February 14, 2022

City of Mesa
Planning & Development Services
55 N. Center St.
Mesa, AZ 85201

Re: **Case #: ZON21-01285 (previously ADM21-01071)**
Project Title: HGI & HWS Dual Brand Hotel at Gallery Park
Project Address: 5057 S. Power Road, Mesa, AZ 85212
Application Type: Planning and Zoning / Design Review
Review Type: 1st Review Consolidated Comments
Reviewers: Kellie Rorex, kellie.rorex@mesaaz.gov

Dear Kellie:

Below please find a revised narrative for the HGI & HWS Dual Brand Hotel at Gallery Park:

Project Narrative:

Attached you will find our Administrative Design Review and Major Site Plan modification submittal for a proposed four-story, dual-brand Hilton Garden Inn and Homewood Suites hotel with outdoor amenities and associated site improvements located in the east central portion of the Gallery Park commercial development at the Northeast corner of South Power Road and East Ray Road in Mesa, Arizona.

The original approved Gallery Park site plan contemplated a single-brand hotel for the Building 21 location with a ground floor footprint of 17,100 sf. As a result of continued growth, and anticipated future demand in the southeast valley, this current proposal is for a dual-brand Hilton hotel. The Hilton Garden Inn brand will serve the demand from business travelers, and the Homewood Suites brand will serve the demand for extended stay business and leisure guests. In addition, the current proposal includes an expanded ground floor amenity offering to serve requirements from both brands, and additional meeting and event spaces not originally contemplated at the time the original Gallery Park site plan was approved. This current hotel ground floor building footprint is 33,172 sf, and the site plan for the hotel has been reconfigured to accommodate the expanded hotel use. As a result of a building footprint increase of more than 5,000 sf, and the increased open space changes, this proposal includes a request for a major site plan modification.

Access to the overall Gallery Park development is existing at four entry drives along South Power Road and one entry drive at East Ray Road. The proposed buildings may also be accessed via several private roads within the development consistent with the original approved site plan, and vehicle and bicycle parking requirements for the proposed uses are accommodated on site as illustrated on the site plan.

As previously noted, the proposed building is a four-story dual-brand Hilton Garden Inn / Homewood Suites Hotel. The hotel's 33,172 sf ground floor includes 2,200 sf of meeting space with two meeting rooms sharing an operable common wall allowing for a single, larger meeting space. Two additional smaller executive style board rooms are also incorporated to accommodate smaller breakout meetings. In addition to standard hotel program elements of reception, laundry, and business center, the hotel also features a separately branded 5,000 sf restaurant with its own entry fronting one of Gallery Park's main north/south drives. In addition to serving hotel guests, the restaurant will encourage locals to visit by featuring its own custom menu unique to this location and an adjacent 1,200 sf covered patio activating Gallery Park's streetscape.

While similar Hilton Garden Inn and Homewood Suites have very modest outdoor spaces, this hotel will feature expanded outdoor amenities. A resort style pool with chaise lounges and outdoor cabanas is flanked by two rows of date palms. The poolside area also features a gathering area with shade ramada, outdoor grills, double-sided fireplace and pavilion building with beverage serving areas for small group or club team gatherings. The pavilion's roof extends south to shade an outdoor elevated stage overlooking an event lawn to accommodate small corporate gatherings or outdoor weddings. A 2,000sf second floor outdoor Sky Deck provides space for additional outdoor corporate gathering, or an intimate outdoor space for guests from the adjacent patio suites to step outside and enjoy a morning sunrise. Altogether these well-appointed, landscaped outdoor spaces provide more than half the hotel's guest suites with views of this resort style environment.

The proposed design conforms with Gallery Park's Design Guidelines. The hotel's proposed Warm Modern building style is in keeping with Gallery Park's elevated design aesthetic. A combination of decorative masonry, natural stone and wood compose the hotel's elevations which exceed the 25% Special Material requirement. A large, overhead, entry canopy extends over the Porte Cochere, and the hotel's front door. The massing at the entry is projected west, marked by a rooftop steel canopy, and storefront glazing is used in this portion of the massing altogether creating the entry statement for the hotel. Special plantings are incorporated in the form of vines growing on walls at the resort style pool along with Date Palms which are also used at the hotel's entry. A 4-story sculpted wall with a stepped-level fountain at grade will become the hotel's art moment. Large overhangs are further incorporated at the hotel's uniquely and separately branded outdoor patio. Wood soffits are incorporated at select portions of the hotel including the restaurant elevations. As previously noted, an Upper Balcony has been incorporated at the second floor of the hotel overlooking the pool.

The illustration below demonstrates the hotel's material palette and its consistency with the approved color/material palette in Gallery Park's Design Guidelines.

GALLERY PARK MATERIALS

PROPOSED HILTON DUAL BRAND MATERIALS CONSISTENT WITH GALLERY PARK DESIGN GUIDELINES

At the planning departments request, additional Special Materials were incorporated into the north elevation of the hotel. While the requirement for Special Materials is 25% for the entire building, and there is no requirement that each of the building elevations must on their own comply with the minimum, the north elevation currently has 21% Special Materials. The proposed design has prioritized the use of Special Materials along the ground floor pedestrian experience, and at the hotel's primary front entry west elevation which has 44% Special Materials.

VIVO Development Partners is excited to see its vision for Gallery Park continue to come together with the addition of its proposed Dual Brand Hilton Garden Inn and Homewood Suites. Please contact me if you have any questions or require additional information.

Sincerely,

Jose Daniel Pombo
Partner, Development

Hilton Garden Inn

Design Review

March 2, 2022

PLANT LEGEND

BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TREES			
Bauhinia purpurea	Purple Orchid Tree	24" Box	Standard Trunk Dense Canopy
Eucalyptus papuana	Ghost Gum Eucalyptus	36" Box	Standard Trunk Dense Canopy
Parkinsonia x 'Desert Museum'	Desert Museum	36" Box	Multi - Trunk Dense Canopy
Ulmus parvifolia	Chinese Elm	36" Box	Standard Trunk Dense Canopy
Fraxinus velutina 'Fan Tex'	Fan Tex Ash	24" Box	Standard Trunk Dense Canopy
Phoenix dactilifera	Date Palm	18' C.T.H.	Size Per Plan Diamond Cut
Nerium oleander	Oleander Tree	24" Box	Standard Trunk Dense Canopy
Olea europaea	Fruitless Olive	36" Box	Standard Trunk Dense Canopy
Sophora secundiflora	Texas Mountain Laurel	24" Box	Standard Trunk Dense Canopy
Olneya tesota	Ironwood	24" Box	Standard Trunk Dense Canopy
Ficus nitida	Indian Laurel Columns	15 Gal.	Standard Trunk Dense Canopy
Thevetia peruviana	Thevetia	24" Box	Standard Trunk Dense Canopy
Quercus virginiana 'Empire'	Southern Live Oak	36" Box	Standard Trunk Dense Canopy
ACCENTS/VINES			
Bougainvillea 'Barbara Karst'	Vine Bougainvillea	5 Gal.	As Per Plan
Bougainvillea brasiliensis	Purple Bougainvillea	5 Gal.	As Per Plan
Muhlenbergia dubia	Deer Grass	5 Gal.	As Per Plan
Ficus pumila	Creeping Fig Vine	5 Gal.	As Per Plan
Pedilanthus macrocarpus	Lady Slipper Plant	5 Gal.	As Per Plan
Trachelospermum jasminoides	Star Jasmine	5 Gal.	As Per Plan
SHRUBS			
Caesalpinia pulcherrima	Red Bird of Paradise	24" Box	As Per Plan
Buxus sempervirens	Boxwood	5 Gal.	As Per Plan
Olea europaea 'Little Ollie'	Little Ollie	5 Gal.	As Per Plan
Eremophila maculata 'valentine'	Red Emu Bush	5 Gal.	As Per Plan
Myrtus communis	Dwarf Myrtle	5 Gal.	As Per Plan
Ruellia peninsularis	Baja Ruellia	5 Gal.	As Per Plan
Carissa macrocarpa	Natal Plum	5 Gal.	As Per Plan
Tecoma stans	Yellow Bells	5 Gal.	As Per Plan
Tecoma stans 'Orange Jubilee'	Orange Jubilee	5 Gal.	As Per Plan
GROUND COVERS			
Rosmarinus officinalis 'Tuscan Blue'	Rosemary	1 Gal.	As Per Plan
Lantana hybrid 'Bandara'	Red Lantana	1 Gal.	As Per Plan
Lantana hybrid 'New Gold'	New Gold Lantana	1 Gal.	As Per Plan
Lantana montevidensis	Purple Trailing Lantana	1 Gal.	As Per Plan
Wedelia trilobata	Yellow Dot	1 Gal.	As Per Plan
Dietes bicolor	Evergreen Iris	1 Gal.	As Per Plan
Carissa macrocarpa	Green Carpet Natal Plum	1 Gal.	As Per Plan
MISCELLANEOUS			
Decomposed Granite - 1/2" Screened Sunset Gold or equal from Treasure Chest Granite (480) 354-6805 2" Depth in All Planting Areas (Typ) - **23,333 SQ. FT.**			

CITY OF MESA LS REQUIREMENTS

	REQUIRED	PROVIDED
PRIVATE STREET R.O.W.	**1 Tree/4 Shrub per 25 L.F.**	
TREES	19	19
SHRUBS	76	80
PARKING LOT ISLAND	**1 Tree/3 Shrub per Island**	
TREES	51	67
SHRUBS	153	201

NOTES

1. 25% OF TREES REQUIRED IN R.O.W. SHOULD BE 36" BOX OR LARGER, WITH A MINIMUM OF 50% OF REQUIRED TREES BEING 24" BOX. NO TREES SMALLER THAN 15 GALLON.
2. 10% OF TREES REQUIRED IN PARKING ISLANDS & FOUNDATION PLANTING AREAS NEED TO BE 36" BOX WITH THE BALANCE BEING AT LEAST 24" BOX.
3. 50% OF TREES REQUIRED IN PERIMETER LANDSCAPE AREAS TO BE 24" BOX WITH THE BALANCE BEING 15 GALLON.
4. 50% OF ALL REQUIRED SHRUBS TO BE 5 GALLON WITH NO SHRUBS LESS THAN 1 GALLON.

Additional Note:
*(2) ADDITIONAL 24" BOX TREES SUBSTITUTED FOR (4) 15 GALLON TREES
**(3) 24" BOX SUBSTITUTED FOR (6) 15 GALLON TREES

CONCEPTUAL GENERAL NOTES

1. CONCEPTUAL LANDSCAPE PLAN IS SCHEMATIC IN NATURE. AT THE TIME OF LANDSCAPE CONSTRUCTION DRAWINGS ACTUAL LOCATIONS, QUANTITIES, SIZES, AND SPECIES SHALL BE DETERMINED AND WILL BE PER CITY CODES.
2. ALL TREES USED WITHIN THIS PROJECT SHALL BE NURSERY GROWN. EXACT LOCATIONS AND QUANTITIES SHALL BE DETERMINED ON LANDSCAPE CONSTRUCTION DRAWINGS. ALL EXISTING TREES SHALL BE PROTECTED DURING CONSTRUCTION.
3. ALL LANDSCAPE AREAS SHALL RECEIVE AN AUTOMATIC IRRIGATION SYSTEM.
4. ALL PLANT MATERIAL SHALL BE INSTALLED PER CITY REQUIREMENTS. PLANT MATERIAL INSTALLED WITHIN SIGHT DISTANCE TRIANGLES SHALL BE OF A SPECIES THAT DOES NOT GROW TO A HEIGHT OF MORE THAN 30" AND SHALL BE MAINTAINED PER CITY REQUIREMENTS.
5. ALL NON-TURF AREAS SHALL RECEIVE A 2" DEPTH OF DECOMPOSED GRANITE.
6. THE RETENTION SHOWN ON THE PLANS IS CONCEPTUAL IN NATURE. REFER TO THE ENGINEERING PLANS FOR ACTUAL GRADING AND DRAINAGE CONFIGURATIONS.
7. ALL EARTHWORK WILL BE DONE TO DRAIN AWAY FROM SIDEWALKS AND STRUCTURES.
8. FINAL SITE PLAN CONFIGURATION MAY VARY AT THE TIME OF FINAL PLAT APPROVAL.
9. ADDITIONAL PLANT MATERIAL MAY BE INTRODUCED AS DIFFERENT VARIETIES BECOME AVAILABLE THROUGH LOCAL NURSERIES AND IF THEY ARE CONSISTENT WITH THE OVERALL THEME OF THIS PROJECT.
10. SVT LOCATIONS WILL BE ADDRESSED ON THE FINAL PLAT. ALL LANDSCAPE ELEMENTS WILL COMPLY WITH MESA CITY CODE FOR SVTs.

