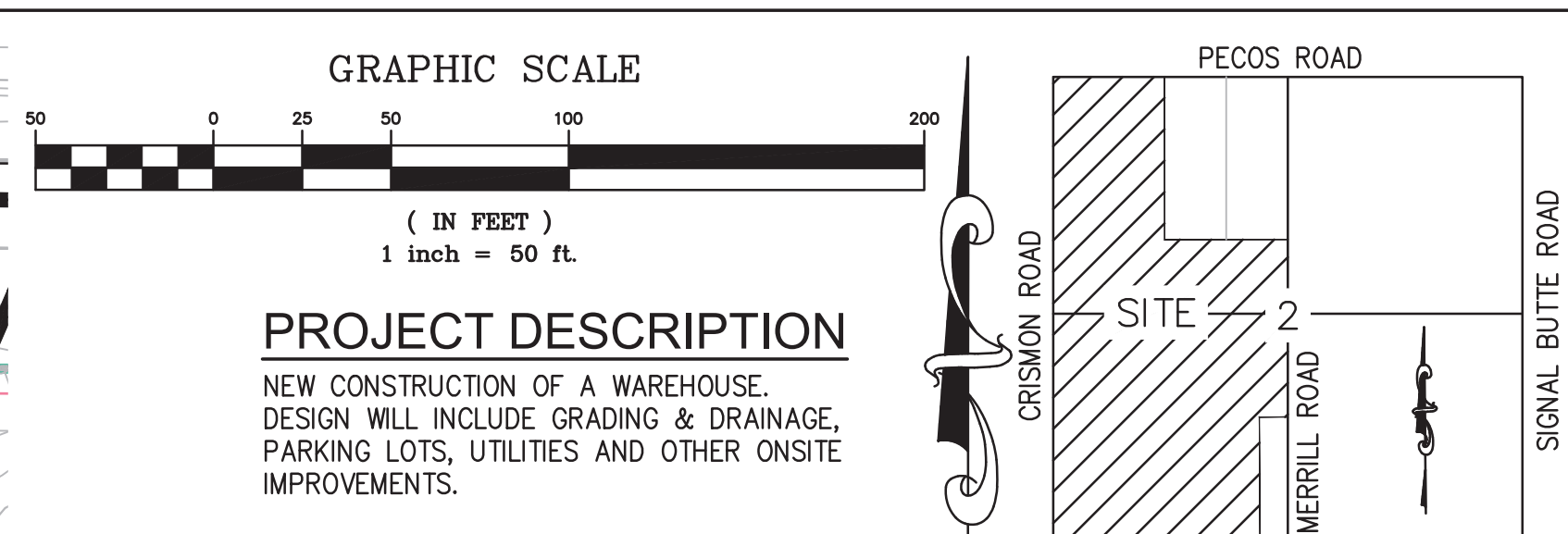
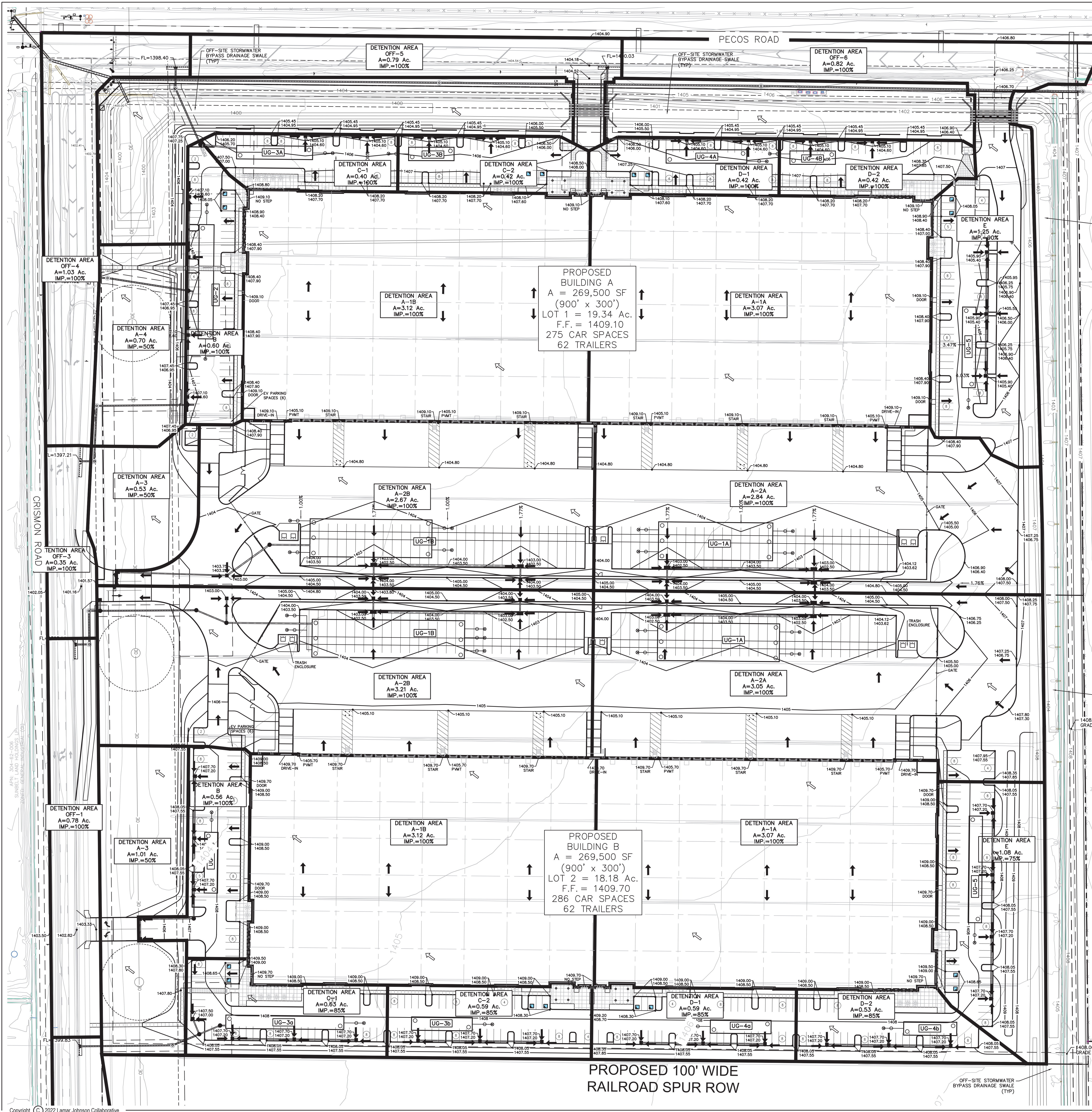




