

Citizen Participation Report

May 24, 2022

Merit Partners, Inc. Project: Rezoning LI/PAD, Site Plan, & Design Review
Located between the 20800 & 21500 Blocks of East Pecos Road (north side of street)
[East of Ellsworth Road]
(Portion of Parcel Number: 313-25-859N)

A. Case Ref. Numbers: ZON22-00268 / DRB22-00336

Overview: The purpose of this Citizen Participation Report is to summarize how citizen participation was conducted for the proposed for Legacy Business Park project regarding a rezoning to Light Industrial (LI) with a Planned Area Development (PAD), site plan, and design review to develop a first phase that will include the development of roughly 645,000 square feet of new manufacturing and processing, wholesaling, research, warehousing, e-commerce, data center, and distribution activity space. The proposed site plan includes two (2) flexible industrial buildings, which are oriented to provide multiple access points centered around a central, gated loading area. The second phase, which is not part of the initial site and design review applications, will likely mirror the layout and design of the first development phase.

B. Contact Lists

The Contact Lists for the cases are included as noted below. (See **Tab A**)

1. A contact list will be developed for citizens and agencies within this area including:
 - All property owners within 1,000 feet of the site as determined by the Maricopa County Assessor.
 - Any Homeowners Associations within ½-mile of the project.
 - Registered Neighborhoods within 1-mile and Interested Parties list provided from the City of Mesa.
 - All property owners within 500-feet of the site as determined by the Maricopa County Assessor for the Design Review Board meeting and Planning and Zoning Board hearing notices.

C. Notice of Application Filed / Virtual Neighborhood Meeting & Public Meeting / Hearing Notifications

Design Review Board Public Meeting Letter

On April 25, 2022, the Applicant's Legal Representative mailed a Notice of Public Meeting letter advising of the Design Review Board meeting. The mailing list for the

public hearing notification letter included all parties within 500-feet. The content of the letter included a description of the request; case number; site location and acreage; the date, time and location of the Design Review Board meeting; contact information for the Applicant and City planner assigned to the case; and copies of the site plan and building elevations for the proposed development. See **Tab B** for a copy of the letter.

Notice of Applications Filed / Virtual Neighborhood Meeting Letter

On May 4, 2022, the Applicant's Legal Representative mailed a Notice of Applications Filed / Neighborhood Meeting. The mailing list for the public hearing notification letter included all parties within 1,000 feet, Homeowners Associations within ½-mile, and Registered Neighborhoods within 1-mile and Interested Parties list provided from the City of Mesa. The content of the letter included a description of the request; case numbers; site location and acreage; the date, time and directions for accessing the virtual neighborhood meeting; contact information for the Applicant and City planner assigned to the case; and copies of the site plan and building elevations for the proposed development. See **Tab C** for a copy of the letter mailed. **No one attend / participated in the virtual neighborhood meeting.**

Planning and Zoning Board Public Hearing Letter

On May 23, 2022, the Applicant's Legal Representative mailed a Notice of Public Hearing letter advising of the Planning and Zoning Board hearing. The mailing list for the public hearing notification letter included all parties within 500-feet. The content of the letter included a description of the request; case number; site location and acreage; the date, time and location of the Planning and Zoning Board hearing; contact information for the Applicant and City planner assigned to the case; and copies of the site plan and building elevations for the proposed development. See **Tab D** for a copy of the letter.

Site Posting

On May 23, 2022, Dynamite Signs installed a public hearing notification sign on the property identifying the scheduled public hearing. The notification sign conformed to the City's standard and customary site posting requirements and included information on the date, time, and location of the Planning and Zoning Board hearing for the Application, a summary of the request, and contact information for the Applicant's Legal Representative. See **Tab E** for the Affidavit of Public Hearing Notification site posting, and photographic evidence.

D. Inquiries / Response Procedures

To date, the Applicant's Legal Representative has not received any telephone calls, emails, letters, or other correspondence regarding the request/notices sent. Any future substantive inquiries regarding the request will be documented in a supplement to this report.

E. Summary of Schedule - Implementation

Application Filed (ZON22-00268):	March 14, 2022
Application Filed (DRB22-00336):	March 28, 2022
Notice of Public Meeting Mailing (DRB22-00336):	April 25, 2022
Notice of Apps. Filed / Neigh. Mtg.:	May 4, 2022
Neighborhood Meeting (Virtual):	May 19, 2022
Notice of Public Hearing Site Posting (ZON22-00268):	May 23, 2022
Notice of Public Hearing Mailing (ZON22-00268):	May 23, 2022
Citizen Participation Report Submitted:	May 24, 2022
Planning & Zoning Board Hearing (ZON22-00268):	June 8, 2022

TAB A

NEIGHBORHOOD MEETING NOTIFICATION LIST - ANX22-00266, ZON22-00268, AND DRB22-00336				
PROPERTY OWNERS WITHIN 1,000-FEET				
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP
PHOENIX-MESA GATEWAY AIRPORT AUTHORITY	600 S POWER RD BLDG 41	MESA	AZ	85206-5219
SUNBELT LAND HOLDINGS LP	8095 OTHELLO AVE	SAN DIEGO	CA	92111
MESA CITY OF	20 E MAIN ST STE 650	MESA	AZ	85211
MESA CITY OF	PO BOX 1466	MESA	AZ	85211
PACIFIC PROVING LLC	2801 E. CAMELBACK ROAD STE 450	PHOENIX	AZ	85016
CITY OF MESA REGISTERED NEIGHBORHOODS				
ORGANIZATION / CONTACT	MAILING ADDRESS	CITY	STATE	ZIP
QUEENS PARK ATTN: DOUG CHAPMAN	8715 E WOODLAND AVE	MESA	AZ	85212
QUEENS PARK ATTN: LADELL CALL	8660 E WATERFORD CIR	MESA	AZ	85212
QUEENS PARK ATTN: STEVE VAUGHN	8744 E WATERFORD CIR	MESA	AZ	85212
OTHER INTERESTED PARTIES				
ORGANIZATION / CONTACT	MAILING ADDRESS	CITY	STATE	ZIP
GAMMAGE & BURNHAM, PLC ATTN: DENNIS M. NEWCOMBE	40 N CENTRAL AVE, 20TH FL	PHOENIX	AZ	85004
CITY OF MESA PLANNING DIVISION ATTN: JOSHUA GRANDLIENARD	PO BOX 1466 MAIL STOP 9953	MESA	AZ	85211

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SUNBELT LAND HOLDINGS LP	8095 OTHELLO AVE	SAN DIEGO	CA	92111
MESA CITY OF	20 E MAIN ST STE 650	MESA	AZ	85211
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TAB B

GAMMAGE & BURNHAM, PLC

ATTORNEYS AT LAW

40 NORTH CENTRAL AVENUE

20TH FLOOR

PHOENIX, ARIZONA 85004

TELEPHONE (602) 256-0566

FACSIMILE (602) 256-4475

Dennis M. Newcombe

DIRECT (602) 256-4446

E-Mail Address: dnewcombe@gbllaw.com

April 25, 2022

VIA U.S. MAIL

Re: Notice of Design Review Board Meeting.
City of Mesa Reference Number: DRB22-00336.
Approximately 88.39 Acres of Vacant Land (Portion of APN 313-25-859N).
Located East of Ellsworth Road and North of Pecos Road.

Dear Property Owner or Registered Neighborhood Association:

We represent Merit Partners, Inc., our client, who is currently under contract to purchase the approximately 88.39 acres of vacant land located east of Ellsworth Road and north of Pecos Road (the "Property"). (See the Attached: Property Location Map) We have recently submitted to the City of Mesa Development Services Department, Planning Division, three (3) application requests, they are for: annexation, rezoning/site plan review, and design review. These three (3) applications being requested will allow for the proposed development of a quality; dual-phased industrial project called the Legacy Business Park within proximity of the Phoenix-Mesa Gateway Airport.

More specifically, the first phase of the Legacy Business Park, which encompasses the west approximate 44.9 acres of the Property, includes the development of roughly 645,000 square feet of new manufacturing and processing, wholesaling, research, warehousing, e-commerce, data center, and distribution activity space. The proposed site plan includes two (2) flexible industrial buildings, which are oriented to provide multiple access points centered around a central, gated loading area to provide screening of back-of-house activities. The proposed buildings will feature superior design materials and layout to attract the highest quality tenants within this growing market. The future tenants will range from local, regional, and national businesses. (See Attached: Proposed Site Plan/Landscape Plan/Building Elevations) The second phase, which is not part of the initial site and design review applications, will likely mirror the layout and design of the first development phase.

As part of the City's review processes, the purpose of this correspondence is to inform you that the design review application (DRB22-00336) has been scheduled for consideration by the Design Review Board as follows:

DESIGN REVIEW BOARD MEETING

May 10, 2022 at 4:30 PM
City Council Chambers (lower level)
57 East First Street
Mesa, Arizona 85201

The Design Review Board meeting may be watched via the Zoom video conferencing platform at <https://mesa11.zoom.us/j/5301232921> or listened to by calling 888-788-0099 or 877-853-5247 (toll free), using meeting ID 530 123 2921, and following the prompts. Members of the public can address the Design Review Board in the following ways: (1) Attend the meeting in person and complete and submit a blue comment upon arrival at the meeting; or (2) Attend the meeting virtually and submit an online comment card at least 1 hour prior to the start of the meeting. If you want to speak at the meeting, you will need to indicate on your comment card that you would like to speak, and, if attending virtually, you will also need to call 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the board, your line will be taken off mute and you will be given an opportunity to speak. For any difficulty accessing the meeting, please call the City Clerk's office at 480-644-2099.

The Design Review Board reviews building design, landscape plans, parking layout, and site layout. The Design Review Board does not review or discuss the actual use of the land. Those items are typically addressed by the Planning and Zoning Board, City Council, or other through public input processes. You may receive future notice of such hearings when the rezoning/site plan review and/or annexation applications are scheduled for public hearing.

Should you have any questions or cannot attend the upcoming Design Review Board meeting and would like more information, please feel free to contact me at:

Dennis M. Newcombe with Gammage & Burnham
(602) 256-4446 – **or** – via e-mail: dnewcombe@gblaw.com

If you require additional information from the City of Mesa Development Services Department, Planning Division, please contact our City representative:

Josh Grandlienard, Planner II
(480) 644-4691 – **or** – via e-mail: Joshua.Grandlienard@MesaAZ.gov

We appreciate your time and consideration.