PLANTING NOTES

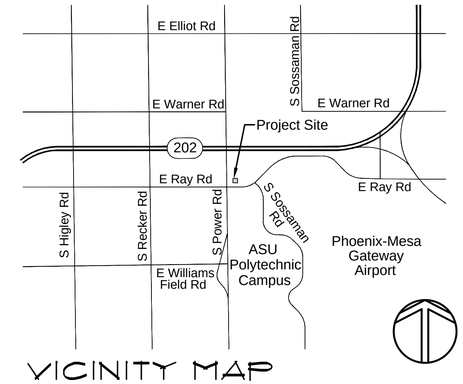
1. CLARIFICATION OF DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE SITE SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
2. ALL PLANT MATERIAL MUST MEET ANA SPECIFICATIONS.
3. THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL HE DEEMS UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE INSPECTED PRIOR TO INSTALLATION.
4. PLANTS TO BE LOCATED AWAY FROM OBSTACLES SUCH AS FIRE HYDRANTS, TRANSFORMERS, POWER POLES, AND LIGHT FIXTURES AS NECESSARY. DO NOT INSTALL PLANT MATERIAL IN ANY AREA WHICH WILL CAUSE HARM TO ADJACENT IMPROVEMENTS.
5. VERIFY PLANT QUANTITIES PRIOR TO INSTALLATION. QUANTITIES ARE LISTED FOR CONVENIENCE ONLY, THE ACTUAL NUMBER OF SYMBOLS INDICATED ON THE PLANTING PLANS SHALL HAVE PRIORITY OVER QUANTITIES DESIGNATED. NOTIFY THE LANDSCAPE ARCHITECT OF QUANTITY DISCREPANCIES IMMEDIATELY.
6. PLANT TREES, SHRUBS, AND CACTI PLUMB, AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS OR VIEWS.
7. NOTIFY OWNER AND LANDSCAPE ARCHITECT IMMEDIATELY SHOULD SOIL CONDITIONS BE PRESENT WHICH WOULD PREVENT PROPER SOIL DRAINAGE AND ALLOW WATER TO STAND IN PLANTING PITS.
8. DOUBLE STAKE ALL TREES OUTSIDE ROOTBALL., EXCEPT FOR SALVAGED TREES.
9. LANDSCAPE CONTRACTOR TO PERFORM A SOILS TEST PRIOR TO LANDSCAPE CONSTRUCTION TO DETERMINE ANY NUTRIENT DEFICIENCIES. IF ANY DEFICIENCIES EXIST, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AMEND THE SOIL ACCORDINGLY.
10. SIGNS REQUIRE SEPARATE APPROVALS AND PERMITS.

OWNER/DEVELOPER

POWER 202 MIXED-USE, LLC
C/O VIVO DEVELOPMENT PARTNERS, LLC
4650 EAST COTTON CENTER BLVD.
SUITE 200
PHOENIX, ARIZONA 85040
CONTACT: JOSE POMBO
602-393-5893

SHEET INDEX

SHEET NO.	SHEET DESCRIPTION
CLS-1	Cover Sheet and Notes
CLS-2	Conceptual Tree Plan
CLS-3 - CLS-6	Conceptual Landscape Plans



VICINITY MAP

CITY OF MESA NOTES

1. LANDSCAPE CONTRACTOR SHALL CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND SHALL BE RESPONSIBLE FOR THE FOLLOWING:
   A. DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES
   B. DAMAGES TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC.
   C. INSPECTING THE SITE IN ORDER TO BE FULLY AWARE OF EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
2. INSTALLATION OF ALL LANDSCAPE AND IRRIGATION MATERIALS SHALL COMPLY WITH SECTIONS 424, 425, 757, AND 795 OF THE MAG STANDARD SPECIFICATIONS AS AMENDED BY THE CITY OF MESA.
3. CONTRACTOR SHALL REPAIR ANY DAMAGE MADE TO THE EXISTING SPRINKLER SYSTEM TO THE SATISFACTION OF THE CITY AT NO ADDITIONAL COST TO THE CITY.
4. LANDSCAPE REMOVAL IS A NON-PAY ITEM UNLESS OTHERWISE NOTED.
5. ALL EXISTING VEGETATION, WEEDS, DEBRIS, ETC. SHALL BE REMOVED FROM PROJECT AREA AND DISPOSED OF PROPERLY OFF THE SITE AT THE CONTRACTOR'S EXPENSE (SCARIFY EXISTING SUBGRADE, MINIMUM 6" DEPTH).
6. DAMAGE TO TURF SHALL BE REPAIRED BY CONTRACTOR, I.E., RUTS FILLED WITH CLEAN SOIL, COMPACTED TO MATCH SURROUNDING GRADES. EXCESS SOIL, ROCK, ETC. SHALL BE REMOVED TO LEAVE THE SITE CLEAN.
7. ALL PLANT MATERIAL, OTHER THAN TREES, SHALL CONFORM TO GRADING, TYPE, ETC. AS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL TREES SHALL CONFORM TO THE CURRENT ARIZONA NURSERY ASSOCIATION TREE SPECIFICATIONS AND MAG SPEC 1955.1. SHOULD ANY CONFLICTS IN THE SPECIFICATIONS OCCUR, THE ARIZONA NURSERY ASSOCIATION'S SPECIFICATIONS SHALL PREVAIL.
8. CITY RESERVES THE RIGHT TO INSPECT SHRUBS AND CONTAINERED TREES FOR CONDITION OF ROOT BALLS. FOR ANY SUCH INSPECTIONS WHICH MAY DESTROY ROOT BALL, CONTRACTOR SHALL SUPPLY ADDITIONAL PLANT AT NO COST TO CITY.
9. PLANT PITS SHALL BE INSPECTED BY CITY PRIOR TO PLANTING BY THE CONTRACTOR BY REQUESTING AN INSPECTION 48 HOURS IN ADVANCE.
10. ROUGH AND FINE GRADING TO ESTABLISH UNIFORM SMOOTH GRADE IS INCLUDED IN THIS PROJECT.
11. SOIL TEST FOR FERTILITY AND ADDITIVE RECOMMENDATIONS (FOR TURF AND ORNAMENTALS) SHALL BE COMPLETED BY CONTRACTOR TO DETERMINE IF ADDITIVES ARE REQUIRED. CONTRACTOR SHALL PROVIDE COPY OF SOIL TEST RESULTS FOR REVIEW AND APPROVAL TO ENGINEERING INSPECTOR AT LEAST SEVEN DAYS PRIOR TO ANTICIPATED PLANTING. AFTER APPROVAL BY THE CITY, THE CONTRACTOR SHALL PROVIDE AND INCORPORATE ANY ADDITIVES REQUIRED PRIOR TO OR AT TIME OF PLANTING.
12. PLANT PIT SOIL MIXTURE SHALL CONSIST OF FOUR AND ONE HALF PARTS NATURAL FERTILE, FRIABLE SOIL AND ONE PART HUMUS BY VOLUME, THOROUGHLY MIXED PRIOR TO BACKFILLING IN PITS. BACKFILLING SHALL BE IN 6" LIFTS WITH EACH LIFT WATER SETTLED WITHOUT PUDDLING.
13. CONTRACTOR SHALL STAKE TREE AND SHRUB LOCATIONS FOR 5-GALLON PLANTS AND LARGER. STAKES SHALL BE MARKED WITH PLANT NAME OR PLANT LEGEND ITEM NUMBER FROM PLANS.
14. ALL EXISTING (GAS, ELECTRIC, WATER, ETC.) COVERS AND BOXES SHALL REMAIN UNCOVERED. CONTRACTOR TO ADJUST TO FINAL GRADE AS NECESSARY. NPI UNLESS OTHERWISE NOTED.
15. THE CONTRACTOR SHALL INSTALL WATER METER PROVIDED BY THE CITY OF MESA. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR NECESSARY TO INSTALL THE COMPLETE AUTOMATIC SPRINKLER SYSTEM FROM THE METER (WATER USAGE CHARGES SHALL BE PAID BY CONTRACTOR UNTIL PROJECT FINAL ACCEPTANCE BY CITY OF MESA). CONTRACTOR SHALL ORDER METER FROM DEVELOPMENT SERVICES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE UNDERGROUND SPRINKLER SYSTEMS IN ADVANCE OF CONSTRUCTION. THE SPRINKLER SYSTEM LOCATIONS NOTED ON PLANS ARE FOR REFERENCE ONLY.
17. CONTRACTOR TO VERIFY DEPTH OF ALL INLET STRUCTURES AND SPRINKLER SYSTEMS PRIOR TO TRENCHING FOR LOW-FLOW CHANNEL.
18. CONTRACTOR TO PROVIDE PUMPING WITHIN FIVE (5) DAYS AFTER THE NOTICE TO PROCEED IS GIVEN AS REQUIRED TO DRY THE AREA SUFFICIENTLY TO BEGIN CONSTRUCTION.
19. CONTRACTOR SHALL ARRANGE FOR SPRINKLER SYSTEM SHUTDOWN DURING CONSTRUCTION BY CONTACTING THE ENGINEERING INSPECTOR.
20. NO ROCKS LARGER THAN 1" IN DIAMETER SHALL BE ALLOWED IN THE TOP 6" OF TOPSOIL WHERE TURF ESTABLISHMENT IS SPECIFIED. ROCK REMOVAL AS NECESSARY IS INCLUDED IN THIS PROJECT (NPI).
21. WHERE CALICHE IS ENCOUNTERED IN PLANT PITS, DEPTH AND WIDTH OF PIT SHALL BE INCREASED BY ONE-THIRD (1/3) OVER SPECIFICATION, AND A LIQUID PENETRATOR, "AL-KALICHE" OR EQUAL, SHALL BE INCORPORATED FOR EACH PIT PER MANUFACTURER'S RECOMMENDATIONS.
22. PROJECT RECORD (AS-BUILT) DRAWINGS FOR IRRIGATION SYSTEM:
   A. MAINTAIN ON SITE AND SEPARATE FROM DOCUMENTS USED FOR CONSTRUCTION, ONE COMPLETE SET OF CONTRACT DOCUMENTS AS PROJECT RECORD DOCUMENTS. KEEP DOCUMENTS CURRENT. DO NOT PERMANENTLY COVER WORK UNTIL AS-BUILT INFORMATION IS RECORDED.
   B. RECORD PIPE AND WIRING NETWORK ALTERATIONS. RECORD WORK WHICH IS INSTALLED DIFFERENTLY THAN SHOWN ON THE CONSTRUCTION DRAWINGS. RECORD ACCURATE REFERENCE DIMENSIONS, MEASURED FROM AT LEAST TWO PERMANENT REFERENCE POINTS, OF EACH IRRIGATION SYSTEM VALVE, EACH BACKFLOW PREVENTION DEVICE, EACH CONTROLLER OR CONTROLLER UNIT, EACH SLEEVE END, EACH STUB-OUT FOR FUTURE PIPE OR WIRING CONNECTIONS, AND OTHER IRRIGATION COMPONENTS ENCLOSED WITHIN A VALVE BOX.