PROJECT DESCRIPTION
NEW CONSTRUCTION OF A WAREHOUSE. DESIGN WILL INCLUDE GRADING & DRAINAGE, PARKING LOTS, UTILITIES AND OTHER ONSITE IMPROVEMENTS.

BASIS OF BEARING
THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 S, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA. SAID LINE BEARS: N89°26'06"E.

- LEGEND**
- DRAINAGE AREA LABEL
 - EXISTING CONTOUR ELEV.
 - PROPOSED CONTOUR ELEV.
 - PROPOSED STORM PIPE
 - PROPOSED FLOW ARROW
 - EXISTING FLOW ARROW
 - DRAINAGE AREA LIMIT
 - BUILDING NUMBER
 - FINISH FLOOR ELEV.

RETENTION BASIN INFORMATION

ON-1A
FF=1409.50

RB-1A
HW=1400.00
BOT=1497.00
VR=

VP=

PROJECT DATA - BUILDING A

PROPOSED USE: INDUSTRIAL
APN NUMBERS: 304-63-006V
EXISTING ZONING: GI - GENERAL INDUSTRIAL
PROPOSED ZONING: GI - GENERAL INDUSTRIAL
NET AREA: 842,415 SF / 19.34 AC
GROSS AREA: 842,415 SF / 19.34 AC
FLOOR COVERAGE RATIO: 296,500 SF / 842,415 SF = 35.2%
LOT COVERAGE MAXIMUM: 90%
LOT COVERAGE PROVIDED: 14.05 AC (73%)
BUILDING HEIGHT: 50'