Very truly yours,

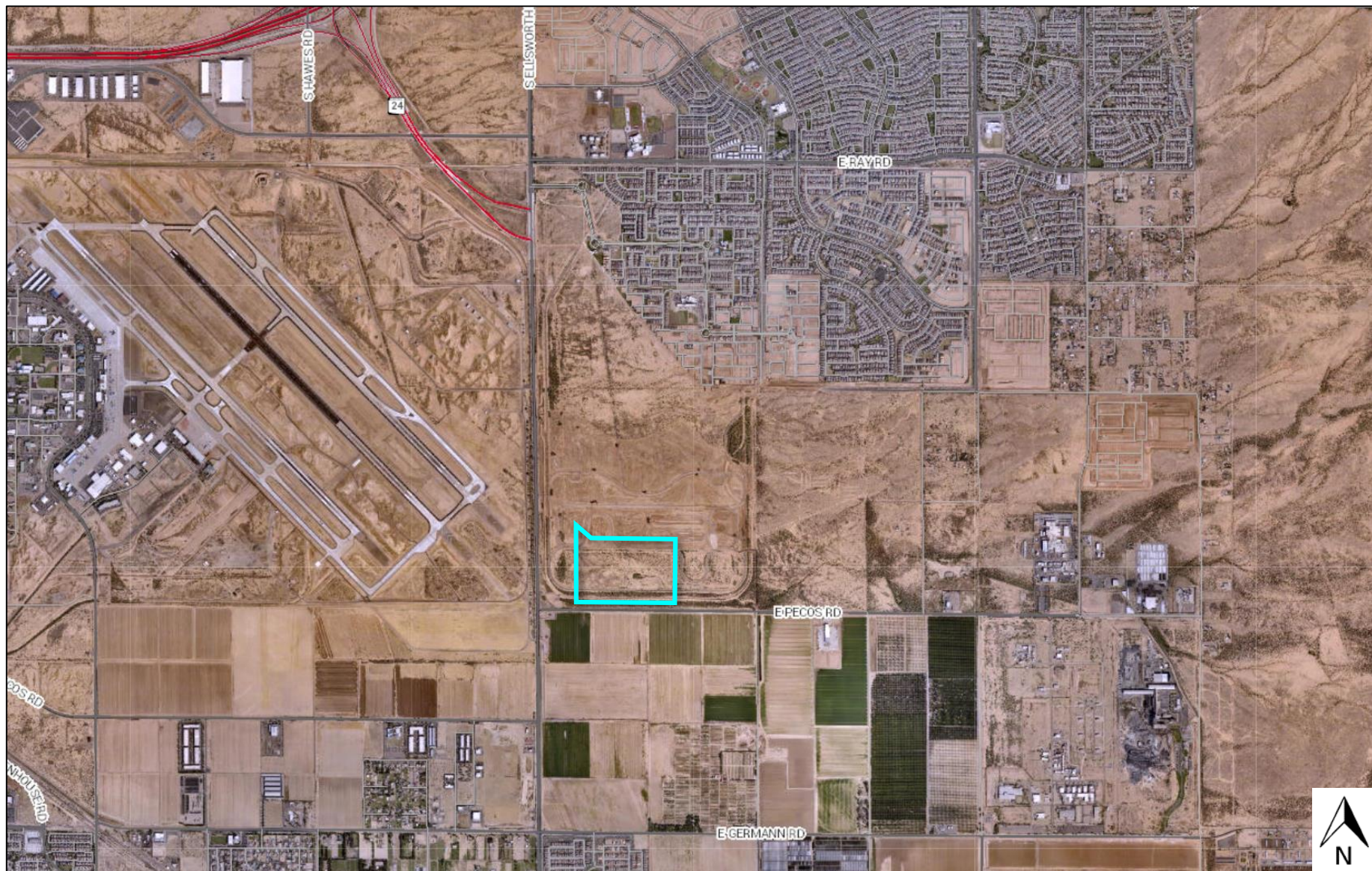
GAMMAGE AND BURNHAM, PLC

Dennis M. Newcombe

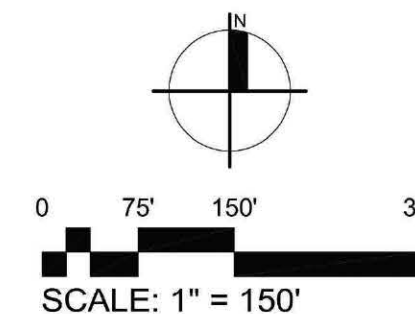
Dennis M. Newcombe
Senior Land Use Planner

Enclosures: Property Location Map
Proposed Site Plan/Landscape Plan/Building Elevations

AERIAL MAP



Subject Property



PROJECT DATA

Proposed Zoning:	LI-PAD
APN#:	313-25-859N
Net Site Area:	1,957,918 S.F. (44.9AC.)
(Including Drainage Channel)	
Total Building Area:	645,470 S.F.
Building Coverage:	33%
Lot Coverage:	79.5%
(Impervious Surfaces)	
Common Open Space Required:	
BLDG A, 265,911 SF @ 1%:	2,659 S.F.
BLDG B, 379,559 S.F. @ 1%:	3,796 S.F.
Total Open Space Required:	6,455 S.F.
Open Space Provided:	7,048 S.F.

Building A

Site Area:	793,122 S.F. (18.2 AC.)
Building Area:	265,911 S.F.

Parking Required

Office (22,600 S.F.) @ 1/375 S.F.:	60 Spaces
Warehouse (243,311 S.F.) @ 1/900 S.F.:	270 Spaces
Total Parking Required:	330 Spaces
Parking Provided:	337 Spaces
ADA Parking Required:	8 Spaces
ADA Parking Provided:	8 Spaces

Building B

Site Area:	1,164,794 S.F. (26.7 AC.)
Building Area:	379,559 S.F.

Parking Required

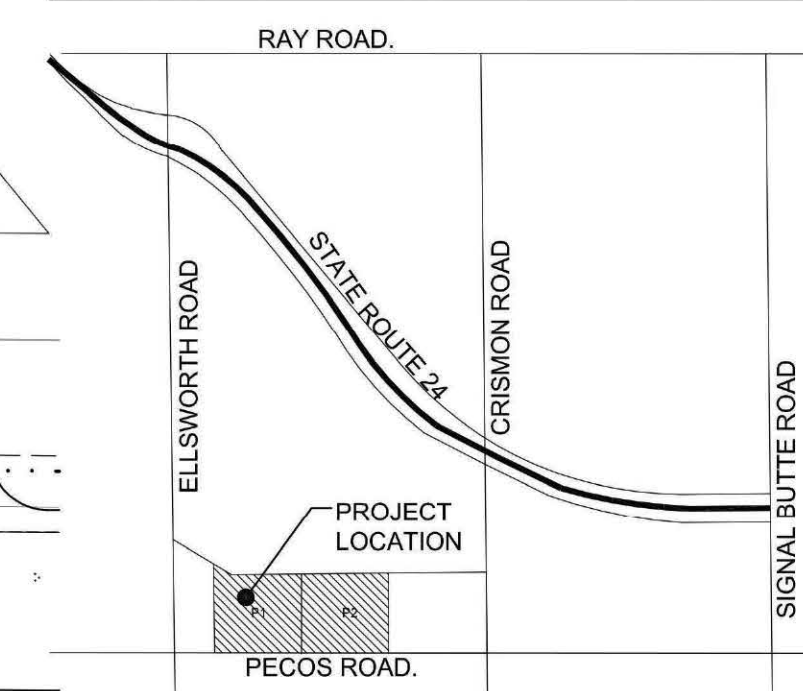
Office (17,600 S.F.) @ 1/375 S.F.:	47 Spaces
Warehouse (361,959 S.F.) @ 1/900 S.F.:	402 Spaces
Total Bldg. B Parking Required:	449 Spaces
Bldg. B Parking Provided:	316 Spaces
ADA Parking Required:	8 Spaces
ADA Parking Provided:	8 Spaces

Total Parking Required:	779 Spaces
Parking Provided:	653 Spaces

Total ADA Parking Required:	16 Spaces
Total ADA Parking Provided:	16 Spaces

Max Building Height Allowed:	40' Max.
Proposed Building Height:	46'-6" Max.

VICINITY MAP

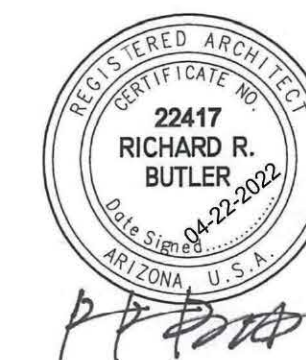


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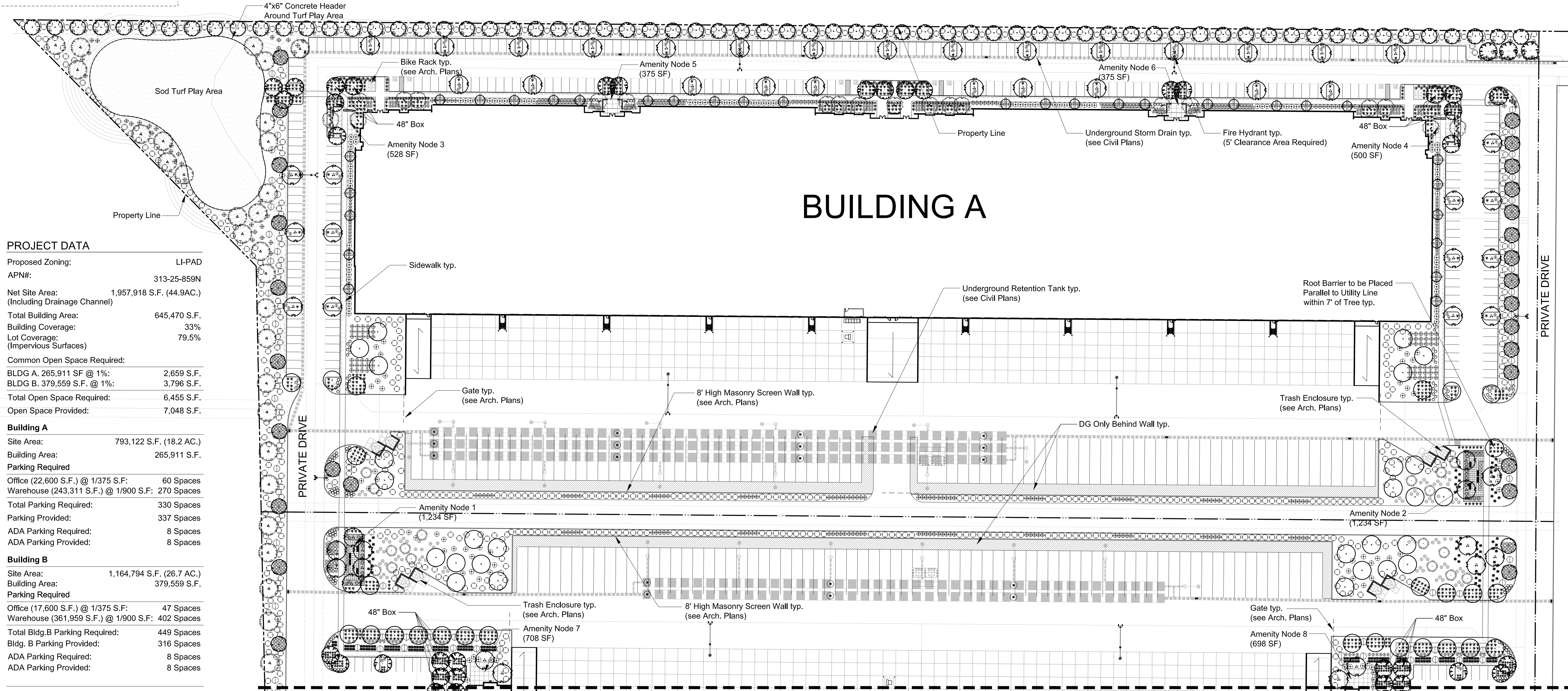


