

Citizen Participation Report
for
RWI PROPERTIES – 24-UNIT MULTI-FAMILY
Case # ZON21-00793

Date: May 19, 2022

Purpose: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, schools and businesses in the vicinity of the site of an application for the RWI Properties 24-Unit Multi-Family project. This site is located at 455 W. Holmes Ave, near the intersection of South Country Club Dr. & East Superstition Highway and is an application for the rezoning of .773 acres from LC to RM-4 with PAD. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

Brian Fracasse

4425 E. Agave Road,

Suite #120

Phoenix, Arizona 85044

(480) 659-6745

email: bfracasse@taylorfracasse.com

Pre-application Meeting: The pre-application meeting with City of Mesa planning staff was held on August 16, 2021. Staff reviewed the application and recommended that adjacent residents, Mesa School District, and nearby registered neighborhoods be contacted.

Action Plan: In order to provide effective citizen participation in conjunction with their application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have.

A contact list was developed for citizens and agencies in this area including:

- All registered neighborhood associations within one mile of the project.
- Homeowners Associations within one half mile of the project.
- Interested neighbors -focused on 1,000 feet from site, but may include more

Timeline:

Pre-Submittal meeting: July 15, 2021

First neighborhood meeting: March 21, 2022

Application Submittal: May 14, 2022

Submittal of Citizen Participation Report and Notification materials: May 24, 2022

Planning and Zoning Board Hearing: June 8, 2022

Results:

In our efforts of outreach, there were no responses or reciprocating interest from anyone in the area. However, the owner and developer who currently occupies an office at 455 W. Holmes Ave, has had private discussions with his adjacent neighbors who have expressed a warm interest in the project. Additionally, Taylor Fracasse Architecture, Inc. and the Mesa Planning Department have undertaken an above and beyond level of review asserting a high level of attention to detail to ensure that all the Municipality requirements and design criteria are met.

Dear Neighbor,

We have applied for Rezone from Limited Commercial (LC) to Multiple Residence 4 with a Planned Area Development overlay (RM-4-PAD) and Site Plan Review for the property located at 455 W. Holmes Ave, Mesa, AZ 85210. This request is for development of a 24-Unit Multi-Family Project. The case number assigned to this project is ZON21 - 00793.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 480-659-6745 or e-mail me at bfracasse@taylorfracasse.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on June 8, 2022 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by calling **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts**. If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at **least 1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Sean Pesek of their Planning Division staff. He can be reached at 480-644-6716 or sean.pesek@mesaaz.gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,



Brian Fracasse, NCARB, AIA

Taylor:Fracasse Architecture, Inc.

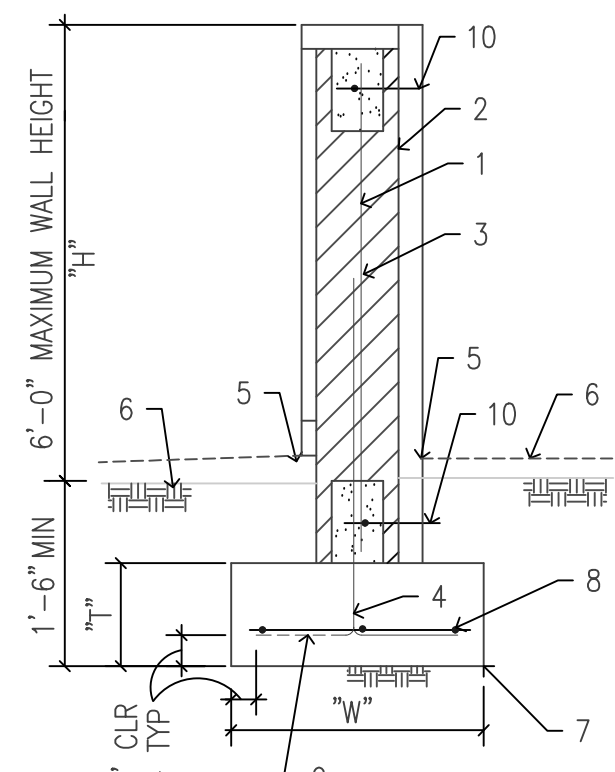


2 OUTDOOR STRENGTH STATION
SCALE: N.T.S.

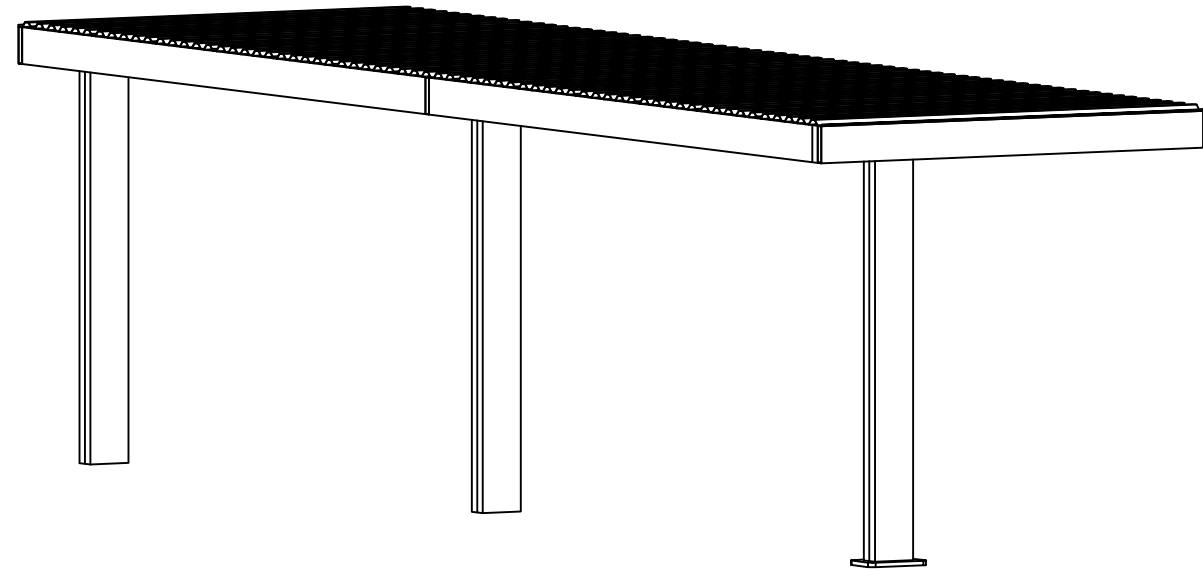
DETAIL NOTES

1. VERTICAL REINFORCING ("V") PER SCHEDULE
2. 8" CMU FENCE WALL - SOLID GROUT, W / STONE VENEER
3. PORTION OF WALL BELOW GRADE
4. #9 GAGE HORIZONTAL LADDER REINFORCING AT 16" O.C. VERTICALLY
5. DOWELS MATCH VERTICAL REINFORCING AND LAP PER THE G.S.N.
6. PAVERS OVER SAND BED
7. FINISHED GRADE
8. CONCRETE FOOTING PER SCHEDULE
9. #4 CONTINUOUS HORZ. AT 12" O.C.
10. ALTERNATE BENDS
11. (1) #4 CONTINUOUS IN 8" DEEP GROUTED BOND BEAM.

