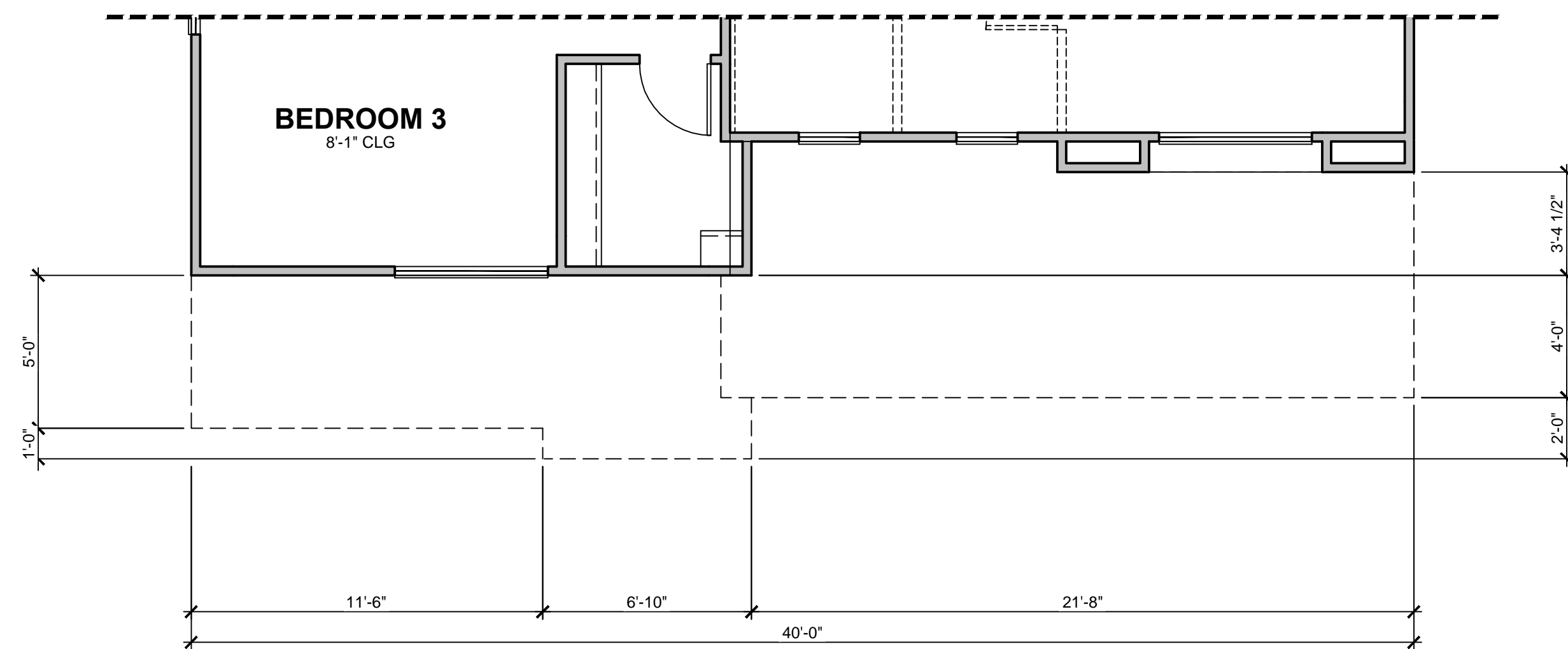


FIRST FLOOR PLAN  
ELEVATION A  
1/4" = 1'-0"

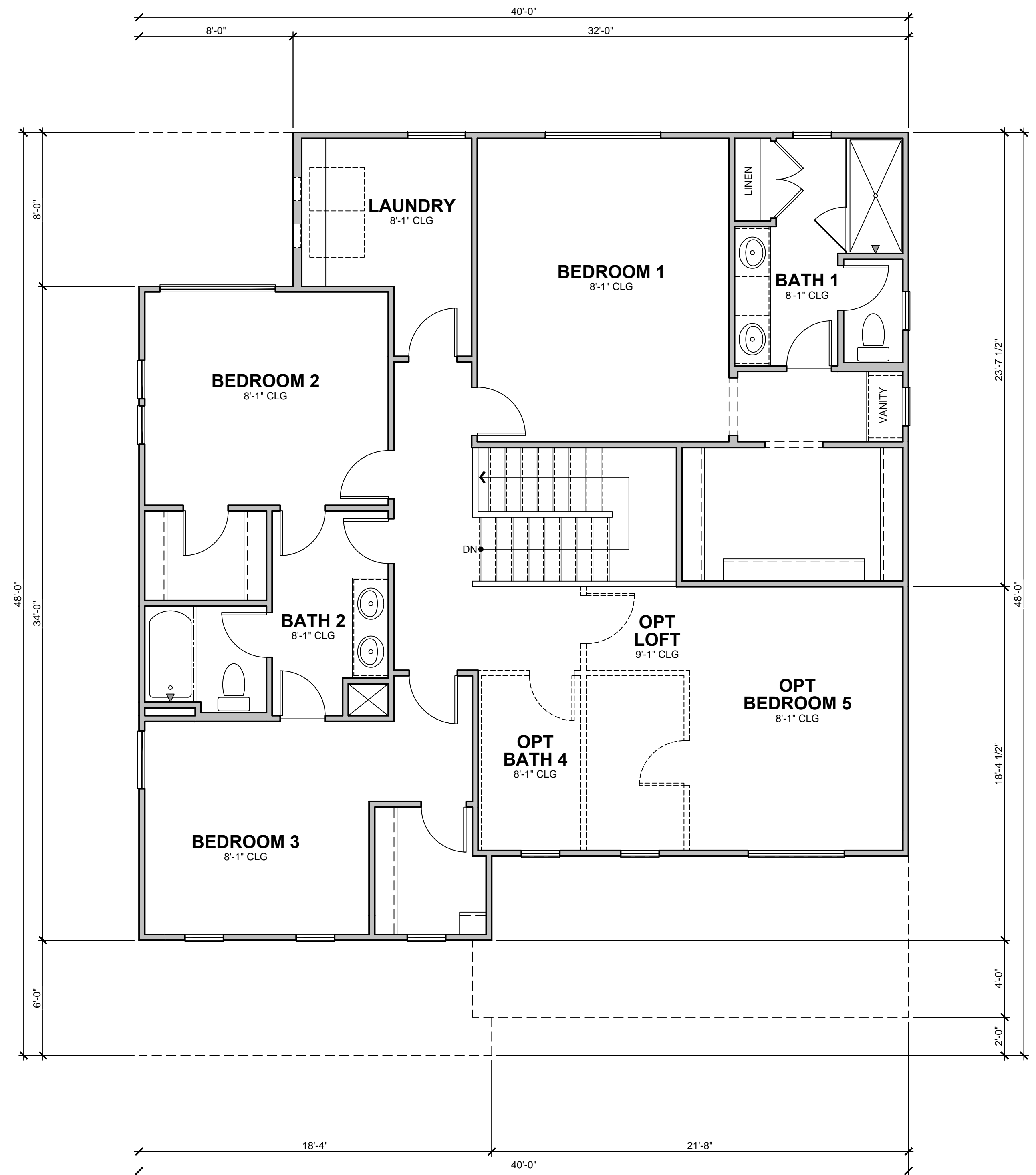
PLAN 1 | 2,235 SF ( 2,548 w/ BR 5) | CRISMON & BROWN | MESA, AZ

3-16-2022





SECOND FLOOR PLAN  
ELEVATION B  
1/4" = 1'-0"

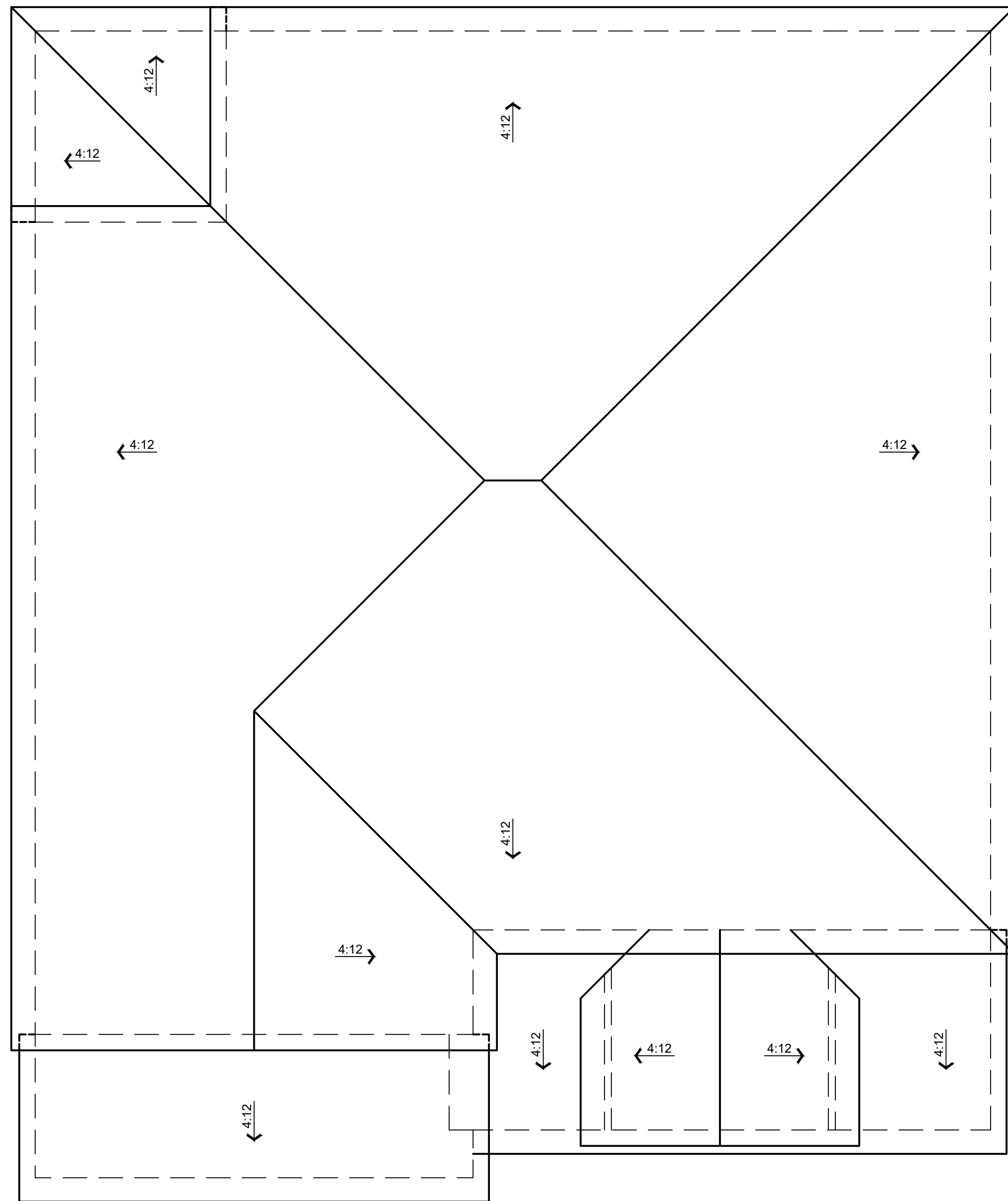


SECOND FLOOR PLAN  
ELEVATION A  
1/4" = 1'-0"

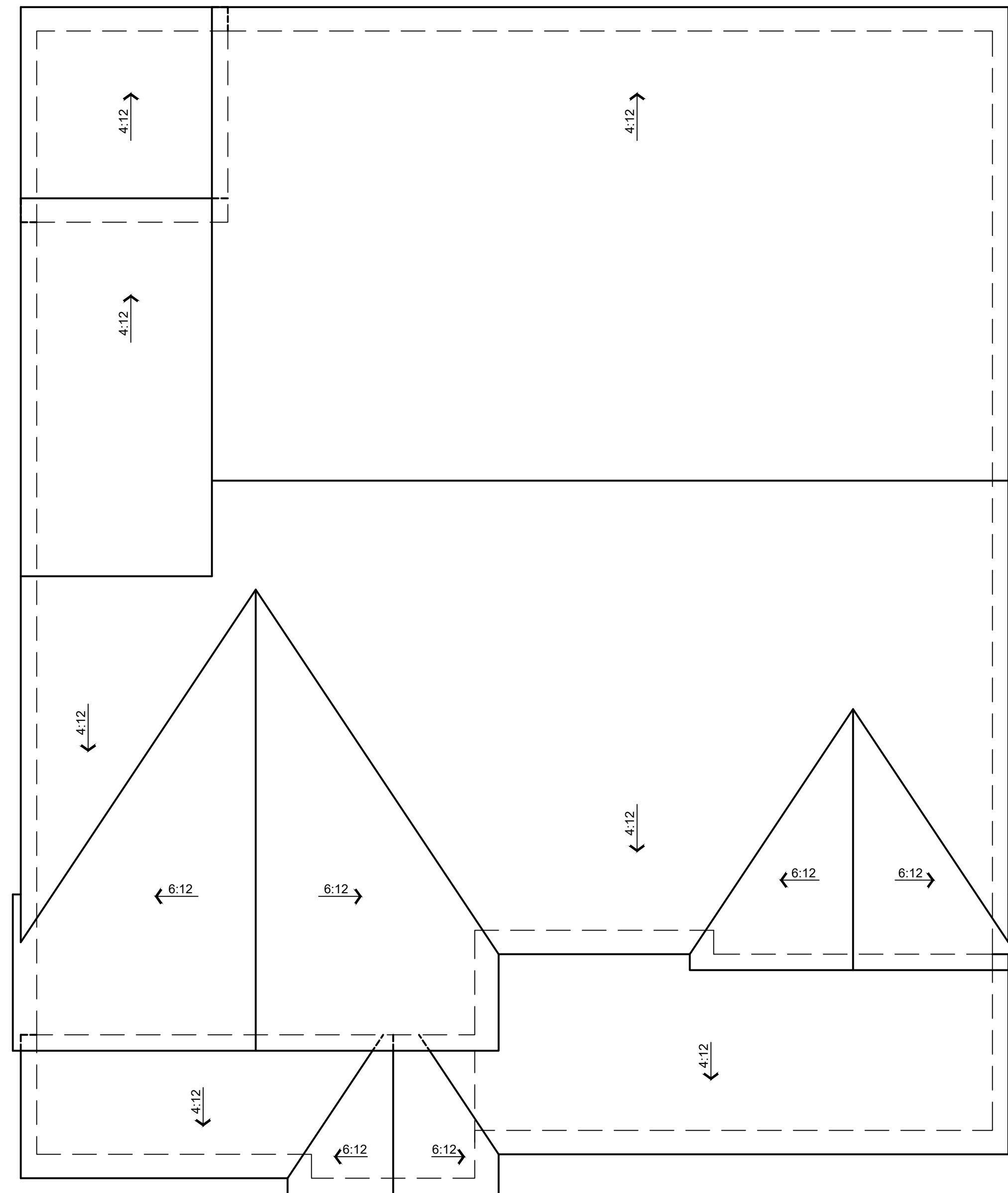
PLAN 1 | 2,235 SF ( 2,548 w/ BR 5) | CRISMON & BROWN | MESA, AZ

3-16-2022





ROOF PLAN  
ELEVATION A  
1/4" = 1'-0"