LEGACY BUSINESS PARK

Crismon Road & Pecos Road
Mesa, Arizona



Butler Design Group, Inc.
architects & planners



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LANDSCAPE LEGEND

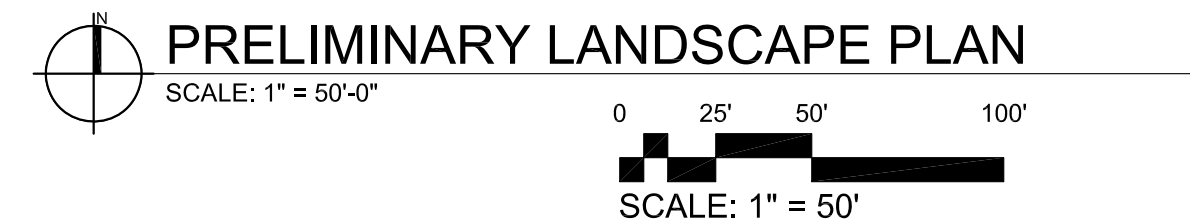
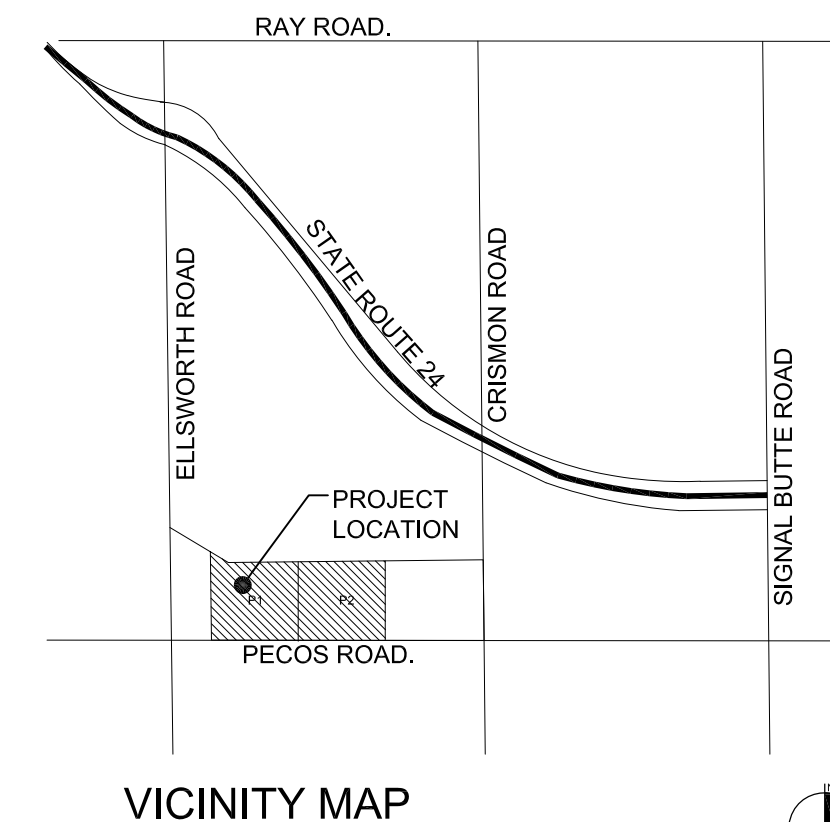
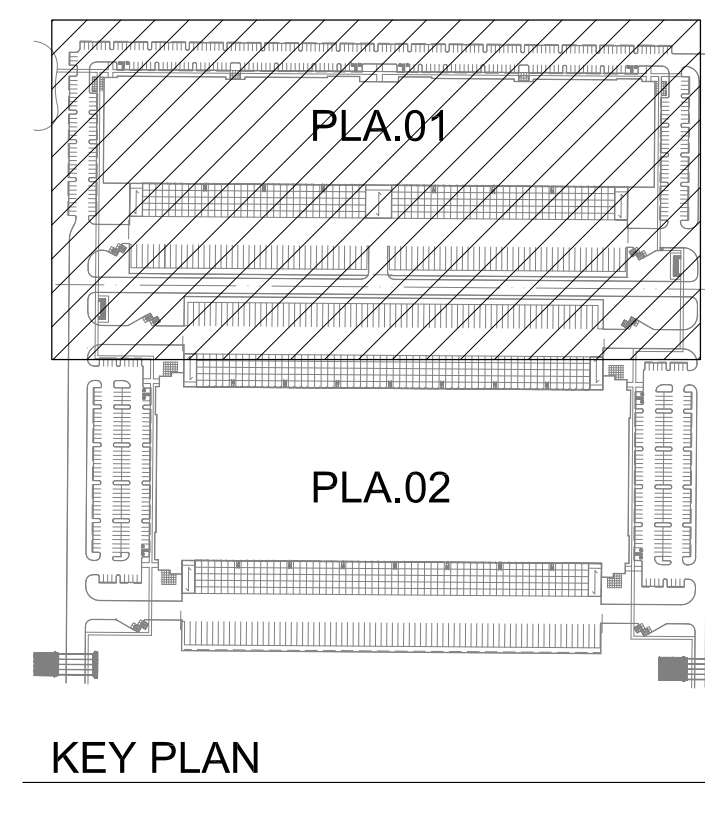
ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS (U.O.N. - UNLESS OTHERWISE NOTED) (tm trade marked Mountain States Nursery)

TREES and PALMS	SIZE	QTY
Acacia aneura Mulga Tree	24" Box UON 36" Box	120 29
Nerium oleander 'Tree Form' White Oleander Tree	36" Box Multi Trunk	29
Parkinsonia hybrid Desert Museum	24" Box Low Breaking Standards	90
Chilopsis linearis 'Bubba' Desert Willow 'Bubba'	15 Gallon Multi Trunk	30
Prosopis velutina Native Mesquite	15 Gallon Multi Trunk	39
Prosopis alba hybrid Copper's Thornless Mesquite	24" Box Multi Trunk	115
Quercus virginiana 'Heritage' Heritage Live Oak	36" Box U.O.N. 48" Box	45 38
Caesalpinia mexicana Mexican Bird of Paradise	15 Gallon Multi Trunk	45

SHRUBS / ACCENTS	SIZE	QTY
Caesalpinia gilliesii tm Yellow Bird of Paradise	5 Gallon	193
Hesperaloe parviflora 'Desert Dusk' Desert Dusk Yucca tm	5 Gallon	1526
Agave murphyi Murphy's Agave	5 Gallon	497
Hesperaloe funifera Giant Hesperaloe	5 Gallon	467
Eremophila hygrophana Blue Bell Emu	5 Gallon	450
Nolina texana Bear Grass	5 Gallon	156
Hesperaloe parviflora 'Yellow' Yellow Yucca	5 Gallon	938
Hesperaloe parviflora 'Perpa' Brakelight Red Yucca tm	5 Gallon	801
Bougainvillea 'Torch Glow' Torch Glow Bougainvillea	5 Gallon	271
Mulenbergia rigens Deer Grass	5 Gallon	632
Tecoma 'Orange Jubilee' Orange Jubilee	5 Gallon	1092
Leucophyllum 'Heavenly Cloud' Heavenly Cloud Sage	5 Gallon	30
Dodonaea viscosa Green Hopseed Bush	5 Gallon	146

GROUNDCOVERS	SIZE	QTY
Sod - Mid - Iron Hybrid Bermuda		
Eremophila glabra 'Mingnew Gold' Outback Sunrise Emu	1 Gallon	336
Lantana x Dallas Red Red Lantana	1 Gallon	277
Decomposed Granite 3/4" Screened Rock Pros Rose 2" min thickness in all landscape areas		
Grouted Rip-Rap 3" - 6" Rock Pros Rose 6" min thickness in all indicated areas, 80% visible rock required		
Decomposed Granite 1/2" Minus Rock Pros Rose 2" min thickness in all noted landscape areas		
Non Grouted Rip-Rap 1"-3" Screened Rock Pros Rose 6" min thickness in all indicated areas		
3/16" x 6" Steel Metal Header / Secure Every 48" with M8 Stake		
4"x6" Concrete Header		
Decomposed Granite 1" Screened Rock Pros Rose 2" min thickness in all noted landscape areas		
SUBMIT SAMPLES OF ALL INERT MATERIAL TO LA FOR APPROVAL		

MATCHLINE SEE SHEET PLA.02



GENERAL BUILDING FOUNDATION / IRRIGATION NOTES:

POSITIVE DRAINAGE NEEDS TO BE MAINTAINED FROM THE BUILDINGS EXTERIOR WALLS FOR A MINIMUM OF 10". NO IRRIGATED LANDSCAPE MATERIALS WITHIN THE FIRST 3' NEXT TO THE BUILDING FOUNDATION. WITHIN 3'-5' OF THE BUILDING FOUNDATION ONLY LANDSCAPE MATERIALS THAT CAN BE IRRIGATED WITH A 1 GPH EMITTER ARE ALLOWED. ANY LANDSCAPE MATERIALS REQUIRING AN EMITTER GREATER THAN 1GPH, INCLUDING TURF SHALL BE A MINIMUM OF 5' FROM THE OUTSIDE FACE OF THE BUILDING FOUNDATION. ALL IRRIGATION LINES, OTHER THAN THOSE SUPPLYING INDIVIDUAL EMITTERS SHALL NOT BE PLACED WITHIN 5' OF THE BUILDING FOUNDATION.

LEGACY BUSINESS PARK

Crismon Road & Pecos Road

Mesa, Arizona



LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
67 E. Weldon Ave.
Suite 230
Phoenix, Arizona 85012
p (602) 840-7771
f (602) 840-8021
www.laskindesign.com













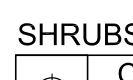
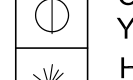
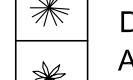



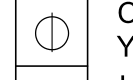
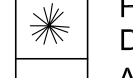
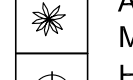
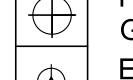
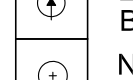
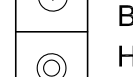
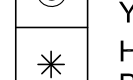
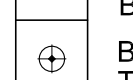
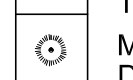
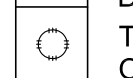
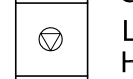



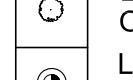
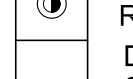



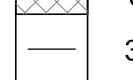

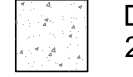
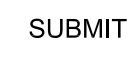



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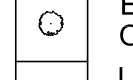
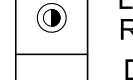



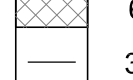
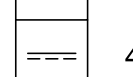

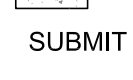


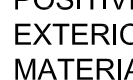
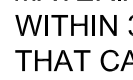

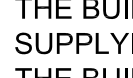

PLA.01
OF 3

LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
(U.O.N. - UNLESS OTHERWISE NOTED)
(tm trade marked Mountain States Nursery)

TREES and PALMS		SIZE	QTY
	Acacia aneura	24" Box UON	120
	Mulga Tree	36" Box	29
	Nerium oleander 'Tree Form'	36" Box	29
	White Oleander Tree	Multi Trunk	
	Parkinsonia hybrid	24" Box	90
	Desert Museum	Low Breaking Standards	
	Chilopsis linearis 'Bubba'	15 Gallon	30
	Desert Willow 'Bubba'	Multi Trunk	
	Prosopis velutina	15 Gallon	39
	Native Mesquite	Multi Trunk	
	Prosopis alba hybrid	24" Box	115
	Copper's Thornless Mesquite	Multi Trunk	
	Quercus virginiana "Heritage"	36" Box U.O.N.	45
	Heritage Live Oak	48" Box	38
	Caesalpinia mexicana	15 Gallon	45
	Mexican Bird of Paradise	Multi Trunk	