Call at least two full working days before you begin excavation
ARIZONA 811
Dial 8-1-1 or 1-800-STAKE IT (782-5348)
In Maricopa County (602)263-1100

COLLABORATIVE DESIGN STUDIO
Collaborative V Design Studio Inc.
7116 East 1st Ave.,
Suite 103
Scottsdale, Arizona
85251
office: 480-347-0590
fax: 480-656-6012

Registered Landscape Architect
CERTIFICATE NO. 46487
MATTHEW PAUL DRINKER
03/08/2022
ARIZONA, U.S.A.
EXPIRES 06 / 30 / 2022

LANDSCAPE IMPROVEMENTS
Hilton Garden Inn
Mesa, AZ

CONCEPTUAL LANDSCAPE PLAN

DESIGNED BY:	PV/MD/CP
DRAWN BY:	CP
CHECKED BY:	PV
DATE:	10/28/2021
REVISIONS:	03/02/2022 City Comments

Hilton Garden Inn
Design Review

CLS-1

PLANT LEGEND

BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TREES			
Bauhinia purpurea	Purple Orchid Tree	24" Box	Standard Trunk Dense Canopy
Eucalyptus papuana	Ghost Gym Eucalyptus	36" Box	Standard Trunk Dense Canopy
Parkinsonia x 'Desert Museum'	Desert Museum	36" Box	Multi - Trunk Dense Canopy
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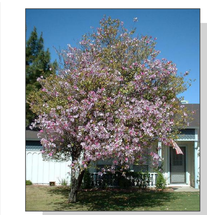
Ghost Gum Eucalyptus

Desert Museum


Purple Orchid Tree

Indian Laurel columns

Thevetia

Chinese Elm

0 15 30 60
SCALE: 1"=30'-0"
NORTH

Chitalpa

Texas Mountain Laurel

Fan Tex Ash

Ironwood

Chinese Pistache

Date Palm

Southern Live Oak

Oleander Tree

Fruitless Olive

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Hilton Garden Inn
Mesa, AZ

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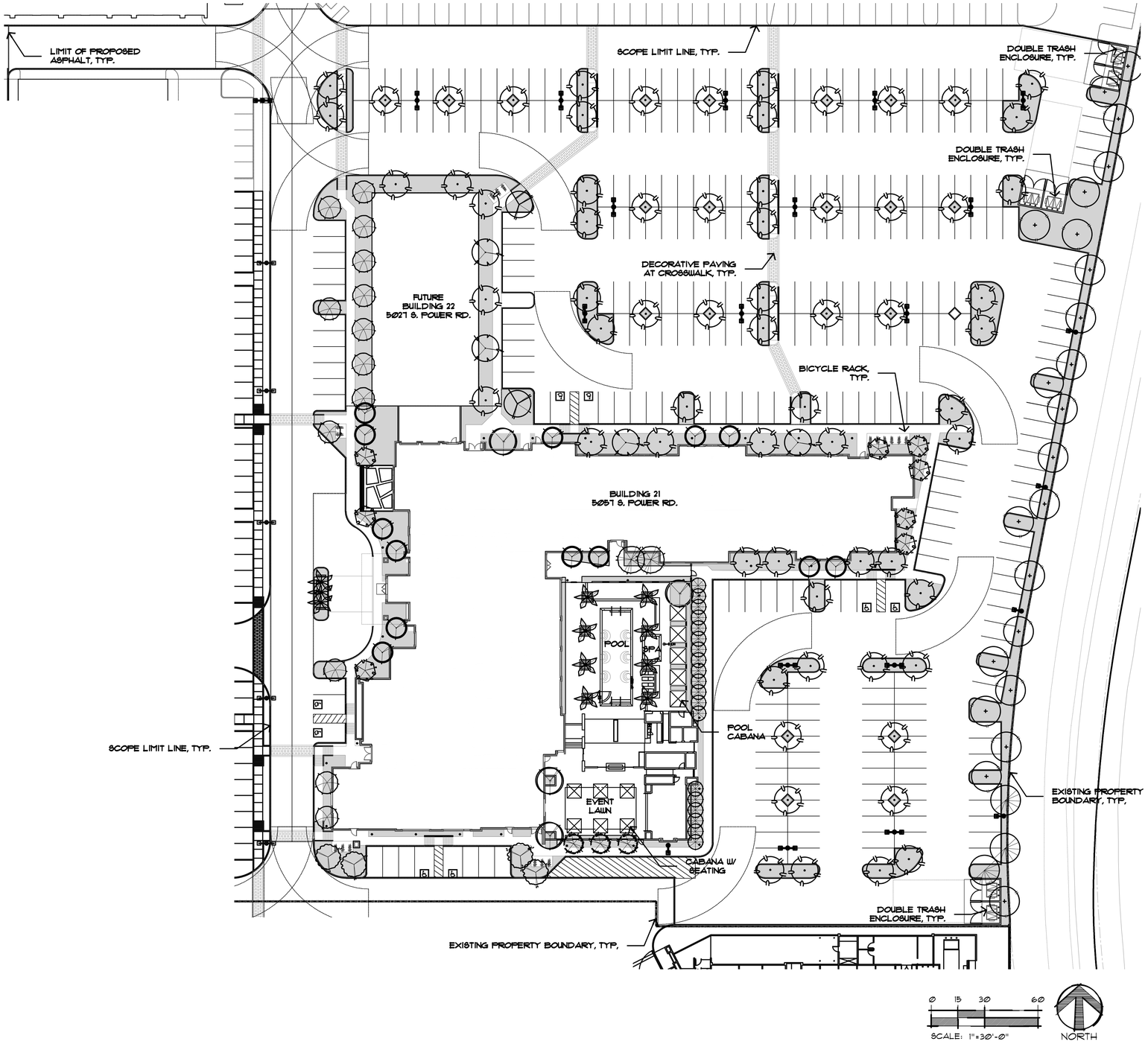
DESIGNED BY: PV/MD/CP
DRAWN BY: CP
CHECKED BY: PV
DATE: 10/28/2021
REVISIONS: 03/02/2022 City Comments

Hilton Garden Inn
Design Review

CLS-2



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2" Depth In All Planting Areas (Typ) - 23,333 SQ. FT.

COLLABORATIVE DESIGN STUDIO

Collaborative V
Design Studio Inc.
7116 East 1st Ave.,
Suite 103
Scottsdale, Arizona
85251
office: 480-347-0590
fax: 480-656-6012

Registered Landscape Architect
CERTIFICATE NO. 46487
MATTHEW PAUL DRINKER
Date Signed 03/08/2022
ARIZONA, U.S.A.

EXPIRES 06 / 30 / 2022

LANDSCAPE IMPROVEMENTS

Hilton Garden Inn

Mesa, AZ

ENLARGED CONCEPTUAL LANDSCAPE PLAN

DESIGNED BY: PV/MD/CP
DRAWN BY: CP
CHECKED BY: PV
DATE: 10/28/2021
REVISIONS: 03/02/2022 City Comments

Hilton Garden Inn
Design Review

CLS-3

3 of 3

Call at least two full working days before you begin excavation
ARIZONA 811
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602)263-1100

PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN
FOR
GALLERY PARK HGI & HWS DUAL BRAND HOTEL
BUILDING 21 - 5057 S. POWER ROAD
BUILDING 20 - 5027 S. POWER ROAD
MESA, ARIZONA 85212

A PORTION OF LOT 5 OF GALLERY PARK REPLAT 2 BOOK 1615, PAGE 1
N.E.C. OF POWER ROAD AND RAY ROAD
MESA, ARIZONA 85212

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA & SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

RETENTION CALCULATIONS
(SEE SHEET C-2 FOR DRAINAGE AREA DELINEATIONS)

MARICOPA COUNTY 100-YEAR, 2-HOUR STORM
VOLUME REQUIRED = A * P/12 * C
WHERE: A = AREA (S.F.)
P = 100-YEAR, 2-HOUR RAINFALL = 2.20"
C = RUNOFF COEFFICIENT = 0.90 (COMMERCIAL)

DRAINAGE AREA A

AREA = 94,359 S.F.
VOLUME REQUIRED = 94,359 * 2.20/12 * 0.90 = 15,569 C.F.
VOLUME PROVIDED = 15,622 C.F. – 199 L.F. OF 10' DIAMETER PIPE
DRYWELLS PROVIDED = 2

DRAINAGE AREA B

AREA = 47,077 S.F.
VOLUME REQUIRED = 47,077 * 2.20/12 * 0.90 = 7,768 C.F.
VOLUME PROVIDED = 7,772 C.F. – 99 L.F. OF 10' DIAMETER PIPE
DRYWELLS PROVIDED = 1

DRAINAGE AREA C

AREA = 85,859 S.F.
VOLUME REQUIRED = 85,859 * 2.20/12 * 0.90 = 14,167 C.F.
VOLUME PROVIDED = 14,287 C.F. – 182 L.F. OF 10' DIAMETER PIPE
DRYWELLS PROVIDED = 2

DRYWELL CALCULATIONS

ASSUMED DRYWELL PERCOLATION RATE = 0.1 CFS (MINIMUM PER MCDDM SECTION 9)
REQUIRED DISPOSAL TIMELINE = 36 HOURS
PERCOLATION VOLUME PER DRYWELL = 0.1 * 3600 * 36 = 12,960 C.F.

DRYWELL NOTES

1. THIS PROJECT HAS PROPOSED DRYWELLS TO BLEED-OFF THE UNDERGROUND RETENTION SYSTEM IN THIRTY-SIX (36) HOURS AS THESE ARE NO PUBLIC STORM DRAIN SYSTEM AVAILABLE THAT ULTIMATELY CONVEY TO A REGIONAL DRAINAGE SYSTEM. THE SYSTEM OF DISPOSAL HAS RECEIVED PRIOR APPROVAL PURSUANT TO THE MASTER AND OFF-SITE DRAINAGE REPORT.
2. ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNERS WHEN THEY CEASE TO DRAIN THE SURFACE WATER IN A 36-HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL.
3. A CONSTANT HEAD PRESSURE TEST SHALL BE PERFORMED BY THE INSTALLING CONTRACTOR, AND MUST BE PROVIDED TO THE ENGINEER OF RECORD. THE FIELD OBSERVED PERCOLATION RATE SHALL BE DIVIDED (DE-RATED) BY THE FOLLOWING VALUE BASED ON IN-SITU SOIL CONDITIONS.
   - 2 – COARSE GRAINED SOILS (COBBLES, GRAVELS AND SANDS)
   - 3 – FINE GRAINED SOILS (SILTS AND LOAMS)
   - 5 – CLAY SOILS