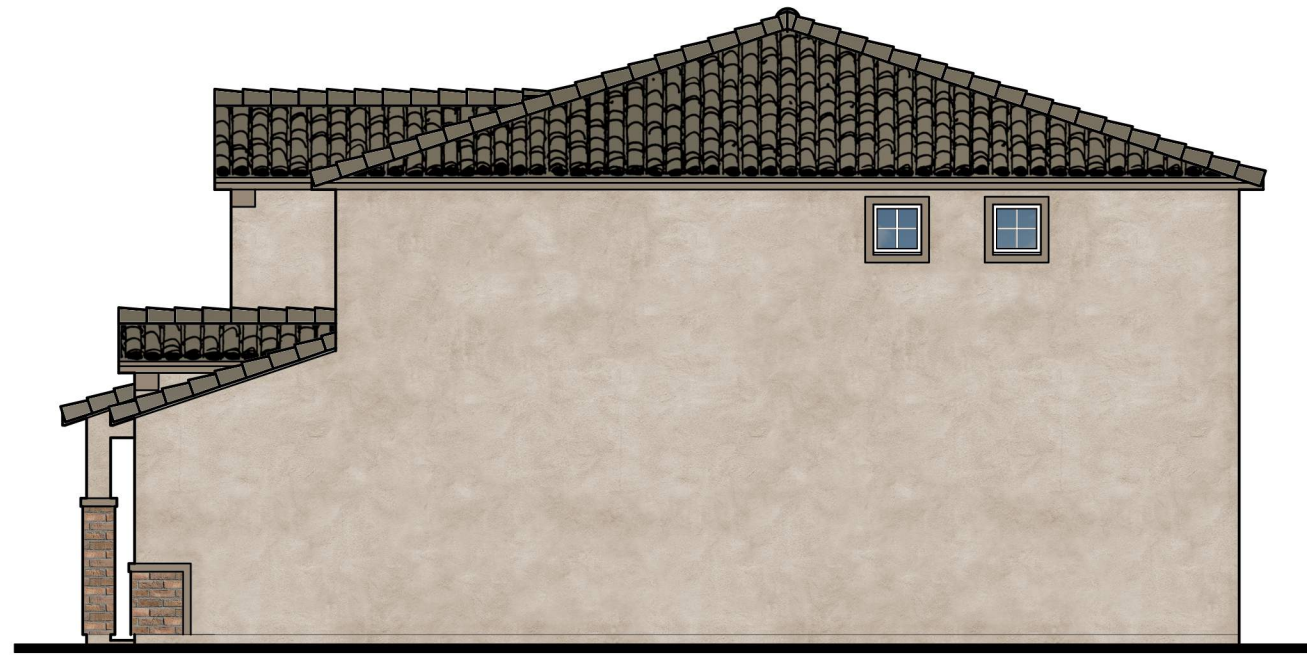


ROOF PLAN  
ELEVATION B  
1/4" = 1'-0"

PLAN 1 | 2,235 SF ( 2,548 w/ BR 5) | CRISMON & BROWN | MESA, AZ

3-16-2022

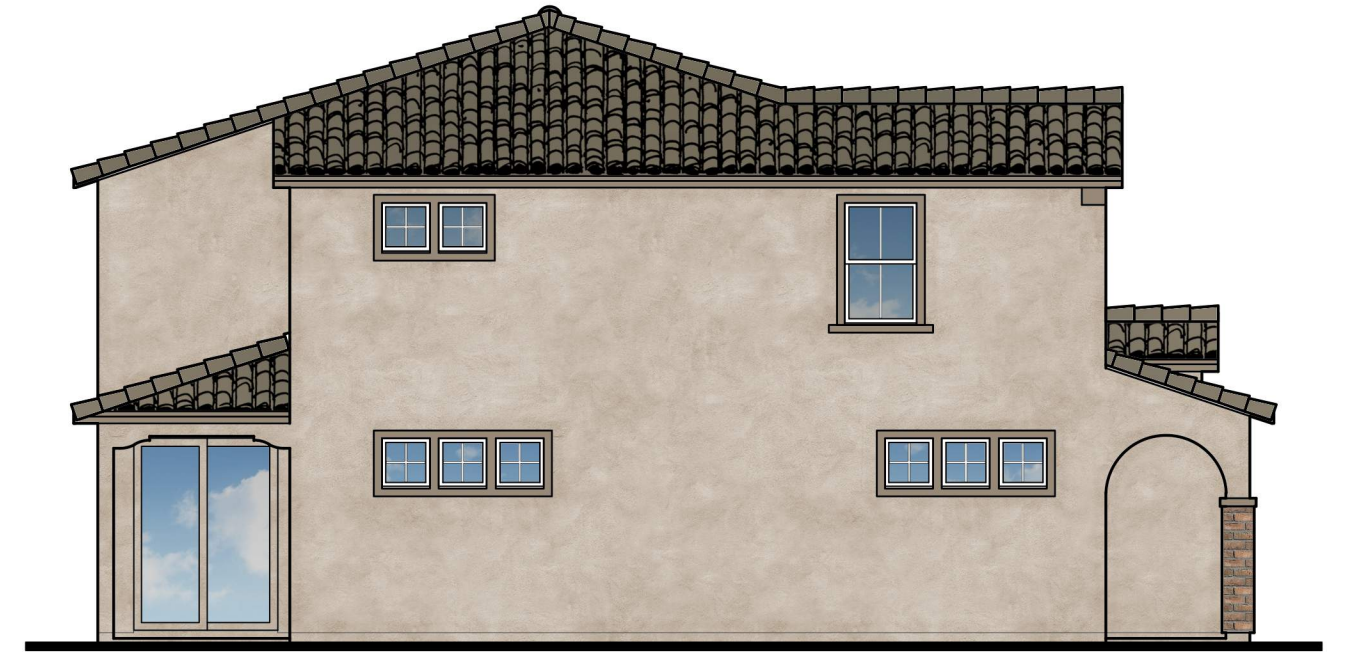




RIGHT ELEVATION  
ELEVATION A  
1/8" = 1'-0"



REAR ELEVATION  
ELEVATION A  
1/8" = 1'-0"



LEFT ELEVATION  
ELEVATION A  
1/8" = 1'-0"



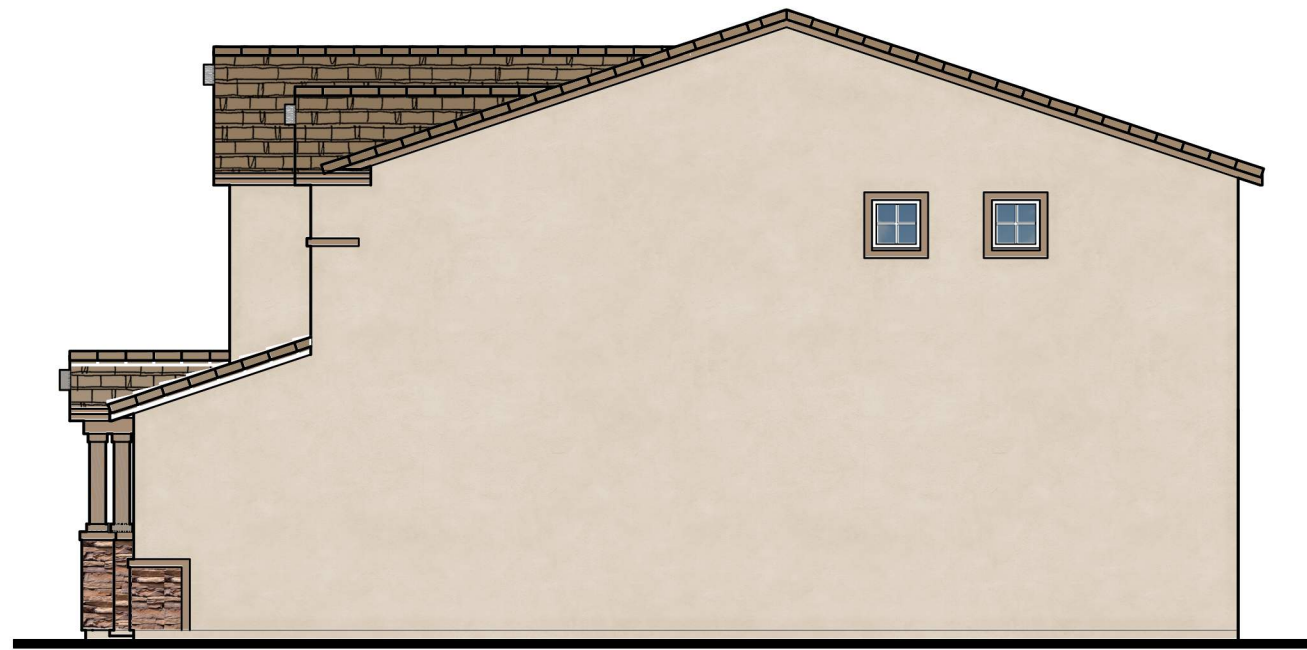
FRONT ELEVATION  
ELEVATION A  
1/4" = 1'-0"

STUCCO SQ. FT.	STUCCO %	VENEER SQ. FT.	VENEER %	TOTAL SQ. FT.
421	90%	44	10%	466

COLOR SCHEME B  
PLAN 1 | 2,235 SF ( 2,548 w/ BR 5) | CRISMON & BROWN | MESA, AZ

3-16-2022

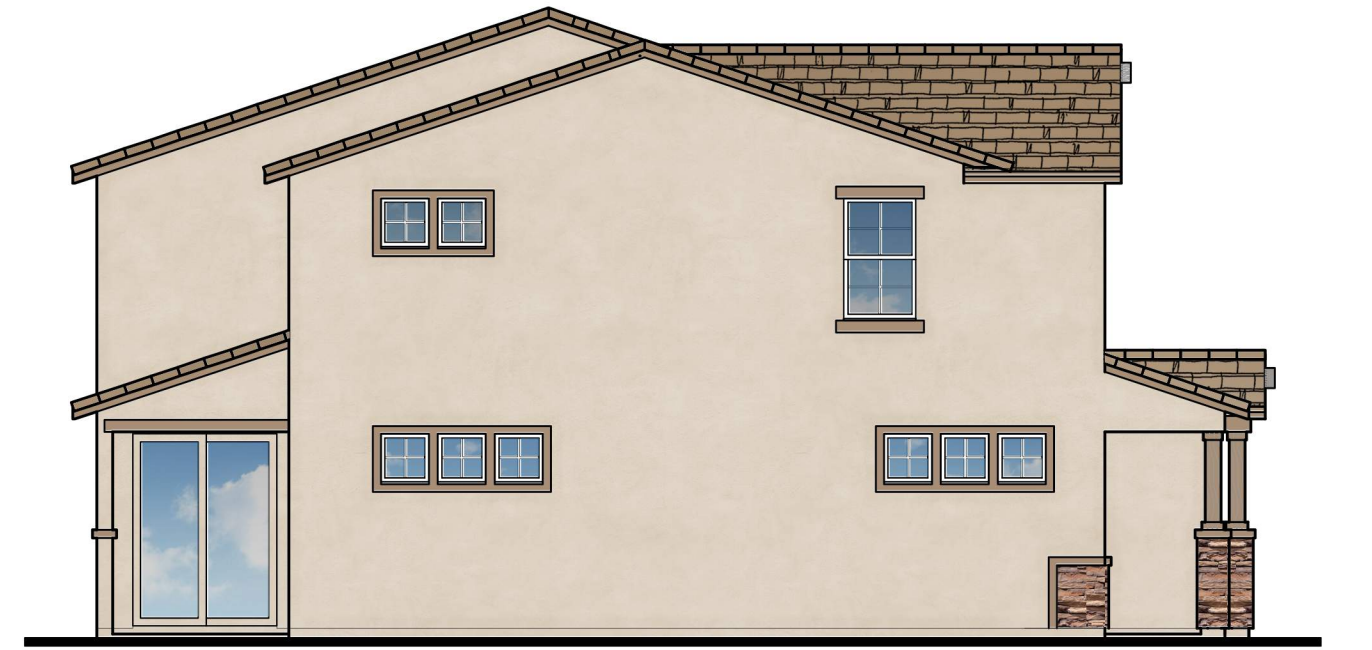




RIGHT ELEVATION  
ELEVATION B 1/8" = 1'-0"



REAR ELEVATION  
ELEVATION B 1/8" = 1'-0"



LEFT ELEVATION  
ELEVATION B 1/8" = 1'-0"

OVERALL HEIGHT

T.O. PLATE

8'-1"

FIN. FLR.

T.O. PLATE

9'-1"

FIN. FLR.

± 25'-9"

CONCRETE ROOF TILE

DECORATIVE CORBEL

DECORATIVE SHUTTER

STUCCO POP-OUT

STUCCO BODY

WOOD COLUMN

WOOD BARGE/ FASCIA

COACH LIGHT

STUCCO POP-OUT

MASONRY VENEER

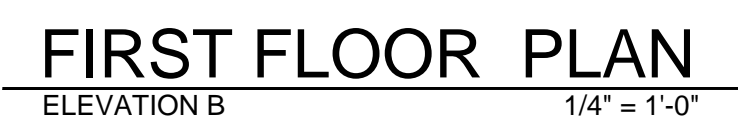
FRONT ELEVATION  
ELEVATION B 1/4" = 1'-0"

STUCCO SQ. FT.	STUCCO %	VENEER SQ. FT.	VENEER %	TOTAL SQ. FT.
428	89%	55	11%	483

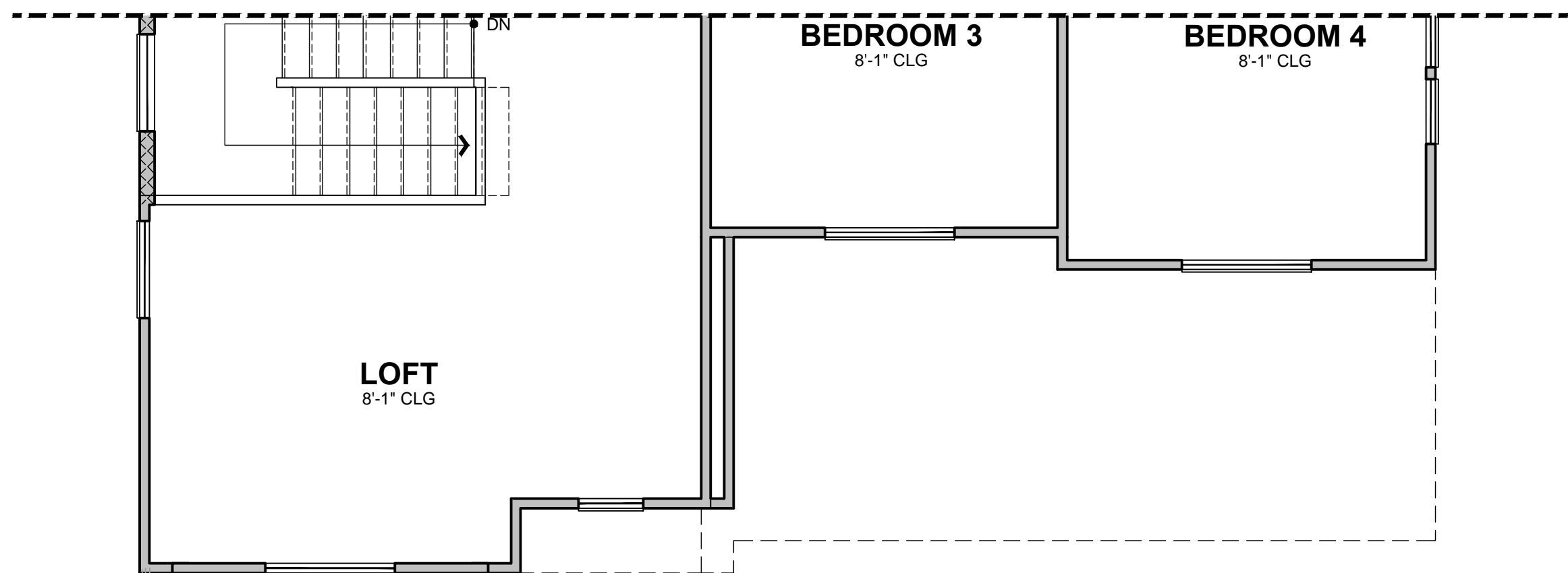
COLOR SCHEME A  
PLAN 1 | 2,235 SF ( 2,548 w/ BR 5) | CRISMON & BROWN | MESA, AZ

3-16-2022









SECOND FLOOR PLAN  
ELEVATION B

1/4" = 1'-0"



