

**WARE MALCOMB**  
Leading Design for Commercial Real Estate

architecture  
planning  
interiors  
graphics  
civil engineering  
2777 E. Camelback Rd, Suite 325  
Phoenix, AZ 85016  
P 602.767.1001  
F 480.947.2288

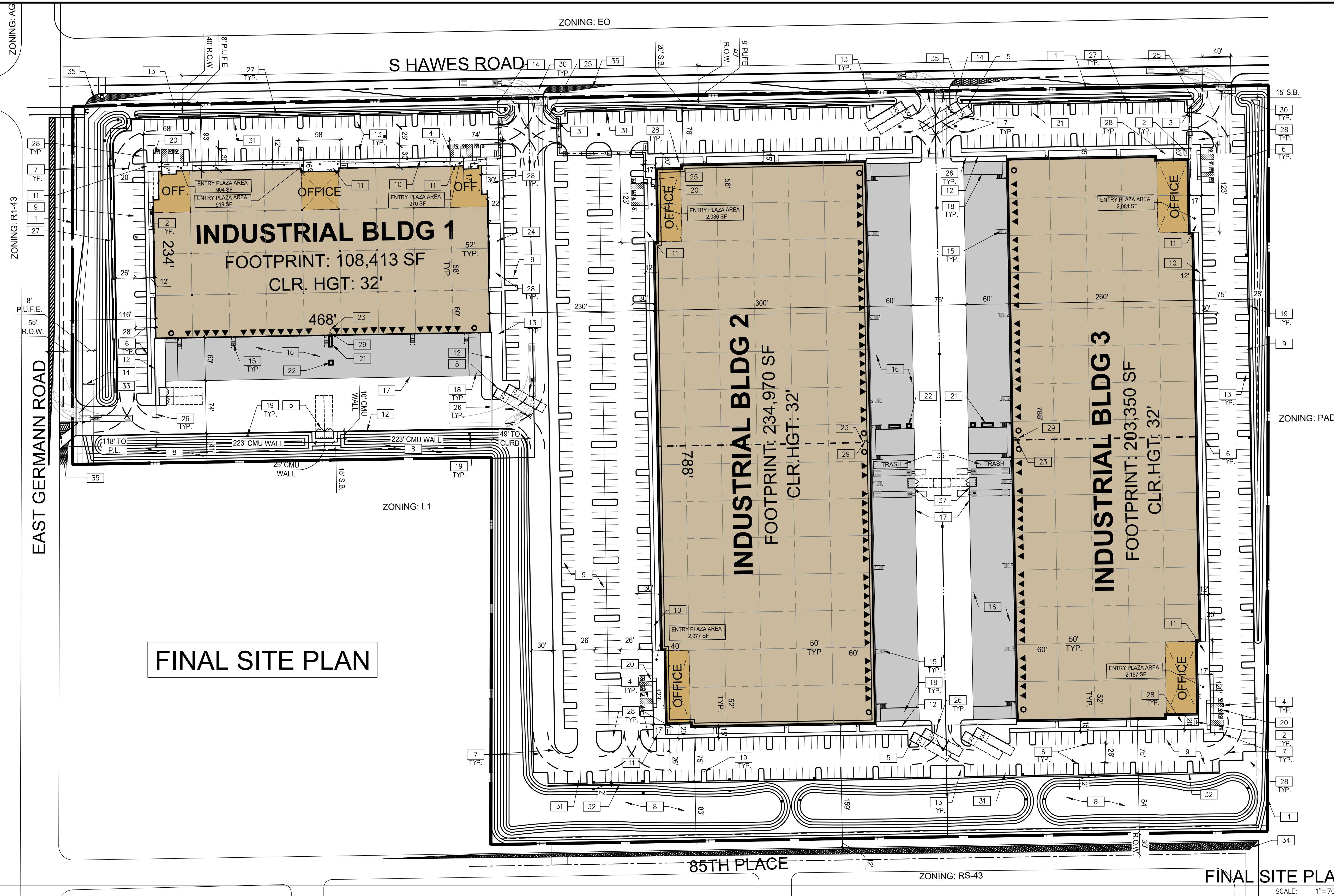


**HAWES GERMANN**  
**34 INDUSTRIAL**  
7417 S. HAWES RD.  
MESA, ARIZONA 85242