PROJECT DATA - BUILDING B

PROPOSED USE: INDUSTRIAL
APN NUMBERS: 304-63-006V
EXISTING ZONING: GI - GENERAL INDUSTRIAL
PROPOSED ZONING: GI - GENERAL INDUSTRIAL
NET AREA: 792,118 SF / 18.18 AC
GROSS AREA: 792,118 SF / 18.18 AC
FLOOR COVERAGE RATIO: 296,500 SF / 792,118 SF = 37.4%
LOT COVERAGE MAXIMUM: 90%
LOT COVERAGE PROVIDED: 13.64 AC (75%)
BUILDING HEIGHT: 50'

ARCHITECT

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OWNER/DEVELOPER

CRG
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APPLICANT / LAND USE ATTORNEY

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CONTACT: STEPHANIE WATNEY

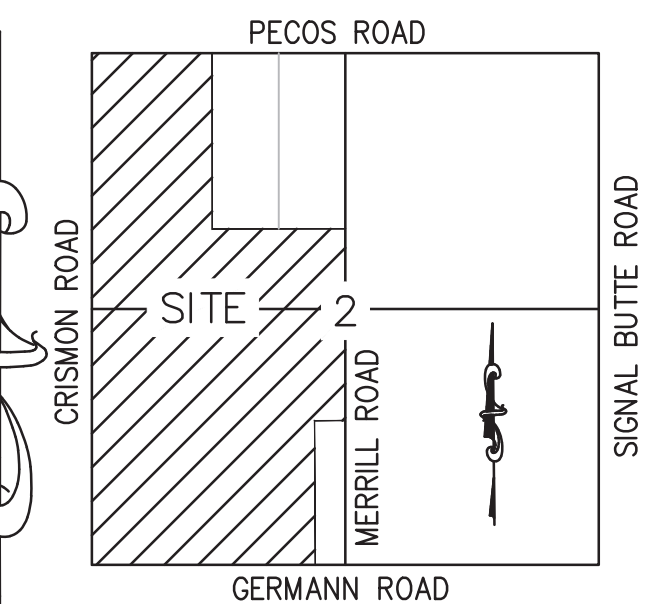
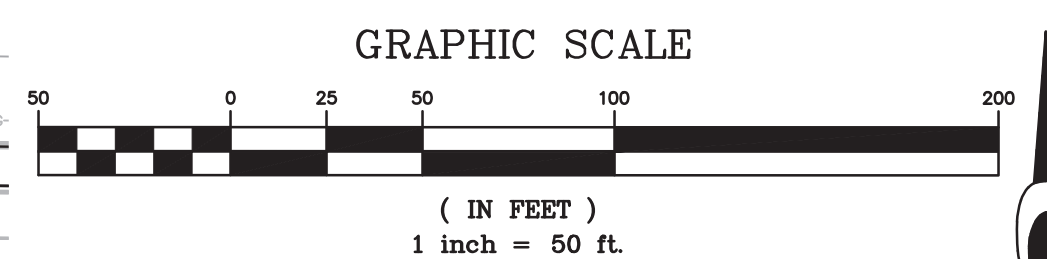
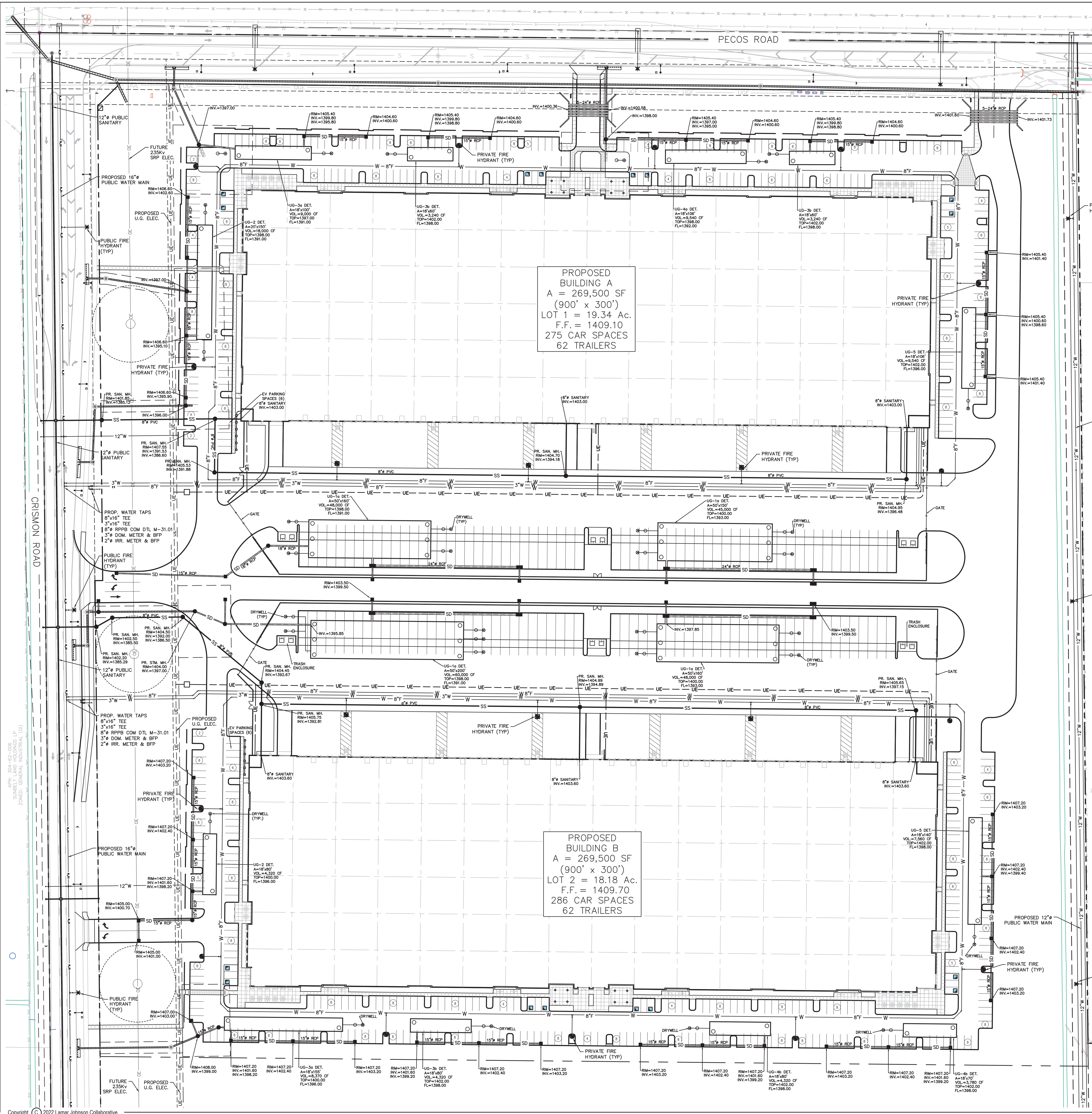
RETENTION CALCULATIONS