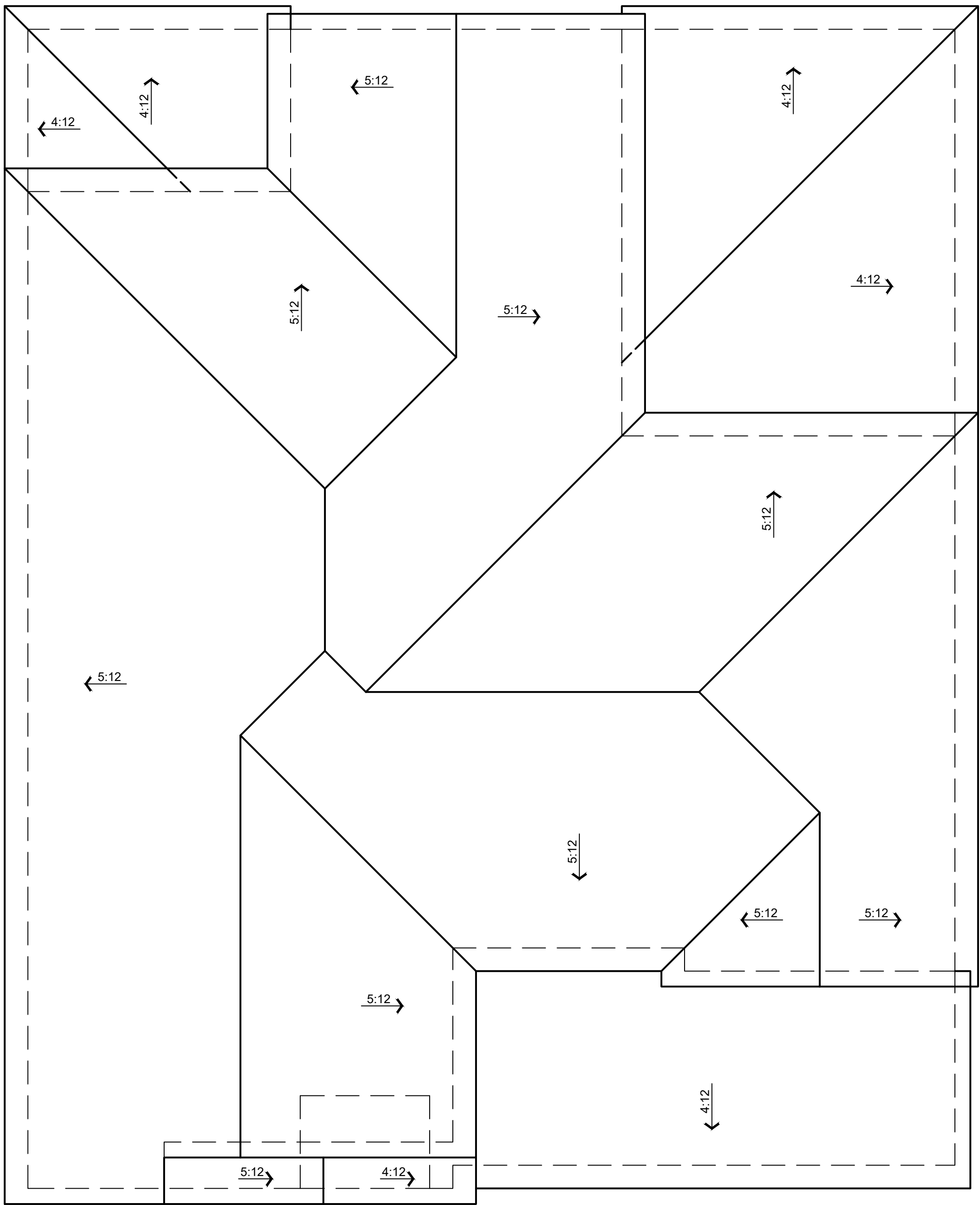
SECOND FLOOR PLAN  
ELEVATION A

1/4" = 1'-0"

PLAN 2 | 2,476 SF | CRISMON & BROWN | MESA, AZ

3-16-2022

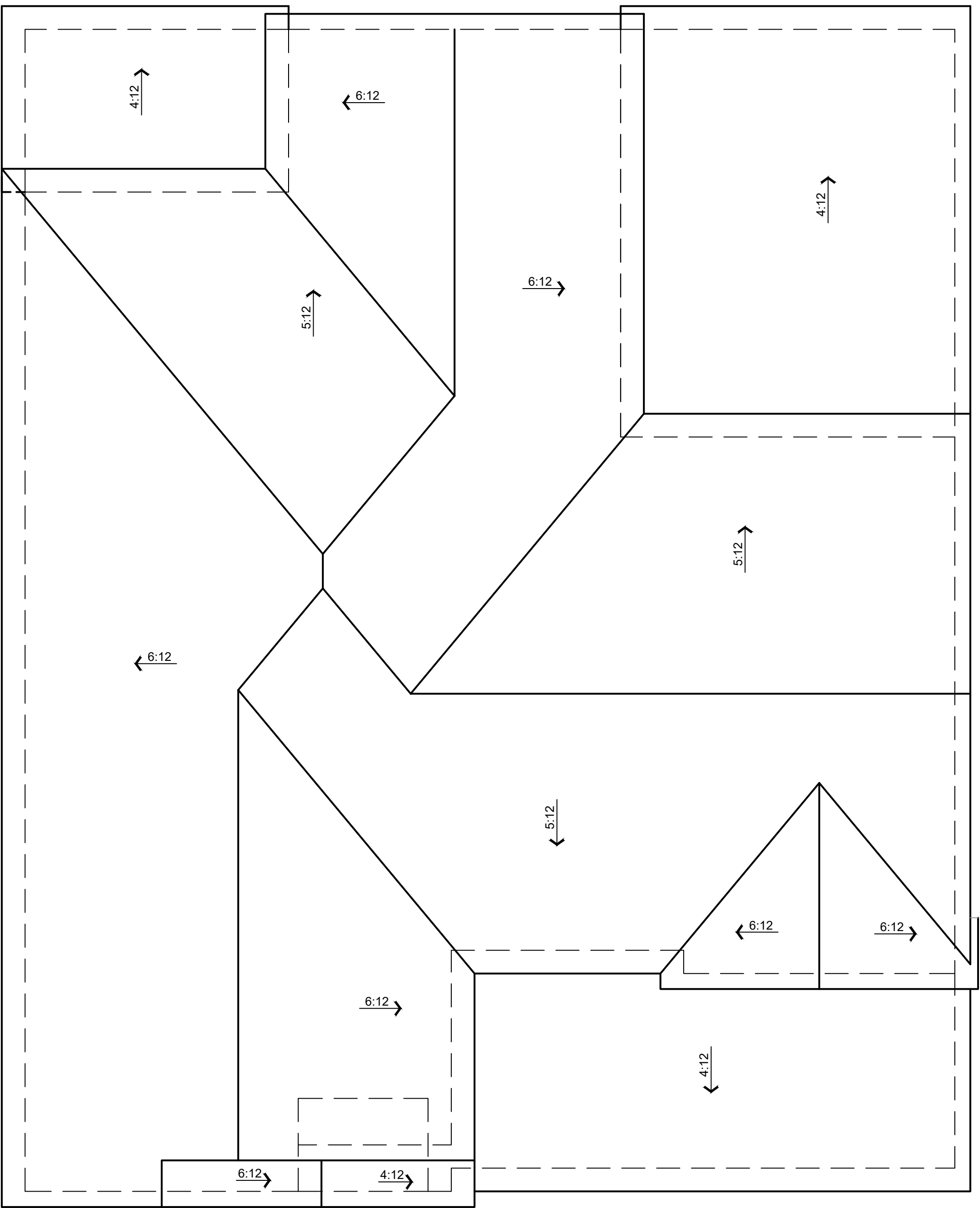




ROOF PLAN

ELEVATION A

1/4" = 1'-0"



ROOF PLAN

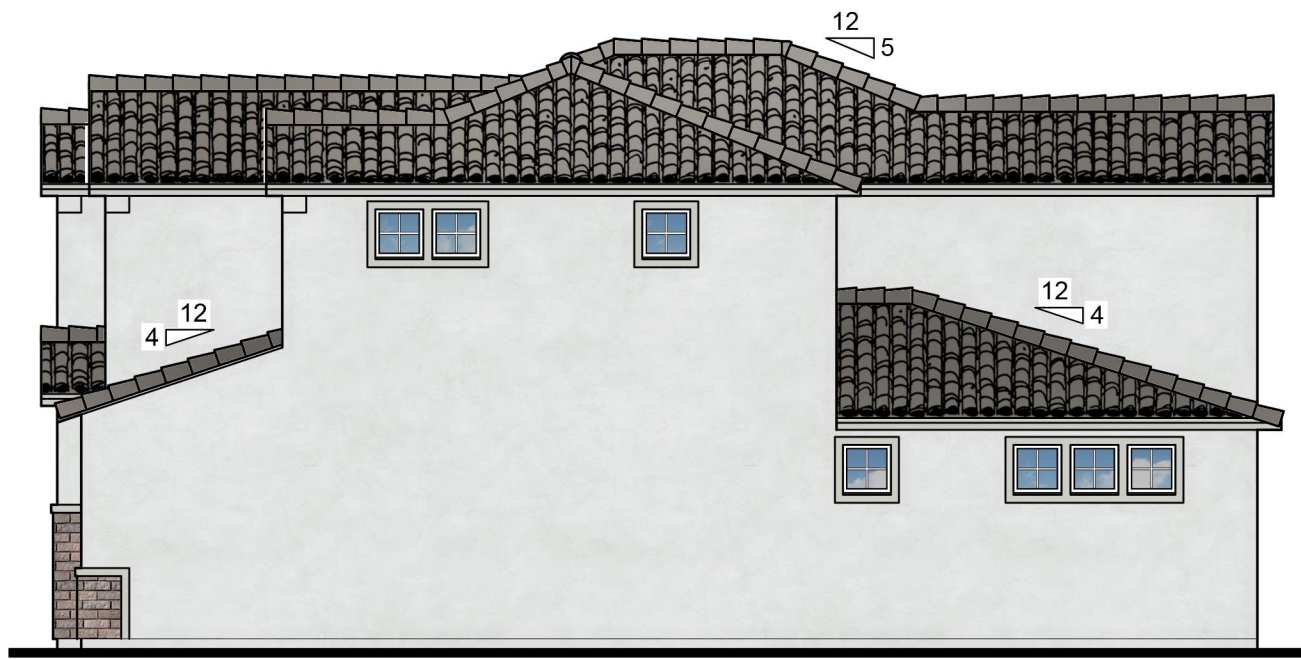
ELEVATION B

1/4" = 1'-0"

PLAN 2 | 2,476 SF | CRISMON & BROWN | MESA, AZ

3-16-2022

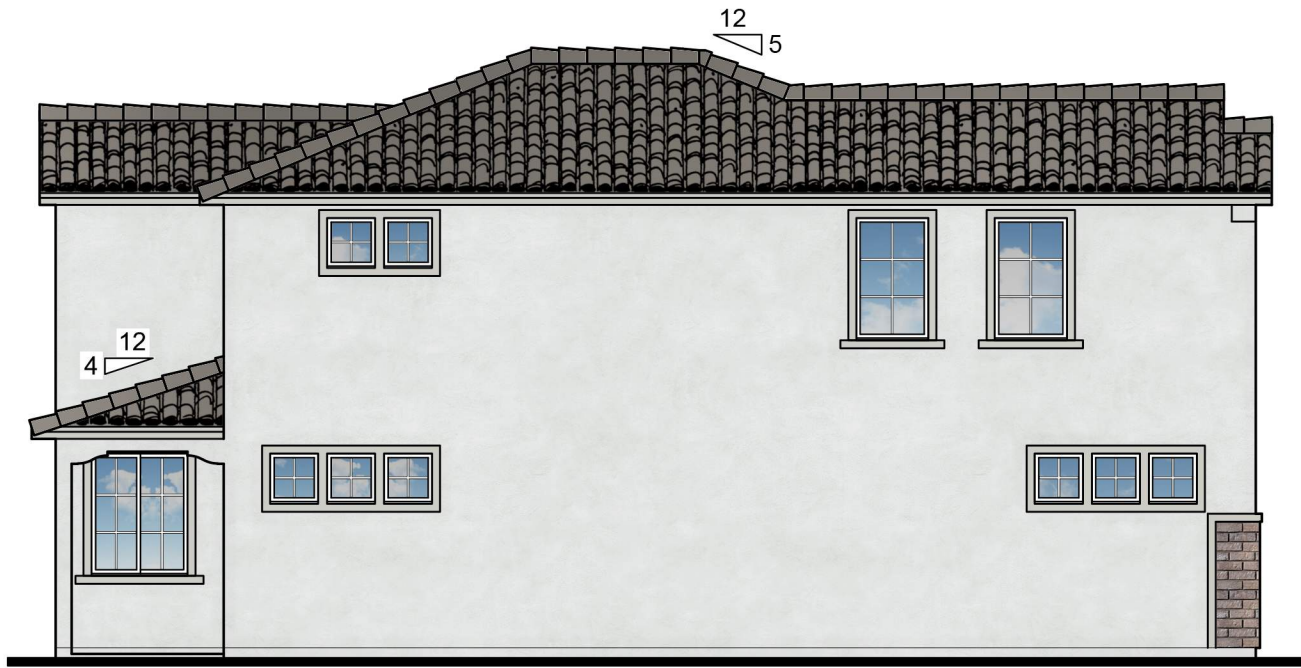




RIGHT ELEVATION  
ELEVATION A  
1/8" = 1'-0"



REAR ELEVATION  
ELEVATION A  
1/8" = 1'-0"



LEFT ELEVATION  
ELEVATION A  
1/8" = 1'-0"



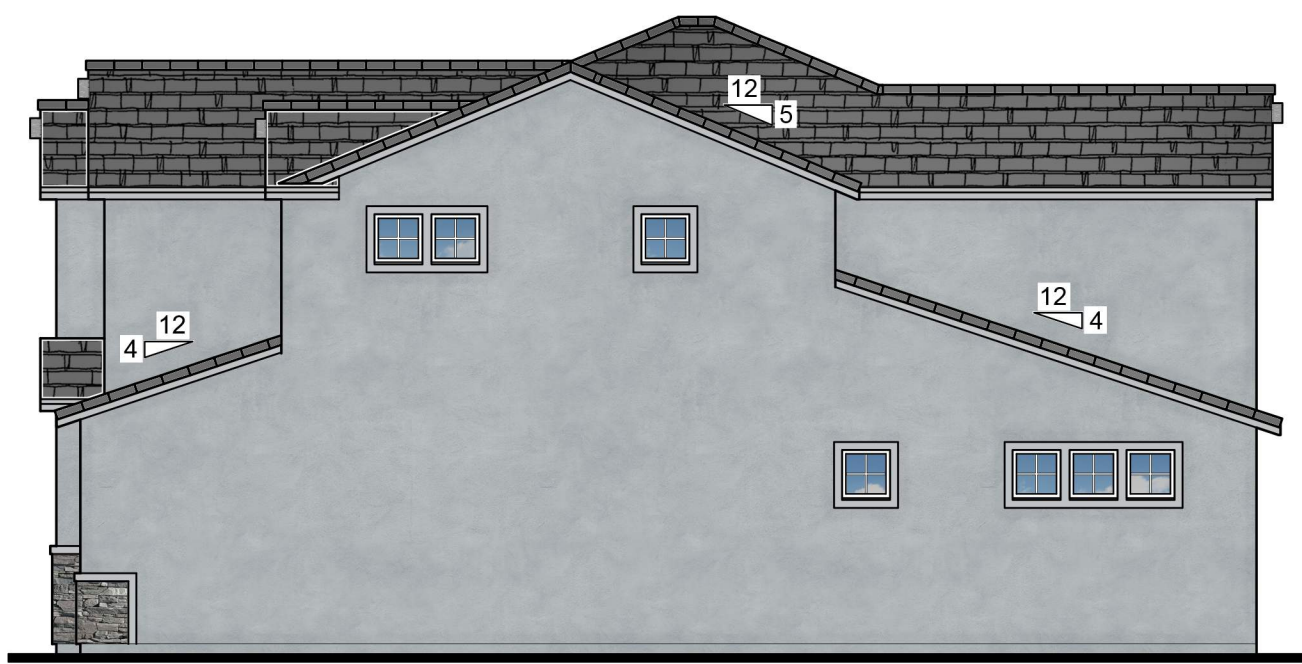
FRONT ELEVATION  
ELEVATION A  
1/4" = 1'-0"