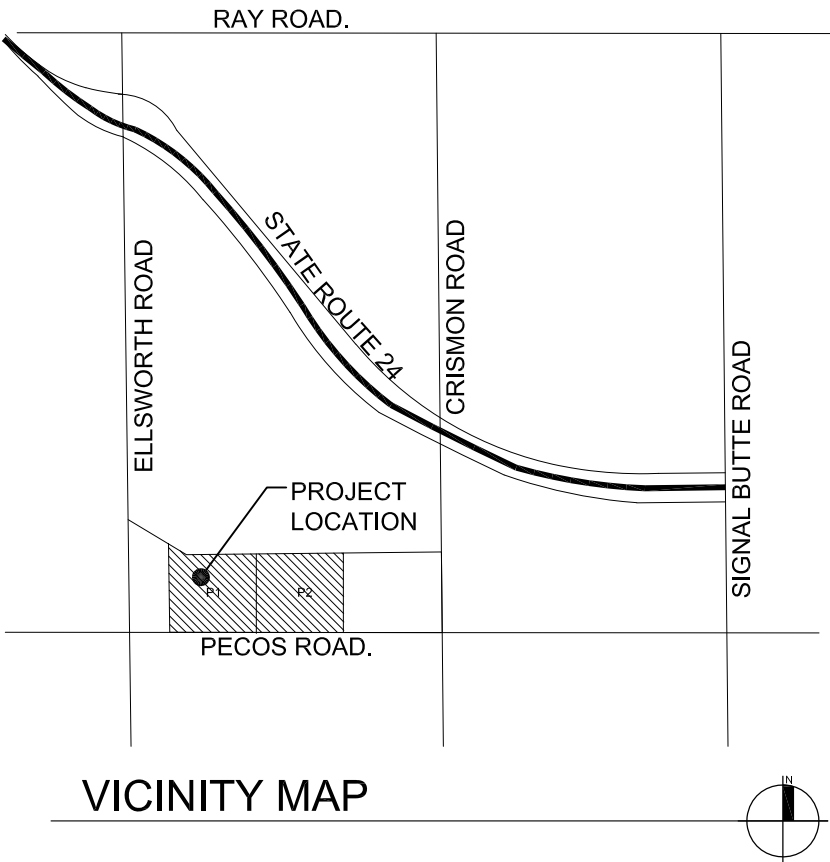
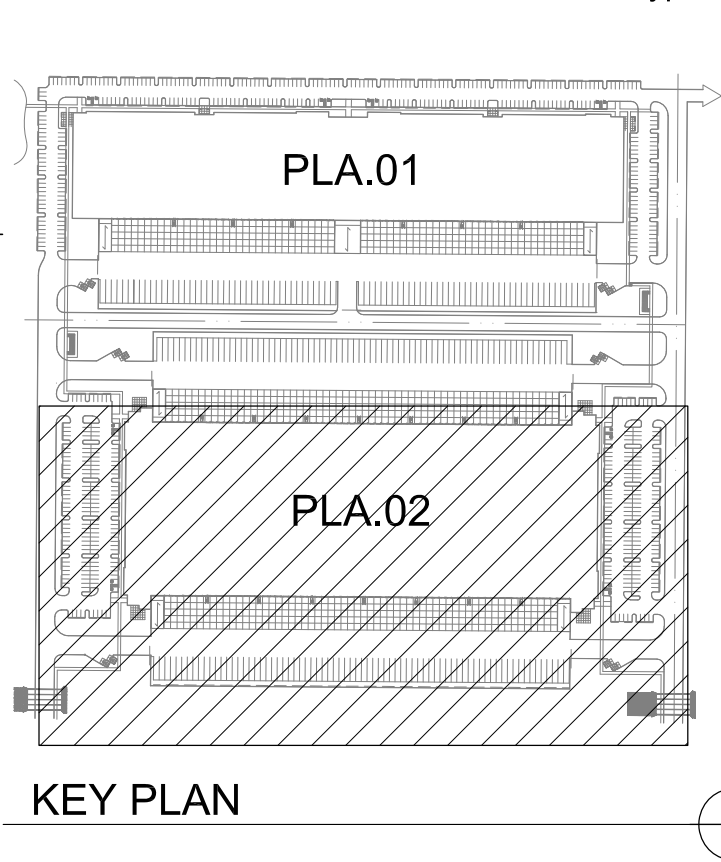
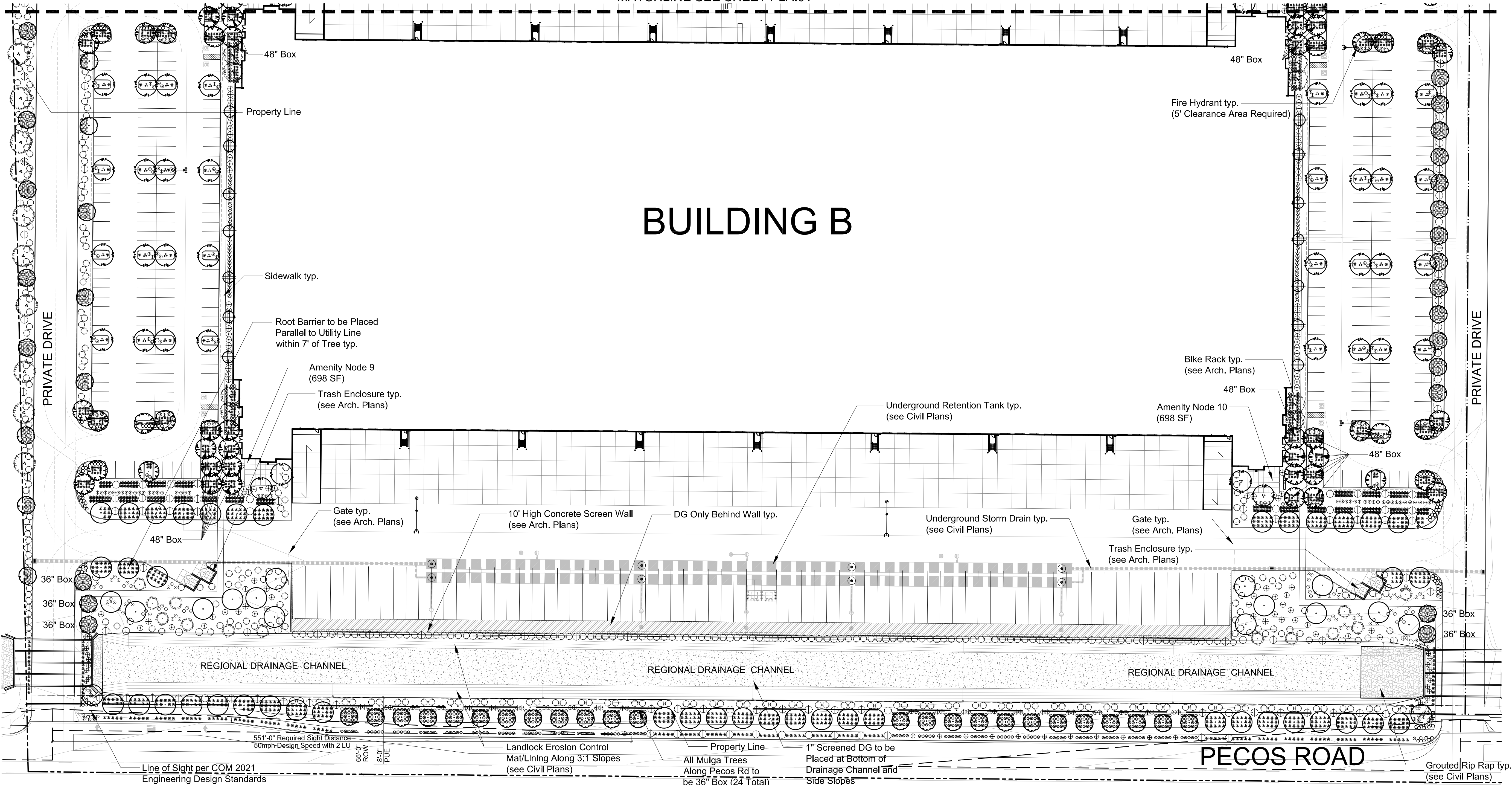
SHRUBS / ACCENTS		SIZE	QTY
	Caesalpinia gilliesii tm	5 Gallon	193
	Yellow Bird of Paradise		
	Hesperaloe parviflora 'Desert Dusk'	5 Gallon	1526
	Desert Dusk Yucca tm		
	Agave murphyi	5 Gallon	497
	Murphy's Agave		
	Hesperaloe funifera	5 Gallon	467
	Giant Hesperaloe		
	Eremophila hygrophana	5 Gallon	450
	Blue Bell Emu		
	Nolina texana	5 Gallon	156
	Bear Grass		
	Hesperaloe parviflora 'Yellow'	5 Gallon	938
	Yellow Yucca		
	Hesperaloe parviflora 'Perpa'	5 Gallon	801
	Brakelight Red Yucca tm		
	Bougainvillea 'Torch Glow'	5 Gallon	271
	Torch Glow Bougainvillea		
	Mulenbergia rigens	5 Gallon	632
	Deer Grass		
	Tecoma "Orange Jubilee"	5 Gallon	1092
	Orange Jubilee		
	Leucophyllum 'Heavenly Cloud'	5 Gallon	30
	Heavenly Cloud Sage		
	Dodonea viscosa	5 Gallon	146
	Green Hopseed Bush		

GROUNDCOVERS		SIZE	QTY
	Sod - Mid - Iron Hybrid Bermuda		
	Eremophila glabra "Mingnew Gold"	1 Gallon	336
	Outback Sunrise Emu		
	Lantana x Dallas Red	1 Gallon	277
	Red Lantana		
	Decomposed Granite 3" Screened Rock Pros Rose		
	2" min thickness in all landscape areas		
	Grouted Rip-Rap 3" - 6" Rock Pros Rose		
	6" min thickness in all indicated areas, 80% visible rock required		
	Decomposed Granite 1/2" Minus Rock Pros Rose		
	2" min thickness in all noted landscape areas		
	Non Grouted Rip-Rap 1"-3" Screened Rock Pros Rose		
	6" min thickness in all indicated areas		
	3/16" x 6" Steel Metal Header / Secure Every 48" with MtI Stake		
	4"x6" Concrete Header		
	Decomposed Granite 1" Screened Rock Pros Rose		
	2" min thickness in all noted landscape areas		

SUBMIT SAMPLES OF ALL INERT MATERIAL TO LA FOR APPROVAL

GENERAL BUILDING FOUNDATION / IRRIGATION NOTES:

POSITIVE DRAINAGE NEEDS TO BE MAINTAINED FROM THE BUILDINGS EXTERIOR WALLS FOR A MINIMUM OF 10'. NO IRRIGATED LANDSCAPE MATERIALS WITHIN THE FIRST 3' NEXT TO THE BUILDING FOUNDATION. WITHIN 3'-5' OF THE BUILDING FOUNDATION ONLY LANDSCAPE MATERIALS THAT CAN BE IRRIGATED WITH A 1 GPH EMITTER ARE ALLOWED. ANY LANDSCAPE MATERIALS REQUIRING AN EMITTER GREATER THAN 1 GPH, INCLUDING TURF SHALL BE A MINIMUM OF 5' FROM THE OUTSIDE FACE OF THE BUILDING FOUNDATION. ALL IRRIGATION LINES, OTHER THAN THOSE SUPPLYING INDIVIDUAL EMITTERS SHALL NOT BE PLACED WITHIN 5' OF THE BUILDING FOUNDATION.



SHADE COVERAGE CALCULATIONS

TOTAL SIDEWALK SF FOR ENTIRE SITE: 34,961 SF

TOTAL TREES ADJACENT TO SIDEWALK ROUTE: 245

TREE BREAKDOWN:

- ACACIA ANEURA
 - 15' DIAMETER CANOPY AT MATURITY (177 SF)
 - TOTAL: 31
- NERIUM OLEANDER 'TREE FORM'
 - 15' DIAMETER CANOPY AT MATURITY (177 SF)
 - TOTAL: 27
- PARKINSONIA HYBRID
 - 20' DIAMETER CANOPY AT MATURITY (314 SF)
 - TOTAL: 30
- CHILOPSIS LINEARIS 'BUBBA'
 - 15' DIAMETER CANOPY AT MATURITY (177 SF)
 - TOTAL: 05
- PROSOPIS ALBA HYBRID
 - 20' DIAMETER CANOPY AT MATURITY (314 SF)
 - TOTAL: 53

- QUERCUS VIRGINIANA 'HERITAGE'
 - 25' DIAMETER CANOPY AT MATURITY (419 SF)
 - TOTAL: 54
- CAESALPINIA MEXICANA
 - 10' DIAMETER CANOPY AT MATURITY (79 SF)
 - TOTAL: 45

TOTAL SF OF TREE CANOPIES AT MATURITY: 67,282 SF

ASSUMING 33% OF TREE CANOPY SF WILL SHADE SIDEWALK

TOTAL NUMBER OF TREES WILL SHADE 22,203 SF OF SIDEWALK
34,961 SF OF SIDEWALK / 22,203 SF OF SHADE: 63.5% COVERAGE

PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 50'-0"

0 25' 50' 100'
SCALE: 1" = 50'