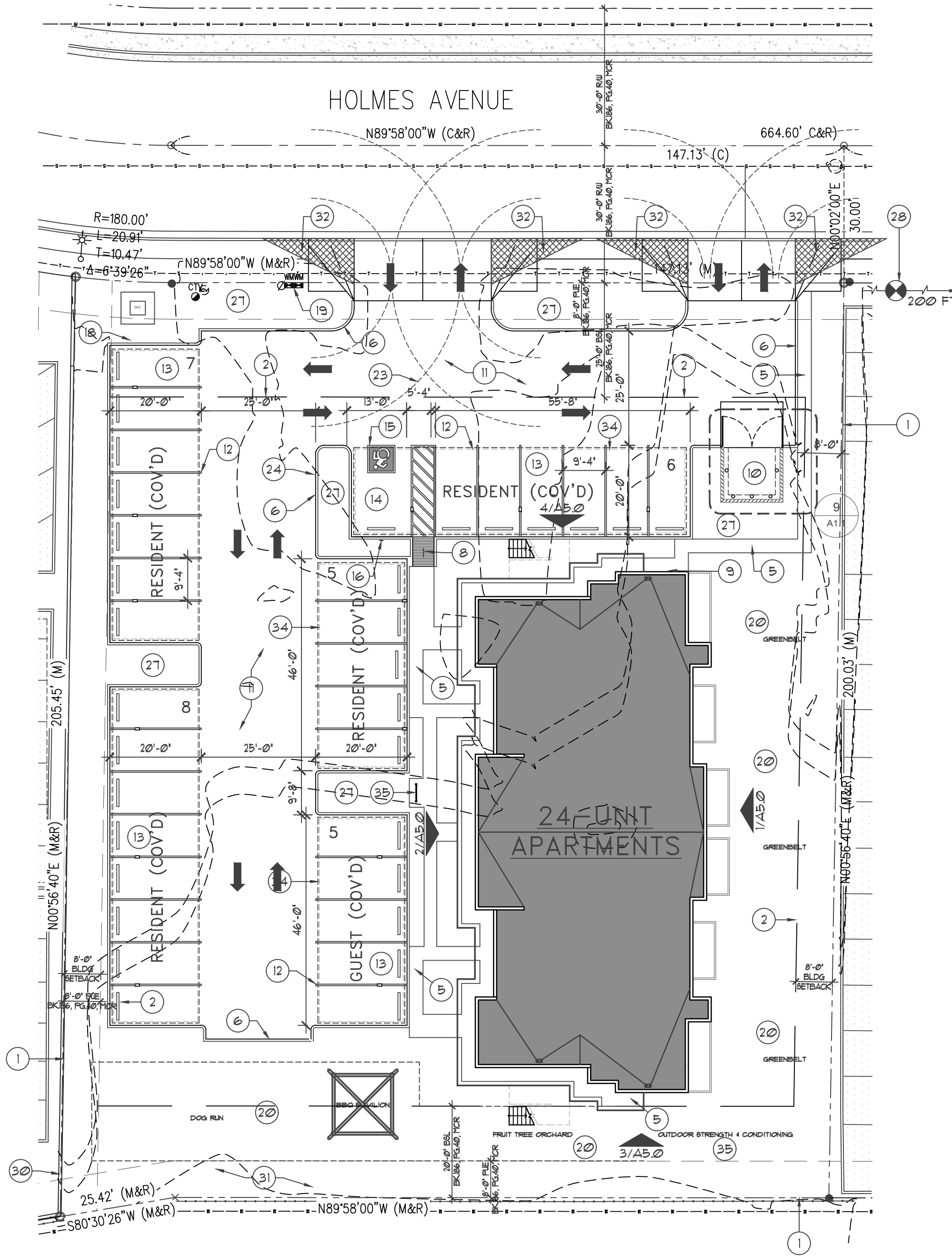
DETAIL SCHEDULE			
MAX. WALL HEIGHT ("H")	VERTICAL REINFORC. ("V")	FOOTING WIDTH ("W")	FOOTING THICKNESS ("T")
4'-0"	#4 AT 48" O.C.	1'-4"	0'-10"
6'-0"	#5 AT 48" O.C.	1'-10"	0'-10"



1 SITE FENCE WALL DETAIL
SCALE: 3/4"=1'-0"



3 TYPICAL COVERED PARKING
SCALE: N.T.S.



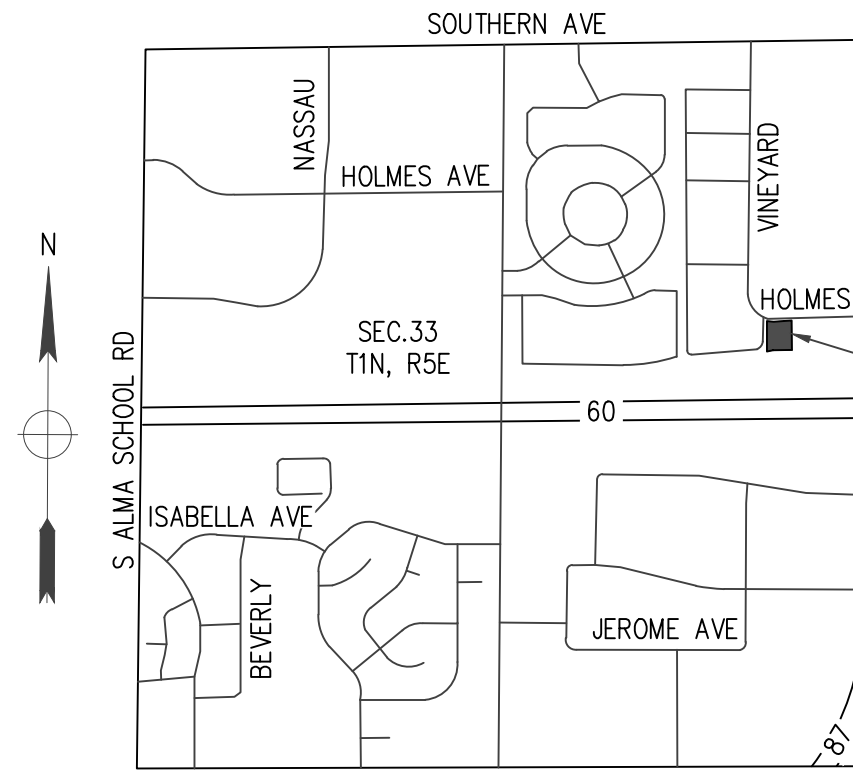
SITE PLAN
SCALE: 1"=20'



SITE PLAN NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. THIS PROJECT IS LOCATED IN THE CITY OF MESA WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
3. "ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND."
4. "ALL SIGNAGE REQUIRES SEPARATE APPROVALS AND PERMITS."
5. "ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM THE ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED SO THAT IT EXCEEDS THE GENERAL LEVEL OF NOISE, ODOR OR VIBRATION EMITTED BY USES OUTSIDE OF THE SITE."
6. "OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY IN ACCORDANCE WITH APPROVED PLANS."
7. 1/2" RETENTION IS REQUIRED, 50% DRAIN TO STREET.