STUCCO SQ. FT.	STUCCO %	VENEER SQ. FT.	VENEER %	TOTAL SQ. FT.
421	85%	73	15%	492

COLOR SCHEME C  
PLAN 2 | 2,476 SF | CRISMON & BROWN | MESA, AZ

3-16-2022

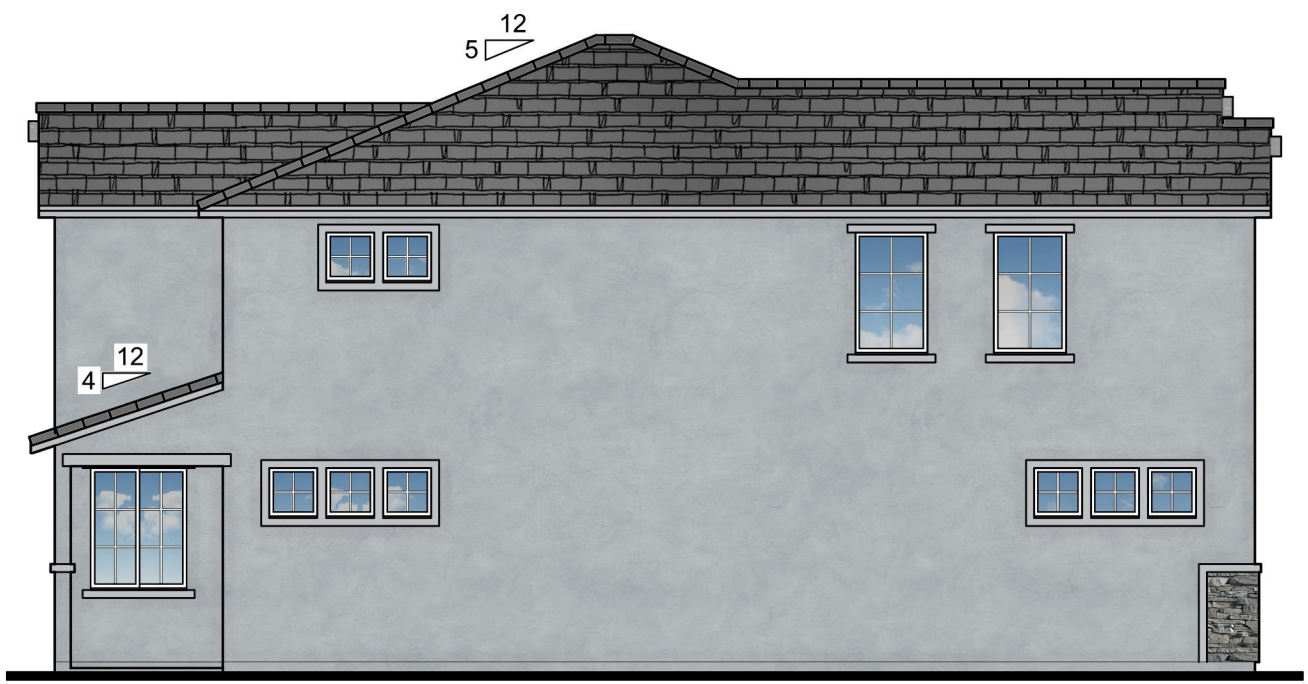




RIGHT ELEVATION  
ELEVATION B  
1/8" = 1'-0"



REAR ELEVATION  
ELEVATION B  
1/8" = 1'-0"



LEFT ELEVATION  
ELEVATION B  
1/8" = 1'-0"



FRONT ELEVATION  
ELEVATION B  
1/4" = 1'-0"

STUCCO SQ. FT.	STUCCO %	VENEER SQ. FT.	VENEER %	TOTAL SQ. FT.
442	88%	62	12%	503

COLOR SCHEME E  
PLAN 2 | 2,476 SF | CRISMON & BROWN | MESA, AZ

3-16-2022



PRELIMINARY GRADING PLAN  
FOR  
GENEVA VILLAS

LOCATED IN A PORTION OF SECTION 15, TOWNSHIP 1 NORTH, RANGE 7 EAST OF THE  
GILA & SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA.



VICINITY MAP  
N.T.S.

ENGINEER

D & M ENGINEERING  
ATTN: DURAN THOMPSON  
1020 EAST GILBERT DRIVE,  
SUITE D  
TEMPE, AZ 85281  
(480) 350-9590

APPLICANT

BRIGHTON BROKERAGE & DEVELOPMENT LLC  
753 N. 39th CIR.  
MESA, AZ 85205  
CONTACT: JAREN SWEENEY  
PHONE: (602) 679-3942

SITE DATA

GROSS AREA: 9.999 AC(TO CENTERLINE)  
NET AREA: 7.783 AC(TO RIGHT OF WAY)  
PROPOSED LOTS: 27  
EXISTING ZONING: RU-43  
APN: 220-20-010C & D  
DENSITY(GROSS): 2.7 D.U./AC.  
DENSITY(NET): 3.5 D.U./AC.

LEGAL DESCRIPTION

THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF  
THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 1  
NORTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND  
MERIDIAN, MARICOPA COUNTY, ARIZONA;

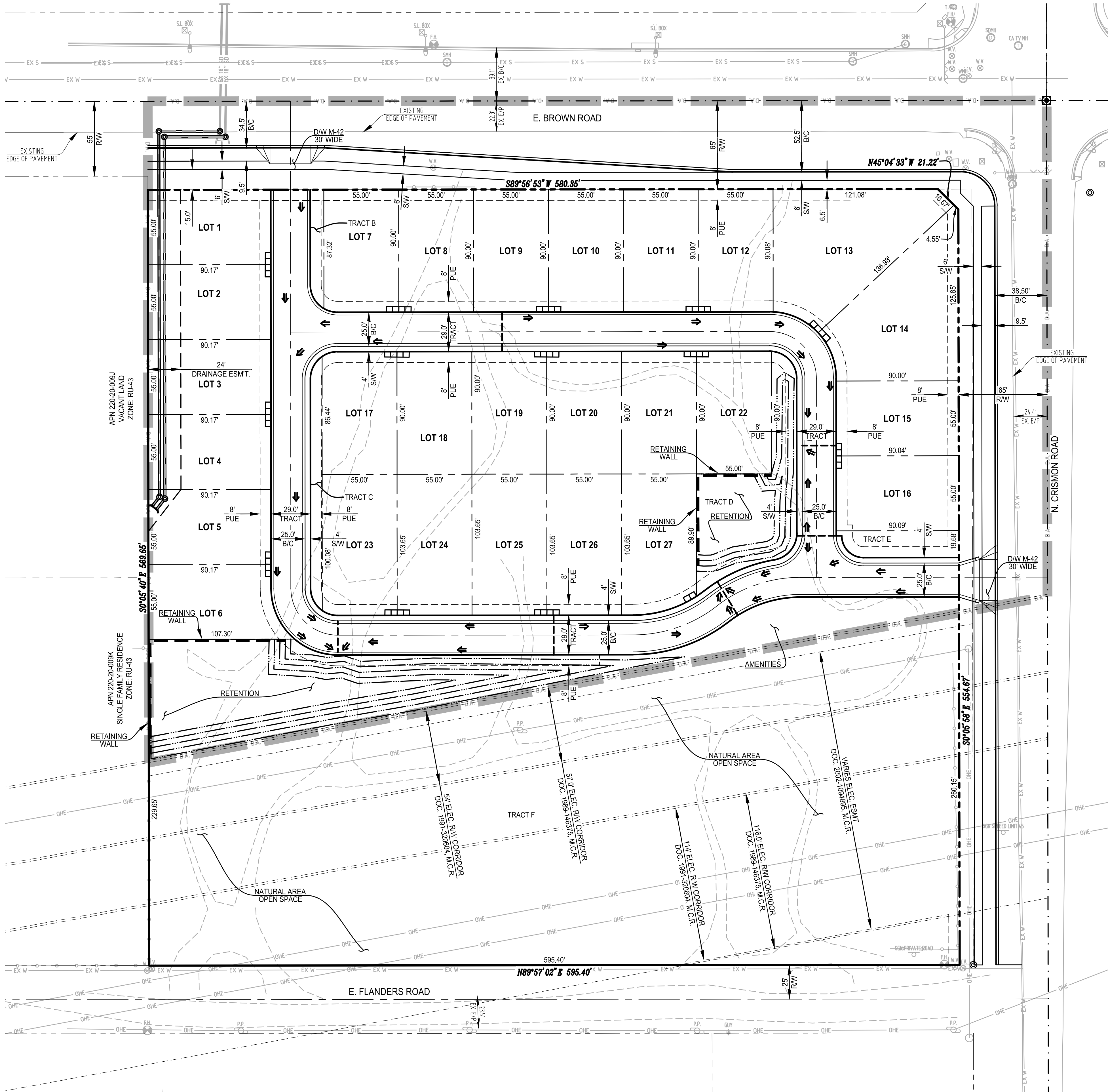
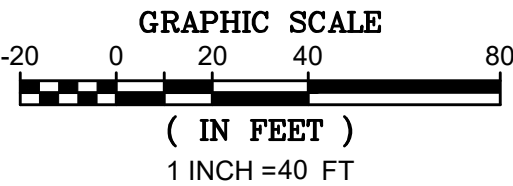
EXCEPT THE NORTH 55 FEET, THE EAST 55 FEET AND THE  
SOUTH 25 FEET THEREOF; AND

EXCEPT THAT PORTION CONVEYED TO MARICOPA COUNTY, A  
POLITICAL SUBDIVISION OF THE STATE OF ARIZONA RECORDED  
JUNE 18, 2008 IN RECORDING NO. 20080538346, RECORDS OF  
MARICOPA COUNTY, ARIZONA.

RETENTION CALCULATIONS	
RETENTION REQUIRED:	
A x I x C / 12	
A=280,543 S.F. *	
I=2.2" (NOAA ATLAS 14)	
C=0.72	
280,543 x 2.2 x 0.72 / 12=37,032 C.F.	
RETENTION PROVIDED:	
47,387 C.F.	
*AREA=GROSS AREA (-) SRP R/W	

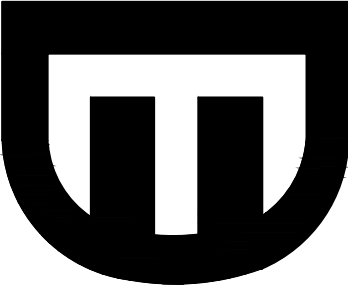
LEGEND (SOME ITEMS MAY NOT APPLY)

	SUBDIVISION CORNER, MONUMENT AS NOTED
	BOUNDARY LINE
	PROPERTY LINE
	ADJACENT RIGHT OF WAY LINE
	CENTERLINE
	EASEMENT LINE, AS NOTED
	ADJACENT PROPERTY LINE
	RETENTION BASIN
	RIGHT OF WAY
	MARICOPA COUNTY RECORDER
	PUBLIC UTILITY AND FACILITY EASEMENT
	GRADE BREAK
	DIRECTION OF FLOW
	DRAINAGE AREA



NOTE: THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE  
PROPERTY OF D & M ENGINEERING. ANY UNAUTHORIZED REPRODUCTIONS,  
REVISIONS, ADDITIONS, OR ALTERATIONS OF THESE DRAWINGS IS STRICTLY  
PROHIBITED, AND WILL BE CONSIDERED TO BE IN VIOLATION OF ARIZONA STATE  
TECHNICAL BOARD, CODE 32-125 AND 32-142.

D&M Engineering, LLC



GENEVA VILLAS

9960 E FLANDERS ROAD,  
MESA, ARIZONA 85207

CLIENT/PROJECT

REVISIONS

DESCRIPTION

APP.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

DESIGNED DTT

DRAWN AGY

CHECKED DTT

DATE 4-25-2022

SCALE 1" = 50'

PROJECT 210401

FILE NAME Siteplan

SHEET

1 OF 1

PRELIMINARY GRADING PLAN



**Geneva Villas**  
**Mesa, Arizona**  
**Citizen Participation Plan & Preliminary Report**  
**Case No. PRS21-00578**  
**Annexation, Rezoning, and Preliminary Plat**  
**February 14, 2022**

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**Planned and Taken Actions:**

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1. Individual outreach to the neighboring property owners will continue to be attempted.
2. A neighborhood meeting was held with the applicant, citizens and interested parties to discuss the proposed project. A “Neighborhood Meeting Summary” was created. Additional meetings can be arranged as needed.



3. The notification list for the neighborhood meeting included all property owners within 1000' of the subject property. Additionally, registered neighborhood contacts within 1-mile of the property were notified (the registered neighborhood contacts list will be obtained from the City of Mesa).
4. In accordance with ARS § 9-462.04 (A) (4) and Mesa Zoning Ordinance Section 11-67-5, property owners within 500-feet of the property will be notified of future hearings at least 14-days prior to any scheduled hearing. Attendees at the neighborhood meeting will also be notified.

**Summary of Comments Received:**

1. Attendees at the neighborhood meeting were primarily Maricopa County residents who supported residential uses on the property and wanted to ensure that they were not being annexed into the city.
2. Answers regarding estimated construction time frames and street improvements were provided.
3. Residents want to preserve the rural, open feel of the area.

**Attached Exhibits:**

- A) Letters of Support from neighboring property owners and subject property broker
- B) List of property owners within 1000' feet of the subject property and registered neighborhood contacts within 1 mile of the property
- C) 1000' Notification Map of surrounding property owners
- D) Notification letter for the Neighborhood Meeting
- E) Neighborhood Meeting Registrants List
- F) Neighborhood Meeting Summary

**Tentative Schedule:**

Pre-Submittal Conference – July 2, 2021  
Follow-up Pre-Submittal Conference – December 14, 2021  
Neighborhood Meeting – January 4, 2022  
Formal Application – February 14, 2022  
2<sup>nd</sup> Submittal – *TBD*  
Planning and Zoning Board Hearing – *TBD*  
City Council Introduction – *TBD*  
City Council Final Action – *TBD*



February 11, 2022

Dr. Nana K Appiah  
Planning Director  
City of Mesa  
55 N Center St.  
Mesa, AZ 85211-1466

RE: Support of rezoning to build a Single-Family Residential Development at SWC Crismon and Brown

Dear Dr. Appiah,

My wife and I have reviewed the plans for development of a sub-division for 27 homesites. We fully support the rezoning for residential homes versus having any commercial building, gas station, storage facility or the like at this location. We have lived at 950 N Crismon Rd. since July of 2014. We have watched the crime and traffic increase around Ellsworth and University with the building of gas stations. There are homeless communities that have been built in the open desert areas that again increase the use of drugs and crime to the neighboring areas.

We do not want increased "outsider" traffic in this area especially so close to a Junior high-school. Any commercial site will be an attractant to this outsider traffic and we strongly feel it will not better the communities surrounding the school. This specific corner has been a dumpsite of abandoned cars, motorhomes, dumpsite for trash and a place for wanderers to squat for the past 5 years. This development will remove one more area that allows for this to take place.

Last point we will make to support the residential community versus any commercial development on the SWC of Crismon and Brown: The required development of the streets and open areas under the powerlines will address a longstanding problem of flooding and erosion due to a lack of landscape during large rainfall. Any development with added ground cover will slow the velocity of the water that runs down Crismon.

Sincerely,

A handwritten signature in black ink, appearing to read 'Derek C Rast', with a stylized, cursive script.

Derek C Rast

A handwritten signature in black ink, appearing to read 'JaNae J Rast', with a stylized, cursive script.

JaNae J Rast



**Geneva Villas**  
**Citizen Participation Final Report**  
**Case No. ZON22-00162**  
**Annexation, Rezoning, and Preliminary Plat**  
**May 24, 2022**

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**Overview:**

The purpose of this Citizen Participation Final Report is to provide the City of Mesa staff with information regarding the efforts made by the Applicant in support of an Annexation, Rezoning and Preliminary Plat request for approximately 8 acres located at the southwest corner of Crismon Road and Brown Road (APNs 220-20-010C and -010D). Notably, significant support for this proposal was achieved with neighbors by way of individual outreach and the holding of a neighborhood meeting. The Letters of Support received for the proposal are attached.