Project name:	The Cubes at Mesa Gateway - Building A	Calculated By:		Checked By:		J.M.R.
Project number:	7112	By:		Checked By:		G.M.S.
Project Location:	Mesa, Arizona	Date:				3/18/2022

Retention Basin ID	Drainage Area (s) ID	Area A (ft²)	Area A (ac)	C ¹ Coefficient, 100-Yr	Retention Volume Required 100-Yr, 2-Hr (ft³)	Total Retention Volume Required 100-Yr, 2-Hr (ft³)	Retention Volume Provided (ft³)
UG-1a	A-1A	133,666	3.07	0.95	23,280	44,822	45,000
	A-2A	123,687	2.84	0.95	21,542		
	A-1B	133,834	3.12	0.95	23,658		
	A-2B	116,400	2.67	0.95	20,273		
UG-1b	A-3	23,265	0.53	0.50	2,133	46,063	48,000
	A-4	30,845	0.70	0.50	2,809		
	OFF-3	15,295	0.35	0.95	2,962		
	OFF-4	44,885	1.03	0.95	7,817		
UG-2	B	25,980	0.60	0.95	4,525	17,814	18,000
	C-1	17,255	0.40	0.95	3,085		
	OFF-5	34,530	0.79	0.95	6,014		
	C-2	18,500	0.42	0.95	3,222		
UG-3a	D-1	18,500	0.42	0.95	3,222	9,451	9,540
	OFF-6	35,764	0.82	0.95	6,229		
	D-2	18,255	0.42	0.95	3,179		
	UG-5	54,460	1.25	0.93	9,285		
Total:		845,911	19.4		142,856	142,856	145,569