VICINITY MAP



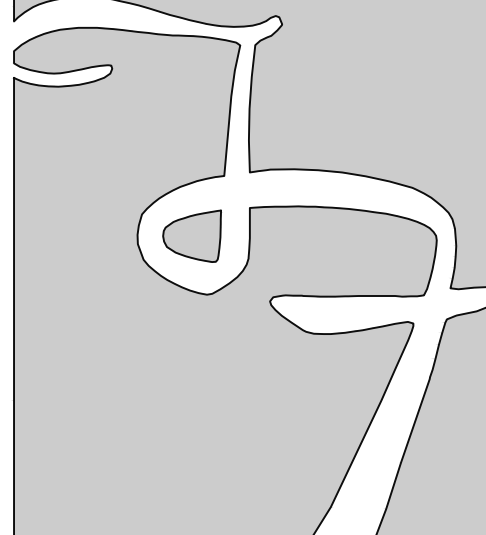
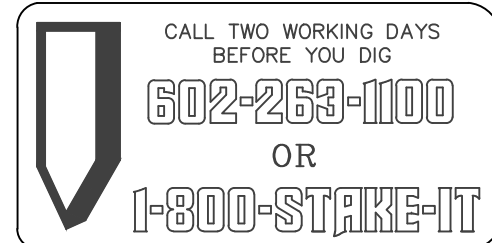
VICINITY MAP
NTS

KEY NOTES

1. PROPERTY LINE.
2. LINE OF BUILDING SETBACK.
3. ACCESSIBLE EXIT TO HAVE 1/2" MINIMUM THRESHOLDS AT DOOR AND LANDING PAD TO ASPHALT PAVING.
4. IRRIGATION CONTROL, REFER TO LANDSCAPE, PROVIDE DRIP LINES AS REQUIRED TO PLANTINGS AT ENTRY AND LANDSCAPE ISLANDS, PROVIDE WALL MOUNTED TIMER AT INTERIOR.
5. 4" T. CONCRETE SIDEWALK OR EQUIPMENT PAD OVER 4" COMPACTED A.B.C., NATURAL GRAY, WIDTH AS SHOWN. (CONTROL JOINTS @ 5'-0" O.C. EXPANSION JOINTS @ 20'-0" O.C.) (PER ICC A111, SECTION 403.3, AT SIDEWALKS, ACCESSIBLE ROUTE SLOPE COMPLIANCE OF 5% MAXIMUM RUNNING SLOPES AND A MAXIMUM OF 2% FOR CROSS SLOPES).
6. CONCRETE CURBING, REFER TO CIVIL DRAWINGS FOR MORE INFO.
7. 5" T. CONCRETE APRON OVER 4" COMPACTED A.B.C., NATURAL GRAY.
8. ACCESSIBILITY RAMP PER DETAIL 3/C02 (PER ICC A111), SECTION 405 FOR AT SIDEWALK RAMP 4 SECTION 406 FOR AT CURB RAMP).
9. PROVIDE HORN/STROBE DEVICE, MOUNTED AT THE EXTERIOR OF THE BUILDING SO EASILY RECOGNIZABLE FROM THE STREET FRONTAGE (INCLUDE AS PART OF FIRE ALARM) AND SPRINKLER DEFERRED SUBMITTAL PACKAGE.
10. TRASH ENCLOSURE WITH GATES AND CONCRETE SLAB, REFER TO ENLARGED DETAILS, TO COMPLY WITH COM SOLID WASTE DETAIL M-62.01 THRU M-62.04.2. ENCLOSURE TO BE COMPATIBLE WITH COLORS AND MATERIALS WITH NEW BUILDING BEING CONSTRUCTED.
11. 3" AC OVER 5" ABC, REFER TO CIVIL DRAWINGS FOR MORE INFO.
12. 4" WIDE WHITE PAVEMENT MARKINGS, TYP.
13. REGULAR PARKING STALL, 9'-0" W. X 20'-0" L., TYP.
14. ACCESSIBLE PARKING STALL, 11'-0" W. X 20'-0" L. WITH 5'-0" W. X 20'-0" L. ACCESS LOADING ZONE.
15. INTERNATIONAL ACCESSIBILITY SYMBOL PAVEMENT MARKING, REFER TO DETAIL 9/A03.
16. ACCESSIBLE PARKING SIGN, PER GOVERNING AGENCY REQUIREMENTS. REFER TO DETAIL 9/A02.
17. HOSE B/B, REFER TO PLUMBING ENGINEERING DRAWINGS FOR MORE INFO.
18. ELECTRICAL SENS/SWITCH GEAR AND TRANSFORMER LOCATION ON CONCRETE SLAB, REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR MORE INFO.
19. WATER METER W/ TAP FROM METER TO MAIN, REFER TO PLUMBING AND CIVIL DRAWINGS FOR MORE INFO.
20. OPEN SPACE REQUIREMENTS (BBQ/GAZEBO/ORCHID).
21. FIRE DEPARTMENT SIAMSE CONNECTION AND BUILDING MOUNTED DC SIGMA. THE ROUTE FROM THE HYDRANT TO THE DC IS MEASURED AS THE SUPPLY HOSE WOULD BE LAID OUT BY A FIRE APPARATUS ON APPROVED ACCESS DRIVES, (PER IC 912).
22. FIRE DEPARTMENT KNOX BOX LOCATION (RECESSED WALL MNTD-TYP OF 2), PROVID 3FT X 3FT ACCESS/WORK CLEAR SPACE.
23. FIRE TRUCK APPARATUS TURNING RADIUS (35 FT INSIDE/55 FT OUTSIDE).
24. FIRE LANE MARKED BY CURB PAINTED RED AND LABELED "FIRE LANE NO PARKING" PER REGULATION FIRE LANES.
25. FIRE LANE "NO PARKING" SIGN, WALL MOUNT WHEN APPLICABLE.
26. STARTING POINT FOR NEW BUILDING LAYOUT, (SEE FLOOR PLAN, SHEET A2.0 FOR BUILDING AS PER CITY OF APACHE JUNCTION DEVELOPMENT STANDARDS, REFER TO LANDSCAPE DESIGN FOR MORE INFO DIMENSIONS).
27. NATIVE LANDSCAPING.
28. EXISTING A/JUD FIRE HYDRANT - DISTANCE 200 FT.
29. PARKING LOT LIGHT POLES W/ CONCRETE BASE, PER DETAIL 4/A02, REFER TO ELECTRICAL ENGINEERING FOR MORE INFO.
30. 6'-0" HIGH-MASONRY SITE FENCE WALL.
31. RETENTION LOCATION, REFER TO CIVIL DRAWINGS FOR MORE INFO.
32. 10'-0" X 20'-0" SITE VIABILITY TRIANGLES.
33. EXIST'G SITE SCREEN WALL TO REMAIN, PROVID' NEW PAINT.
34. SEMI-CANTILEVER COVERED PARKING STRUCTURE W/ LIGHTS AT UNDERSIDE.
35. BICYCLE PARKING, 3 SPACES PROVIDED.
36. OUTDOOR STRENGTH AND CONDITIONING EQUIPMENT, 4 STATIONS, BY FITCORE OF EQUAL.