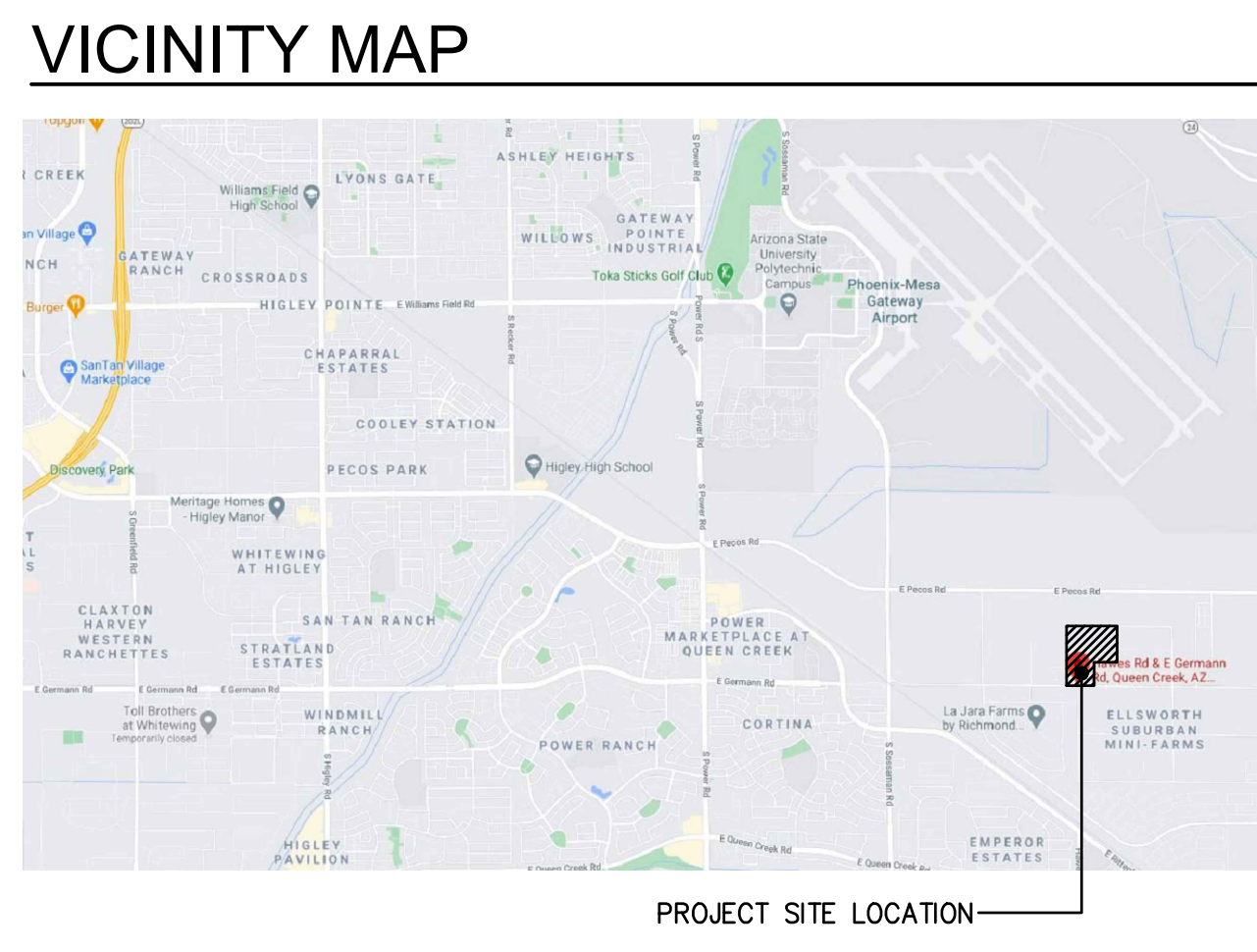
| FINAL SITE PLAN |    | REMARKS         |
|-----------------|----|-----------------|
| DATE            | DR | SUBMITTAL       |
| 04/17/2022      | DR | RESUBMITTAL     |
| 05/13/2022      | DR | RESUBMITTAL     |
| 05/16/2022      | DR | 2ND RESUBMITTAL |
| 06/09/2022      | DR | 3RD RESUBMITTAL |