By providing opportunities for citizen participation, the Applicant has ensured that those affected by this application had an adequate opportunity to learn about and comment on the proposed plan.

**Contact Information:**

Those coordinating the Citizen Participation activities are as follows:

Sean Lake  
Pew & Lake, PLC  
1744 S. Val Vista Drive, Suite 217  
Mesa, AZ 85204  
(480)461-4670 (office)  
(480)461-4676 (fax)  
sean.lake@pewandlake.com

Jon Gillespie  
Pew & Lake, PLC  
1744 S. Val Vista Drive, Suite 217  
Mesa, AZ 85204  
(480)461-4670 (office)  
(480)461-4676 (fax)  
jon.gillespie@pewandlake.com

**Actions:**

In order to provide effective citizen participation in conjunction with this application, the following actions were taken to provide opportunities for feedback from surrounding property owners and interested parties:

1. Individual outreach by the developer Mr. Jaren Sweeney was made to directly adjacent property owners.
2. A neighborhood meeting was held with the applicant, citizens and interested parties to discuss the proposed project. A “Neighborhood Meeting Summary” was created.
3. The notification list for the neighborhood meeting included all property owners within 1000’ of the subject property. Additionally, registered neighborhood contacts within 1-mile of the property were notified (the registered neighborhood contacts list will be obtained from the City of Mesa).
4. In accordance with ARS § 9-462.04 (A) (4) and Mesa Zoning Ordinance Section 11-67-5, property owners within 500-feet of the property and registered neighborhoods and HOAs within ½ mile, were notified at least 14-days prior to the scheduled hearing. Attendees at the neighborhood meeting were also notified.



### **Summary of Comments Received and Resolution:**

1. Attendees at the neighborhood meeting were primarily Maricopa County residents who supported residential uses on the property and wanted to ensure that they were not being annexed into the city.
2. Answers regarding estimated construction time frames and street improvements were provided.
3. Residents want to preserve the rural, open feel of the area which the Applicant is accomplishing by providing 2.786 acres of natural area open space (35% of site) and total common open space of 3.56 acres (45.7% of site).

### **Attached Exhibits:**

- A) Letters of Support from neighboring property owners and subject property broker
- B) List of property owners within 1000' feet of the subject property and registered neighborhood contacts within 1 mile of the property
- C) 1000' Notification Map of surrounding property owners
- D) Notification letter for the Neighborhood Meeting
- E) Neighborhood Meeting Registrants List
- F) Neighborhood Meeting Summary
- G) List of property owners within 500' feet of the subject property and registered neighborhood contacts within 1/2 mile of the property
- H) 500' Notification Map of surrounding property owners
- I) Notification letter for the Public Hearing
- J) Sign Posting Affidavit and pictures for Public Hearing

### **Project Schedule:**

Pre-Submittal Conference – July 2, 2021  
Follow-up Pre-Submittal Conference – December 14, 2021  
Neighborhood Meeting – January 4, 2022  
Formal Application – February 14, 2022  
2<sup>nd</sup> Submittal – March 21, 2022  
3<sup>rd</sup> Submittal – April 11, 2022  
4<sup>th</sup> Submittal – April 25, 2022  
Planning and Zoning Board Hearing – June 8, 2022  
City Council Introduction – *July 5, 2022*  
City Council Final Action – *July 18, 2022*



February 11, 2022

Dr. Nana K Appiah  
Planning Director  
City of Mesa  
55 N Center St.  
Mesa, AZ 85211-1466

RE: Support of rezoning to build a Single-Family Residential Development at SWC Crismon and Brown

Dear Dr. Appiah,

My wife and I have reviewed the plans for development of a sub-division for 27 homesites. We fully support the rezoning for residential homes versus having any commercial building, gas station, storage facility or the like at this location. We have lived at 950 N Crismon Rd. since July of 2014. We have watched the crime and traffic increase around Ellsworth and University with the building of gas stations. There are homeless communities that have been built in the open desert areas that again increase the use of drugs and crime to the neighboring areas.

We do not want increased "outsider" traffic in this area especially so close to a Junior high-school. Any commercial site will be an attractant to this outsider traffic and we strongly feel it will not better the communities surrounding the school. This specific corner has been a dumpsite of abandoned cars, motorhomes, dumpsite for trash and a place for wanderers to squat for the past 5 years. This development will remove one more area that allows for this to take place.

Last point we will make to support the residential community versus any commercial development on the SWC of Crismon and Brown: The required development of the streets and open areas under the powerlines will address a longstanding problem of flooding and erosion due to a lack of landscape during large rainfall. Any development with added ground cover will slow the velocity of the water that runs down Crismon.

Sincerely,



Derek C Rast



JaNae J Rast





February 11, 2022

Dr. Nana Appiah

City of Mesa

55 N Center St.

P.O. Box 1466

Mesa, AZ 85211

RE: SWC Brown & Crismon Mesa 85207 APN # 220-20-010C

Dear Dr. Appiah:

I am the broker for the parcel on the SWC of Crismon & Brown Mesa APN # 220-20-010C. The sellers and I have been working with Jaren Sweeney (Brighton Homes) on this piece of land for about 9 months now. During that time, we have had strong interest from buyers looking to do RV/Boat Storage on the site. This 7.9-acre parcel is currently a Maricopa County Island mostly zoned for outdoor storage. It has been clear to us that the neighbors would rather see something residential go in on this parcel which is why we have continued to work with Mr. Sweeney. This location is walking distance to Smith Junior High school and I live about a mile from this corner. Brighton Homes has made it clear that if they are unable get this final submittal worked out with the city and SRP that he may have to cancel escrow and the property would be put back on the market. Mr. Sweeney has worked diligently to produce a housing product and density that will satisfy the City of Mesa and the Neighbors. This last submittal should be good for the City of Mesa and the neighbors and we ask the City of Mesa to approve this project.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Rex Griswold', is written over the word 'Sincerely,'.

Rex Griswold

V.P. Commercial Properties Inc (CPI)

2323 W. University Dr, Tempe Az 85211



2/14/2022

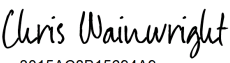
Dr. Nana K. Appiah  
Planning Director  
City of Mesa  
55 N. Center St.  
P.O. Box 1466  
Mesa, AZ 85211-1466

Re: Support for Single-Family Residential Development at SWC Brown & Crismon

Dear Dr. Appiah:

I have reviewed the planned development of 27 units on the south west corner of Brown Rd. and Crimson. I believe it would be a great use of the property, and I would much prefer this to be residential housing in lieu of something commercial, especially not RV or boat storage. The green belt under the power lines would act as a buffer zone for us to the south. I have lived next to this property for 8 years and would like to see it developed into something other than a vacant piece of land collecting trash.

Sincerely,

DocuSigned by:  
  
3015AC8B15694A9...

Chris Wainwright. 9960 E. Elmwood St



October 8, 2021

VIA EMAIL (nana.appiah@mesaaz.gov)

Dr. Nana K Appiah  
Planning Director  
City of Mesa  
55 N Center St.  
P.O. Box 1466  
Mesa, AZ 85211-1466

RE: Support for Single-Family Residential Developments at SWC Brown & Crismon

Dear Dr. Appiah:

We live south of Flanders adjacent to the large vacant lot upon which Jaren Sweeney has proposed to build a single-family development. We have met with Mr. Sweeney and he has described his vision for development of a community with no more than 27 single-family homes placed north of the powerlines.

We like the idea of largely preserving the large open space area under the powerlines and are opposed to placement of storage facilities in that area.

We built our house in this area in 2000, so you can imagine that we have always had concerns as to what would be built in that lot. Our belief is that if a gas station, storage units or, God forbid, a dispensary, is built there, the traffic would increase as would the crime. Being this close to a school, we don't feel that is the best for the neighborhood and a nice residential neighborhood would be a great asset to the area! We believe that a residential area would also cut down on the amount of trash that is constantly being dumped in the desert.

Sincerely,



Daryl Olerud



Terri Olerud



10/6/2021

Dr. Nana K. Appiah  
Planning Director  
City of Mesa  
55 N. Center St.  
P.O. Box 1466  
Mesa, AZ 85211-1466

*Re: Support for Single-Family Residential Development at SWC Brown & Crismon*

Dear Dr. Appiah:

I have reviewed the planned development of 27 units on the south west corner of Brown Rd. and Crimson. I believe it would be a great use of the property, and I would much prefer this residential use to something commercial. The green belt and water retention under the power lines would act as a buffer zone. Having ingress and egress on to Brown Rd. and Crimson would not add additional traffic to Flanders Rd. I have lived directly south of this property for 5 years and am tired of it being a trash dump.

Sincerely,

Dave Keilholtz. 9907 E Flanders Rd



2/14/2022

Dr. Nana K. Appiah  
Planning Director  
City of Mesa  
55 N. Center St.  
P.O. Box 1466  
Mesa, AZ 85211-1466

Re: Support for Single-Family Residential Development at SWC Brown & Crismon

Dear Dr. Appiah:

I have spoken to Jaren Sweeney and reviewed the planned development of 27 units on the south west corner of Crismon and Brown Rd. This density seems appropriate for the area especially with the large open space under the power lines. I support this development and feel that it would be a great use for the property. I do not want to see this parcel developed with commercial buildings or another storage business. These types of businesses tend to bring unwanted traffic or can be an eyesore to the neighboring communities. I have lived next to this land for 3 ½ years and would like to see it finally developed into something that will alleviate the constant dumping of trash and cars. I really think this plan will add some additional value to the area.

Sincerely,

DocuSigned by:  
*Clint Lawlor*  
24AE241EA0084A3...

Clinton Lawlor, 9919 E. Elmwood St



2/14/2022

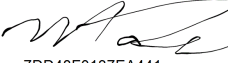
Dr. Nana K. Appiah  
Planning Director  
City of Mesa  
55 N. Center St.  
P.O. Box 1466  
Mesa, AZ 85211-1466

Re: Support for Single-Family Residential Development at SWC Brown & Crismon

Dear Dr. Appiah:

I have reviewed the planned development of 27 units on the south west corner of Crismon and Brown Rd. I feel that this would be a great use for this land, and would add value to the surrounding homes instead of building a commercial property, such as storage. Any commercial businesses will only add unwanted traffic to the area. I also approve of the green belt under the power lines which will help preserve the natural desert. I have lived next to this property for 2 years and would love to see it developed into single family residential homes.

Sincerely,

DocuSigned by:  
  
7DD48F0137EA441...

Matthew Beck. 9940 E. Elmwood St



Owner	MAIL_ADDR1	MAIL_CITY	MAIL_STAT	MAIL_ZIP
9852 LLC	9852 E ELMWOOD ST	MESA	AZ	85207
ALLDREDGE EDDIE M/JANE A	10139 E BROWN RD	MESA	AZ	85207-4517
BAGSHAW JAMES P C/SHANNON MARIE	9808 E GLENCOVE ST	MESA	AZ	85207
BECK MATTHEW ARNOLD	9940 E ELMWOOD ST	MESA	AZ	85207
BILLINER CLARK S III	PO BOX 715	GILBERT	AZ	85299
BINION MICHAEL R/MARICELA A	1333 N AMANDES	MESA	AZ	85207
BIRDDOG TRUST	942 N 98TH ST	MESA	AZ	85207
BJORKLUND KEITH/EISENBERG SHARI	1311 N 100TH PL	MESA	AZ	85207
BOEKES BRADLEY/KELLY	1239 N AMANDES	MESA	AZ	85207
BOGGS DALE C/DAYNA	9815 E BROWN RD	MESA	AZ	85207
BOISVERT DAVID W/SUZANNE E	9904 E GLENCORE CIR	MESA	AZ	85207
BOLTON ERIC R	10006 E GLENCOVE CIR	MESA	AZ	85207
BORIS ELIZABETH/DAGOSTINO PATRICK	10046 E GLENCOVE CIR	MESA	AZ	85207
BRATT PHILLIP E/LANDISS M	9551 AXLUND RD	LYNDEN	WA	98264
BROWN JERRY L/MARSHALL KYMBERLY A	10031 E GRANDVIEW ST	MESA	AZ	85207
CAMPOS LARRY/ERICA	9918 E GREENWAY ST	MESA	AZ	85207
CARR RICHARD J/ANNE M	9819 E ELMWOOD ST	MESA	AZ	85207
CASTRO MARIO	9814 E GREENWAY ST	MESA	AZ	85207-4451
CHEROSKE JULIAN C	9861 E ELMWOOD ST	MESA	AZ	85207
CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS	50 E NORTH TEMPLE RM 2225	SALT LAKE	UT	84150
CLARK FEIRING TRUST	9941 E GLENCOVE CIR	MESA	AZ	85207
COTTLE BRAD L/LYNANNE M	9943 E GREENWAY ST	MESA	AZ	85207
CREAMER TIMOTHY S/LEASURE JENNIFER L	1303 N JOPLIN CIR	MESA	AZ	85207
DARYL AND TERRI OLERUD REVOCABLE TRUST	9929 E FLANDERS RD	MESA	AZ	85207
DAVID L KEILHOLTZ REVOCABLE LIVING TRUST	9907 E FLANDERS RD	MESA	AZ	85207
DESHONE MITZI	10053 E GLENCOVE CIR	MESA	AZ	85207
DIMARIA MARK F/CHERYL	10014 E GLENCOVE CIR	MESA	AZ	85207
DIPIPPA ROSEMARIE TR	1407 N 31ST PL	PHOENIX	AZ	85008
DIXON HEATHER	9927 E GRANDVIEW CIR	MESA	AZ	85207
DJS PLACE LLC	9755 E GREENWAY ST	MESA	AZ	85207
ENGLISH APRIL R/ROSTAIN RICHARD A	10055 E FENIMORE RD	MESA	AZ	85207
FRASER STEPHEN C/VALERIA P TR	9942 E GREENWAY ST	MESA	AZ	85207
FULLER FAMILY TRUST	9840 E ELMWOOD ST	MESA	AZ	85207



FULLER FAMILY TRUST/FULLER ELVIRA J	8701 E MYRTLE	MESA	AZ	85208
FULLER WANDA L	10022 E GLENCOVE CIR	MESA	AZ	85207
GAVIGAN MATTHEW/JENNIFER	9766 E FLANDERS RD	MESA	AZ	85207
GENGER AARON K/DANA B	10042 E FENIMORE RD	MESA	AZ	85207
GEORGE E SEVERSON AND BARBARA A E SEVERSON TR	10030 E GLENCOVE CIR	MESA	AZ	85207
GROZIC GORAN	9833 E BROWN RD	MESA	AZ	85207
HAGE KEITH/JUDITH	9747 E GREENWAY ST	MESA	AZ	85207
HATCH-WALKER SHERIDA/WALKER DANIEL D III	1251 N AMANDES	MESA	AZ	85207-4469
HEADING JOHN T/JOSEPHINE E TR	9815 E GREENWAY ST	MESA	AZ	85207
HENNING NATHAN E/DARA J	8814 E FAIRFIELD ST	MESA	AZ	85207
HEWKIN FAMILY REVOCABLE LIVING TRUST	10015 E GRANDVIEW ST	MESA	AZ	85207
HOENICKE WAYNE/MEGAN	1121 N 99TH ST	MESA	AZ	85207
JAMES AND KIRSTEN BADMAN REVOCABLE TRUST	9811 E ELMWOOD ST	MESA	AZ	85207
JAMES JESSE WOODSON/HEIDI LEE	9806 E GREENWAY ST	MESA	AZ	85207
JANTZI RICK/DANA	9915 E GRANDVIEW CIR	MESA	AZ	85207
JEAN W DONG TRUST	600 MEADOWLARK RD	JACKSON	WY	83001
JENKINS FAMILY LIVING TRUST	9823 E GREENWAY ST	MESA	AZ	85207
JOHNSON BERT D/JACQUELINE M	9955 E GREENWAY ST	MESA	AZ	85207
JOSE P AND MARIA T ALFONSO LIVING TRUST	9805 E GLENCOVE ST	MESA	AZ	85207
JUAREZ JOEL/ELISA	9931 E GREENWAY ST	MESA	AZ	85207
KEATING SANDRA/GARY	9930 E ELMWOOD ST	MESA	AZ	85207
KHARKOV CAPITAL LIMITED PARTNERSHIP	1223 S CLEARVIEW AVE STE 105	MESA	AZ	85209
KMC HOLDINGS LLC	21 VISTA REAL	MILL VALLE	CA	94941
KURNIK NANCY E	2705 N HIGLEY RD	MESA	AZ	85215
LA JARA ESTATES HOMEOWNERS ASSOCIATION	450 N DOBSON RD STE 201	MESA	AZ	85201
LAUREANTI DAVID M/ARACELY	1218 N 101ST PL	MESA	AZ	85207
LAWLOR CLINTON J/ELIZABETH M	327 N 98TH ST	MESA	AZ	85207
LAWLOR JASON T/NATALIE J	1120 N 106TH PL	MESA	AZ	85207
LAWLOR STANLEY C/LORI L	9915 E BUTTE ST	MESA	AZ	85207
LEHNEMAN DAVID W/CHERYL A	3845 N KINGS PEAK	MEZA	AZ	85215
LEONARDO H AND LISA M VILLA LIVING TRUST	9929 E GLENCOVE CIR	MESA	AZ	85207
LESLIE PATRICK WAYNE/ELIZABETH ROWE	9759 E BROWN RD	MESA	AZ	85207
LEWIS HOLLY/BARBARA	9930 E GREENWAY ST	MESA	AZ	85207
LIBERTY DANIEL S	1321 N AMANDES	MESA	AZ	85207