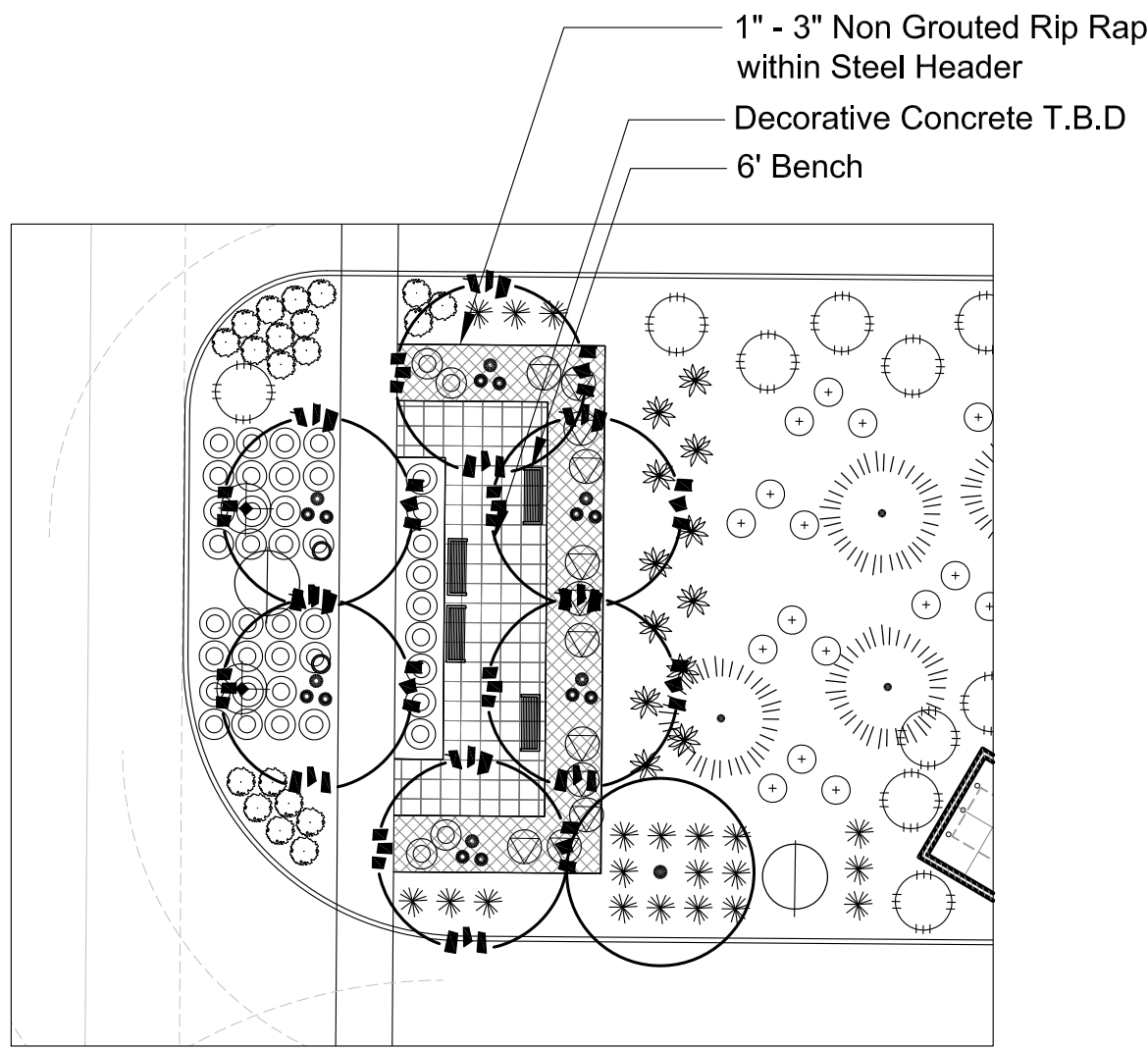
LEGACY BUSINESS PARK
Crismon Road & Pecos Road
Mesa, Arizona



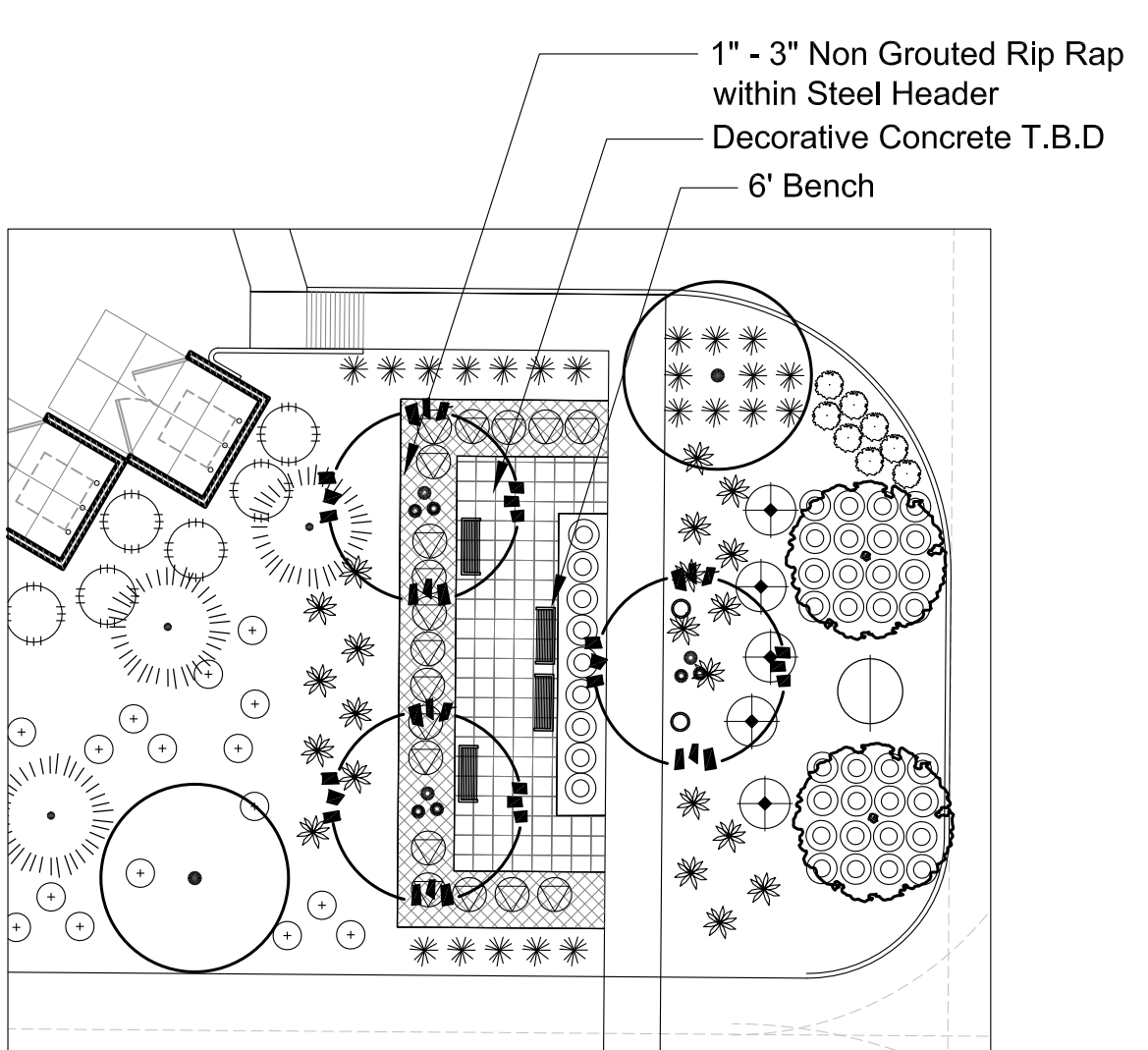
LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
67 E. Weldon Ave.
Suite 230
Phoenix, Arizona 85012
P (602) 840-7771
F (602) 840-8021
www.laskindesign.com

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PLA.02
OF 3



AMENITY ENLARGEMENT 1" = 20'
NODE 1



AMENITY ENLARGEMENT 1" = 20'
NODE 2

AMENITY NODE LEGEND

	Non Grouted Rip-Rap 1" - 3" (Color: Rock Pros Rose) Bury 2" Into Grade; 6" Minimum Thickness in Noted Areas
	Decoartive Concrete (Color: T.B.D.)
	3/16" x 6" Steel Header Secure Every 48" with Metal Stake
	Amenity Node Furniture by Owner (T.B.D.)

AMENITY NODE CALCULATIONS:

AMENITY NODE 1	1234 SF	LANDSCAPE NODES
AMENITY NODE 2	1234 SF	
AMENITY NODE 3	528 SF	
AMENITY NODE 4	500 SF	
AMENITY NODE 5	375 SF	
AMENITY NODE 6	375 SF	ARCH NODES
AMENITY NODE 7	708 SF	
AMENITY NODE 8	698 SF	
AMENITY NODE 9	698 SF	
AMENITY NODE 10	698 SF	

TOTALS

REQUIRED:	6,450 SF
PROVIDED:	7,048 SF

OPEN SPACE CALCULATIONS

TOTAL LANDSCAPE AREA +/- 21.6%: 421,958 S.F. (9.7 ACRES)

LANDSCAPE COVERAGE:

- EVERGREE TREES	32,700 SF
- SHADE TREES	8,950 SF
- ORNAMENTAL TREES	1,850 SF
- LARGE SHRUBS	85,100 SF
- MEDIUM SHRUBS	79,250 SF
- SMALL SHRUBS	23,270 SF
- GROUNDCOVER	15,325 SF
421,958 SF LS AREA / 246,445 SF OPEN SPACE COVERAGE = 58.4%	
(MINIMUM 50% REQUIRED PER 11-33-2: - GENERAL REQUIREMENTS SECTION E - OPEN SPACE)	

AMENITY NODES AREA:

- SINGLE NODE: MINIMUM 256 S.F. (16' X 16')
- TOTAL AMENITY NODES (10): 7,048 S.F. (0.16 ACRES)

PROJECT DATA

Proposed Zoning:	LI-PAD
APN#:	313-25-859N
Net Site Area:	1,957,918 S.F. (44.9AC.)
(Including Drainage Channel)	
Total Building Area:	645,470 S.F.
Building Coverage:	33%
Lot Coverage:	79.5%
(Impervious Surfaces)	
Common Open Space Required:	
BLDG A. 265,911 SF @ 1%:	2,659 S.F.
BLDG B. 379,559 S.F. @ 1%:	3,796 S.F.
Total Open Space Required:	6,455 S.F.
Open Space Provided:	7,048 S.F.

Building A

Site Area:	793,122 S.F. (18.2 AC.)
Building Area:	265,911 S.F.
Parking Required	
Office (22,600 S.F.) @ 1/375 S.F.:	60 Spaces
Warehouse (243,311 S.F.) @ 1/900 S.F.:	270 Spaces
Total Parking Required:	330 Spaces
Parking Provided:	337 Spaces
ADA Parking Required:	8 Spaces
ADA Parking Provided:	8 Spaces

Building B

Site Area:	1,164,794 S.F. (26.7 AC.)
Building Area:	379,559 S.F.
Parking Required	
Office (17,600 S.F.) @ 1/375 S.F.:	47 Spaces
Warehouse (361,959 S.F.) @ 1/900 S.F.:	402 Spaces
Total Bldg.B Parking Required:	449 Spaces
Bldg. B Parking Provided:	316 Spaces
ADA Parking Required:	8 Spaces
ADA Parking Provided:	8 Spaces

Total Parking Required:	779 Spaces
Parking Provided:	653 Spaces
Total ADA Parking Required:	16 Spaces
Total ADA Parking Provided:	16 Spaces
Max Building Height Allowed:	40' Max.
Proposed Building Height:	46'-6" Max.

PRELIMINARY LANDSCAPE PLAN GENERAL NOTES:

- THE ENTIRE SITE WILL BE MAINTAINED IN ACCORDANCE WITH CITY OF MESA STANDARDS.
- ALL TREES WILL BE 15 GALLON OR LARGER.
- AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.
- DECOMPOSED GRANITE, 2" MINIMUM THICKNESS, TO BE PLACED IN ALL LANDSCAPE AREAS NOT DESIGNATED FOR RIP-RAP OR LAWN.
- ALL EARTHWORK WILL BE DONE SO THAT ALL WATER DRAINS AWAY FROM SIDEWALKS / STRUCTURES AND WILL NOT IMPEDE NATURAL DRAINAGE EASEMENTS.
- STRUCTURES AND LANDSCAPING WITHIN A SIGHT VISIBILITY TRIANGLE OR SIGHT VISIBILITY LINE WILL NOT EXCEED 24" INCHES.
- FINAL LANDSCAPE PLANS TO MEET OR EXCEED MINIMUM CITY STANDARDS.

EXISTING SITE CONDITION NOTES:

EXISTING STREETScape LANDSCAPE AND IRRIGATION WAS FIELD VERIFIED ON 01/24/2022. ALL PLANT MATERIAL SHOWN WAS FOUND TO BE HEALTHY. IRRIGATION SYSTEM CURRENTLY WORKING PROPERLY. GENERAL CONTRACTOR TO HOLD A PRE-CON MEETING BETWEEN LANDSCAPE ARCHITECT, LANDSCAPE CONTRACTOR, TO REVIEW THE CURRENT CONDITION OF AREAS TO BE PROTECTED IN PLACE PRIOR TO NEW CONSTRUCTION OR AGREES TO BE HELD TO SITE CONDITIONS RECORDED ON 01/24/2022 BY LASKIN AND ASSOCIATES IF EXISTING LANDSCAPE DECLINES OR IRRIGATION SYSTEM IS DAMAGED DURING NEW CONSTRUCTION.