Project name:	The Cubes at Mesa Gateway - Building B	Calculated By:		Checked By:		J.M.R.
Project number:	7112	By:		Checked By:		G.M.S.
Project Location:	Mesa, Arizona	Date:				3/18/2022

Retention Basin ID	Drainage Area (s) ID	Area A (ft²)	Area A (ac)	C ¹ Coefficient, 100-Yr	Retention Volume Required 100-Yr, 2-Hr (ft³)	Total Retention Volume Required 100-Yr, 2-Hr (ft³)	Retention Volume Provided (ft³)
UG-1a	A-1A	133,666	3.07	0.95	23,280	46,405	48,000
	A-2A	133,775	3.09	0.95	23,125		
	A-1B	133,834	3.12	0.95	23,658		
	A-2B	140,000	3.21	0.95	24,383		
UG-1b	A-3	44,120	1.01	0.50	4,044	57,993	58,500
	OFF-1	33,920	0.78	0.95	5,908		
	B	24,500	0.56	0.95	4,267		
	C-1	27,615	0.63	0.89	4,506		
UG-3a	OFF-2	21,360	0.49	0.95	3,720	8,226	8,320
	C-2	25,550	0.59	0.89	4,169		
	D-1	25,550	0.59	0.89	4,169		
	D-2	22,875	0.53	0.89	3,732		
UG-4a	E	47,100	1.08	0.94	7,293	136,215	136,170
	D	814,865	18.7				
Total:		814,865	18.7		136,215	136,215	136,170



LEGEND

- | | | | |
|-------|--------------------------|---|------------------------------|
| --- | BOUNDARY LINE | ● | FOUND BRASS CAP IN HAND HOLE |
| - - - | EASEMENT LINE | ○ | FOUND BRASS CAP FLUSH |
| --- | CENTER LINE | ○ | EX UTILITY POLE |
| --- | RIGHT OF WAY LINE | ○ | EX GUY ANCHOR |
| --- | WATER LINE | ○ | EX ELECTRIC TRANSFORMER |
| --- | SEWER LINE | ○ | EX ELECTRIC PULL BOX |
| --- | FIRE LINE | ○ | EX LIGHT POLE W/ARM |
| --- | RIGHT-OF-WAY | ○ | FINISH FLOOR ELEVATION |
| --- | REGISTERED LAND SURVEYOR | ○ | FIRE HYDRANT |
| --- | ASSESSOR PARCEL NUMBER | ○ | SEWER MANHOLE |
| --- | OVERHEAD ELECTRIC | ○ | |
| --- | BRASS CAP IN HAND HOLE | ○ | |
| --- | FOUND MONUMENT AS NOTED | ○ | |

PROJECT DATA - BUILDING A

PROPOSED USE:	INDUSTRIAL
APN NUMBERS:	304-63-006V
EXISTING ZONING:	GI - GENERAL INDUSTRIAL
PROPOSED ZONING:	GI - GENERAL INDUSTRIAL
NET AREA:	842,415 SF / 19.34 AC
GROSS AREA:	842,415 SF / 19.34 AC
FLOOR COVERAGE RATIO	296,500 SF / 842,415 SF = 35.2%
LOT COVERAGE MAXIMUM	90%
LOT COVERAGE PROVIDED	14.05 AC (73%)
BUILDING HEIGHT	50'