|           |               |
|-----------|---------------|
| PA / PM:  | B. BLAKE      |
| DRAWN BY: |               |
| JOB NO.:  | PHX21-0049-00 |

SHEET  
**A1.1**



- ### SITE PLAN KEYNOTES
- PROPERTY LINE, (---)
  - BIKE RACK W/ CONC. SLAB. 1 RACK HOLDS UP TO 5 BIKES (TYP.) SEE DETAIL 3/A1.5 FOR MORE INFORMATION.
  - ADA SIDEWALK ACCESS RAMP (TYP.)
  - ADA PARKING STALL W/ CROSS-HATCH LOADING ZONE (TYP.) SEE DETAIL 1/A1.4 FOR MORE INFO.
  - 8'-0" HIGH CMU TRASH ENCLOSURE PER CITY OF MESA DETAILS M-62.01 & M-62.04.2. SEE DETAILS 14 & 15 /A1.4 AND 12/A1.5 FOR MORE INFORMATION.
  - NEW 6" CURB, REFER TO CIVIL DRAWINGS FOR MORE INFO. (TYP.)
  - FIRE LANE, HATCHED (20' WIDE; 35' INSIDE RADIUS, 55' OUTSIDE RADIUS, TYP.)
  - RETENTION BASIN, REFER TO CIVIL DRAWINGS FOR MORE INFO.
  - 9'-0" x 18'-0" TYPICAL PARKING STALL
  - 5'-0" WIDE SIDEWALK
  - BASE FOUNDATION AND ENTRY PLAZA AREA
  - 8' CMU SCREEN WALL, SEE SITE DETAIL 7/A1.4 FOR MORE INFO.
  - LANDSCAPE AREA (TYP.)
  - PROPOSED FUTURE MONUMENT SIGN LOCATION
  - DOCK-HIGH STEEL STAIRS & PLATFORM (TYP.)
  - PAVED TRUCK COURT
  - EDGE OF CONCRETE TRUCK APRON
  - TRUCK YARD SERVICE RAMP (TYP.). SEE DETAIL 1/A1.6 FOR MORE INFO.
  - FIRE HYDRANT. REFERENCE CIVIL DRAWINGS FOR MORE INFO. (TYP.)
  - 11' WIDE ADA VAN PARKING STALL PER CITY OF MESA ZONING STANDARDS.
  - EXTERIOR GRADE S.E.S. ON CONC. PAD WITH BOLLARD PROTECTION
  - ELECTRICAL TRANSFORMER ON CONC. PAD WITH BOLLARD PROTECTION
  - FIRE RISER LOCATION
  - F.D.C. LOCATION
  - PATH OF TRAVEL TO R.O.W.
  - MOTORIZED SLIDING GATE W/ EMERGENCY ACCESS KNOX BOX (TYP.) SEE DETAIL 7/A1.5 FOR MORE INFO.
  - STAGGERED & OFFSET 3'-4" HIGH CMU PARKING SCREEN WALL (TYP.) SEE DETAIL 4/A1.4 FOR MORE INFO.
  - PROPOSED AREA OF PUBLIC AMENITIES BY FUTURE TENANT. (TYP.). SEE OPEN SPACE AREA PLAN A1.1A FOR MORE INFO
  - ROOF ACCESS HATCH.
  - NEW DRIVEWAY ENTRY PER CITY OF MESA STANDARDS (TYP.)
  - 9'-0" x 16'-0" W/ 2'-0" OVERHANG PARKING STALL
  - 6'-0" CMU SCREEN WALL WITH 2' PARKING CURB SEPARATION AS PROPOSED IN PAD NARRATIVE
  - NEW "RIGHT OUT ONLY" DRIVEWAY ENTRY PER CITY OF MESA STANDARDS (TYP.)
  - HATCHED AREA INDICATES 85TH PLACE WIDENING AREA. REFERENCE CIVIL DRAWINGS FOR MORE INFO.
  - SIGHT VISIBILITY TRIANGLE. REFERENCE LANDSCAPE DRAWINGS FOR MORE INFO.
  - TRASH COMPACTOR LOCATION PER CITY OF MESA STANDARDS
  - 8'-0" HIGH CMU RECYCLE ENCLOSURE PER CITY OF MESA DETAILS M-62.01 & M-62.04.2. SEE DETAILS 14 & 15 /A1.4 AND 12/A1.5 FOR MORE INFORMATION.