GENERAL BUILDING FOUNDATION / IRRIGATION NOTES:

POSITIVE DRAINAGE NEEDS TO BE MAINTAINED FROM THE BUILDINGS EXTERIOR WALLS FOR A MINIMUM OF 10'. NO IRRIGATED LANDSCAPE MATERIALS WITHIN THE FIRST 3' NEXT TO THE BUILDING FOUNDATION. WITHIN 3'-5' OF THE BUILDING FOUNDATION ONLY LANDSCAPE MATERIALS THAT CAN BE IRRIGATED WITH A 1 GPH EMITTER ARE ALLOWED. ANY LANDSCAPE MATERIALS REQUIRING AN EMITTER GREATER THAN 1GPH, INCLUDING TURF SHALL BE A MINIMUM OF 5' FROM THE OUTSIDE FACE OF THE BUILDING FOUNDATION. ALL IRRIGATION LINES, OTHER THAN THOSE SUPPLYING INDIVIDUAL EMITTERS SHALL NOT BE PLACED WITHIN 5' OF THE BUILDING FOUNDATION.

PROJECT TEAM

Developer
Merit Partnes, Inc
2555 East Camelback Road Suite 180
Phoenix, Arizona 85016
Contact: Nic Fischer
Ph: (480.483.0360)
Em: nic@MPIAZ.com

Civil Engineer
Hilgart Wilson
2141 E Highland Avenue. Ste 250
Phoenix, Arizona 85016
Contact: Casey Whiteman
Ph: (602) 730-3835
Em: CWhiteman@HilgartWilson.com

Architect
Butler Design Group
5017 E. Washington St. Ste 107
Phoenix, Arizona 85034
Contact: Rick Butler
Ph: (602) 957-1800
Em: rbutler@butlerdesigngroup.com

Landscape Architect
Laskin and Associates, Inc
67 E. Weldon Avenue, Ste. 230
Phoenix, Arizona 85012
Contact: Hardy Laskin
Ph: (602) 840-7771
Em: hardy@laskindesign.com

LEGACY BUSINESS PARK
Crismon Road & Pecos Road
Mesa, Arizona



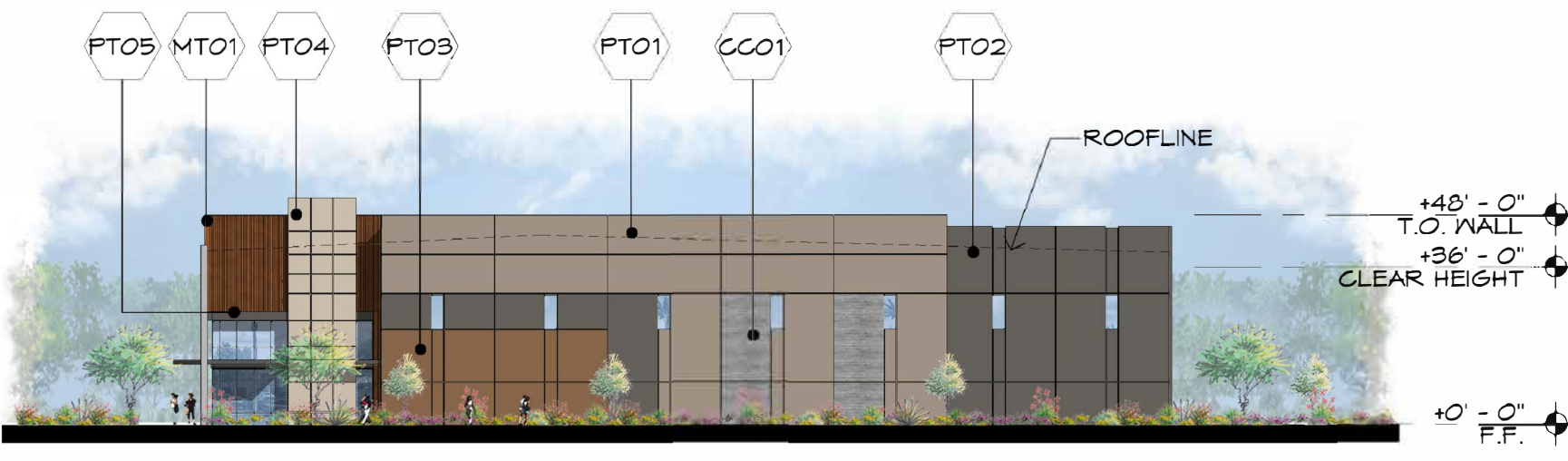
Butler Design Group, Inc
architects & planners

PLA.03
OF 3

PRELIMINARY LANDSCAPE PLAN
NODE ENLARGEMENTS 04-22-2022
21061_ST11



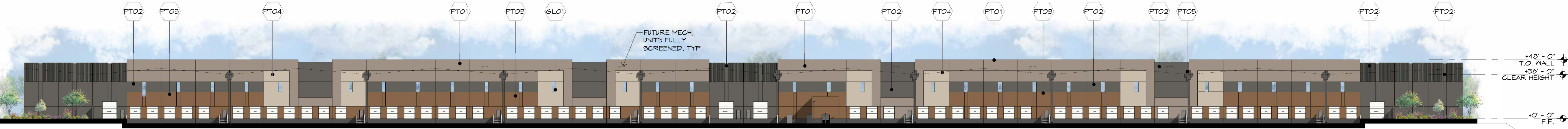
1 BUILDING A NORTH ELEVATION
SCALE: 1" = 40'-0"



2 BUILDING A WEST ELEVATION
SCALE: 1" = 40'-0"



3 BUILDING A EAST ELEVATION
SCALE: 1" = 40'-0"



4 BUILDING A SOUTH ELEVATION
SCALE: 1" = 40'-0"

Building Elevation Material Calculations							
Building A		North (Front)		West (Side)		East (Side)	
		Area	%	Area	%	Area	%
	Tilt Concrete	37,870	64%	11,153	76%	11,153	76%
	Glass	5,350	9%	827	5%	827	5%
	Steel	737	1.5%	145	1%	145	1%
	Vine Trellis	182	.5%	0	0%	0	0%
	Rustic Steel	6,300	10%	1,740	12%	1,740	12%
	Conc. Boardform	8,703	15%	684	3%	684	3%
	Total	59,142		14,549		14,549	

MATERIAL / COLOR SCHEDULE						#
MARK	DESCRIPTION	FINISH/COLOR	MODEL	MANUFACTURER	COMMENTS	
CC01	BOARD FORM CONCRETE	TBD			-	
SLO1	1" INSULATED GLAZING	LOOKING GLASS	-	VIRACON	-	
MT1	DECORATIVE STEEL ELEMENTS	WEATHERED STEEL	TBD		-	
MT01	RUSTIC STEEL	CLASSIC RUST	K5	OCM	-	
MT02	HI-MANUAL LIFT DOOR	FACTORY FINISH "WHITE"	-	-	DOCK DOORS	
PT01	CONC. TILT PANEL - PAINTED	BISON BEIGE	DEC750	DUNN EDWARDS	-	
PT02	CONC. TILT PANEL - PAINTED	BOAT ANCHOR	DE6377	DUNN EDWARDS	-	
PT03	CONC. TILT PANEL - PAINTED	WILD HORSES	DET603	DUNN EDWARDS	-	
PT04	CONC. TILT PANEL - PAINTED	BIRCHWOOD	DEC752	DUNN EDWARDS	-	
PT05	PAINTED STEEL	JET	DE6370	DUNN EDWARDS	STEEL CANOPIES	
PT06	CONC. TILT PANEL - PAINTED	MINDFUL GRAY	SWT016	SHERWIN WILLIAMS	-	
PT07	CONC. TILT PANEL - PAINTED	DOVETAIL	SWT018	SHERWIN WILLIAMS	-	



BUILDING A ELEVATIONS

LEGACY BUSINESS PARK

Crismon Road & Pecos Road
Mesa, Arizona



EL1



03/25/22
21061



1 BUILDING B NORTH ELEVATION
SCALE: 1" = 40'-0"



2 BUILDING B WEST ELEVATION
SCALE: 1" = 40'-0"



3 BUILDING B EAST ELEVATION
SCALE: 1" = 40'-0"



4 BUILDING B SOUTH ELEVATION
SCALE: 1" = 40'-0"

Building Elevation Material Calculations					
Building B		West (Side)		East (Side)	
		Area	%	Area	%
	Tilt Concrete	18,540	71%	18,540	71%
	Glass	1,840	7%	1,840	7%
	Steel	290	1.5%	290	1.5%
	Vine Trellis	40	.5%	40	.5%
	Rustic Steel	1,850	7%	1,850	7%
	Conc. Boardform	3,340	10%	3,340	10%
	Total	25,900		25,900	

MATERIAL / COLOR SCHEDULE					#
MARK	DESCRIPTION	FINISH/COLOR	MODEL	MANUFACTURER	COMMENTS
CC01	BOARD FORM CONCRETE	TBD			-
GL01	1" INSULATED GLAZING	LOOKING GLASS	-	VIRACON	-
MT1	DECORATIVE STEEL ELEMENTS	WEATHERED STEEL	TBD		-
MT01	RUSTIC STEEL	CLASSIC RUST	K5	OCM	-
MT02	HI-MANUAL LIFT DOOR	FACTORY FINISH "WHITE"	-	-	DOCK DOORS
PT01	CONC. TILT PANEL - PAINTED	BISON BEIGE	DEC750	DUNN EDWARDS	-
PT02	CONC. TILT PANEL - PAINTED	BOAT ANCHOR	DE6311	DUNN EDWARDS	-
PT03	CONC. TILT PANEL - PAINTED	WILD HORSES	DET603	DUNN EDWARDS	-
PT04	CONC. TILT PANEL - PAINTED	BIRCHWOOD	DEC752	DUNN EDWARDS	-
PT05	PAINTED STEEL	JET	DE6310	DUNN EDWARDS	STEEL CANOPIES
PT06	CONC. TILT PANEL - PAINTED	MINDFUL GRAY	SMT016	SHERWIN WILLIAMS	-
PT07	CONC. TILT PANEL - PAINTED	DOVETAIL	SMT010	SHERWIN WILLIAMS	-



BUILDING B ELEVATIONS

LEGACY BUSINESS PARK

Crismon Road & Pecos Road
Mesa, Arizona



EL2



Butler Design Group, Inc
architects & planners

03/25/22
21061

TAB C

GAMMAGE & BURNHAM, PLC

ATTORNEYS AT LAW

40 NORTH CENTRAL AVENUE

20TH FLOOR

PHOENIX, ARIZONA 85004

TELEPHONE (602) 256-0566

FACSIMILE (602) 256-4475

Dennis M. Newcombe

DIRECT (602) 256-4446

E-Mail Address: dnewcombe@gblaw.com

May 4, 2022

VIA U.S. MAIL

Re: Notice of Applications Filed / Virtual Neighborhood Meeting.
City of Mesa Reference Numbers: ANX22-00266, ZON22-00268, & DRB22-00336.
Approximately 88.39 Net Acres of Vacant Land.
Located East of Ellsworth Road and North of Pecos Road.

Dear Property Owner or Registered Neighborhood Association:

We represent Merit Partners, Inc., our client, who is currently under contract to purchase the approximately 88.39 acres of vacant land located east of Ellsworth Road and north of Pecos Road (the "Property"). (See the Attached: Property Location Map) We have recently submitted to the City of Mesa Development Services Department, Planning Division, three (3) application requests, they are for: annexation, rezoning/site plan review, and design review. These three (3) applications being requested will allow for the proposed development of a quality; dual-phased industrial project called the Legacy Business Park within proximity of the Phoenix-Mesa Gateway Airport.