PROJECT DATA

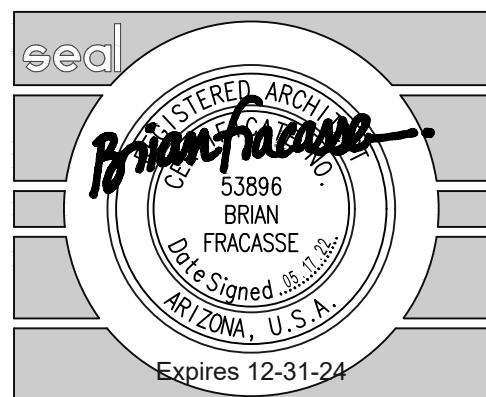
OWNER:	RWI PROPERTIES, INC.	REQUIRED LANDSCAPE SETBACKS:		PARKING DATA:	
PROJECT ADDRESS:	455 W. HOLMES AVE	FRONT:	10'-0"	PARKING REQUIRED:	
PARCEL NUMBER:	134-22-211A	SIDES:	4'-0"		
		REAR:	20'-0"	MULTI-FAMILY:	
LOT #:	3			RESIDENTIAL-24 UNITS @ 1 SPACE/UNIT:	= 24 SPACES
ZONING:	LC (RE-ZONE TO RM-4 PAD)	OCCUPANCY CONTENT:	R-4 (RESIDENTIAL)	ACCESSIBLE SPACE:	1 SPACE
GROSS SITE AREA:	.713 ACRES (33,665 SF.)				
CONSTRUCTION TYPE:	TYPE V-B	RWI MULTI-FAMILY COMPLEX:	10,048 SF	PARKING PROVIDED:	
BUILDING SF AREA:	10,048 SF	OCCUPANCY LOAD: 16-8 STUDIO UNITS*	16 OCCUPANTS	REGULAR RESIDENT SPACES (COVERED):	= 25 SPACES
BUILDING FOOTPRINT AREA:	5,024 SF	8-1 BR UNITS*	8 OCCUPANTS	GUEST SPACES (COVERED):	= 5 SPACES
BUILDING LOT COVERAGE:	14.92% (55% ALLOWED)	TOTAL:	24 OCCUPANTS	ACCESSIBLE SPACE (COVERED):	1 SPACE
REQUIRED BUILDING SETBACKS:		PATIOS/BALCONIES:	12 AT 50 SF/UNIT 8 AT 60 SF/UNIT 4 AT 75 SF/UNIT	PARKING PER SECTION II-5-5 OF MZO: (FRONTAGE CALCULATION)	56% 34'-0" W. PROVID
FRONT:	25'-0"			BICYCLE PARKING:	= 3 SPACES
SIDES:	28'-0"	EXITING REQUIRED:	AS PER UNIT	OPEN SPACE REQUIRED:	
REAR:	23'-0"			RESIDENTIAL - 24 UNITS @ 200 SF/UNIT:	= 4,800 SF
BUILDING HEIGHT REQUIREMENTS:				OPEN SPACE PROVIDED:	
ALLOWABLE:	30'-0"			RESIDENTIAL - 24 UNITS @ 208 SF/UNIT:	= 5,000 SF
PROVIDED:	31'-3"				



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RWI PROPERTIES, LLC
24 UNIT - APARTMENT HOMES
455 W. HOLMES AVENUE
MESA, AZ 85210

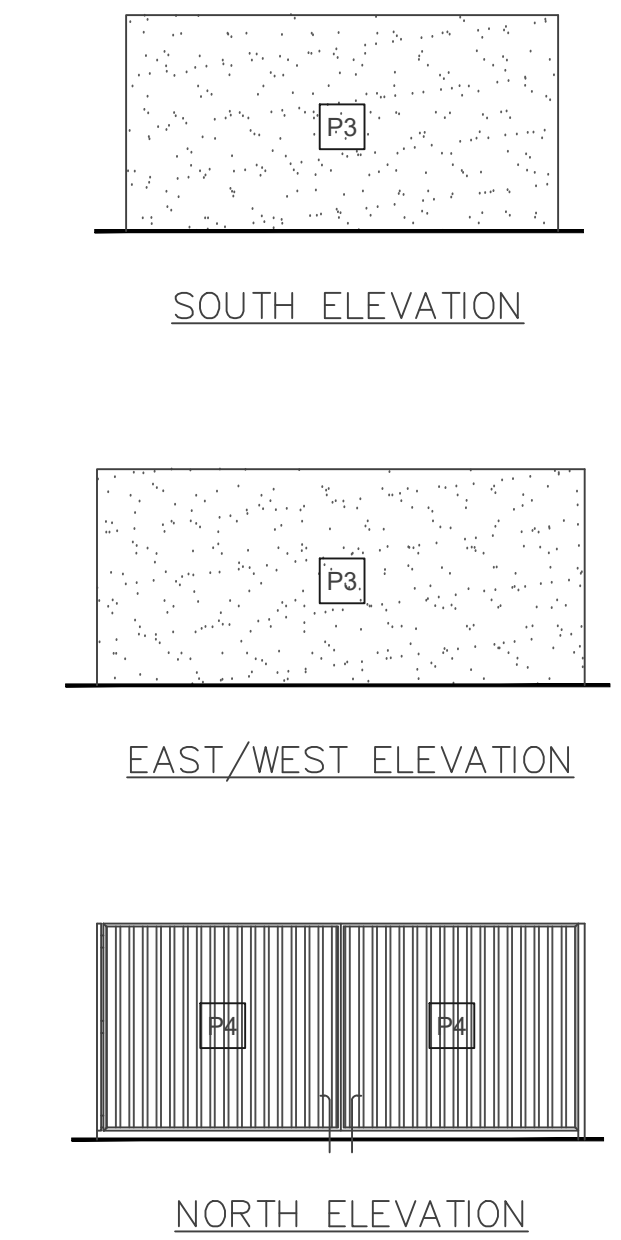
revisions:

ISSUE DATE: 05.17.22
JOB NUMBER: 21-025
SCALE: AS NOTED
DRAWN: BF
CHECKED: BF
TITLE: SITE PLAN

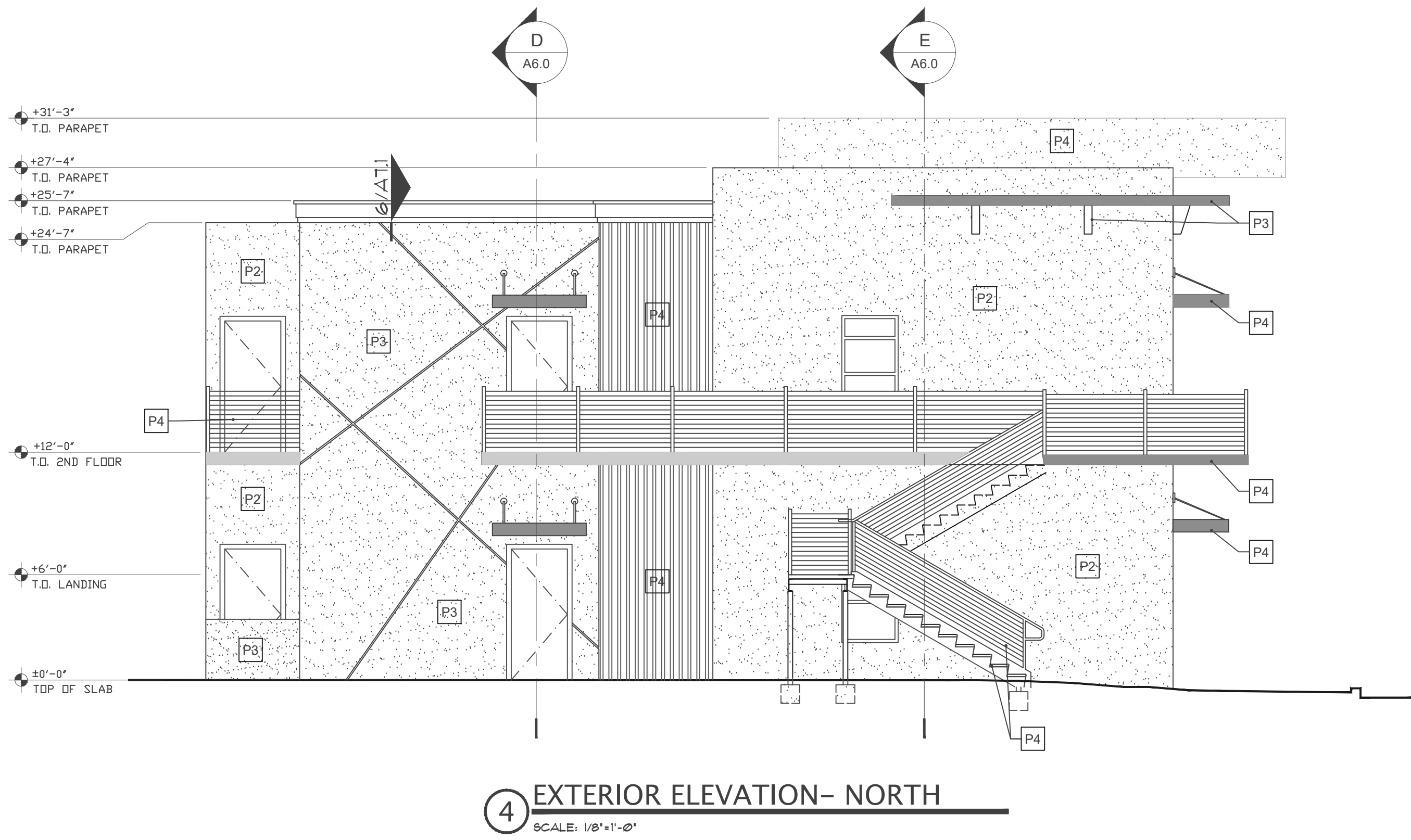
SP - 1

ISSUED FOR REVIEW

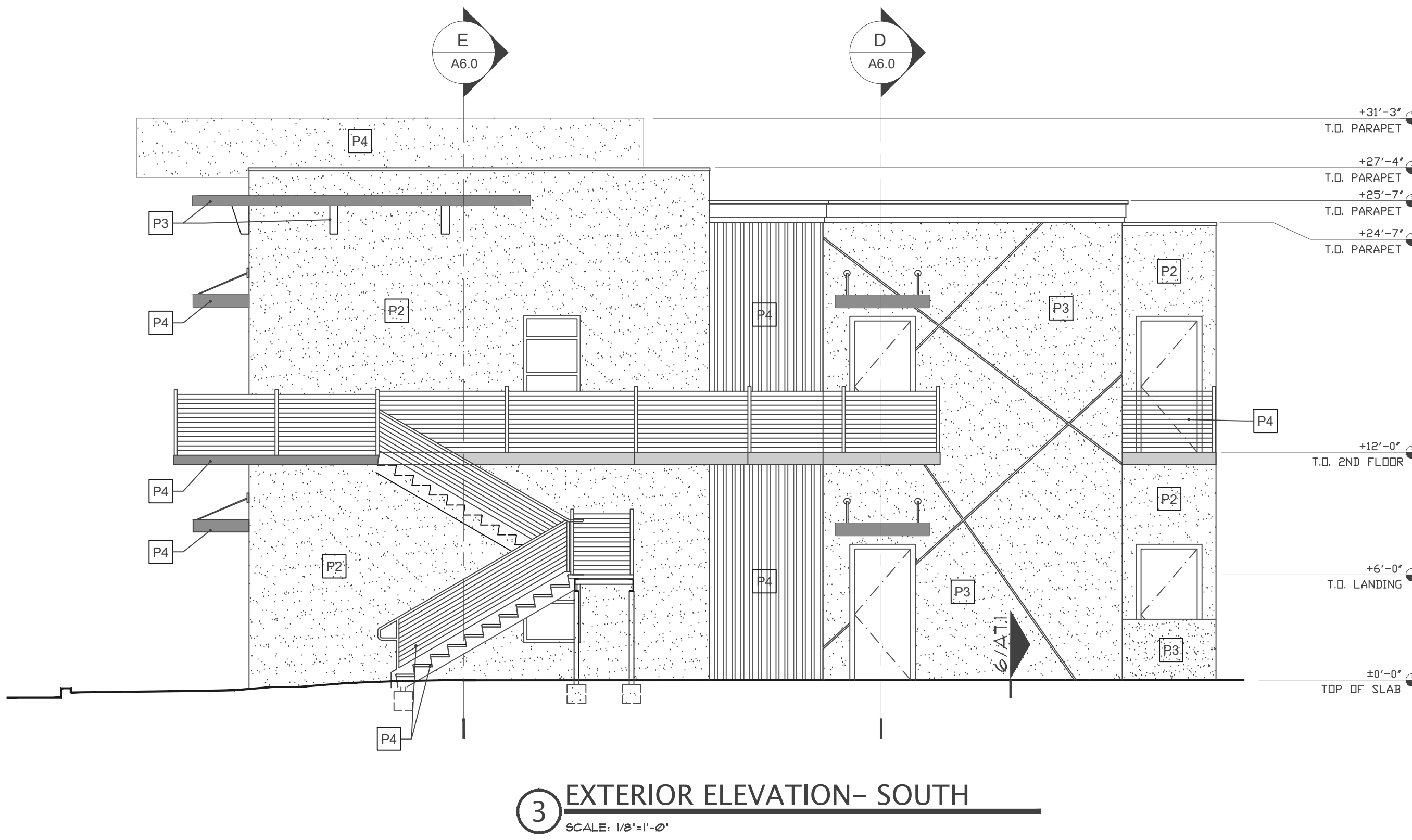
GENERAL NOTES:	
1. SEE STRUCTURAL DRAWINGS FOR LINTEL INFORMATION.	
2. SEE DOOR SCHEDULE FOR ROLL-UP DOOR HEIGHTS.	
3. SEE STRUCTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS.	
GLAZING KEY:	
MATERIAL:	DESCRIPTION:
NON-RATED EXTERIOR FRAMES:	ARCADIA 2 X 4 1/2" BROWN ALUMINUM STOREFRONT
NON-RATED EXTERIOR GLAZING:	1" GRAY REFLECTIVE INSULATED GLAZING
ELEVATION NOTES:	
1. FIELD VERIFY ALL EXACT CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY, TYP.	
2. ALL NEW GLASS PANELS TO BE TEMPERED, WHERE OCCURS BY CODE.	
3. ALL NEW SIGNAGE TO BE BY SEPARATE CONTRACTOR, G.C. TO PROVIDE POWER AND COORDINATE DETAILS WITH ACTUAL SITE CONDITIONS, TYP.	
4. ALL EXTERIOR WINDOWS & DOORS TO MEET THE 2018 I.E.C.C. COM-CHECK.	
5. NEW EXTERIOR STOREFRONT SYSTEM MFR BY ARCADIA FRONT GLAZED ALUMINUM STOREFRONT FOR 1" OVERALL BLUE REFLECTIVE INSULATED GLAZING - CLEAR ANODIZED CLASS II FINISH.	
6. SEE STRUCTURAL DRAWINGS FOR EXTERIOR CANOPY CONNECTIONS AND DETAILS.	
7. SEE SCHEDULES FOR ALL DOOR AND WINDOW TYPES AND NOTES, SHT. A8.0	
BUILDING MATERIAL LEGEND:	
PER Section 11-5-B(X/3) of the MZO.	
FRONT/REAR ELEVATIONS:	
	STUCCO SYSTEM, PAINTED 3,468 SF - 45%
	VERTICAL CORRUGATED METAL PANEL SYSTEM 1,110 SF - 15%
SIDE ELEVATIONS:	
	STUCCO SYSTEM, PAINTED 2,278 SF - 32%
	VERTICAL CORRUGATED METAL PANEL SYSTEM 296 SF - 4%
TOTAL: 7,152 SF	