PROJECT DATA - BUILDING B

PROPOSED USE:	INDUSTRIAL
APN NUMBERS:	304-63-006V
EXISTING ZONING:	GI - GENERAL INDUSTRIAL
PROPOSED ZONING:	GI - GENERAL INDUSTRIAL
NET AREA:	792,118 SF / 18.18 AC
GROSS AREA:	792,118 SF / 18.18 AC
FLOOR COVERAGE RATIO	296,500 SF / 792,118 SF = 37.4%
LOT COVERAGE MAXIMUM	90%
LOT COVERAGE PROVIDED	13.64 AC (75%)
BUILDING HEIGHT	50'

ARCHITECT

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APPLICANT / LAND
USE ATTORNEY

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PHONE: (602) 346-4619
CONTACT: STEPHANIE WATNEY

PROJECT DESCRIPTION

NEW CONSTRUCTION OF A WAREHOUSE.
DESIGN WILL INCLUDE GRADING & DRAINAGE,
PARKING LOTS, UTILITIES AND OTHER ONSITE
IMPROVEMENTS.

BASIS OF BEARING

THE NORTH LINE OF THE NORTHWEST
QUARTER OF SECTION 2, TOWNSHIP 2
SOUTH, RANGE 7 EAST OF THE GLA AND
SALT RIVER MERIDIAN, MARICOPA COUNTY,
ARIZONA. SAID LINE BEARS: N89°26'06"E.

DATE: 04-22-2022

GEORGE M. STOCK
CIVIL ENGINEER
E-35402
REGISTRATION NUMBER: 12910

257 Chesterfield Business Parkway
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Stock & Associates
Consulting Engineers, Inc.

PREPARED BY: Lamar Johnson Collaborative

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CRG INTEGRATED REAL ESTATE SOLUTIONS

THE CUBES AT MESA BUILDINGS A & B

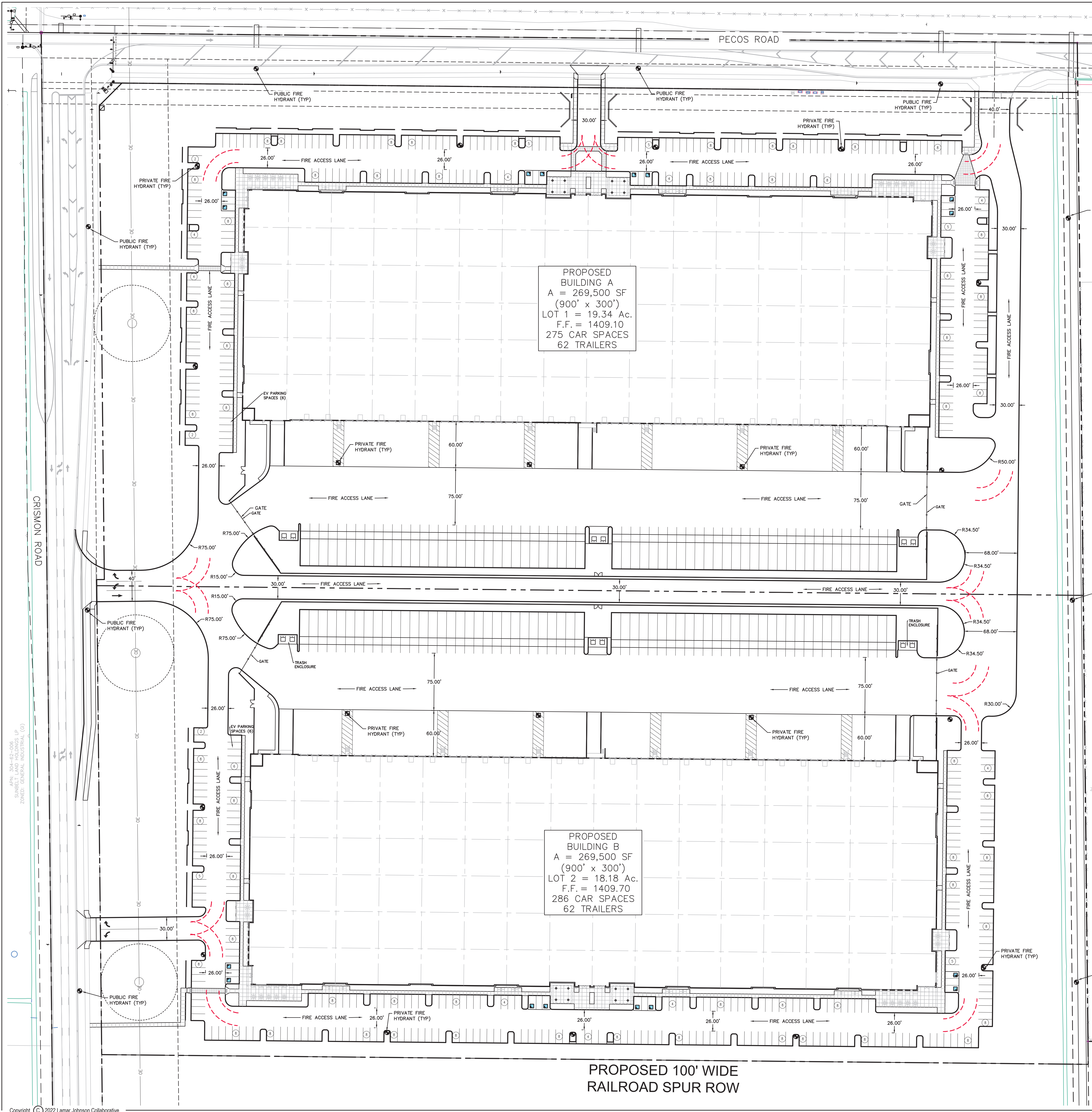
LOT 1 - 10101 E. PECOS ROAD,
LOT 2 - 6935 S. CRISMON ROAD,
MESA, AZ 85212