LINDSEY STACEY L	9923 E FLANDERS RD	MESA	AZ	85207
LUTH RICHARD A/SHARON L	9939 E ELMWOOD ST	MESA	AZ	85207
MACHORRO HERMAN JR	1104 N 102ND ST	MESA	AZ	85207
MAGANA ROBERT/ROXANNE	9906 E GREENWAY ST	MESA	AZ	85207
MARCOLINA DREW/JEANINE KAY	9761 E BROWN RD	MESA	AZ	85207
MARSHALL JOANNA K/COLLINGS DAVID	9807 E GREENWAY ST	MESA	AZ	85207
MARTIN DEBORAH RUTH/DUANE ALAN	24806 184TH PL SE	COVINGTO	WA	98042
MASSAHOS CHRISTOPHER A/DEBERA L	1255 N JOPLIN	MESA	AZ	85207
MAUPIN JAY CARL & PAMELA JANN	10025 E FENIMORE	MESA	AZ	85207
MCDERMID AARON E	1048 N 98TH ST	MESA	AZ	85207
MCGANN FAMILY LIVING TRUST	9763 E GREENWAY ST	MESA	AZ	85207
MCKAY PAMELA/ERIC/GORDON PETER	BOX 359	PILOT MOL	MB	ROG1P0
MEIDINGER BRADLEY D/PAUL KYMME L	9905 E GLENCOVE CIR	MESA	AZ	85207
MESA CITY OF	20 E MAIN ST STE 650	MESA	AZ	85211
MESA UNIFIED SCHOOL DISTRICT NO 4	549 N STAPLEY	MESA	AZ	85203
MICHAEL T DOYLE AND DEBRA D DOYLE TRUST	9825 E GARY ST	MESA	AZ	85207
MIGUEL ANTONIO MURUATO SR LIVING TRUST	8925 E FLORIAN AVE	MESA	AZ	85208
MILLER FAMILY TRUST	820 N 111TH ST	MESA	AZ	85207
MIXEY JOHN BUCK/KAREN MARIE	9817 E GARY ST	MESA	AZ	85207
MORELAND SYLVIA M/DAVE L	1319 N 100TH PL	MESA	AZ	85207
MOYES JASON	10037 E GLENCOVE CIR	MESA	AZ	85207
MYINT SOE W/AYE SUSIE	1263 N JOPLIN	MESA	AZ	85207
NETT THOMAS J/CAROL J	9813 E GLENCOVE ST	MESA	AZ	85207
NICHOLS SCOTT/CAROLEE	1227 N AMANDES	MESA	AZ	85207
NORMAN A JACOBSEN AND JACLIN J JACOBSEN TRUST	9916 E GLENCOVE CIR	MESA	AZ	85207
OLERUD DARYL L/TERRI A	46 W MCLELLAN	MESA	AZ	85201
OPOKA MICHAEL J SR/ZELDA L	9715 E FLANDERS RD	MESA	AZ	85207
ORTEGA ABELARDO	491 E SAN PEDRO	GILBERT	AZ	85234
OTT ADAM J	9816 E FLANDERS RD	MESA	AZ	85207
OTTON RICHARD F/MARGARET M	9950 E ELMWOOD ST	MESA	AZ	85207
PASSMORE SHAWN	1232 N 101ST PL	MESA	AZ	85207
PAUL & NINA GARCIA 2011 TRUST	1263 N AMANDES	MESA	AZ	85207
PAUL RONALD L/LORETTA J	10007 E GRANDVIEW ST	MESA	AZ	85207
PENDERGRAFT DONALD L/JULIA A	1309 N AMANDES ST	MESA	AZ	85207

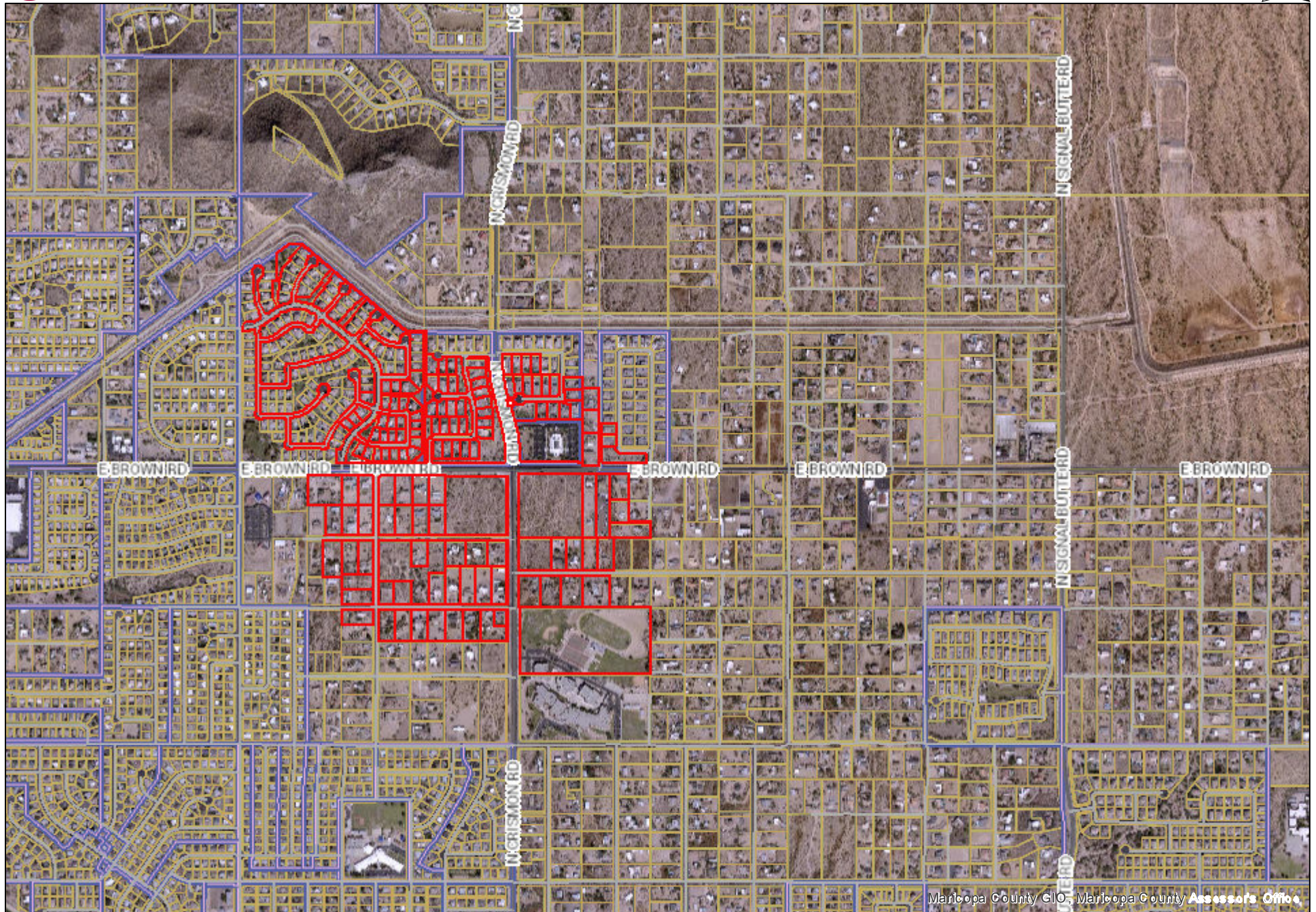


PETERSEN VICTOR G/EVELYN H	3048 E BASELINE RD SUITE 102	MESA	AZ	85204-7287
PEZZINO ANTHONY V/MICHELLE	9821 E GLENCOVE ST	MESA	AZ	85207
PHELPS BRIAN/CHRISTINA	1246 S 37TH DR	YUMA	AZ	85364
PIELACH JEFFREY A/KIMBERLY S	3048 S JOSLYN	MESA	AZ	85212
PIERSOL DARREN C	9760 E FLANDERS RD	MESA	AZ	85207
POWELL MARK A/MELISSA C	1247 N FAITH	MESA	AZ	85207
PROFFITT SPENCER T/BRIANNE E	10009 E FENIMORE RD	MESA	AZ	85207
RAHLF SUSAN	1006 N 98TH ST	MESA	AZ	85207
RAST DEREK C/JANAE J	950 N CRIMSON RD	MESA	AZ	85207
REED GERALD A/LORETTA M	9806 E FLANDERS RD	MESA	AZ	85207
REVOCABLE EHB TRUST	9960 E ELMWOOD ST	MESA	AZ	85207
RIPPEE MARK E/CHERYLE L	1231 N FAITH	MESA	AZ	85207
ROBERT RIEK AND LISA RIEK TRUST	1239 N FAITH	MESA	AZ	85207
ROETHEMEYER DEBRA L	1600 27TH AVE	GREELEY	CO	80654
ROGERS KRISTI R/ATTIG ERIC L	1303 N 100TH PL	MESA	AZ	85207
ROGERS WILL C/SONYA K	1236 N CHATSWORTH	MESA	AZ	85207
ROTH JEREMY/SARA	9907 E GREENWAY ST	MESA	AZ	85207
SAGUARO MOUNTAIN COMMUNITY ASSOCIATION	17787 N PERIMETER DR STE 111	SCOTTSDALE	AZ	85255
SCHUETZ BRADLEY E/KELLY N	1124 N 99TH ST	MESA	AZ	85207
SCOTT PATRICK H/LINDA G	9928 E GLENCOVE CIR	MESA	AZ	85207-4464
SMALL DANIEL C/DIANA L	10023 E GRANDVIEW ST	MESA	AZ	85207
STAPLES LISA	PO BOX 71922	PHOENIX	AZ	85050
STEARNS MARK W/HOLLY C	1247 N JOPLIN	MESA	AZ	85207
STINSON LIVING TRUST	9831 E GREENWAY ST	MESA	AZ	85207
THORSTAD ROXANE/TERRY	1323 N FAITH	MESA	AZ	85207
TICE DIANE	9731 E FLANDERS RD	MESA	AZ	85207
VICKY L WOOD TRUST	1129 N 99TH ST	MESA	AZ	85027
VIEANE ERNST/JANICE S	9760 E GREENWAY ST	MESA	AZ	85207
VISTA AT GRANITE CROSSING COMMUNITY ASSOC	450 N DOBSON RD SUITE 201	MESA	AZ	85201
VUJICIC SUZANA M	10111 E FENIMORE RD	MESA	AZ	85207
WEST TIMOTHY B/CARA LYNN	9772 E FLANDERS RD	MESA	AZ	85207
WEST WINSTON/LAUNI	1224 N CHATSWORTH	MESA	AZ	85207
WESTON MICHAEL JR	10117 E BROWN RD	MESA	AZ	85207
WHISPER VIEW HOMEOWNERS ASSOCIATION	450 N DOBSON RD STE 201	MESA	AZ	85201



WHITESIDE JAMES/LUELLA A	10105 E BROWN RD	MESA	AZ	85207
WILLIAM H & COLLEEN A DOBBERTIEN LIVING TRUST	9832 E GLENCOVE ST	MESA	AZ	85207
WILLIAMS-NEUMAN DARINDA/NEUMAN JOHNNY A	9919 E GREENWAY ST	MESA	AZ	85207
WISE FAMILY TRUST	948 N CRISMON RD	MESA	AZ	85207









December 20, 2021

Dear Neighbor:

Together with our client, Jaren Sweeney, we are pleased to invite you to a neighborhood meeting to receive your comments regarding a proposed development in your area on the vacant approximately 8 acres located at the southwest corner of Crismon Road and Brown Road in Mesa. Please see an aerial map below which details the location of the site with site outlined in blue. Mr. Sweeney has spoken to a few of you already and looks forward to meeting more of you.

Our client is proposing City of Mesa approval of an annexation, rezoning and preliminary plat, to allow for the development of a high-quality single-family residential community with 27 homes and significant open space. Please see the conceptual site plan which is attached to this letter for additional detail.





A neighborhood meeting will be held at the time and place listed below to discuss the project and to answer any questions you may have. As part of making this a successful project, we value and look forward to your input and comments. the neighborhood meeting will be held electronically via ZOOM.

<b>Date:</b>	<b>January 4, 2022</b>
<b>Time:</b>	<b>6:00 p.m.</b>
<b>Place:</b>	<b>ZOOM Virtual Meeting</b>

If you wish to participate in the neighborhood meeting, please call our office or send an email request to Jon Gillespie in our office at [jon.gillespie@pewandlake.com](mailto:jon.gillespie@pewandlake.com) no later than 5:00 p.m. on the day of the meeting and you will be provided with a convenient link and security code to access the meeting via the internet and/or telephone.

The link to access the meeting is also available here:  
<https://us02web.zoom.us/j/89681149766?pwd=WXLdZFMjF1WEllY0VzaVRJSWRrZz09>.

If you are unable to join us for the neighborhood meeting, either Jon or myself will be happy to discuss the proposed project with you via telephone or email.

At this time, no public hearing before the City of Mesa Planning and Zoning Board has been scheduled. When that meeting date is known, the property will be properly noticed and those who attend the neighborhood meeting and provide their contact information will also be notified.

If you have any questions regarding this matter prior to this neighborhood meeting, please contact me or Jon Gillespie at our office at (480) 461-4670. You may also contact Mr. Josh Grandlienard, Planner with the City of Mesa's Planning Division at (480) 644-4691.

Sincerely,

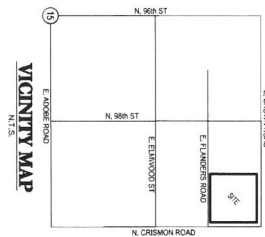


Sean B. Lake  
**PEW & LAKE, PLC**



## CONCEPTUAL SITE PLAN

LOCATED IN A PORTION OF SECTION 15, TOWNSHIP 1 NORTH, RANGE 7 EAST OF THE  
GILA & SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA.



## VICINITY MAP

# ENGINEER

ATTN: DURAN THOMPSON  
1020 EAST GILBERT DRIVE  
SUITE D  
TEMPE, AZ 85281  
(480) 350-8590

**APPLICANT**  
BRIGHTON BROKERAGE & CO.

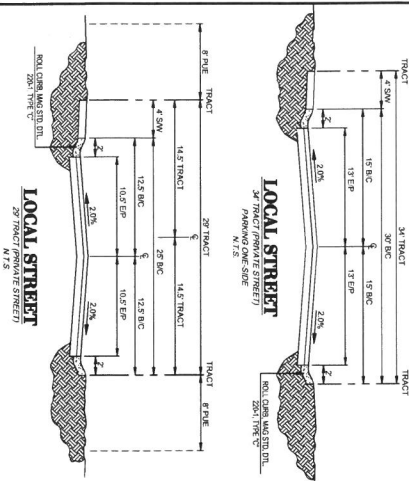
753 N. 39th CIR.  
MESA, AZ 85205  
CONTACT: JAREN SNEENEY  
PHONE: (602) 679-3942

### SITE DATA

NET AREA 8.054 AC/TO RIGHT OF WAY  
PROPOSED LOTS: 27  
EXISTING ZONING: RUL-3  
APN: 220-200-100 & D  
DENSITY(GROSS): 2.7 DU/AC.