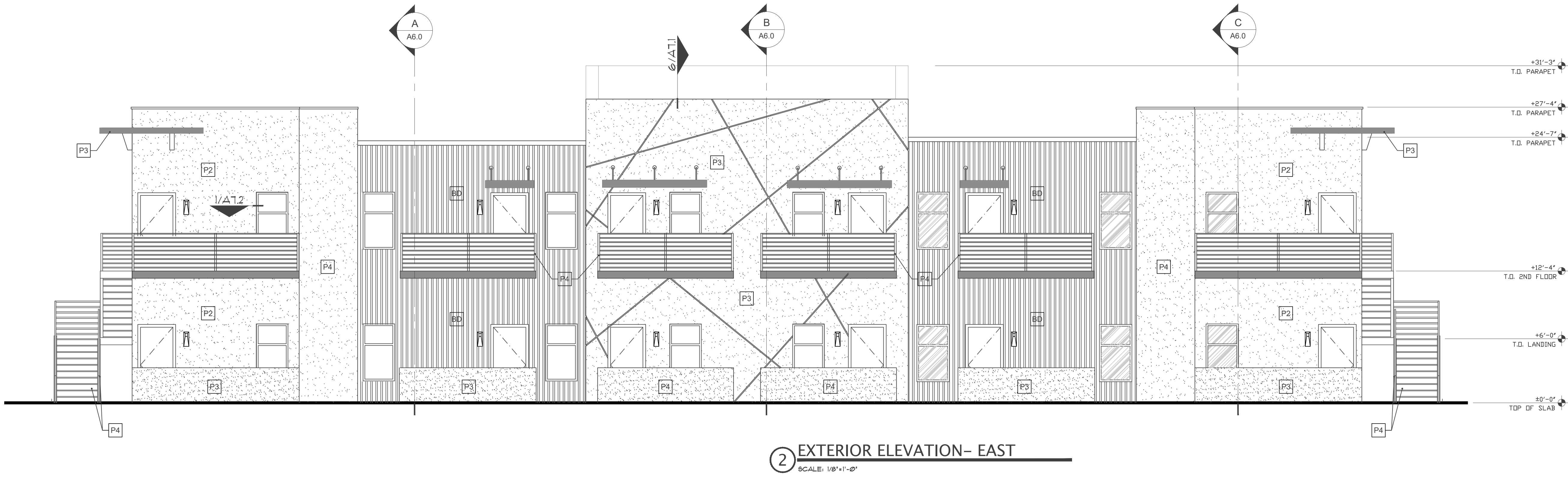
5 ELEVATIONS AT TRASH ENCLOSURE
SCALE: 3/16"=1'-0"



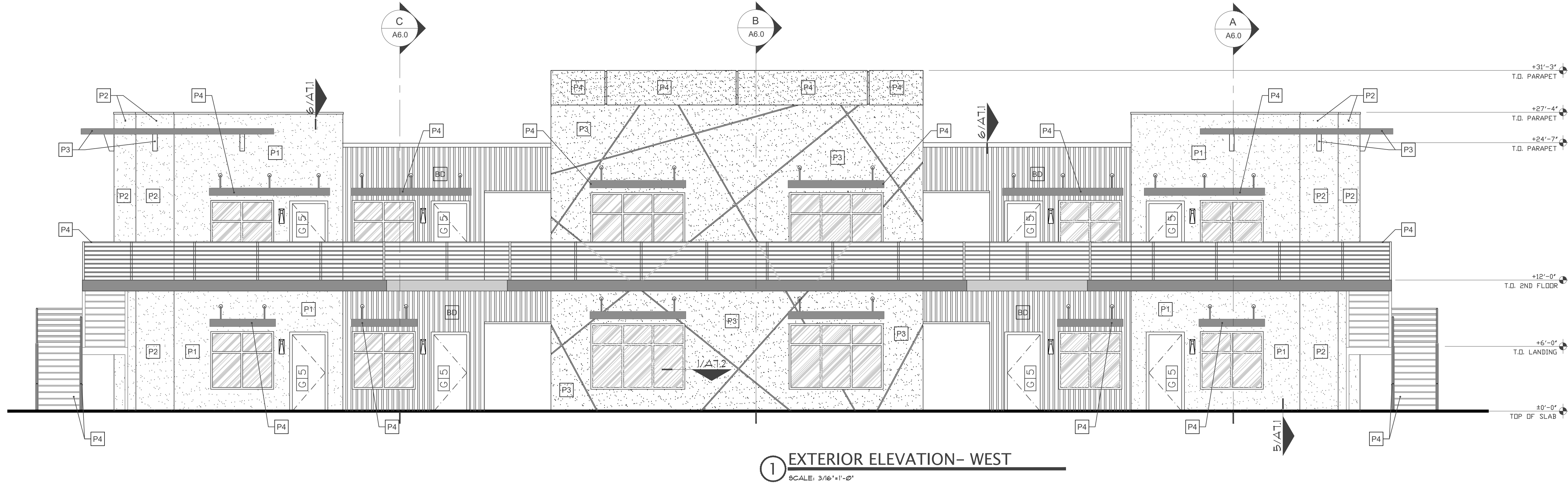
4 EXTERIOR ELEVATION- NORTH
SCALE: 1/8"=1'-0"



3 EXTERIOR ELEVATION- SOUTH
SCALE: 1/8"=1'-0"



2 EXTERIOR ELEVATION- EAST
SCALE: 1/8"=1'-0"



1 EXTERIOR ELEVATION- WEST
SCALE: 3/16"=1'-0"

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seal
Taylor-Fraccasse
53896
BRIAN
FRACCASSE
ARCHITECT
PHOENIX, AZ
Expires 12-31-24

RWI PROPERTIES
24 UNIT APARTMENT COMPLEX
455 W. HOLMES AVE
MESA, AZ 85210

revisions:

ISSUE DATE:	05.17.22
JOB NUMBER:	21-025
SCALE:	AS NOTED
DRAWN:	BF
CHECKED:	BF
TITLE:	BUILDING ELEVATIONS

A5.0

ISSUED FOR REVIEW

Owner

City of Mesa Planning, Attention: Sean Pesek
ARIZONA CONFERENCE CORPORATION OF SEVENTH-DAY ADVENTISTS
MORMINO INVESTMENTS LIMITED PARTNERSHIP
ENG KENNY
NEW CREATION CHURCH
ASCENDA USA INC
ADJ LLC
RWI PROPERTIES LLC
MORIARTY STEVEN
STAMMEYER JUDY MARIE
GARY S JOHNSON AND MARCIE L JOHNSON REVOCABLE TRUST
C & R REALTY II LLC
KSL INVESTMENTS LLC
KENNEDY JOHN C
UDO EMA EMA E
BARRANCA MARIO
GARCIA CARLOS/DEL CARMEN GARCIA MARIA
MILLER WARREN K/TAWNYA R
BARRANCA MARIO
NORMITAS LLC
TB LLC
KULICK FAMILY REVOCABLE LIVING TRUST
MORUZZI TIMOTHY J
PATIENCE AND GRACE LLC
AJA PROPERTY INVESTMENTS LLC
CORWIN ROBERT
BECK MINDY
SCHRAND SUSAN
ACOSTA FRANCISCO H
BUEHRLE DAVID
SAISSAN JOHN/ESMAEILLOO BITA
IKEBUEGO NELLY
BRANDT RALPH ALEXANDER (LIFE ESTATE)
DUANE D POOLEY TRUST
SOUTHWESTERN RENTALS LLC
HOOVER JEFFREY JAY/PERLASCA NORA JANETTA
SONG DAVID W
MARTINEZ ALFONSO S
STEPHEN R SWOOPE AND KAREN FORD SWOOPE FAM TR
DUANE POOLEY TRUST
BEHENA ALFA
YOON PHILEMON
RUSSELL ERIC R
GOODE KEITH L
DAO LLC