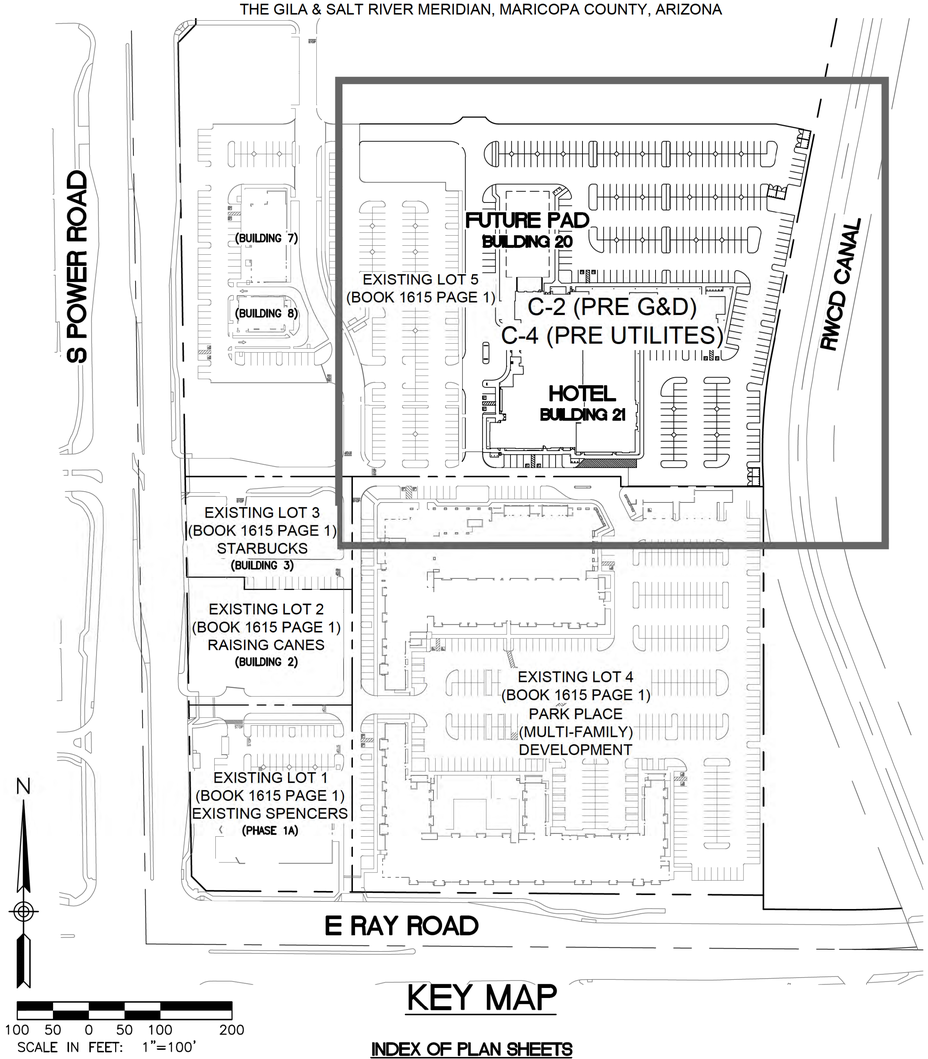
   THE RESULTS OF THE FIELD PERCOLATION TEST SHALL BE RECORDED ON THE AS-BUILT DRAWINGS AND CERTIFIED BY THE ENGINEER OF RECORD. THE OWNER IS RESPONSIBLE FOR INSTALLING ADDITIONAL DRYWELL(S) IF THE DE-RATED PERCOLATION RATE IS LESS THAN THE ASSUMED 0.1 CFS.

PROJECT DESCRIPTION

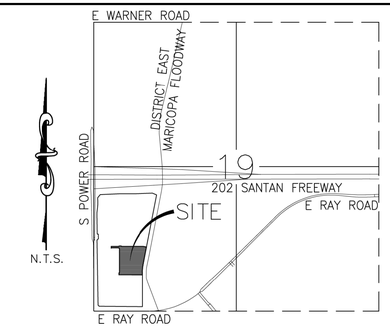
THIS PROJECT IS LOCATED WITHIN THE OVERALL MIXED USE GALLERY PARK DEVELOPMENT WHICH WAS ENTITLED AND APPROVED BY THE CITY OF MESA ON MAY 20TH, 2019 CASE #ZON 18-00775 & ANX 18-00502. THIS PHASE CONSIST OF PROPOSED BUILDING 15 (HOTEL) AND A FUTURE PAD ALONG WITH ONSITE GRADING/DRAINAGE, PUBLIC WATER & SEWER EXTENSIONS, ONSITE UNDERGROUND RETENTION SYSTEM AND OTHER SITE INFRASTRUCTURE TO SUPPORT THE DEVELOPMENT OF THE HOTEL. ALL DRAINAGE CONVEYANCE RETENTION AND THE EXTENSION OF WATER AND SEWER LINES IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED MASTER DRAINAGE AND SEWER AND WATER REPORTS WITH NO CHANGES TO THE MASTER REPORTS.

NOTE:

THIS PROPOSED DEVELOPMENT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GALLERY PARK MASTER DRAINAGE AND OFF-SITE DRAINAGE, WATER AND SEWER REPORTS WITH NO FURTHER UPDATES NEEDED TO THOSE REPORTS. ALL OFF-SITE DRAINAGE CONVEYANCE INCLUDING RETENTION WAS APPROVED PER THE OFF-SITE IMPROVEMENT PLANS PMT-19-11269.



KEY MAP



VICINITY MAP
SWC 19, T. 1 S, R. 7 E.

ARCHITECT
UPWARD ARCHITECTS
1155 WEST RIO SALADO PARKWAY,
SUITE B-101
TEMPE, AZ 85281
PHONE: (602) 753-5222
CONTACT: LORI KNUDSON

ENGINEER:
OPTIMUS CIVIL DESIGN GROUP
4650 EAST COTTON CENTER BLVD.,
SUITE 200
PHOENIX, ARIZONA 85040
PHONE: (602) 393-5234
FAX: (602) 286-9400
CONTACT: JEFF BEHRANA P.E.

OWNER/DEVELOPER
POWER 202 MIXED-USE, LLC
C/O VIVO DEVELOPMENT PARTNERS, LLC
4650 EAST COTTON CENTER BLVD.,
SUITE 200
PHOENIX, ARIZONA 85040
PHONE: (602) 393-9364
FAX: (602) 393-5899
CONTACT: JOSE POMBO

APN NUMBER
304-30-064 (EXISTING LOT 5)

AREAS
GROSS & NET: 1,332,730 S.F. OR 30.595 AC. (LOT 5)

DISTURBED AREA: 5.22 ACRES
EXISTING ZONING: PAD

LEGAL DESCRIPTION
A PORTION OF LOT 5 OF THE FINAL PLAT OF GALLERY PARK REPLAT 2 AS RECORDED IN BOOK 1615, PAGE 1, RECORDS OF MARICOPA COUNTY, LYING WITHIN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

BASIS OF BEARINGS
THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

SAID LINE BEARS NORTH 00° 55' 11" WEST

BENCHMARK
BRASS TAG, TOP OF CURB, NORTHEAST CORNER OF LOOP 202 AND POWER ROAD.

ELEVATION=1324.10' (NAVD '88, CITY OF MESA DATUM)

FLOOD ZONE
ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C2760L, DATED OCTOBER 16, 2013, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X".

INDEX OF PLAN SHEETS

1	(C-1)	COVER SHEET
2	(C-2)	PRELIMINARY GRADING AND DRAINAGE PLAN
3	(C-3)	SECTIONS SHEET
4	(C-4)	PRELIMINARY UTILITY PLAN

LEGEND

- FOUND BRASS CAP IN HAND HOLE
- FOUND BRASS CAP FLUSH
- FOUND MONUMENT AS SHOWN
- SET 1/2" REBAR WITH CAP
- EASEMENT LINE
- PROPERTY LINE
- BOUNDARY LINE
- RIGHT OF WAY
- EXISTING CATCH BASIN
- EXISTING STORM DRAIN MANHOLE
- EXISTING SIGN
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SEWER CLEANOUT
- EXISTING TRAFFIC SIGNAL
- EXISTING FIRE HYDRANT
- EXISTING BACKFLOW PREVENTER
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING POST
- EXISTING SHUT OFF SWITCH
- EXISTING PULL/JUNCTION BOX
- EXISTING ELECTRIC UTILITY
- EXISTING TELEPHONE MANHOLE
- EXISTING LIGHT POLE
- EXISTING OVERHEAD ELECTRIC
- EXISTING STORM DRAIN
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- C CONCRETE ELEVATION
- CO CURB OPENING ELEVATION
- GR GRATE ELEVATION
- P PAVEMENT ELEVATION
- PROPOSED STORM DRAIN
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED SEWER CLEANOUT
- PROPOSED CATCH BASIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED RETENTION AREA BOUNDARY
- X RETENTION DRAINAGE AREA DESIGNATOR

USE OF THE INFORMATION CONTAINED IN THIS INSTRUMENT FOR OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS INTENDED AND FOR OTHER THAN THE CLIENT FOR WHOM IT WAS PREPARED IS FORBIDDEN UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE BY OPTIMUS CIVIL DESIGN GROUP. OPTIMUS CIVIL DESIGN GROUP SHALL HAVE NO LIABILITY TO ANY USE OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.

NO.	REVISION	DATE

VIVO Development Partners

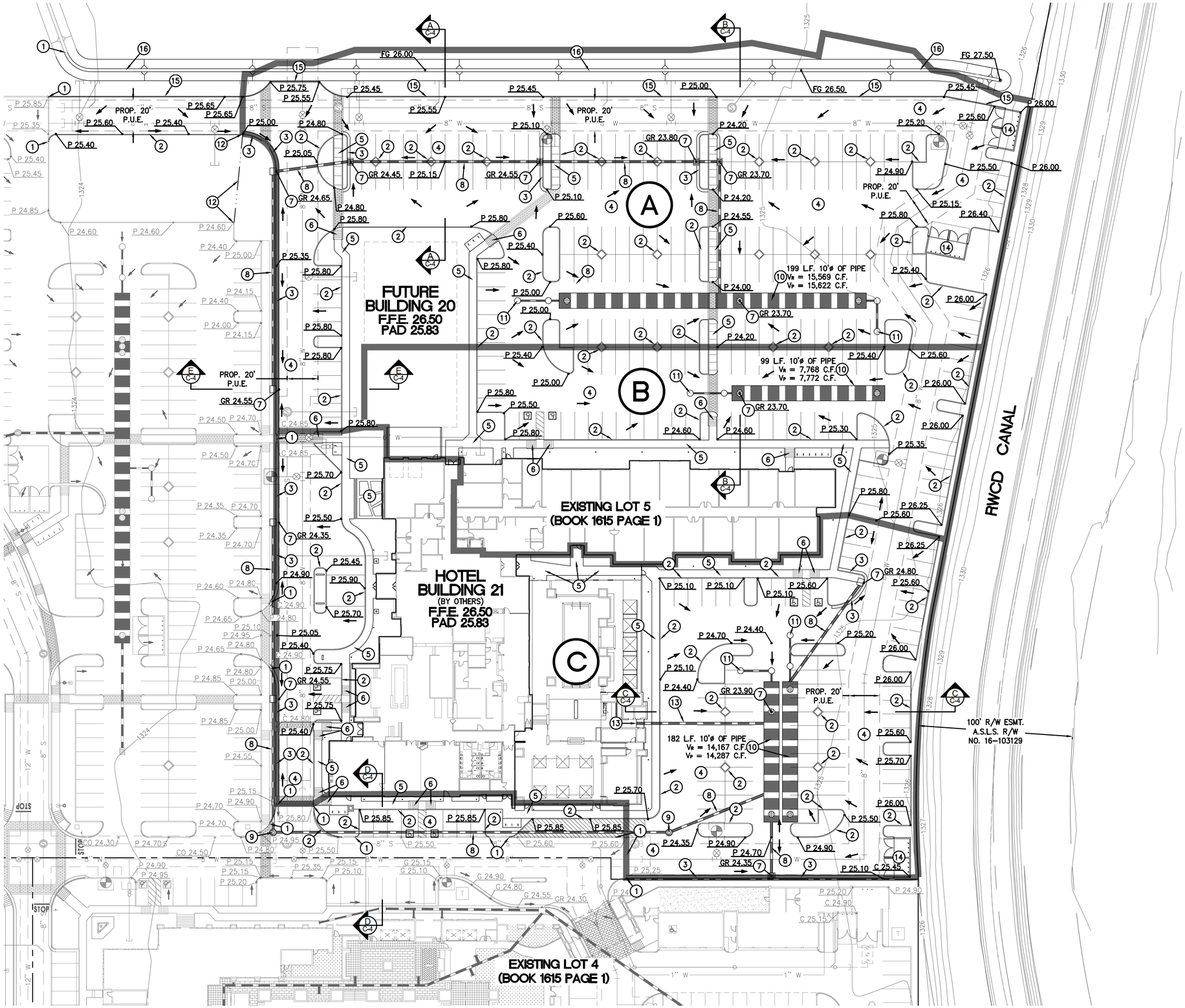
GALLERY PARK
HGI & HWS DUAL BRAND HOTEL
COVER SHEET
A PORTION OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 SOUTH, RANGE 7 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