### PROPERTY DATA CONT'D

PARKING TOTALS:  
PROVIDED: 931 SPACES (INC. 22 ACCESSIBLE)  
TOTAL: 1,70 SPACES / 1,000SF  
RATIO: 1.70 SPACES / 1,000SF  
BIKE PARKING REQUIRED: 72 SPACES  
BIKE PARKING PROVIDED: 80 SPACES  
(1 RACK EQUALS 5 BIKES)

### PROJECT DESCRIPTION

THIS PROJECT INVOLVES THE CONSTRUCTION OF THREE COLD, DARK SHELL INDUSTRIAL WAREHOUSE BUILDINGS, INCLUDING NECESSARY STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SCOPE, AND ASSOCIATED SITE IMPROVEMENTS, INCLUDING GRADING, DRAINAGE, UTILITIES, AND OFFSITES AS REQUIRED.

### SITE LEGEND

- ▲ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- ▨ FIRE LANE HATCH (20' WIDE, TYP.)

### PROPERTY DATA

|                                          |                                   |
|------------------------------------------|-----------------------------------|
| ADDRESS:                                 | TBD (NEC HAWES RD AND GERMANN RD) |
| APN:                                     | 304-62-008L                       |
| GROSS SITE AREA:                         | 1,490,945 SF (34.0 ACRES)         |
| NET SITE AREA:                           | 1,349,499 SF (30.1 ACRES)         |
| ZONING:                                  | L1                                |
| MAX HEIGHT:                              | TBD                               |
| CONSTRUCTION:                            | V-B UNLIMITED AREA                |
| BUILDING AREA:                           |                                   |
| BUILDING 1                               | 108,413 SF                        |
| BUILDING 2                               | 234,970 SF                        |
| BUILDING 3                               | 203,350 SF                        |
| TOTAL FOOTPRINT:                         | 546,733 SF                        |
| LOT COVERAGE:                            |                                   |
| PROPOSED:                                | GROSS: 37% NET 41%                |
| IMPERVIOUS SURFACE LOT COVERAGE:         | TBD                               |
| BUILDING MAX PROPOSED OFFICE AREAS:      |                                   |
| BUILDING 1 OFFICE MAX SF =               | 27,103 SF                         |
| BUILDING 2 OFFICE MAX SF =               | 58,743 SF                         |
| BUILDING 3 OFFICE MAX SF =               | 50,838 SF                         |
| TOTAL COMBINED PROPOSED OFFICE MAX AREA= | 136,684 SF                        |
| PARKING TOTALS:                          |                                   |
| REQUIRED:                                |                                   |
| WAREHOUSE (1:500) @75%                   | 820 SPACES                        |
| OFFICE (1:375) @25%                      | 365 SPACES                        |
| TOTAL                                    | 1,185 SPACES                      |



\\\\wma-arch.com\\wm\\PHX\\21\\0049\\00\\Architectural\\Csd\\DD\\PLANNING\\0049\_A11A\_OPEN SPACE PLAN.dwg