The Property is currently vacant, undeveloped land within the jurisdiction of Maricopa County and is zoned a combination of Airport Districts 1 and 2, General Industrial, and Rural-43. An annexation application was filed with the City (Case Number: ANX22-00266) to bring the Property into the City of Mesa. The Property will then be currently rezoned to the City's Light Industrial ("LI") zoning classification, with a Planned Area Development ("PAD") overlay along with site plan/design review approvals. (Cases: ZON22-00268 & DRB22-00336) Thus, the LI provides a desired level of uses and development standards for the project, while the PAD overlay will provide for appropriate modifications for the specific proposal and intended end users consistent with the market.

More specifically, the first phase of the Legacy Business Park, which encompasses the west approximate 44.9 acres of the Property, includes the development of roughly 645,000 square feet of new manufacturing and processing, wholesaling, research, warehousing, e-commerce, data center, and distribution activity space. The proposed site plan includes two (2) flexible industrial buildings, which are oriented to provide multiple access points centered around a central, gated loading area to provide screening of back-of-house activities. The proposed buildings will feature superior design materials and layout to attract the highest quality tenants within this growing market. The future tenants will range from local, regional, and national businesses. (See Attached: Proposed Site Plan/ Building Elevations) The second phase, which is not part of the initial site and design review applications, will likely mirror the layout and design of the first development phase.

In summation, the proposed LI PAD zoning and site plan/design for the Legacy Business Park are consistent with the City's General Plan, zoning in the area, and other developments/recent approvals that have occurred in the area over the years.

With that being said, please accept this letter as an invitation to attend a Virtual Neighborhood Meeting, which is being held to discuss our client's site plan/design proposal. The details of the Virtual Neighborhood Meeting are as follows:

VIRTUAL NEIGHBORHOOD MEETING

Thursday, May 19, 2022, 6:00 PM

To register for the Virtual Neighborhood Meeting, please visit www.gblaw.com/merit. For assistance with registration, please contact Ellie Brundige, Gammage & Burnham Land Use Planner, at (602) 256-4409 – or – ebrundige@gblaw.com.

Please Note: Specific formal city meeting/hearing dates have not yet been set. You should receive a subsequent mailing identifying the dates and locations of meetings/hearings when they have been scheduled.

In the meantime, should you have any questions or cannot attend the upcoming virtual neighborhood meeting and would like more information, please feel free to contact me at:

Dennis M. Newcombe with Gammage & Burnham
(602) 256-4446 – or – via e-mail: dnewcombe@gblaw.com

If you require additional information from the City of Mesa Development Services Department, Planning Division, please contact our City representative.

Josh Grandlienard, Planner II
(480) 644-4691 – or – via e-mail: Joshua.Grandlienard@MesaAZ.gov

We appreciate your time and consideration.

Very truly yours,

GAMMAGE AND BURNHAM, PLC

Dennis M. Newcombe

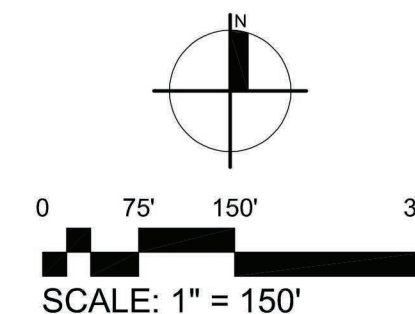
Dennis M. Newcombe
Senior Land Use Planner

Enclosures: Property Location Map
Proposed Site Plan/Building Elevations

AERIAL MAP



Subject Property



PROJECT DATA

Proposed Zoning:	LI-PAD
APN#:	313-25-859N
Net Site Area:	1,957,918 S.F. (44.9AC.)
(Including Drainage Channel)	
Total Building Area:	645,470 S.F.
Building Coverage:	33%
Lot Coverage:	79.5%
(Impervious Surfaces)	
Common Open Space Required:	
BLDG A, 265,911 SF @ 1%:	2,659 S.F.
BLDG B, 379,559 S.F. @ 1%:	3,796 S.F.
Total Open Space Required:	6,455 S.F.
Open Space Provided:	7,048 S.F.

Building A

Site Area:	793,122 S.F. (18.2 AC.)
Building Area:	265,911 S.F.

Parking Required

Office (22,600 S.F.) @ 1/375 S.F.:	60 Spaces
Warehouse (243,311 S.F.) @ 1/900 S.F.:	270 Spaces
Total Parking Required:	330 Spaces
Parking Provided:	337 Spaces
ADA Parking Required:	8 Spaces
ADA Parking Provided:	8 Spaces

Building B

Site Area:	1,164,794 S.F. (26.7 AC.)
Building Area:	379,559 S.F.

Parking Required

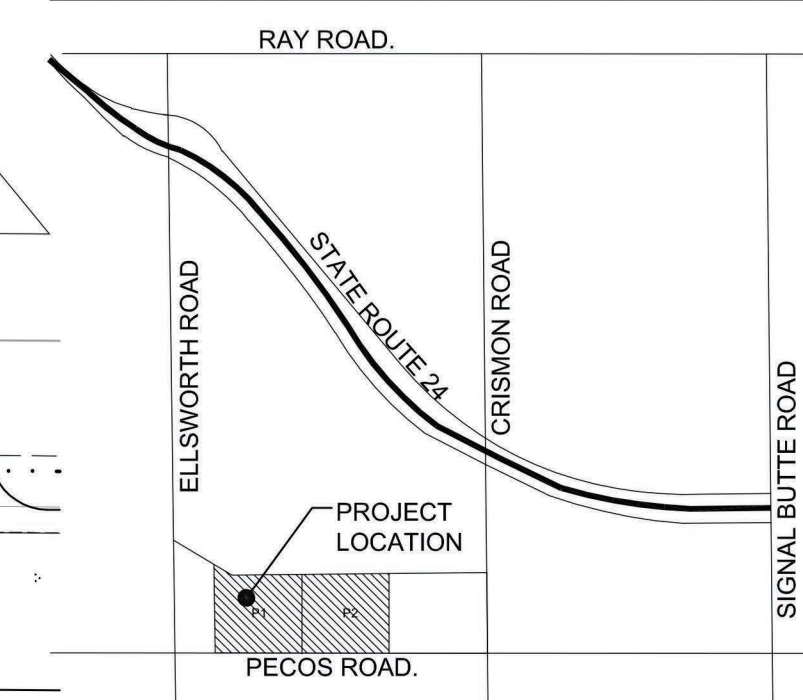
Office (17,600 S.F.) @ 1/375 S.F.:	47 Spaces
Warehouse (361,959 S.F.) @ 1/900 S.F.:	402 Spaces
Total Bldg.B Parking Required:	449 Spaces
Bldg. B Parking Provided:	316 Spaces
ADA Parking Required:	8 Spaces
ADA Parking Provided:	8 Spaces

Total Parking Required:	779 Spaces
Parking Provided:	653 Spaces

Total ADA Parking Required:	16 Spaces
Total ADA Parking Provided:	16 Spaces

Max Building Height Allowed:	40' Max.
Proposed Building Height:	46'-6" Max.

VICINITY MAP



04-14-2022
21061_ST13



LEGACY BUSINESS PARK

Crismon Road & Pecos Road
Mesa, Arizona



Butler Design Group, Inc.
architects & planners



1 BUILDING A NORTH ELEVATION
SCALE: 1" = 40'-0"



2 BUILDING A WEST ELEVATION
SCALE: 1" = 40'-0"



3 BUILDING A EAST ELEVATION
SCALE: 1" = 40'-0"



4 BUILDING A SOUTH ELEVATION
SCALE: 1" = 40'-0"

Building Elevation Material Calculations							
Building A		North (Front)		West (Side)		East (Side)	
		Area	%	Area	%	Area	%
	Tilt Concrete	37,870	64%	11,153	76%	11,153	76%
	Glass	5,350	9%	827	5%	827	5%
	Steel	737	1.5%	145	1%	145	1%
	Vine Trellis	182	.5%	0	0%	0	0%
	Rustic Steel	6,300	10%	1,740	12%	1,740	12%
	Conc. Boardform	8,703	15%	684	3%	684	3%
	Total	59,142		14,549		14,549	

MATERIAL / COLOR SCHEDULE					
MARK	DESCRIPTION	FINISH/COLOR	MODEL	MANUFACTURER	COMMENTS
CC01	BOARD FORM CONCRETE	TBD			
SLO1	1" INSULATED GLAZING	LOOKING GLASS	-	VIRACON	
MT1	DECORATIVE STEEL ELEMENTS	WEATHERED STEEL	TBD		
MT01	RUSTIC STEEL	CLASSIC RUST	K5	OCM	
MT02	HI-MANUAL LIFT DOOR	FACTORY FINISH "WHITE"	-		DOCK DOORS
PT01	CONC. TILT PANEL - PAINTED	BISON BEIGE	DEC750	DUNN EDWARDS	
PT02	CONC. TILT PANEL - PAINTED	BOAT ANCHOR	DE6377	DUNN EDWARDS	
PT03	CONC. TILT PANEL - PAINTED	WILD HORSES	DET603	DUNN EDWARDS	
PT04	CONC. TILT PANEL - PAINTED	BIRCHWOOD	DEC752	DUNN EDWARDS	
PT05	PAINTED STEEL	JET	DE6370	DUNN EDWARDS	STEEL CANOPIES
PT06	CONC. TILT PANEL - PAINTED	MINDFUL GRAY	SWT016	SHERWIN WILLIAMS	
PT07	CONC. TILT PANEL - PAINTED	DOVETAIL	SWT018	SHERWIN WILLIAMS	



BUILDING A ELEVATIONS

LEGACY BUSINESS PARK

Crismon Road & Pecos Road

Mesa, Arizona



EL1



03/25/22
21061



1 BUILDING B NORTH ELEVATION
SCALE: 1" = 40'-0"



2 BUILDING B WEST ELEVATION
SCALE: 1" = 40'-0"



3 BUILDING B EAST ELEVATION
SCALE: 1" = 40'-0"



4 BUILDING B SOUTH ELEVATION
SCALE: 1" = 40'-0"

Building Elevation Material Calculations					
Building B		West (Side)		East (Side)	
		Area	%	Area	%
	Tilt Concrete	18,540	71%	18,540	71%
	Glass	1,840	7%	1,840	7%
	Steel	290	1.5%	290	1.5%
	Vine Trellis	40	.5%	40	.5%
	Rustic Steel	1,850	7%	1,850	7%
	Conc. Boardform	3,340	10%	3,340	10%
	Total	25,900		25,900	

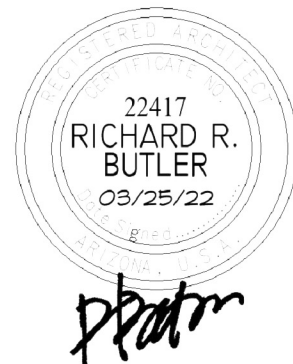
MATERIAL / COLOR SCHEDULE					#
MARK	DESCRIPTION	FINISH/COLOR	MODEL	MANUFACTURER	COMMENTS
CC01	BOARD FORM CONCRETE	TBD			-
GL01	1" INSULATED GLAZING	LOOKING GLASS	-	VIRACON	-
MT1	DECORATIVE STEEL ELEMENTS	WEATHERED STEEL	TBD		-
MT01	RUSTIC STEEL	CLASSIC RUST	K5	OCM	-
MT02	HI-MANUAL LIFT DOOR	FACTORY FINISH "WHITE"	-	-	DOCK DOORS
PT01	CONC. TILT PANEL - PAINTED	BISON BEIGE	DEC750	DUNN EDWARDS	-
PT02	CONC. TILT PANEL - PAINTED	BOAT ANCHOR	DE6311	DUNN EDWARDS	-
PT03	CONC. TILT PANEL - PAINTED	WILD HORSES	DET603	DUNN EDWARDS	-
PT04	CONC. TILT PANEL - PAINTED	BIRCHWOOD	DEC752	DUNN EDWARDS	-
PT05	PAINTED STEEL	JET	DE6310	DUNN EDWARDS	STEEL CANOPIES
PT06	CONC. TILT PANEL - PAINTED	MINDFUL GRAY	SMT016	SHERWIN WILLIAMS	-
PT07	CONC. TILT PANEL - PAINTED	DOVETAIL	SMT010	SHERWIN WILLIAMS	-



BUILDING B ELEVATIONS

LEGACY BUSINESS PARK

Crismon Road & Pecos Road
Mesa, Arizona



EL2



Butler Design Group, Inc
architects & planners

03/25/22
21061

TAB D

GAMMAGE & BURNHAM, PLC

ATTORNEYS AT LAW
40 NORTH CENTRAL AVENUE
20TH FLOOR
PHOENIX, ARIZONA 85004
TELEPHONE (602) 256-0566
FACSIMILE (602) 256-4475

Dennis M. Newcombe
DIRECT (602) 256-4446
E-Mail Address: dnewcombe@gblaw.com

May 23, 2022

Notice of Public Hearing

VIA U.S. MAIL

P&Z Board Hearing.
Case: ZON22-00268.
Approximately 88.39 Net Acres of Vacant Land.
Located East of Ellsworth Road and North of Pecos Road.