Registered Professional Engineer (Civil) CERTIFICATE NO. 19095 JAMSHEED D. BEHRANA Date Signed 11/1/21 ARIZONA U.S.A. EXPIRES 3-31-2023

OPTIMUS CIVIL DESIGN GROUP
4650 E. COTTON CENTER BLVD.
SUITE 200
PHOENIX, AZ 85040
PH: (602) 286-9300 FAX: (602) 286-9400

DESIGNED:	AJR
DRAWN:	JK,DB
CHECKED:	JDB
DATE:	11/2021
JOB NO.:	191333

DRAWING NO
C-1
1 OF 4



CONSTRUCTION NOTES

1. MATCH EXISTING.
2. PROPOSED VERTICAL CURB.
3. PROPOSED CURB AND GUTTER.
4. PROPOSED PAVEMENT.
5. PROPOSED SIDEWALK/HARDSCAPE.
6. PROPOSED ACCESS RAMP.
7. PROPOSED CATCH BASIN.
8. PROPOSED STORM DRAIN.
9. PROPOSED STORM DRAIN MANHOLE.
10. PROPOSED UNDERGROUND RETENTION PIPE WITH ACCESS MANHOLES ON EACH END.
11. PROPOSED DRYWELL.
12. PROPOSED DEPRESSED CURB AND SWALE.
13. PROPOSED STORM DRAIN STUB TO SERVE HOTEL AMENITY/POOL REGION.
14. PROPOSED TRASH ENCLOSURE.
15. PROPOSED EXTRUDED CURB.
16. PROPOSED 1.5' HIGH TEMPORARY BERM.

NO.	REVISION	DATE

VIVO Development Partners

GALLERY PARK
HGI & HWS DUAL BRAND HOTEL
PRELIMINARY GRADING AND DRAINAGE PLAN

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 7 EAST, OF THE GILA AND SALT
RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

Registered Professional Engineer (Civil)
CERTIFICATE NO. 19095
JAMSHEED D. BEHRANA
11/1/21
Date Signed
ARIZONA U.S.A.
EXPIRES 3-31-2023

OPTIMUS
CIVIL DESIGN GROUP
4450 E COTTON CENTER BLVD.
SUITE 170
PHOENIX, AZ 85040
PH: (602) 286-9300 FAX: (602) 286-9400

DESIGNED:	AJR
DRAWN:	JK,DB
CHECKED:	JDB
DATE:	11/2021
JOB NO.:	191333

DRAWING NO
C-2

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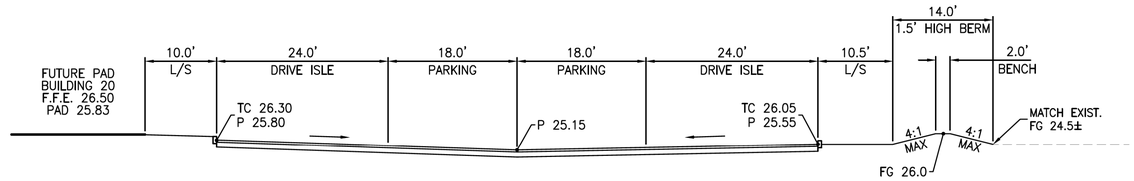
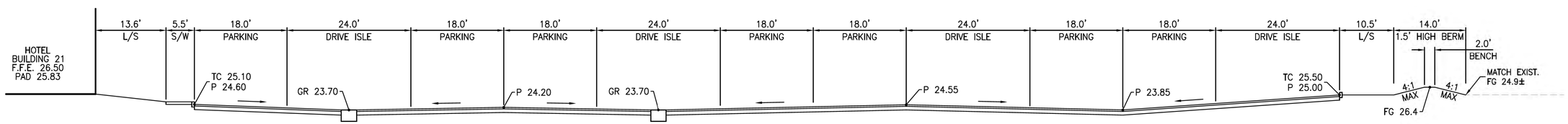
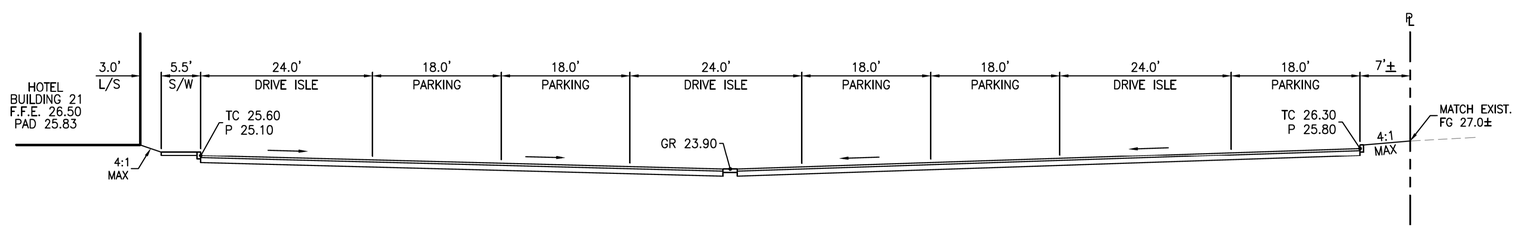


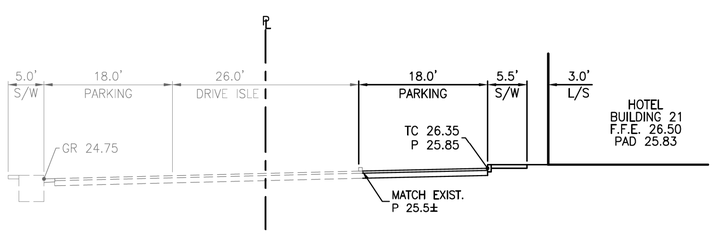
SECTION A-A
N.T.S.



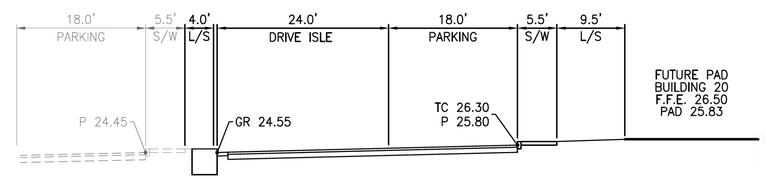
SECTION B-B
N.T.S.



SECTION C-C
N.T.S.



SECTION D-D
N.T.S.



SECTION E-E
N.T.S.

NO.	REVISION	DATE

VIVO Development Partners

GALLERY PARK
HGI & HWS DUAL BRAND HOTEL
SECTIONS SHEET

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 7 EAST, OF THE GILA AND SALT
RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

Registered Professional Engineer (Civil)
CERTIFICATE NO. 19095
JAMSHEED D. BEHRANA
Date Signed 11/1/21
ARIZONA U.S.A.
EXPIRES 3-31-2023

OPTIMUS
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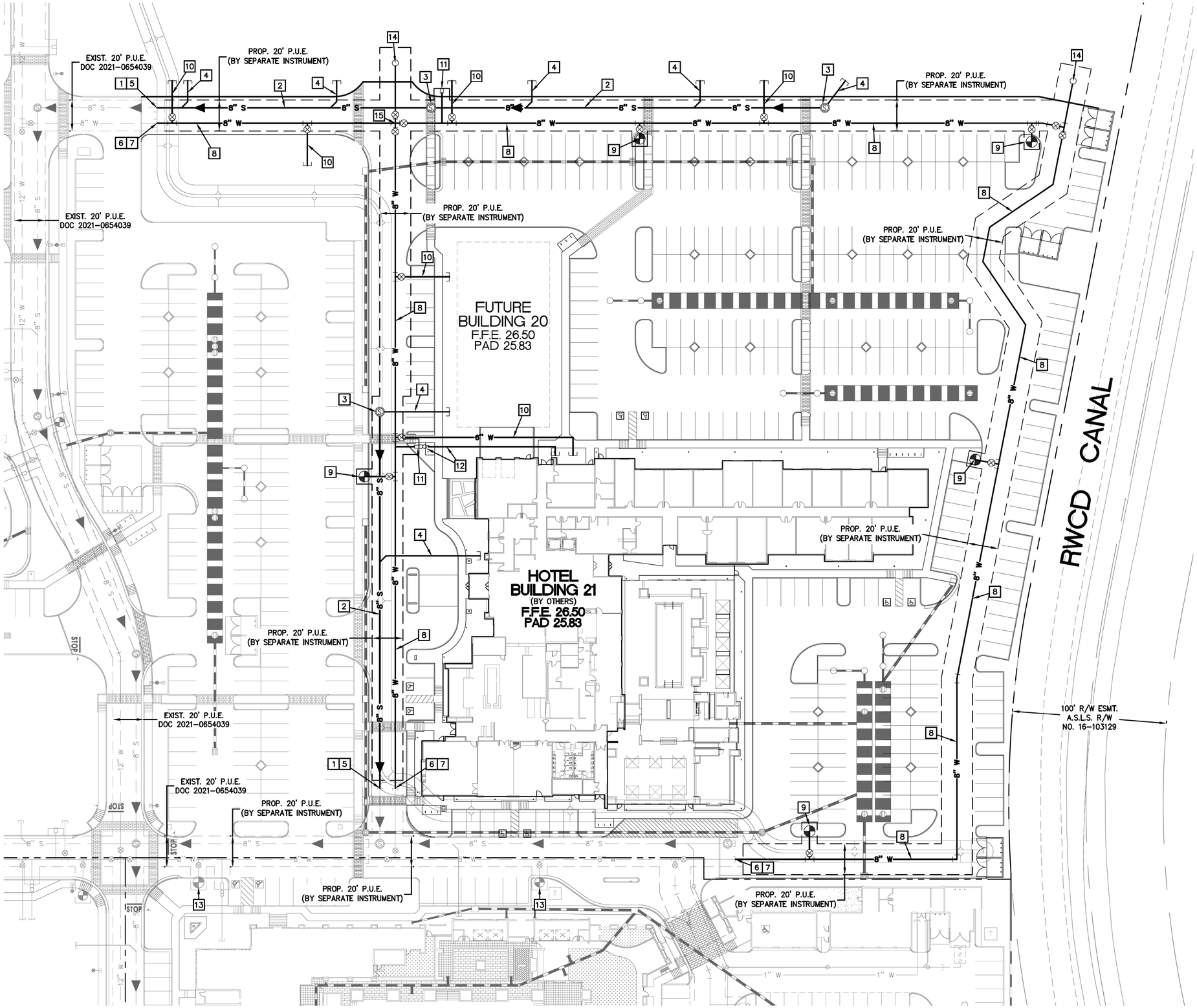
DESIGNED:	AJR
DRAWN:	JK,DB
CHECKED:	JDB
DATE:	11/2021
JOB NO.:	191333

DRAWING NO
C-3
3 OF 4

USE OF THE INFORMATION CONTAINED IN THIS INSTRUMENT FOR OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS INTENDED AND FOR OTHER THAN THE CLIENT FOR WHOM IT WAS PREPARED IS FORBIDDEN UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE BY OPTIMUS CIVIL DESIGN GROUP. OPTIMUS CIVIL DESIGN GROUP SHALL HAVE NO LIABILITY TO ANY USE OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.