ZONING: A

ZONING: R1-43

EAST GERMANN ROAD

S HAWES ROAD

ZONING: EO

ZONING: L1

ZONING: PAD

85TH PLACE

ZONING: RS-43

## COMMON OPEN SPACE SCHEDULE

### OPEN SPACE 1A

- AMMENITIES:
- (1) CONCRETE BENCHES
  - (1) OUTDOOR TABLES
  - 75% LIVE PLANT MATERIAL ABUTTING SITTING AREA
  - (1) SHADE TREE

### OPEN SPACE 1B

- AMMENITIES:
- FREESTANDING STEEL LATTICE SHADE STRUCTURE  
16'x8'x10'TALL  
50% OPEN TO SKY
  - (4) CONCRETE BENCHES
  - (2) OUTDOOR TABLES
  - 75% LIVE PLANT MATERIAL ABUTTING SITTING AREA
  - (1) SHADE TREE

### OPEN SPACE 1C

- AMMENITIES:
- (2) CONCRETE BENCHES
  - (1) OUTDOOR TABLE
  - 75% LIVE PLANT MATERIAL ABUTTING SITTING AREA
  - (2) SHADE TREES

## COMMON OPEN SPACE CALCULATIONS

BUILDING 1  
REQUIRED: 108,413 SF @ 1% = 1,084 SF  
PROVIDED: (1) OPEN SPACE 1A @ 317 SF  
(1) OPEN SPACE 1B @ 2,309 SF  
(0) OPEN SPACE 1C @ 0 SF  
TOTAL = 2,626 SF

BUILDING 2  
REQUIRED: 234,970 SF @ 1% = 2,350 SF  
PROVIDED: (2) OPEN SPACE 1A @ 479 SF  
(0) OPEN SPACE 1B @ 0 SF  
(3) OPEN SPACE 1C @ 1,802 SF  
TOTAL = 2,381 SF

BUILDING 3  
REQUIRED: 203,350 SF @ 1% = 2,034 SF  
PROVIDED: (1) OPEN SPACE 1A @ 592 SF  
(2) OPEN SPACE 1B @ 1,520 SF  
(1) OPEN SPACE 1C @ 592 SF  
TOTAL = 2,704 SF

## OPEN SPACE / BASE AREA PLAN

SCALE: 1"=10'-0"