DRAWING ISSUE	
DESCRIPTION	DATE
1. DR SUBMITTAL	3-21-2022
2. 1ST REVIEW COMMENTS	4-22-2022

DRAWING TITLE: PRELIMINARY UTILITY PLAN

DRAWING NO. **C2.0**

CRG Job # 006367 STOCK Job # 221-7112



GRAPHIC SCALE
(IN FEET)
1 inch = 50 ft.

VICINITY MAP
SEC 2, T. 2 S., R. 7 E.

LEGEND
FIRE HYDRANT
FIRE TRUCK TURN RADIUS

PROJECT DATA - BUILDING A

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PROJECT DATA - BUILDING B

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PROPOSED ZONING:	GI - GENERAL INDUSTRIAL
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ARCHITECT LAMAR JOHNSON COLLABORATIVE 2199 INNERBELT BUSINESS CENTER DRIVE ST. LOUIS, MISSOURI 63114 PHONE: (314) 592-5623 CONTACT: JOE SCHNIEDERS	OWNER/DEVELOPER CRG 7800 FORSYTH BLVD, 3RD FLOOR ST. LOUIS, MO 63105
ENGINEER STOCK & ASSOCIATES CONSULTING ENGINEERS, INC. 257 CHESTERFIELD BUSINESS PARKWAY ST. LOUIS, MO 63005 PHONE: (636) 530-9100 CONTACT: GEORGE STOCK, P.E. PRESIDENT	APPLICANT / LAND USE ATTORNEY WITHEY MORRIS, PLC 2525 E. ARIZONA BILTMORE CIRCLE, STE A-212 PHOENIX, AZ 85016 PHONE: (602) 346-4619 CONTACT: STEPHANIE WATNEY

PROJECT DESCRIPTION
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BASIS OF BEARING
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DATE: 04-22-2022
GEORGE M. STOCK
CIVIL ENGINEER
REGISTRATION NUMBER: 12910

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CRG INTEGRATED REAL ESTATE SOLUTIONS

THE CUBES AT MESA BUILDINGS A & B
LOT 1 - 10101 E. PECOS ROAD,
LOT 2 - 6935 S. CRISMON ROAD,
MESA, AZ 85212

DRAWING ISSUE	
DESCRIPTION	DATE
1. DR SUBMITTAL	3-21-2022
2. 1ST REVIEW COMMENTS	4-22-2022

DRAWING TITLE: PRELIMINARY FIRE ACCESS PLAN
DRAWING NO.: C4.0

CRG Job # 006367 STOCK Job # 221-7112