UTILITY NOTES

1. CONNECT TO EXISTING SEWER STUB.
2. PROPOSED 8" SEWER MAIN.
3. PROPOSED SEWER MANHOLE.
4. PROPOSED 6" SEWER SERVICE
5. PROPOSED 8" SEWER STUB BY OTHERS.
6. CONNECT TO EXISTING 8" WATER STUB.
7. PROPOSED 8" WATER STUB BY OTHERS.
8. PROPOSED 8" WATER MAIN.
9. PROPOSED FIRE HYDRANT.
10. PROPOSED FIRE SERVICE.
11. PROPOSED DOMESTIC WATER METER.
12. PROPOSED BACKFLOW AND WATER SERVICE.
13. EXISTING FIRE HYDRANT BY OTHERS.
14. PROPOSED 8" WATER STUB.
15. PROPOSED 8" WATER CROSS.

N

30 15 0 15 30 60
SCALE IN FEET: 1"=30'

NO.	REVISION	DATE

VIVO Development Partners

GALLERY PARK
HGI & HWS DUAL BRAND HOTEL
PRELIMINARY UTILITY PLAN

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 7 EAST, OF THE GILA AND SALT
RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

Registered Professional Engineer (Civil)
CERTIFICATE NO. 19095
JAMSHEED D. BEHRANA
11/1/21
Date Signed
ARIZONA U.S.A.
EXPIRES 3-31-2023

OPTIMUS
CIVIL DESIGN GROUP
4650 E. COTTON CENTER BLVD.
SUITE 170
PHOENIX, AZ. 85040
PH: (602) 286-9300 FAX: (602) 286-9400

DESIGNED:	AJR
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CHECKED:	JDB
DATE:	11/2021
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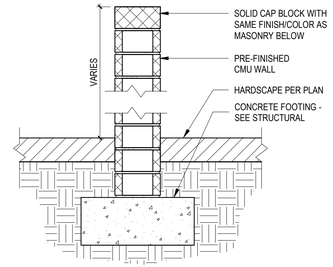

3 SITE WALL DETAIL
1" = 1'-0"

EXTERIOR FINISH LEGEND

SYMBOL	ID	DESCRIPTION	SYMBOL	ID	DESCRIPTION
	PT1	EIFS INTEGRAL COLOR DUNN EDWARDS - CALICO ROCK DE6229		BR1	BRICK VENEER H.C. MUDDOX - EBONY WIRE CUT
	PT2	EIFS INTEGRAL COLOR DUNN EDWARDS - CAVERNOUS DE6364		BR2	BRICK VENEER BRICKIT - WINTER WHITE WIRECUT
	PT3	EIFS INTEGRAL COLOR DUNN EDWARDS - VAPOR DE6358		ST1	4" X 16" INTEGRAL COLOR CMU ECHELON - TRENDSTONE GROUND FACE MISSION WHITE
	PT4 SW1	EIFS INTEGRAL COLOR DUNN EDWARDS - SHAGGY BARKED DEC771 SCULPTURED WALL		ST2	NATURAL STONE VENEER LIMESTONE - 12x24 RUNNING TILE
	MTL1	ANODIZED METAL DARK BRONZE ALUMINUM		WD1	KODIAK SPRUCE CLADDING THERMORY

EXTERIOR MATERIAL TAKEOFF (BUILDING)

AREA	MARK	DESCRIPTION
274 SF		
4,397 SF	PT1	EIFS INTEGRAL COLOR
7,924 SF	PT2	EIFS INTEGRAL COLOR
24,632 SF	PT3	EIFS INTEGRAL COLOR
9,381 SF	PT4	EIFS INTEGRAL COLOR
1,858 SF	ST1	4" X 16" INTEGRAL COLOR CMU
48,466 SF		
SPECIAL MATERIAL		
4,002 SF	BR1	BRICK VENEER
8,859 SF	BR2	BRICK VENEER
3,298 SF	ST2	NATURAL STONE VENEER
598 SF	SW1	SCULPTURED WALL
2,452 SF	WD1	KODIAK SPRUCE CLADDING
19,209 SF		
67,675 SF		

EXTERIOR MATERIAL TAKEOFF - WEST ELEVATION

AREA	MARK	DESCRIPTION
2,260 SF	PT1	EIFS INTEGRAL COLOR
2,898 SF	PT2	EIFS INTEGRAL COLOR
2,325 SF	PT3	EIFS INTEGRAL COLOR
1,617 SF	PT4	EIFS INTEGRAL COLOR
9,101 SF		
SPECIAL MATERIAL		
579 SF	BR1	BRICK VENEER
2,874 SF	BR2	BRICK VENEER
2,059 SF	ST2	NATURAL STONE VENEER
598 SF	SW1	SCULPTURED WALL
1,155 SF	WD1	KODIAK SPRUCE CLADDING
7,265 SF		
16,366 SF		

EXTERIOR MATERIAL TAKEOFF - NORTH ELEVATION

AREA	MARK	DESCRIPTION
2,242 SF	PT2	EIFS INTEGRAL COLOR
7,073 SF	PT3	EIFS INTEGRAL COLOR
2,416 SF	PT4	EIFS INTEGRAL COLOR
198 SF	ST1	4" X 16" INTEGRAL COLOR CMU
11,930 SF		
SPECIAL MATERIAL		
1,306 SF	BR1	BRICK VENEER
1,860 SF	BR2	BRICK VENEER
3,166 SF		
15,095 SF		

EXTERIOR MATERIAL TAKEOFF - POOL AREA

AREA	MARK	DESCRIPTION
2,208 SF	PT3	EIFS INTEGRAL COLOR
1,660 SF	ST1	4" X 16" INTEGRAL COLOR CMU
SPECIAL MATERIAL		
669 SF	ST2	NATURAL STONE VENEER
86 SF	WD1	KODIAK SPRUCE CLADDING
4,623 SF		

2 WEST ELEVATION
3/32" = 1'-0"

1 NORTH ELEVATION
3/32" = 1'-0"

HILTON DUAL BRAND AT GALLERY PARK

5057 S POWER RD, MESA, AZ 85212

designcell ARCHITECTURE

DR-3.1

02/09/2022

EXTERIOR FINISH LEGEND

SYMBOL	ID	DESCRIPTION	SYMBOL	ID	DESCRIPTION
	PT1	EIFS INTEGRAL COLOR DUNN EDWARDS - CALICO ROCK DE6229		BR1	BRICK VENEER H.C. MUDDOX - EBONY WIRE CUT
	PT2	EIFS INTEGRAL COLOR DUNN EDWARDS - CAVERNOUS DE6364		BR2	BRICK VENEER BRICKIT - WINTER WHITE WIRECUT
	PT3	EIFS INTEGRAL COLOR DUNN EDWARDS - VAPOR DE6358		ST1	4" X 16" INTEGRAL COLOR CMU ECHELON - TRENDSTONE GROUND FACE MISSION WHITE
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	MTL1	ANODIZED METAL DARK BRONZE ALUMINUM		WD1	KODIAK SPRUCE CLADDING THERMORY

EXTERIOR MATERIAL TAKEOFF (BUILDING)

AREA	MARK	DESCRIPTION
274 SF		
4,397 SF	PT1	EIFS INTEGRAL COLOR
7,924 SF	PT2	EIFS INTEGRAL COLOR
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9,381 SF	PT4	EIFS INTEGRAL COLOR
1,858 SF	ST1	4" X 16" INTEGRAL COLOR CMU
48,466 SF		
SPECIAL MATERIAL		
4,002 SF	BR1	BRICK VENEER
8,859 SF	BR2	BRICK VENEER
3,298 SF	ST2	NATURAL STONE VENEER
598 SF	SW1	SCULPTURED WALL
2,452 SF	WD1	KODIAK SPRUCE CLADDING
19,209 SF		
67,675 SF		

EXTERIOR MATERIAL TAKEOFF - EAST ELEVATION

AREA	MARK	DESCRIPTION
274 SF		
1,709 SF	PT1	EIFS INTEGRAL COLOR
1,212 SF	PT2	EIFS INTEGRAL COLOR
4,114 SF	PT3	EIFS INTEGRAL COLOR
7,309 SF		
SPECIAL MATERIAL		
861 SF	BR1	BRICK VENEER
3,646 SF	BR2	BRICK VENEER
431 SF	WD1	KODIAK SPRUCE CLADDING
4,938 SF		
12,247 SF		

EXTERIOR MATERIAL TAKEOFF - SOUTH ELEVATION

AREA	MARK	DESCRIPTION
428 SF	PT1	EIFS INTEGRAL COLOR
1,515 SF	PT2	EIFS INTEGRAL COLOR
6,783 SF	PT3	EIFS INTEGRAL COLOR
1,917 SF	PT4	EIFS INTEGRAL COLOR
10,642 SF		
SPECIAL MATERIAL		
1,139 SF	BR1	BRICK VENEER
479 SF	BR2	BRICK VENEER
569 SF	ST2	NATURAL STONE VENEER
342 SF	WD1	KODIAK SPRUCE CLADDING
2,529 SF		
13,170 SF		

EXTERIOR MATERIAL TAKEOFF - POOL AREA

AREA	MARK	DESCRIPTION
2,208 SF	PT3	EIFS INTEGRAL COLOR
1,660 SF	ST1	4" X 16" INTEGRAL COLOR CMU
SPECIAL MATERIAL		
669 SF	ST2	NATURAL STONE VENEER
86 SF	WD1	KODIAK SPRUCE CLADDING
4,623 SF		

2 **EAST ELEVATION**
3/32" = 1'-0"

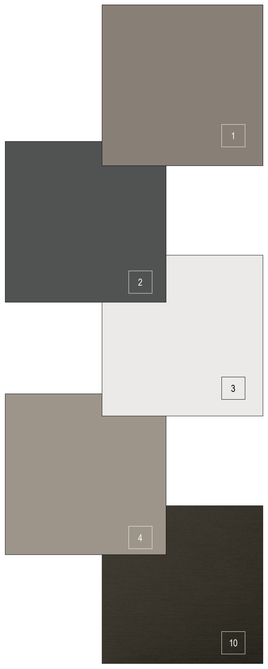
1 **SOUTH ELEVATION**
3/32" = 1'-0"

HILTON DUAL BRAND AT GALLERY PARK

5057 S POWER RD, MESA, AZ 85212

designcell ARCHITECTURE

DR-3.2
02/09/2022



1 **PT1**

EIFS
CALICO ROCK
DUNN EDWARDS DE6229
OR SIMILAR

2 **PT2**

EIFS
CAVERNOUS
DUNN EDWARDS DE6364
OR SIMILAR

3 **PT3**

EIFS
VAPOR
DUNN EDWARDS DE6358
OR SIMILAR

4 **PT4**

EIFS
SHAGGY BARKED
DUNN EDWARDS DEC771
OR SIMILAR

5 **WD1**

SPRUCE CLADDING C15
KODIAK BY THERMORY
OR SIMILAR

6 **BR1**

BRICK VENEER
EBONY WIRE CUT
H.C. MUDDOX
OR SIMILAR

7 **BR2**

BRICK VENEER
WINTER WHITE WIRECUT
BRICKIT
OR SIMILAR

8 **ST1**

4" x 16" INTEGRAL COLOR CMU
ECHELON TRENDSTONE GROUND FACE MISSION WHITE
STACK BOND
OR SIMILAR

9 **ST2**

NATURAL STONE VENNEER
LIMESTONE LIGHT (12x24" RUNNING TILE)
OR SIMILAR

10 **MTL1**

ANODIZED METAL
DARK BRONZE ALUMINUM
OR SIMILAR

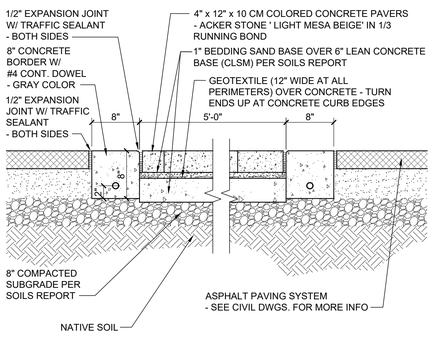
1 **WEST ELEVATION**
3/32" = 1'-0"