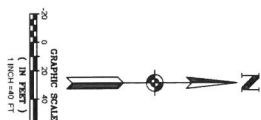
### LEGAL DESCRIPTION

THE NORTH-EAST QUARTER OF SECTION 15, TOWNSHIP 1 NORTH, RANGE 1 EAST OF THE GALL AND SALT RIVER BASIN, MENARD, MARICOPA COUNTY, ARIZONA.



**LOCAL STREET**  
20' TRACT (PRIVATE STREET)

NTS



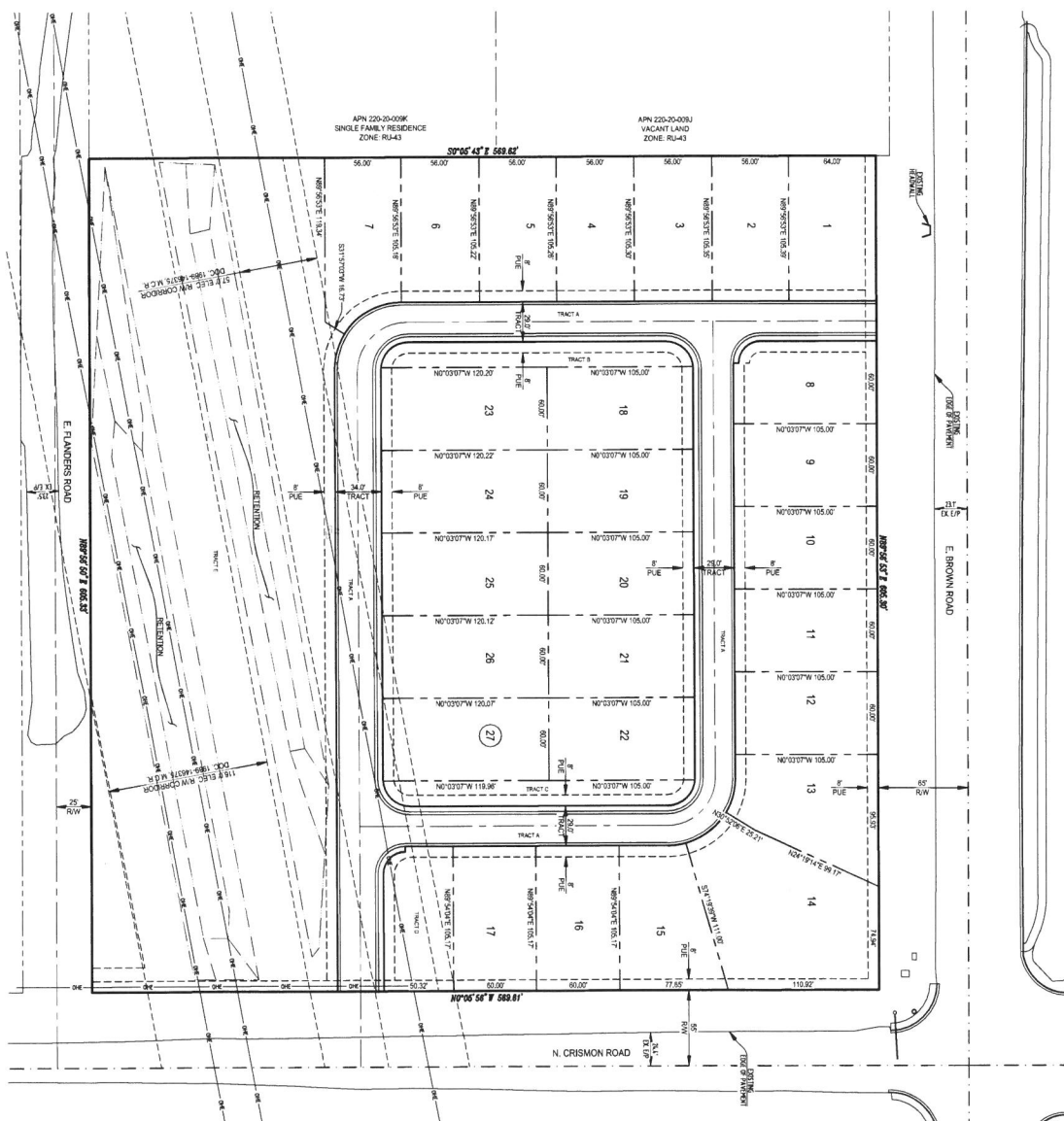
### LEGEND

**LEGEND** (SOME ITEMS MAY NOT APPLY)

- |                                      |  |
|--------------------------------------|--|
| SAID/OTHER COVER WORKMAN AS          |  |
| PROPERTY LINE                        |  |
| ADJACENT RIGHT OF WAY LINE           |  |
| CONTRIBUTOR                          |  |
| ESSEMENT LINE AS NOTED               |  |
| ADJACENT PROPERTY LINE               |  |
| RETENTION BASIN                      |  |
| RIGHT OF WAY                         |  |
| MANHOLE COUNTRY RECORDS              |  |
| PUBLIC UTILITY AND FACILITY EASEMENT |  |
| EXISTING PAVING SPACE                |  |

RETENTION CALCULATIONS  
RETENTION REQUIRED:  
419.047 x 2.2" = 0.72"=55.314 C.F.  
RETENTION PROVIDED:  
62.823 C.F.

RETENTION CALCULATIONS  
RETENTION REQUIRED:  
419.047 x 2.2" = 0.72"=55.314 C.F.  
RETENTION PROVIDED:  
62.823 C.F.



NOTE: THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D & M ENGINEERING. ANY UNAUTHORIZED REPRODUCTIONS, REVISIONS, ADDITIONS, OR ALTERATIONS OF THESE DRAWINGS IS STRICTLY PROHIBITED, AND WILL BE CONSIDERED TO BE IN VIOLATION OF ARIZONA STATE TECHNICAL BOARD CODE 32-175 AND 32-142.

[illegible]

CLIENT/PROJECT	
TITLE	CO

**BROWN AND CRISMON**  
9960 E FLANDERS ROAD,  
MESA, ARIZONA 85207

---

**CONCEPTUAL SITE PL**



**D&M Engineering, LLC**  
 Duran Thompson, P.E.  
 1020 East Gilbert Drive, Suite D  
 Tempe, AZ 85281  
 Ph: (480) 350-9590, Fax: (480) 350-9486  
 E-Mail: [engineer@dmengineer.com](mailto:engineer@dmengineer.com)



# Neighborhood Meeting Registrants

James Badman	james.badman@asu.edu	9811 E Elmwood St
Brad Schuetz	brad.schuetz@outlook.com	1124 N 99TH ST
Drew Marcolina	Drew.Marcolina@srpnet.com	9761 E BROWN RD
Tina Lettrich	tlettrich@icloud.com	
Vicky Wood		1129 N 99TH ST



Neighborhood Meeting Summary  
*SWC Crismon Road & Brown Road*  
*PRS21-00578*

January 4, 2022 at 6:00 pm

Online ZOOM meeting with Videochat and Call-in  
Meeting ID: 896 8114 9766

Present for the applicant was Jaren Sweeney from Brighton Homes (Developer) and Sean Lake and Jon Gillespie from Pew & Lake, PLC (Representatives).

Five persons registered for the meeting with three households actually attending the meeting.

After waiting to ensure that everyone had successfully arrived at the meeting, Mr. Lake made introductions and gave a presentation for the proposal with his initial presentation ending around 6:10pm (see attached PowerPoint). His prepared comments included providing information on the site location, annexation boundary, proposed site plan and development details.

After the formal presentation Mr. Lake responded to questions and comments from neighbors. After questions and comments were taken, including responses given by Mr. Lake, the meeting concluded at 6:46 pm.

Questions from attendees were presented throughout and are encapsulated on the next page with answers provided by Mr. Lake summarized in *red* italics.

1. I see now that only the subject parcel will be annexed. That is good, we live nearby and did not want to be annexed. *Comments acknowledged.*
2. Are these two-story homes? *Most likely the development will include two-story homes and very possibly most of the homes will be two stories. The height of a two-story home is typically 29 feet versus the peak of a single-story home being around 23 feet.*
3. How long will the project take to complete? *Three to 3.5 years. We are anticipating 6 months for zoning and annexation followed by 8 months for permitting and then 8 months for street work and then home construction will begin.*
4. I live in Whisper View and I am curious about the effects construction will have on the surrounding area. *The entire Crismon & Brown intersection will never be completely closed but single land reductions and barricading can be expected when the improvements are installed.*



5. I am concerned about loss of openness. We like working the land and maintain a rural feel. *This will be single-family development next to single-family development which is compatible. We can make disclosures about being near equestrian and rural uses. There will be a public report produced for the site. The Desert Uplands overlay will ensure that a large percentage of the site is preserved as natural open space with limited to no disturbance in those areas.*
6. We have been here for 20 years. My main concern is density, particularly because of the agricultural uses on my property. *Comment acknowledged thank you. There certainly has been a huge shift in land use patterns over those years.*
7. Has this property sold? *No, Brighton Homes is under contract to purchase the land.*
8. I live adjacent to the site and there is a wash which runs from the subject site onto my property and the other neighboring property. Will development effect the wash? *The engineer for this project will analyze existing and projected flows. New development typically fixes any issues which exist for grading and drainage.*
9. Has this property sold? *No, Brighton Homes is under contract to purchase the land.*