1

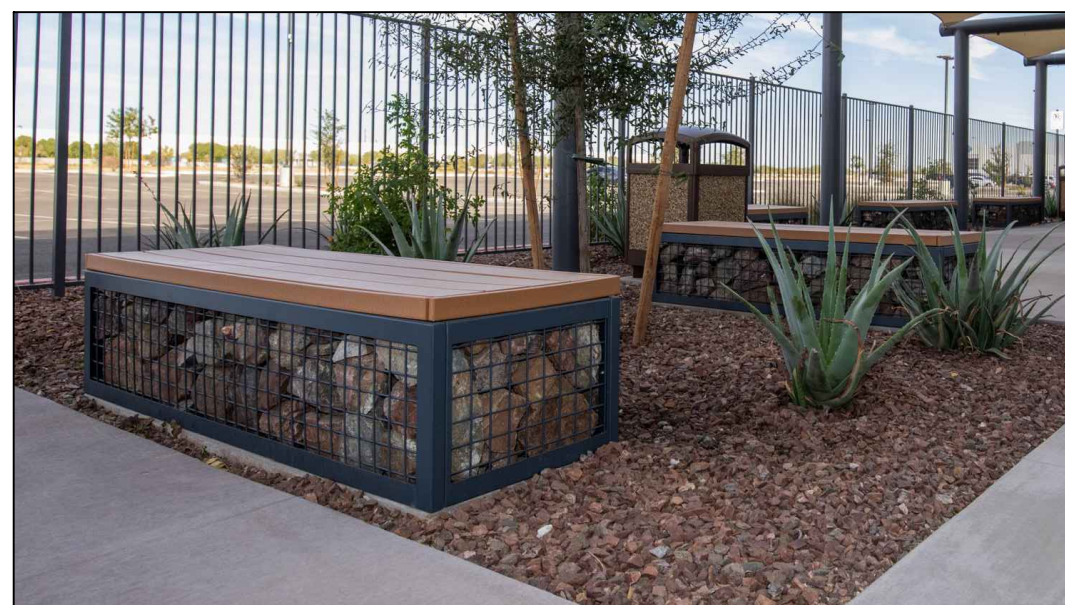


TABLE AND BENCH  
MFR: ANOVA FURNISHINGS  
LINE: CANYON  
FINISH: THERMORY GABION



FREESTANDING STEEL LATTICE SHADE STRUCTURE  
PER OPEN SPACE 1B

- LATTICE INFILL (50% OPEN)
- STRUCTURAL STEEL BEAM, PAINTED
- STRUCTURAL STEEL POST, PAINTED

### OPEN SPACE AREA PLAN

| DATE       | REMARKS            |
|------------|--------------------|
| 04/17/2022 | DR SUBMITTAL       |
| 05/13/2022 | DR RESUBMITTAL     |
| 05/16/2022 | DR 2ND RESUBMITTAL |
| 06/03/2022 | DR 3RD RESUBMITTAL |

|           |               |
|-----------|---------------|
| PA / PM:  | B. BLAKE      |
| DRAWN BY: |               |
| JOB NO.:  | PHX21-0049-00 |

SHEET

A1.1A

Thu, 02 Jun 2022

HAWES GERMANN  
34 INDUSTRIAL  
7417 S. HAWES RD.  
MESA, ARIZONA 85242



architecture  
planning  
interiors  
graphics  
civil engineering  
2777 E. Camelback Rd, Suite 325  
Phoenix, AZ 85016  
P 602.757.1001  
F 602.907.2288

WARE MALCOMB  
Leading Design for Commercial Real Estate  
wm@green



\\\\wma-arch.com\\wm\\PHX\\21\\0049\\00\\Architectural\\Cust\\DD\\PLANNING\\0049\_A17\_SITE WALL\_PLAN.dwg