MASSY PHILIP/WARNER JANELL
DUANE POOLEY TRUST
SUNDBERG STORME
GONZALEZ SANTIAGO
WALTON GARY/TRAVIS
JFJ PROPERTIES LLC
GARVIN SUSAN LEE/WILLIAM J SR/WILLIAM J II
SHIVELY WILLIAM JOE
MICHAEL KATHERINE B
PEOPLES TERRANCE
GIBB JOHN S/PATRICIA N
AJA PROPERTY INVESTMENTS LLC
KENNEDY MARY ANN/DAVIS CHARLES J
HERBELLA SHAWN P/NIKKIA S
TRENHAILE GUY/LISA
ROWBERRY HAROLD L/ALTA C
SINGH WILLIAM
KSL LLC
CHUNG GABRIELLE
WESTWOOD C&I LLC
STALKER YONG MI
C & R REALTY INVESTMENT I LLC
YANAGIHARA KEIKO/STEVE
JANDA ROBERT SR
CHARITY AND GENEROSITY LLC
BROWN DONNA L
REESE LAWRENCE
BECHERER RUSSELL J
BRENNAN THEODORE/LESLIE
EPTING MICHAEL D
PERROZZI JOSEPH A/PATRICIA J
DEBUSSCHERE GARRETT
COLLINS CHRISTOPHER CODY
ROMA HEPFER REVOCABLE TRUST
LUNDE MARC B
YELLAT LLC
SARABIA STEVEN F/CHRISTY D
COULOMBE JASON J
NATH YERANOHE/YARJANIC
LACY JON L
GARINER JOHN F
EMENHISER FAMILY LIVING TRUST
QUIGLEY MARK
BURKLUND CATHERINE A/D L
BUORS RAYMOND
COULTER LORI
DESAI KAMINI

NAVARRO DUVIER
STENBERG TRACY L
CROY AMY J
C P REAL ESTATE INVESTMENT LC
PADDA BALDISH/RAVINDER
FIMBRES LAUREN CHRISTINE/RUDY
ROPP FAMILY TRUST
BOKEH LLC
JOHN JOSEPH JR
CARTER ROSE A
JOHNSON GARY S/MARCIE L
DECKER GINA L
CLAWSON CHRISTINA K
JANET SCOTT BROOKS TRUST
461 W HOLMES 307 LLC
DAO LLC
DUANE POOLEY TRUST
GREEN EMERALD LUXURY CONDOS LLC
DASGUPTA PARTHA
HAYES SARAH L/TOM W
FRANK NEVAR
EVOL PROPERTY 4 LLC
BITTER JACK
T&BS LLC
TRENHAILE GUY/LISA
PANE JANE W/TING LUCAS HEHSHI
RICK EDWARD J/EDWARD JR
MANDEL INVESTMENTS III LLC
MANDEL INVESTMENTS VI LLC
PAWLUK-HERMAN FAMILY TRUST
HANCOCK RICHARD
FARAG AMR
DUANE D POOLEY TRUST
SIEFKEN KEITH L/SUSAN D
ODELL SHANDY J/TASHA
WUEST HEAVEN
HERTEL GAVIN
VILLA FAMILY TRUST
STANKOWSKI MICHAEL
PK INVESTMENTS INC
CARO SOLE LLC
PERDOMO SUSANA CARMEN/SILVA-PERDOMO PAOLA VALENTINA
MARDER JOHN B/DAWN E
DOMINGUEZ ELVIA MUNOZ
BARANOR PRODUCTION DESIGN LLC
HUG ROBERT P
AHMAD FAMILY LIVING TRUST

REID RASHAUN T
LUDLOW TYLER/SODERBLOM KERSTYN
KHALIL LINDA
MASTERS SEAN
HUOT TIM/LOVELACE JANET
RODNEY MICKEL D
MASTERS WILLIAM A TR
HODGES KAYLA R
ELICERIO EVA F
WILLIAM F APPLEGET REVOCABLE TRUST
ERNESTI SUZANNE E/MICHAEL F
JURNO VENTURES LLC

MAIL_ADDR1	MAIL_CITY	MAIL_STATE	MAIL_ZIP
PO Box 1466 Mail Stop 9953	MESA	AZ	85211
13405 N SCOTTSDALE RD	SCOTTSDALE	AZ	85254
10923 N 126TH WAY	SCOTTSDALE	AZ	85259
1440 S COUNTRY CLUB DR SUITE 20	MESA	AZ	85210
1363 S VINEYARD	MESA	AZ	85210
200-240 KENNEDY ST	WINNIPEG	MB	R3C1T1
1599 E ORANGEWOOD AVE SIUTE 175	PHOENIX	AZ	85020
455 W HOLMES AVE	MESA	AZ	85210
461 W HOLMES AVE UNIT 102	MESA	AZ	85210
305 S E 7TH	ANKENY	IA	50021
1280 BURROWS RD	CAMPBELL	CA	95008
1909 E RAY RD STE 9-116	CHANDLER	AZ	85225
BOX 3103	CULTAN LAKE	BC	V2R5H6
461 W HOLMES NO 107	MESA	AZ	85210
461 W HOLMES AVE STE 106	MESA	AZ	85210
711 W UNIVERSITY DR	MESA	AZ	85201
1310 E HARMONY CIR	MESA	AZ	85204
461 W HOLMES AVE NO 112	MESA	AZ	85210
461 W HOLMES AVE UNIT 113	MESA	AZ	85210
1030 E SUNBURST LN	TEMPE	AZ	85284
PO BOX 84	COLTON	WA	99113
33674 DISCOVERY DR	DANA POINT	CA	92629
461 W HOLMES AVE UNIT 117	MESA	AZ	85210
9550 E KEATS AVE	MESA	AZ	85209
2975 N GERONIMO RD	APACHE JUNCTION	AZ	85119
461 W HOLMES AVE UNIT 120	MESA	AZ	85210
14430 S 32ND ST	PHOENIX	AZ	85044
PO BOX 7755	CHANDLER	AZ	85246
461 W HOLMSS AVE NO 267	MESA	AZ	85210
461 W HOLMES AVE UNIT 124	MESA	AZ	85210
2712 E BLUE RIDGE WAY	CHANDLER	AZ	85249
461 W HOLMES AVE UNIT 126	MESA	AZ	85210
730 E BROWN RD SUITE 104-256	MESA	AZ	85203
7611 S 9TH WAY	PHOENIX	AZ	85042
461 W HOLMES AVE NO 178	MESA	AZ	85210
2737 DAVID ST	JUNEAU	AK	99801
818 S WESTWOOD UNIT 239	MESA	AZ	85210
461 W HOLMES AVE UNIT 148	MESA	AZ	85210
8450 W FAIRMOUNT	SCOTTSDALE	AZ	85251
7611 S 9TH WY	PHOENIX	AZ	85042
461 W HOLMES	MESA	AZ	85210
1406 W MAIN ST UNIT 106	MESA	AZ	85201
461 W HOLMES AVE UNIT 153	MESA	AZ	85210
461 W HOLMES AVE	MESA	AZ	85210
10105 E VIA LINDA SUITE 103 PMB 244	SCOTTSDALE	AZ	85258