HILTON DUAL BRAND AT GALLERY PARK

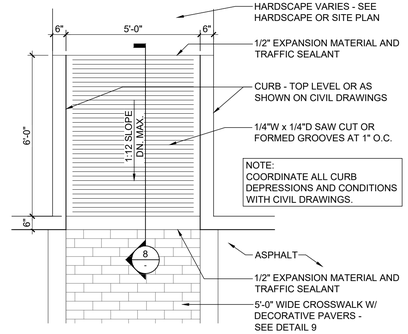
5057 S POWER RD, MESA, AZ 85212

designcell ARCHITECTURE

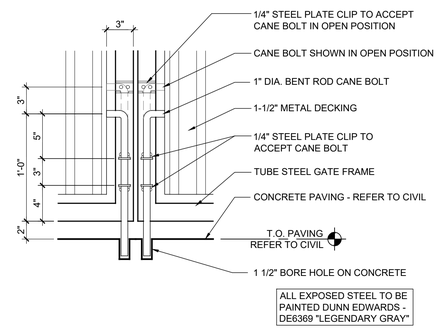
DR-6.1
02/09/2022



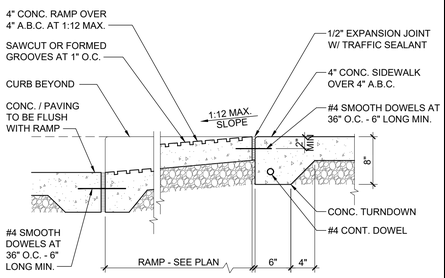
10 SECTION AT DECORATIVE PAVERS
SCALE: 1"=1'-0"



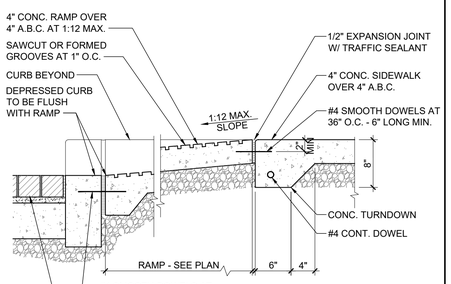
7 STRAIGHT RUN ACCESSIBLE RAMP
SCALE: 3/8" = 1'-0"



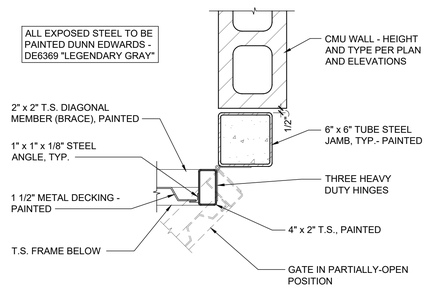
4 CANE BOLT
SCALE: 1 1/2" = 1'-0"



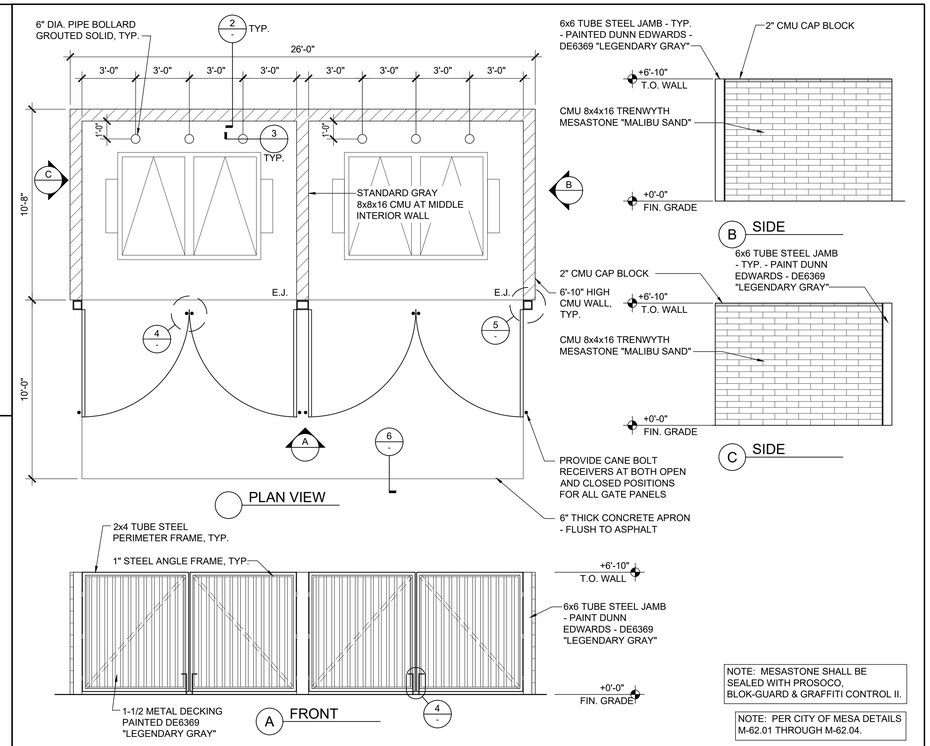
11 CONCRETE RAMP AT SIDEWALK
SCALE: 1"=1'-0"



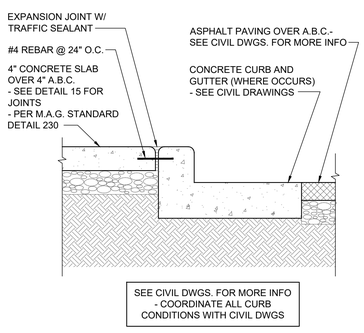
8 CONCRETE RAMP AT CROSSWALK
SCALE: 1"=1'-0"



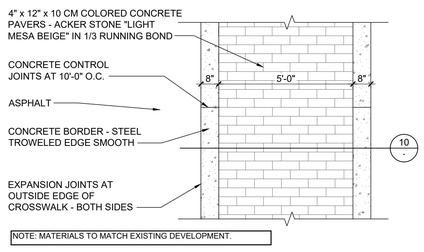
5 GATE JAMB
SCALE: 1 1/2" = 1'-0"



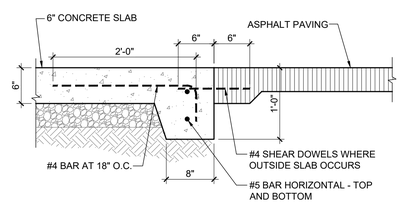
1 TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"



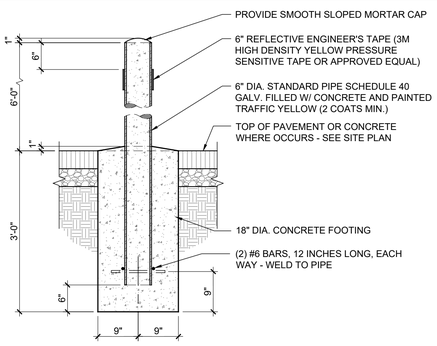
12 CURB AT HARDSCAPE
SCALE: 1" = 1'-0"



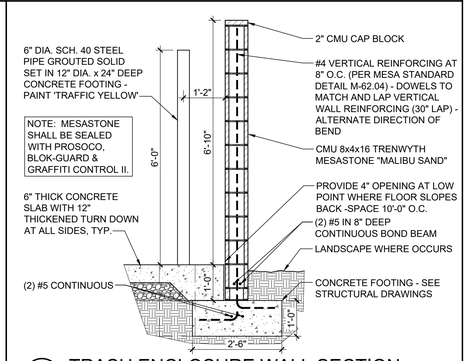
9 DECORATIVE PAVERS AT CROSSWALK, TYP.
SCALE: 3/8" = 1'-0"



6 CONCRETE SLAB TURNDOWN
SCALE: 1"=1'-0"



3 CONCRETE-FILLED PIPE BOLLARD
SCALE: 3/4"=1'-0"



2 TRASH ENCLOSURE WALL SECTION
SCALE: 1/2" = 1'-0"

SITE DETAILS - SHEET 1

GALLERY PARK

HGI & HWS DUAL BRAND HOTEL

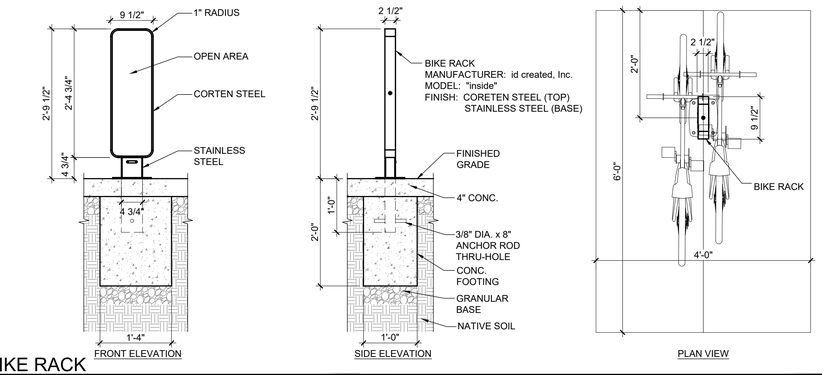
5057 S. POWER RD.
MESA, ARIZONA

03/08/2022

PROJECT NO.: 20025

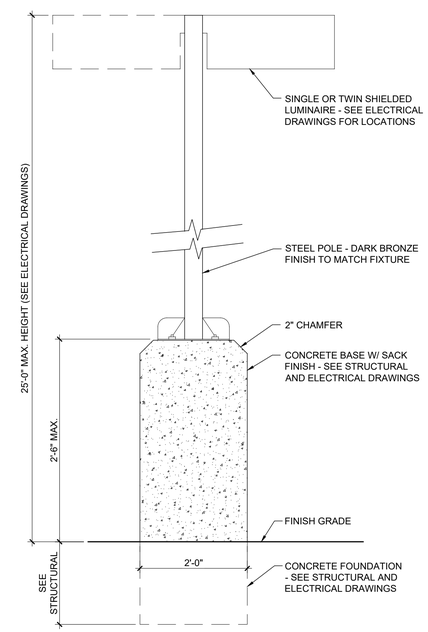
REGISTERED ARCHITECT
CERTIFICATE NO.
50439
JUSTIN J. GREGONIS
Date Signed 03/08/22
ARIZONA, U.S.A.
EXPIRES 12/31/24

UPWARD ARCHITECTS
1155 W. Rio Salado Parkway, Suite B-101, Tempe, AZ 85281
602.753.5222 www.upwardarchitects.com