Dear Property Owner or Registered Neighborhood Association:

We represent Merit Partners, Inc., our client, who is currently under contract to purchase the approximately 88.39 acres of vacant land located east of Ellsworth Road and north of Pecos Road (the "Property"). (See the Attached: *Property Aerial Location Map*) We have submitted to the City of Mesa Development Services Department, Planning Division, three (3) application requests, they are for: annexation, rezoning/site plan review, and design review. More specifically, we are rezoning the Property to Light Industrial with a Planned Area Development overlay (LI-PAD) and Site Plan Review (Case: ZON22-00268), which will allow for an industrial development. The proposal by our client, i.e., the Legacy Business Park project, includes the first phase which encompasses the west approximate 44.9 acres of the Property. This first phase includes the development of roughly 645,000 square feet of new manufacturing and processing, wholesaling, research, warehousing, e-commerce, data center, and distribution activity space. The proposed site plan includes two (2) flexible industrial buildings, which are oriented to provide multiple access points centered around a central, gated loading area. The second phase, which is not part of the initial site and design review applications, will likely mirror the layout and design of the first development phase. (See the Attached: *Proposed Site Plan*)

As part of the City's processes, this rezoning/site plan review application (ZON22-00268) has been scheduled for consideration by the Planning & Zoning Board as follows:

Planning & Zoning Board
June 8, 2022, at 4:00 PM
City Council Chambers (upper level)
57 East First Street

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts.

If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card at <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least 1 hour prior to the start of the meeting. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak. For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City Planner assigned to this application is: Josh Grandlienard, Planner II, (480) 644-4691 – or – via e-mail: Joshua.Grandlienard@MesaAZ.gov. Please confirm the meeting details (date, time, location, etc.), as they are subject to change.

We appreciate your time and consideration.

Very truly yours,

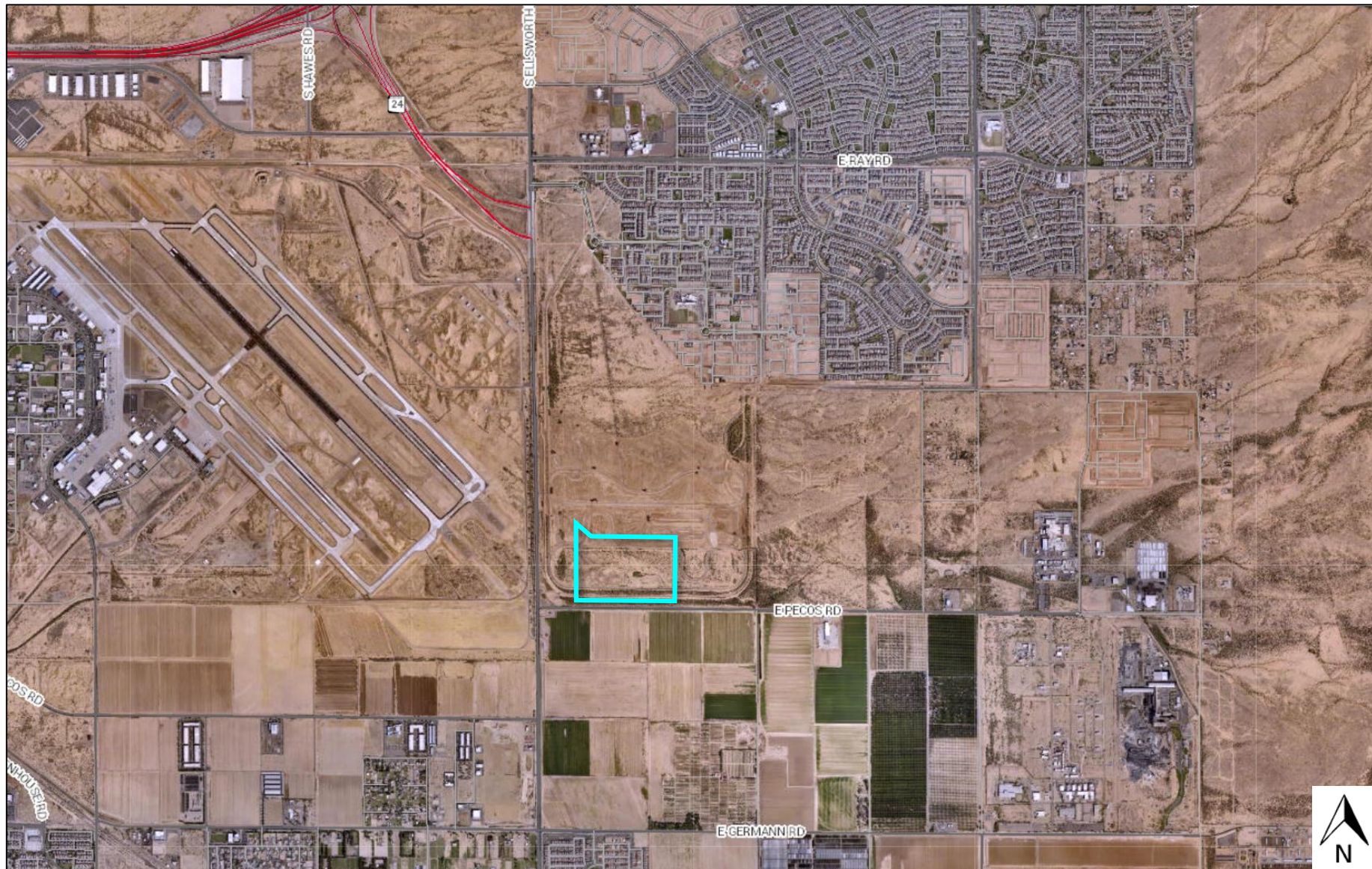
GAMMAGE AND BURNHAM, PLC

Dennis M. Newcombe

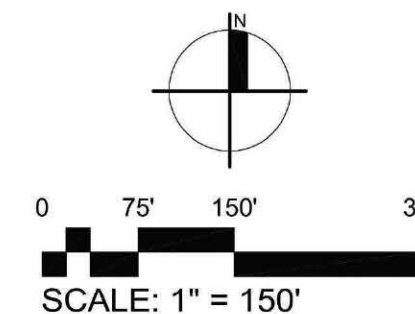
Dennis M. Newcombe
Senior Land Use Planner

Enclosures: Property Aerial Location Map
Proposed Site Plan

AERIAL MAP



Subject Property



PROJECT DATA

Proposed Zoning:	LI-PAD
APN#:	313-25-859N
Net Site Area:	1,957,918 S.F. (44.9AC.)
(Including Drainage Channel)	
Total Building Area:	645,470 S.F.
Building Coverage:	33%
Lot Coverage:	79.5%
(Impervious Surfaces)	
Common Open Space Required:	
BLDG A, 265,911 SF @ 1%:	2,659 S.F.
BLDG B, 379,559 S.F. @ 1%:	3,796 S.F.
Total Open Space Required:	6,455 S.F.
Open Space Provided:	7,048 S.F.

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Site Area:	793,122 S.F. (18.2 AC.)
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ADA Parking Provided:	8 Spaces

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Site Area:	1,164,794 S.F. (26.7 AC.)
Building Area:	379,559 S.F.

Parking Required

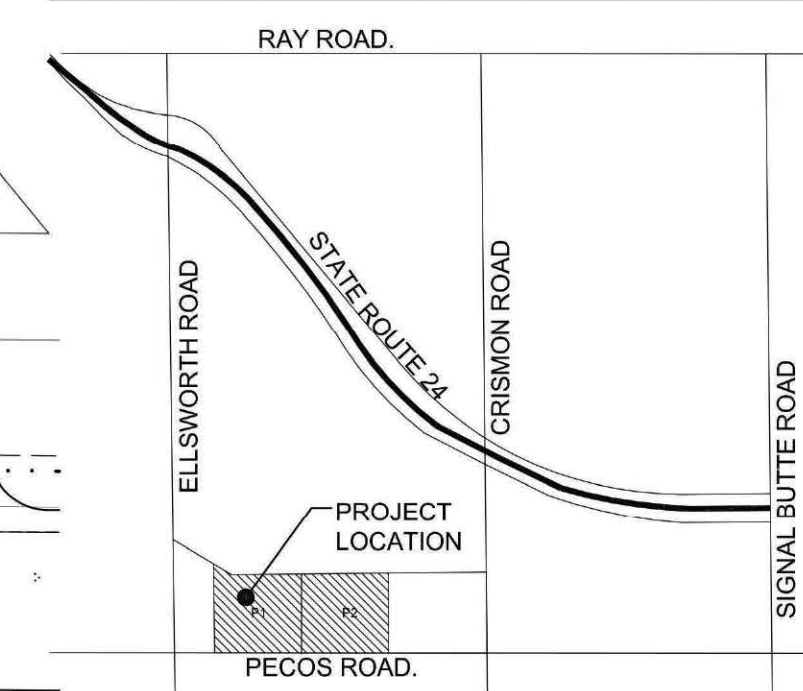
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Bldg. B Parking Provided:	316 Spaces
ADA Parking Required:	8 Spaces
ADA Parking Provided:	8 Spaces

Total Parking Required:	779 Spaces
Parking Provided:	653 Spaces

Total ADA Parking Required:	16 Spaces
Total ADA Parking Provided:	16 Spaces

Max Building Height Allowed:	40' Max.
Proposed Building Height:	46'-6" Max.

VICINITY MAP

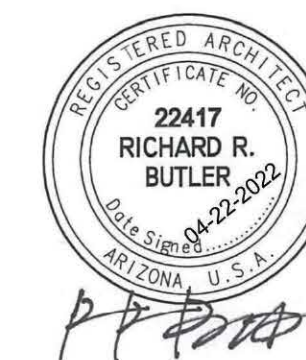


04-14-2022
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LEGACY BUSINESS PARK

Crismon Road & Pecos Road
Mesa, Arizona



Butler Design Group, Inc.
architects & planners

TAB E

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

Date: 05/23/22

I, Meghan Liggett, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to case # ZON22-00268, on NEC Ellsworth & Pecos. The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant's/Representative's signature: *Meghan Liggett*

SUBSCRIBED AND SWORN before me on 05/23/22

Marybeth Conrad
Notary Public



CITY OF MESA PUBLIC NOTICE
ZONING HEARING

PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

TIME: 4:00 PM DATE: June 8, 2022

CASE: ZON22-00268

REQUEST: Rezone from Agricultural (AG)
to Light Industrial with a Planned Area
Development overlay (LI-PAD) and SitePlan
Review. This request will allow for an
industrial development.

APPLICANT: Dennis Newcombe /
Gammage & Burnham

PHONE: 602-256-0566

Planning Division 480-644-2385

Posting date: 5/20/2022

E Pecos Rd
Mesa AZ 85212

+33.292273,-111.625635

Monday, May 23, 2022 at 8:37:07 AM



CITY OF MESA PUBLIC NOTICE
ZONING HEARING
PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

TIME: 4:00 PM DATE: June 8, 2022
CASE: ZON22-00268

REQUEST: Rezone from Agricultural (AG)
to Light Industrial with a Planned Area
Development overlay (LI-PAD) and SitePlan
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industrial development.

APPLICANT: Dennis Newcombe /
Gammage & Burnham

PHONE: 602-256-0566
Planning Division 480-644-2385

Posting date: 5/20/2022



E Pecos Rd
Mesa AZ 85212

+33.292255,-111.631615

Monday, May 23, 2022 at 8:19:36 AM