461 W HOLMES AVE UNIT 156	MESA	AZ	85210
7611 S 9TH WAY	PHOENIX	AZ	85047
461 W HOLMES AVE UNIT 162	MESA	AZ	85210
461 W HOLMES AVE UNIT 163	MESA	AZ	85210-5180
461 W HOLMES AVE UNIT 183	MESA	AZ	85210
1661 150TH AVE	LAKE PARK	IA	51347
461 W HOLMES AVE UNIT 186	MESA	AZ	85210
461 W HOLMES AVE NO 187	MESA	AZ	85210
461 W HOLMES AVE NO 188	MESA	AZ	85210
461 W HOLMES AVE UNIT 203	MESA	AZ	85210
PO BOX 148	HILL SPRING	AB	T0K1E0
2975 N GERONIMO RD	APACHE JUNCTION	AZ	85119
461 W HOLMES AVE 206	MESA	AZ	85210
1848 W JUANITA AVE	MESA	AZ	85202
1224 15TH AVENUE NE	ABERDEEN	SD	57401
2891 TIPPERARY LN	IDAHO FALLS	ID	83404
461 W HOLMES AVE UNIT 210	MESA	AZ	85210
461 W HOLMES AVE UNIT 211	MESA	AZ	85210-5166
1295 N ASH ST UNIT 118	GILBERT	AZ	85233
39506 N DAISY MOUNTAIN DR NO 122-226	ANTHEM	AZ	85086
461 W HOLMES AVE UNIT 214	MESA	AZ	85210
1909 E RAY RD STE 9-116	CHANDLER	AZ	85225
461 W HOLMES AVE UNIT 216	MESA	AZ	85210
461 W HOLMES UNIT 217	MESA	AZ	85210
9550 E KEATS AVE	MESA	AZ	85209
461 W HOLMES AVE UNIT 219	MESA	AZ	85210
29705 N 141ST PL	SCOTTSDALE	AZ	85262
461 W HOLMES AVE NO 221	MESA	AZ	85210
39523 N RATTLESNAKE RD	QUEEN CREEK	AZ	85242
1522 E SOUTHERN AVE APT 2031	MESA	AZ	85210
1559 L ST	ANCHORAGE	AK	99501
461 W HOLMES AVE UNIT 225	MESA	AZ	85210
461 W HOLMES AVE UNIT 226	MESA	AZ	85210
818 GOLF LN	LAKE BARRINGTON	IL	60010-3867
461 W HOLMES AVE UNIT 244	MESA	AZ	85210
1050 LAKE DR	BIG STONE CITY	SD	57216
373 CARPENTER HILL RD	FOLSOM	CA	95630
461 W HOLMES AVE NO 247	MESA	AZ	85210
1599 E BERETTA PL	CHANDLER	AZ	85286
461 W HOLMES AVE 249	MESA	AZ	85202
461 W HOLMES AVE 250	MESA	AZ	85210
461 W HOLMES AVE UNIT 251	MESA	AZ	85210
461 W HOLMES NO 252	MESA	AZ	85210
PO BOX 407	CERESCO	NE	68017
11 HARVEST WAY	EAST ST PAUL	MB	R2E0L5
549 W LA DONNA DR	TEMPE	AZ	85283
6811 SEABISCUIT TRL	TALLAHASSEE	FL	32309

15683 W HARVARD ST	GOODYEAR	AZ	85395
461 W HOLMES AVE UNIT 262	MESA	AZ	85210
461 W HOLMES AVE NO 263	MESA	AZ	85210
6321 S SHANNON DR	TEMPE	AZ	85283
5958 136TH ST	SURREY	BC	V3X 1H8
1724 W COTTONWOOD LN	PHOENIX	AZ	85045
1210 ALMA ST	GLENDALE	CA	91202
2052 SAINT ANDREWS DR	BILLINGS	MT	59105
461 W HOLMES AVE 288	MESA	AZ	85210
461 W HOLMES #289	MESA	AZ	85210
1280 BURROWS RD	CAMPBELL	CA	95008
461 W HOLMES AVE UNIT 304	MESA	AZ	85210
461 W HOLMES UNIT 305	MESA	AZ	85210
2975 N GERONIMO RD	APACHE JUNCTION	AZ	85119
3056 E HAMPTON AVE	MESA	AZ	85204
10105 E VIA LINDA SUITE 103 PMB 244	SCOTTSDALE	AZ	85258
7611 S 9TH WAY	PHOENIX	AZ	85042
7850 S GRANDVIEW AVE	TEMPE	AZ	85284
PO BOX 889	TEMPE	AZ	85280
1004 TONY PL	LONGMONT	CO	80501
461 W HOLMES AVE UNIT 313	MESA	AZ	85210
3820 N SAWTOOTH CIR	MESA	AZ	85215
461 W HOLMES AVE UNIT 315	MESA	AZ	85210
PO BOX 84	COLTON	WA	99113
1224 15TH AVENUE NE	ABERDEEN	SD	57401
38553 BEECHWOOD AVE	SPRING GROVE	IL	60081
7163 KINGSTON COVE LN	WILLIS	TX	77318
540 N MAY ST UNIT 2052	MESA	AZ	85201
921 W UNIVERISTY AVE UNIT 1028	MESA	AZ	85201
2820 S CALLE ROSA CIR	MESA	AZ	85202
461 W HOLMES AVE UNIT 323	MESA	AZ	85210
461 W HOLMES AVE UNIT 324	MESA	AZ	85210
7611 S 9TH WY	PHOENIX	AZ	85042
1702 2ND AVE N	DENISON	IA	51442
1726 E PRIMAVERA WY	SAN TAN VALLEY	AZ	85140
461 W HOLMES AVE UNIT 344	MESA	AZ	85210
461 W HOLMES AVE UNIT 345	MESA	AZ	85210
153 KEYSTONE CT	EL DORADO HILLS	CA	95762
532 W SILVER CREEK RD	GILBERT	AZ	85233
4628 E COUNTY DOWN DR	CHANDLER	AZ	85249
11608 W CYPRUS DR	AVONDALE	AZ	85392
461 W HOLMES AVE UNIT 350	MESA	AZ	85210-5139
461 W HOLMES AVE #351	MESA	AZ	85210
461 W HOLMES AVE UNIT 352	MESA	AZ	85210
1825 W RAY RD UNIT 1017	CHANDLER	AZ	85224
461 W HOLMES AVE UNIT 354	MESA	AZ	85210
474 W THOMPSON PL	CHANDLER	AZ	85286

461 W HOLMES AVE UNIT 356	MESA	AZ	85210
461 W HOMES AVE NO 361	MESA	AZ	85210
461 W HOLMES AVE UNIT 362	MESA	AZ	85210
461 W HOLMES AVE UNIT 363	MESA	AZ	85210
8625 E LAREDO LN	SCOTTSDALE	AZ	85250
461 W HOLMES AVE UNIT 384	MESA	AZ	85210
2533 W HAZELWOOD ST 17	PHOENIX	AZ	85017
461 W HOLMES AVE UNIT 386	MESA	AZ	85210
461 W HOLMES AVE #387	MESA	AZ	85210
8109 E OLLA AVE	MESA	AZ	85212
509 E MESQUITE ST	GILBERT	AZ	85296
1510 S COUNTRY CLUB DR	MESA	AZ	85210

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

Date: 05/23/22

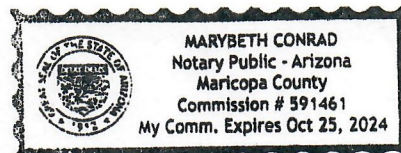
I, Meghan Liggett, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to case # ZON21-00793, on 455 W Holmes. The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

**SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5"
BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.**

Applicant's/Representative's signature: 

SUBSCRIBED AND SWORN before me on 05/23/22


Notary Public



CITY OF MESA PUBLIC NOTICE
ZONING HEARING

PLANNING & ZONING BOARD

57 EAST FIRST STREET

MESA, ARIZONA

TIME: 4:00 PM DATE: June 8, 2022

CASE: ZON21-00793

REQUEST: Rezone from Limited Commercial (LC) to Multiple Residence 4 with a Planned Area Development overlay (RM-4-PAD) and Site Plan Review. This request will allow for a multiple residence development.

**APPLICANT: TAYLOR FRACASSE
ARCHITECTURE, INC.**

PHONE: 480-659-6745

Planning Division 480-644-2385

Posting date: 5/23/2022

May 23, 2022 at 3:23:39 PM