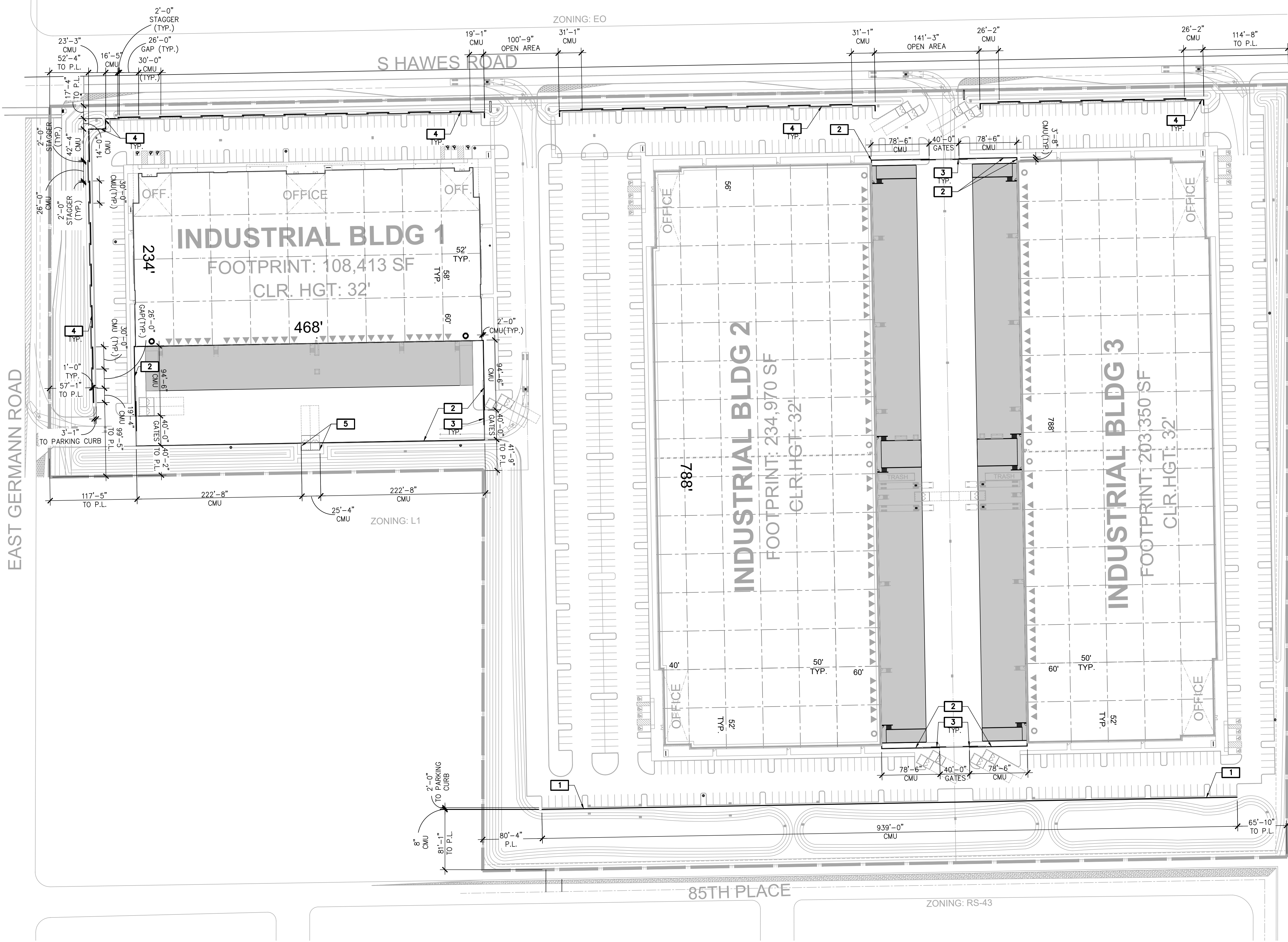
## WALL PLAN KEYNOTES

- 6'-0" CMU SCREEN WALL WITH 2' PARKING CURB SEPARATION AS PROPOSED IN PAD NARRATIVE
- 8' CMU SCREEN WALL, SEE SITE DETAIL 7/A1.4 FOR MORE INFO.
- MOTORIZED SLIDING GATE W/ EMERGENCY ACCESS KNOX BOX (TYP.) SEE DETAIL 7/A1.5 FOR MORE INFO.
- STAGGERED & OFFSET 3'-4" HIGH CMU PARKING SCREEN WALL (TYP.) SEE DETAIL 4/A1.4 FOR MORE INFO.
- 8'-0" HIGH CMU TRASH ENCLOSURE PER CITY OF MESA DETAILS M-62.01 & M-62.04.2. SEE DETAILS 14 & 15 /A1.4 AND 12/A1.5 FOR MORE INFORMATION.

EAST GERMANN ROAD

ZONING: RI-43

ZONING: AG



SITE WALL PLAN

SCALE: 1"=60'-0"

## SITE WALL PLAN

| DATE | REMARKS                       |
|------|-------------------------------|
| 1    | 04/12/2022 DR SUBMITTAL       |
| 2    | 05/13/2022 DR RESUBMITTAL     |
| 3    | 05/16/2022 DR 2ND RESUBMITTAL |
| 4    | 06/03/2022 DR 3RD RESUBMITTAL |
|      |                               |
|      |                               |
|      |                               |
|      |                               |

|           |               |
|-----------|---------------|
| PA / PM:  | B. BLAKE      |
| DRAWN BY: | AM            |
| JOB NO.:  | PHX21-0049-00 |

SHEET

A1.7

HAWES GERMANN

34 INDUSTRIAL

7417 S. HAWES RD.

MESA, ARIZONA 85242



architecture  
planning  
interiors  
graphics  
civil engineering  
2777 E. Camelback Rd, Suite 325  
Phoenix, AZ 85016  
P 602.767.1001  
F 602.907.2288

WARE MALCOMB  
Leading Design for Commercial Real Estate



THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.