***Summary created by Jon Gillespie on January 5, 2022***



9852 LLC  
9852 E ELMWOOD ST  
MESA, AZ 85207

BECK MATTHEW ARNOLD  
9940 E ELMWOOD ST  
MESA, AZ 85207

BOEKES BRADLEY/KELLY  
1239 N AMANDES  
MESA, AZ 85207

BOGGS DALE C/DAYNA  
9815 E BROWN RD  
MESA, AZ 85207

CAMPOS LARRY/ERICA  
9918 E GREENWAY ST  
MESA, AZ 85207

CHURCH OF JESUS CHRIST OF  
LATTER DAY SAINTS  
50 E NORTH TEMPLE RM 2225  
SALT LAKE CITY, UT 84150

COTTLE BRAD L/LYNANNE M  
9943 E GREENWAY ST  
MESA, AZ 85207

DARYL AND TERRI OLERUD  
REVOCABLE TRUST  
9929 E FLANDERS RD  
MESA, AZ 85207

DAVID L KEILHOLTZ REVOCABLE  
LIVING TRUST  
9907 E FLANDERS RD  
MESA, AZ 85207

DIPIPPA ROSEMARIE TR  
1407 N 31ST PL  
PHOENIX, AZ 85008

FRASER STEPHEN C/VALERIA P TR  
9942 E GREENWAY ST  
MESA, AZ 85207

FULLER FAMILY TRUST  
9840 E ELMWOOD ST  
MESA, AZ 85207

FULLER FAMILY TRUST/FULLER  
ELVIRA J  
8701 E MYRTLE  
MESA, AZ 85208

GORAN R GROZIC FAMILY LIVING  
TRUST  
9833 E BROWN RD  
MESA, AZ 85207

HEADING JOHN T/JOSEPHINE E TR  
9815 E GREENWAY ST  
MESA, AZ 85207

HOENICKE WAYNE/MEGAN  
1121 N 99TH ST  
MESA, AZ 85207

JEAN W DONG TRUST  
600 MEADOWLARK RD  
JACKSON, WY 83001

JENKINS FAMILY LIVING TRUST  
9823 E GREENWAY ST  
MESA, AZ 85207

JOHNSON BERT D/JACQUELINE M  
9955 E GREENWAY ST  
MESA, AZ 85207

JUAREZ FAMILY TRUST  
9931 E GREENWAY ST  
MESA, AZ 85207

KEATING FAMILY TRUST  
9930 E ELMWOOD ST  
MESA, AZ 85207

KMC HOLDINGS LLC  
21 VISTA REAL  
MILL VALLEY, CA 94941

LEWIS HOLLY/BARBARA  
9930 E GREENWAY ST  
MESA, AZ 85207

LINDSEY STACEY L  
9923 E FLANDERS RD  
MESA, AZ 85207

MAGANA ROBERT/ROXANNE  
9906 E GREENWAY ST  
MESA, AZ 85207

MAUPIN JAY CARL & PAMELA JANN  
10025 E FENIMORE  
MESA, AZ 85207

MCKAY PAMELA/ERIC/GORDON  
PETER  
BOX 359  
PILOT MOUND, MB R0G1P0

MIGUEL ANTONIO MURUATO SR  
LIVING TRUST  
8925 E FLORIAN AVE  
MESA, AZ 85208

MILLER FAMILY TRUST  
820 N 111TH ST  
MESA, AZ 85207

NICHOLS SCOTT/CAROLEE  
1227 N AMANDES  
MESA, AZ 85207



OLERUD DARYL L/TERRI A  
46 W MCLELLAN  
MESA, AZ 85201

OTT ADAM J  
9816 E FLANDERS RD  
MESA, AZ 85207

OTTON RICHARD F/MARGARET M  
9950 E ELMWOOD ST  
MESA, AZ 85207

PROFFITT SPENCER T/BRIANNE E  
10009 E FENIMORE RD  
MESA, AZ 85207

REED GERALD A/LORETTA M  
9806 E FLANDERS RD  
MESA, AZ 85207

REVOCABLE EHB TRUST  
9960 E ELMWOOD ST  
MESA, AZ 85207

RIPPEE MARK E/CHERYLE L  
1231 N FAITH  
MESA, AZ 85207

ROBERT RIEK AND LISA RIEK TRUST  
1239 N FAITH  
MESA, AZ 85207

ROTH JEREMY/SARA  
9907 E GREENWAY ST  
MESA, AZ 85207

SAGUARO MOUNTAIN COMMUNITY  
ASSOCIATION  
17787 N PERIMETER DR STE 111  
SCOTTSDALE, AZ 85255

SCHUETZ BRADLEY E/KELLY N  
1124 N 99TH ST  
MESA, AZ 85207

STINSON LIVING TRUST  
9831 E GREENWAY ST  
MESA, AZ 85207

VICKY L WOOD TRUST  
1129 N 99TH ST  
MESA, AZ 85207

WHISPER VIEW HOMEOWNERS  
ASSOCIATION  
450 N DOBSON RD STE 201  
MESA, AZ 85201

WILLIAMS-NEUMAN  
DARINDA/NEUMAN JOHNNY A  
9919 E GREENWAY ST  
MESA, AZ 85207

Drew Marcolina  
9761 E Brown Road  
Mesa, AZ 85207

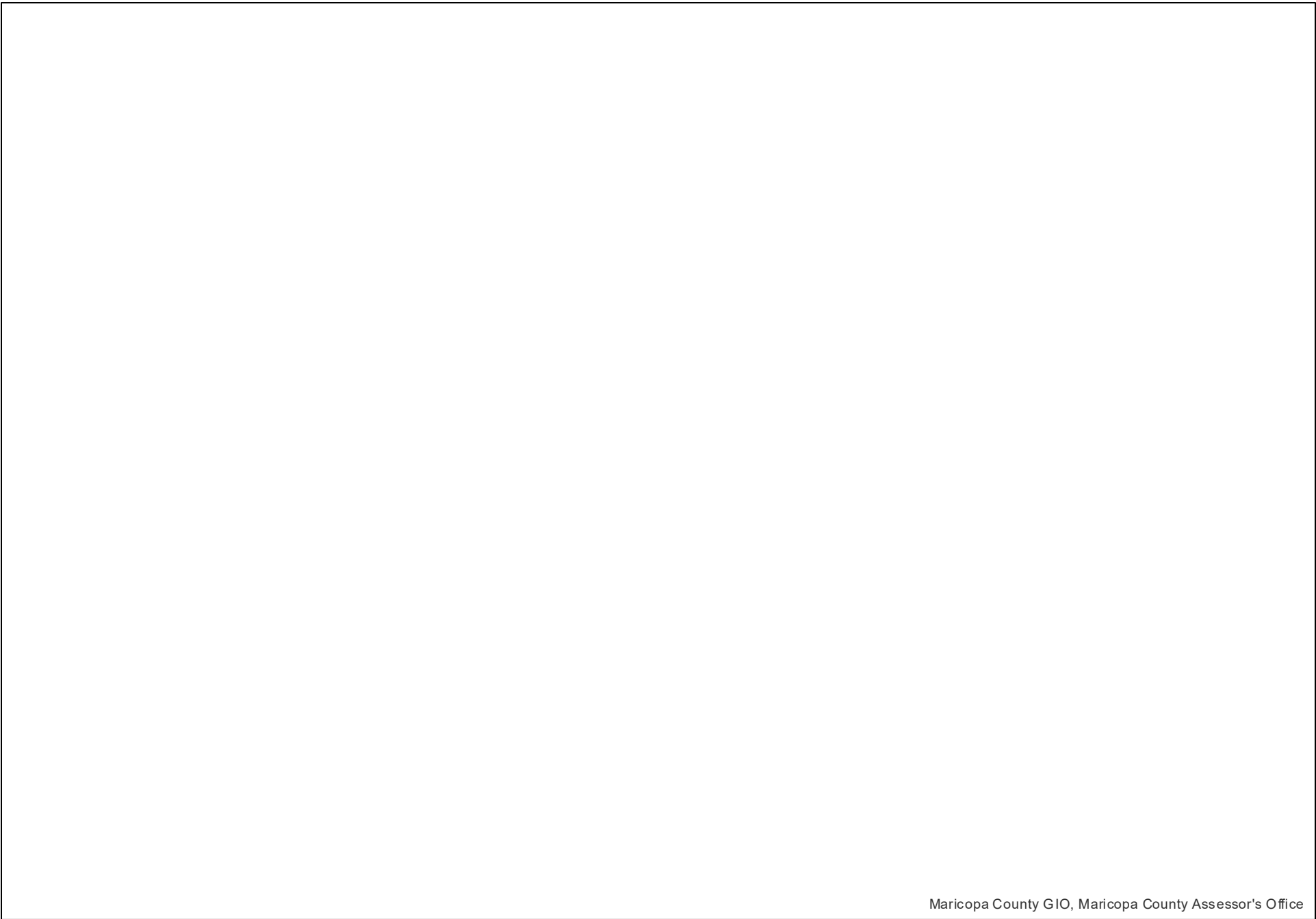
James Badman  
9811 E Elmwood St  
Mesa, AZ 85207

Joshua Grandlienard  
PO Box 1466  
Mesa AZ 85211-1466

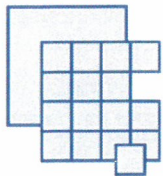




# 500' Prop Owner Map







Pew & Lake, P.L.C.  
Real Estate and Land Use Attorneys

W. Ralph Pew

Certified Real Estate Specialist

Sean B. Lake

Reese L. Anderson

May 23, 2022

## NOTICE OF PUBLIC HEARING

Dear Neighbor,

On behalf of our client Mr. Jaren Sweeney, please be advised that we have applied to the City of Mesa for the approval of a 27-lot single-family detached residential community on the approximately 8 +/- acres of vacant real property located at the southwest corner of Crismon Road and Brown Road (APNs 220-20-010C and -010D). Our proposal requires City of Mesa approval of an annexation, rezoning and preliminary plat for this property. To be clear, no other properties in this area will be annexed with this application. The case number assigned to this project is ZON22-00162.

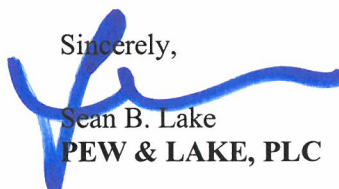
This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. You may also be receiving this notice because you provided your contact information at the neighborhood meeting held for this project on January 4, 2022. Enclosed for your review is a copy of the site plan for the proposed development. If you have any questions regarding this proposal, please contact myself or Jon Gillespie at my office at 480-461-4670 or via email at [sean.lake@pewandlake.com](mailto:sean.lake@pewandlake.com) or [jon.gillespie@pewandlake.com](mailto:jon.gillespie@pewandlake.com)

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on June 8, 2022 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa Channel 11, online at [Mesa11.com/live](https://www.mesa11.com/live) or [www.youtube.com/user/cityofmesa11/live](https://www.youtube.com/user/cityofmesa11/live), or listened to by **calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts.** If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> **at least 1 hour prior to the start of the meeting.** If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting.** You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak. For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Mr. Josh Grandlienard of their Planning Division staff. He can be reached at 480-644-4691 or via email at [joshua.grandlienard@mesaaz.gov](mailto:joshua.grandlienard@mesaaz.gov) should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,



Sean B. Lake  
PEW & LAKE, PLC



LOCATED IN A PORTION OF SECTION 15, TOWNSHIP 1 NORTH, RANGE 7 EAST OF THE  
GILA & SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA.

# SITE PLAN FOR GENEVA VILLAS



## VICINITY MAP

## ENGINEER

**D. M. ENGINEERING**  
 417N. DEBRA THOMPSON  
 8202 EAST GILBERT DRIVE,  
 SUITE D  
 TEMPE, AZ 85281  
 (480) 355-0990

THE NORTH LINE OF THE NORTH-EAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 7 EAST, SUNDY CREEK NORTH 89° 57' 57" EAST BY MEASURED 1/32 SECTION 36 RECORD OF SURVEY RECORDED IN BOOK 28, PAGE 28, W.C.R.

**D.M. ENGINEERING**

## APPLICANT

BRILLIUM BROMIDE & DEVELOPMENT LTD.  
753 N. 30th CIR.  
MESA, AZ 85204

## SITE DATA

GROSS AREA: 9.999 ACCTO CENTERLINE  
NET AREA: 7.783 ACCTO RIGHT OF WAY  
PROPOSED LOTS: 27  
EXISTING ZONING: RUH43  
APN: 220-20-010C & D  
DENSITY(GROSS): 27 DU/AC.  
DEVELOPMENT: 27 DU/AC.

## **LEGAL DESCRIPTION**

EXCEPT THE NORTH 96 FEET, THE EAST 96 FEET AND THE SOUTH 32 FEET THEREOF; AND

EXCEPT THE PORTION CONNECTED TO MARICOPA COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA RECORDED IN JULY 18, 2008 IN RECORDING NO. 2008055547, RECORDS OF MARICOPA COUNTY, ARIZONA.

## **BASIS OF BEARING**

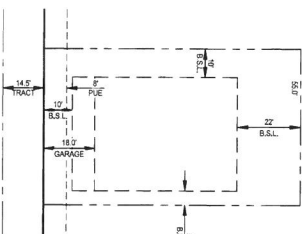
**BENCHMARK**

PLACES TAG IN THE CORNER OF CORNER AT THE NORTH-EAST CORNER OF  
90N STREET AND BROWN ROAD.  
ELEVATION 168.2M, UNSTABLE CO.M. DATA.

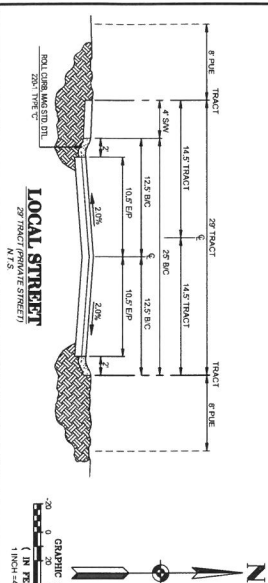
## BENCHMARK

CROSS IN THE COFF OF CURIAL THE NORTHEND CORNER  
808 STREET AND BROWN ROAD.  
ELEVATION 1669.06. NAVD83 EL. C.O.M. DATUM

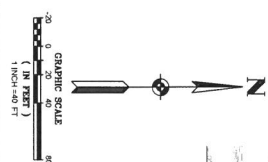
**MIN. BUILDING SETBACK DETAIL**  
SCALE: 1"=20'



**DRIVEWAY NOTE**  
DRIVEWAY WIDTHS ARE NOT TO EXCEED 50%  
OF THE WIDTH OF THE LOT.

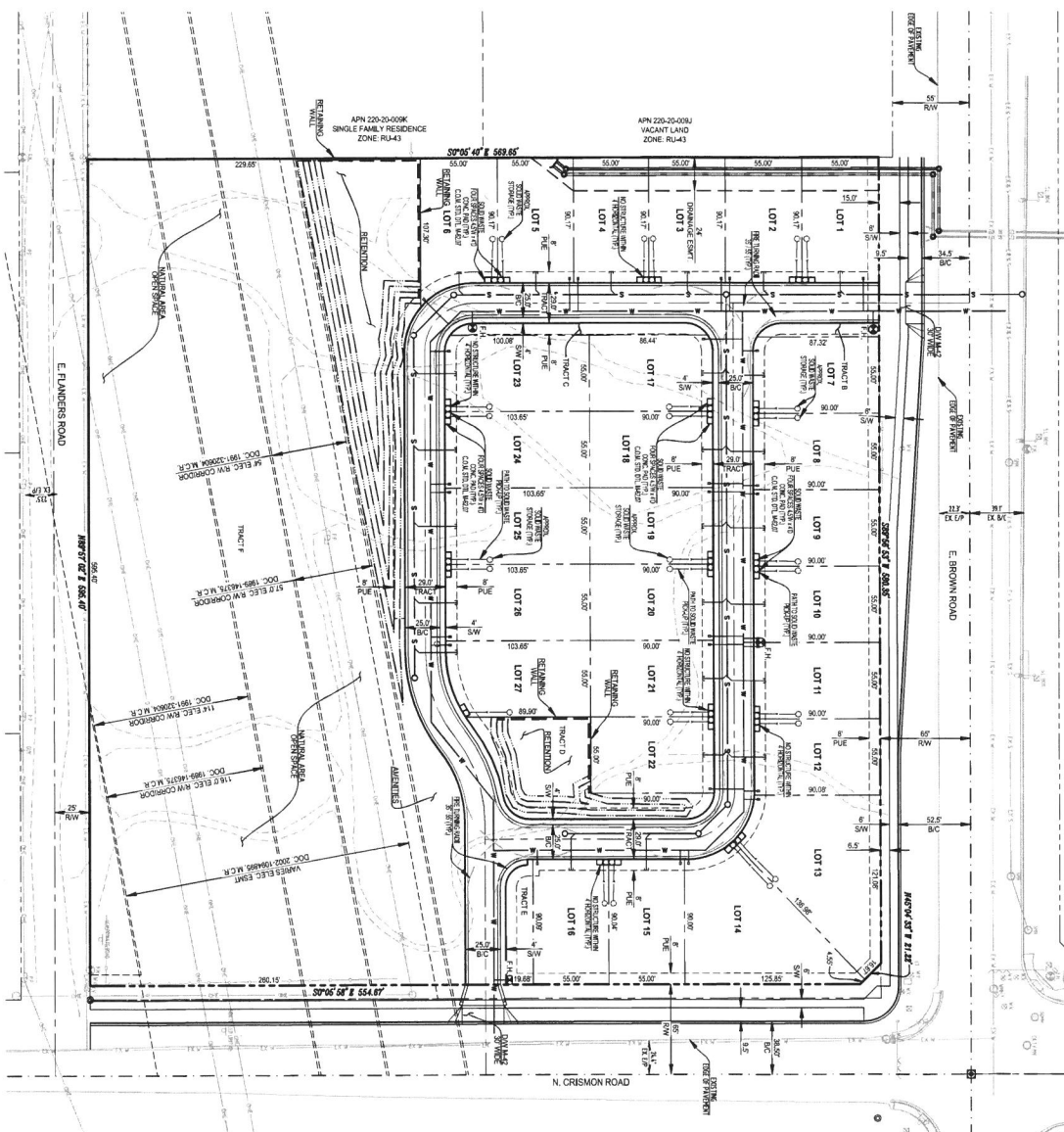


**LOCAL STREET**



**LEGEND** (SOI)

- |   |   |
|---|---|
|  | SUBDIVISION CORNER MONUMENT AS SHOWN ON PLAT<br><hr/> BOUNDARY LINE<br><hr/> PROPERTY LINE<br><hr/> ADJACENT RIGHT OF WAY LINE<br><hr/> CENTERLINE<br><hr/> EASEMENT LINE AS NOTED<br><hr/> ADJACENT PROPERTY LINE<br><hr/><br><hr/> REMITTEE'S<br><hr/> RIGHT OF WAY<br><hr/> MARCHAND COUNTY RECORDER<br>PUBLIC UTILITY AND FACILITY EASEMENT |
|---|---|



NOTE: THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D & M ENGINEERING. ANY UNAUTHORIZED REPRODUCTIONS, REVISIONS, ADDITIONS, OR ALTERATIONS OF THESE DRAWINGS IS STRICTLY PROHIBITED, AND WILL BE CONSIDERED TO BE IN VIOLATION OF ARIZONA STATE TECHNICAL BOARD, CODE 32-125 AND 32-142.



**SHEET**  
**1 OF 1**

[illegible]

CLIENT/PROJECT
TITLE

**GENEVA VILLAS**  
9960 E FLANDERS ROAD,  
MESA, ARIZONA 85207

---

**SITE PLAN**



**D&M Engineering, LLC**  
Duran Thompson, P.E.  
1020 East Gilbert Drive, Suite D  
Tempe, AZ 85281  
Ph: (480) 350-9590, Fax: (480) 350-9486  
E-Mail: [engineer@dmengineer.com](mailto:engineer@dmengineer.com)



City of Mesa Planning Division

## AFFIDAVIT OF PUBLIC POSTING

Date: 05/24/22

I, Meghan Liggett, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to case # Z022-00162, on SWC Brown Rd & Crismon Rd. The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

**SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5"  
BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.**

Applicant's/Representative's signature: *Meghan Liggett*

SUBSCRIBED AND SWORN before me on 05/24/22

*Marybeth Conrad*  
Notary Public





CITY OF MESA  
PUBLIC NOTICE  
**ZONING HEARING**

PLANNING & ZONING BOARD  
57 EAST FIRST STREET  
MESA, ARIZONA

TIME: 4:00 PM DATE: June 8, 2022

CASE: ZON22-00162

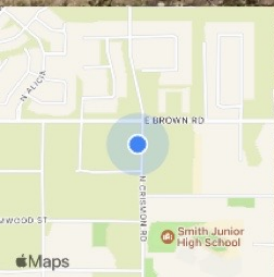
REQUEST: Rezone from Agricultural (AG) to  
Single Residence 15 with a Planned Area  
Development overlay (RS-15-PAD) and Site  
Plan Review. This request will allow for a single  
residence development

APPLICANT: Sean Lake, Pew & Lake PLC

PHONE: 480-461-4670

Planning Division: 480-644-2385

Posting date: 5/24/2022



1120-1198 N Crismon Rd  
Mesa AZ 85207

+33.435920,-111.615464

Tuesday, May 24, 2022 at 10:16:37 AM



CITY OF MESA  
PUBLIC NOTICE  
**ZONING HEARING**

PLANNING & ZONING BOARD  
57 EAST FIRST STREET  
MESA, ARIZONA

TIME: 4:00 PM DATE: June 8, 2022

CASE: ZON22-00162

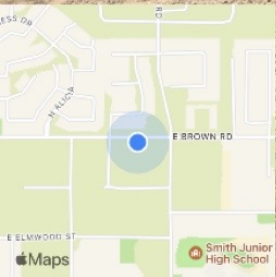
REQUEST: Rezone from Agricultural (AG) to  
Single Residence 15 with a Planned Area  
Development overlay (RS-15-PAD) and Site  
Plan Review. This request will allow for a single  
residence development

APPLICANT: Sean Lake, Pew & Lake PLC

PHONE: 480-461-4670

Planning Division: 480-644-2385

Posting date: 5/24/2022



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Tuesday, May 24, 2022 at 9:56:04 AM