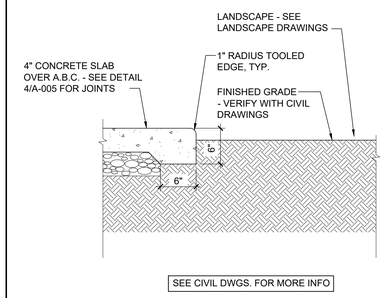


13 BIKE RACK
SCALE: 3/4"=1'-0"

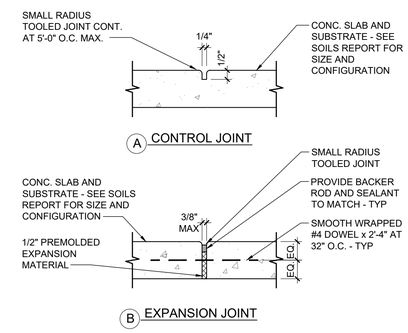
NOTE:
ALL LIGHTING TO BE REFLECTED DOWNWARD IN CONFORMANCE WITH THE CITY OF MESA REQUIREMENTS
- SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION



16 LIGHT POLE BASE (ADJ. TO PARKING AREA)
SCALE: 1-1/2" = 1'-0"



14 SIDEWALK AT PLANTER
SCALE: 1" = 1'-0"



15 CONTROL / EXPANSION JOINT DETAILS
SCALE: NO SCALE

SITE DETAILS - SHEET 2

GALLERY PARK

HGI & HWS DUAL BRAND HOTEL

5057 S. POWER RD.
MESA, ARIZONA

03/08/2022

PROJECT NO.: 20025

REGISTERED ARCHITECT
CERTIFICATE NO.
50439
JUSTIN J.
GREGONIS
Date Signed 03/08/22
ARIZONA, U.S.A.
EXPIRES 12/31/24

UPWARD ARCHITECTS

1155 W. Rio Salado Parkway, Suite B-101, Tempe, AZ 85281
602.753.5222 www.upwardarchitects.com

Citizen Participation Plan

SEC Power Road and Ray Road
5051 S. Power Road
ZON21-01285

Purpose:

The purpose of the Citizen Participation Plan is to provide the City of Mesa staff with information regarding the plan to inform citizens and property owners in the vicinity concerning the Applicant's request to the City of Mesa approval of a rezoning the approximately 5.1-acre site located at 5057 S. Power Road, which is part of a larger project known as Gallery Park at the northeast corner of Power Road and Ray Road. The purpose is to allow for a modification to the approved hotel on the site plan.

By providing opportunities for citizen participation, the applicant will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposed plan.

Contact Information:

Those coordinating the Citizen Participation activities are listed as follows:

Ralph Pew and DJ Stapley
Pew & Lake, PLC
1744 S. Val Vista Drive, Ste. 217
Mesa, Arizona 85204
Ph. (480) 461-4670
Ralph.Pew@pewandlake.com
djstapley@pewandlake.com

Jose Pombo
VIVO Development Partners
4650 E. Cotton Center Blvd, Suite 200
Phoenix, AZ 85040
Ph. (602) 393-9370
jpombo@vivopartners.com

Action Plan:

To provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts the development that members of the community may have:

1. A notification list will be developed for citizens and agencies in this area including:
    a. Interested neighbors – focused on 1,000+ feet from parent parcel, but may include more; and
    b. Homeowners Associations within one-half mile of the project site and registered neighborhood associations within one mile of the project (City indicated none are within the required area).

2. A letter providing notification of the Major Site Plan Review submittal and a copy of the proposed Site Plan will be sent to all property owners and associations on the required notification list. The notice letter will include an explanation of the request and the name and contact information for the applicant, which will provide opportunities for neighbors to ask questions and provide comments about the application. A copy of the notification letter, notification map, and notification lists are included with this Citizen Participation Plan.
3. The applicant will listen to and consider any comments or questions provided to the applicant during the application process. It will factor them into its determination regarding the project plans before submitting the final submittal before the public hearing for this case.
4. The applicant will record comments and feedback from the public that it receives concerning the Site Plan application. A description of the comments provided, any issues raised, and the applicant's responses that address those issues raised will be submitted to the City of Mesa.
5. A Citizen Participation Report and updates regarding any citizen comments received will be submitted to the City before the Planning & Zoning Board Public Meeting with a copy of the sent notification letter and associated notification materials.
6. All requirements for public hearing notice will be complied with. For public hearing notice, applicant will post a 4' x 4' sign on the property. The sign will be placed on the property on or before the Wednesday two weeks prior to the Planning & Zoning Board meeting. A notarized document with attached photograph of the sign(s) will be submitted to the Planning Staff to be kept in the case file.

Proposed Schedule:

Formal Submittal to City	November 8, 2021
Follow-Up Submittal	February 23, 2022 and March 9, 2022
Planning & Zoning Public Hearing	April 27, 2022

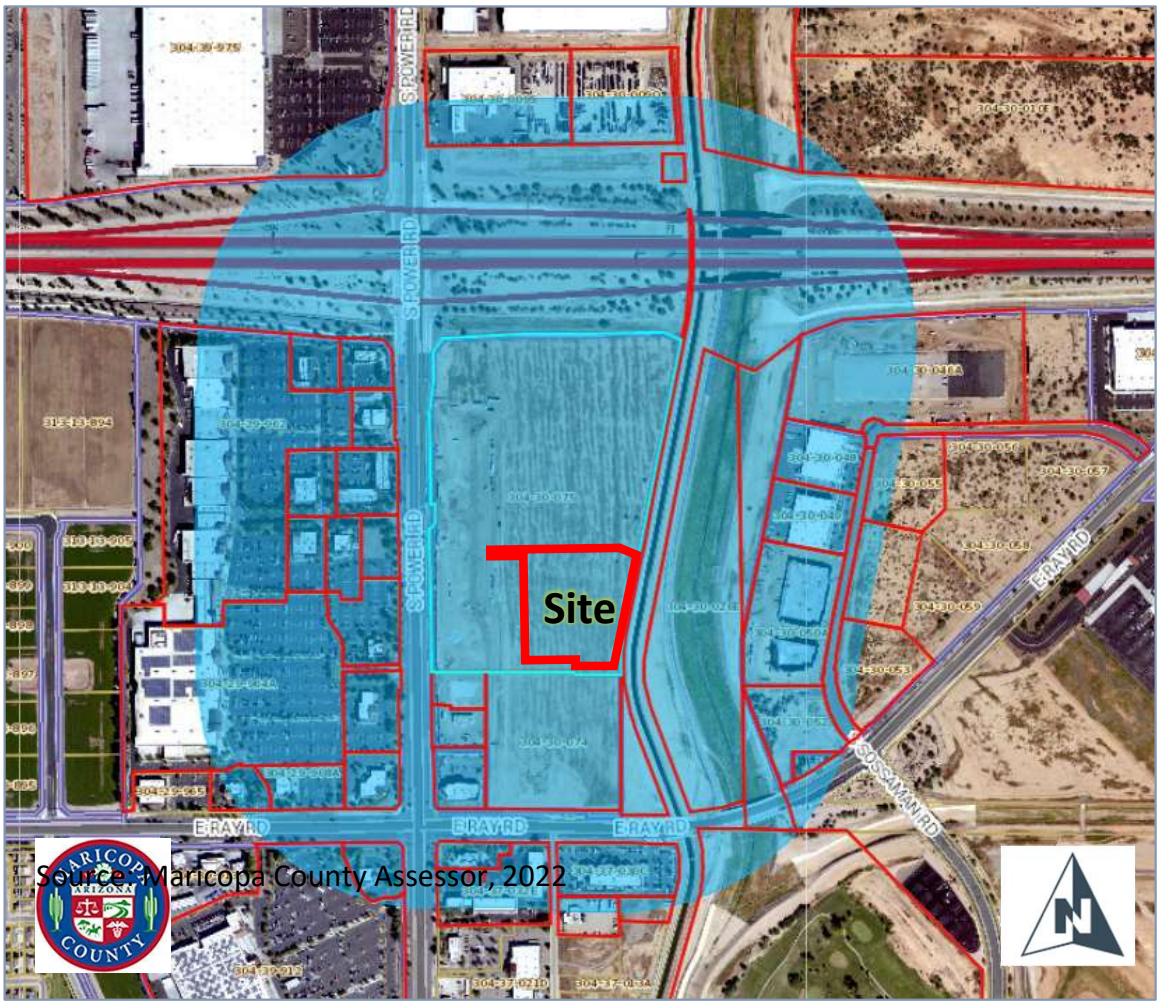
Attached Exhibits:

1) Neighborhood Meeting Materials
    a. Notification Map of surrounding property owners
    b. List of property owners within 1000 ft. of the subject property and HOAs and registered neighborhood contacts

Property Owners, 1,000+ Ft.

5057 E. Power Road

North of NEC of Ray Rd. and Power Rd.



Property Owners, 1,000+ Feet
5057 S. Power Rd.

Owner	Address	City	State	Zip
20TH ST & BELL MULTI-FAMILY LLC/P202-GP LOT 4 TIC LLC/VDP-GP LOT 4 TIC LLC	4650 E COTTON CENTER BLVD STE 200	PHOENIX	AZ	85040
6907 EAST RAY ROAD OWNER LP	870 7TH AVE FRNT 2	NEW YORK	NY	10019-4369
AEI ARIZONA OZ FUND LLC	11100 SANTA MONICA BLVD STE 260	LOS ANGELES	CA	90025-6695
AEI RAY DEVELOPMENT LLC	300 W CLARENDON AVE STE 240	PHOENIX	AZ	85013
ALI ADVISOR INC	2999 N 44TH ST NO 100	PHOENIX	AZ	85018
AMERICAN FURNITURE WARHOUSE CO	8820 AMERICAN WY	ENGLEWOOD	CO	80112
BC PICO LLC/DRIVE PICO LLC/AUTOMATIC PROPERTIES LLC	11601 SANTA MONICA BLVD	LOS ANGELES	CA	90025
CRP PDC MESA GATEWAY OWNER LLC	450 NEWPORT CENTER DR STE 405	NEWPORT BEACH	CA	92660
DICKERSON ZACHARY	32624 N RUGOSA RD	QUEEN CREEK	AZ	85142
FLOOD CONTROL DISTRICT OF MARICOPA COUNTY	2801 W DURANGO ST	PHOENIX	AZ	85009
GATEWAY 71B LLC	4942 S 71ST ST	MESA	AZ	85212-6436
GATEWAY CORNER HOLDINGS LLC	7515 E 1ST ST	SCOTTSDALE	AZ	85251
GILBERT GATEWAY TOWNE CENTER HOLDINGS LLC	3941 W MOHAVE ST NO 110	PHOENIX	AZ	85009
GRANITE FIELD INVESTMENTS LLC	PO BOX 151	QUEEN CREEK	AZ	85142
KCK INVESTMENTS LLC	4747 S POWER RD	MESA	AZ	85212
KCK INVESTMENTS LLC	4747 S POWER RD	MESA	AZ	85212
MESA 18 LP	720 3RD ST NO E	SASKATOON	SK	S7H1M3
MGW BUILDING LLC	4144 W SUNSET RD	LAS VEGAS	NV	89118
NORTHINGTON MESA INDUSTRIAL INVESTORS LLC	PO BOX 1368	CARLSBAD	CA	92018
PHOENIX-MESA GATEWAY AIRPORT AUTHORITY	600 S POWER RD BLDG 41	MESA	AZ	85206-5219
POWER 17 LLC	124 S 600 E	SALT LAKE CITY	UT	84102
POWER 202 MIXED-USE LLC	4650 E COTTON CENTER BLVD STE 200	PHOENIX	AZ	85040
POWER ROAD GP STV LLC	525 W 21ST ST	TEMPE	AZ	85282
ROOSEVELT WATER CONS DIST 5239	PO BOX 100	HIGLEY	AZ	85236
RRCCN OWNERS ASSOCIATION	2999 N 44TH ST STE 500	PHOENIX	AZ	85018
TARGET CORPORATION	PO BOX 9456	MINNEAPOLIS	MN	55440-9456
TRIANGLE TRUST/STROSCHER INVESTMENTS LLC	32101 COOK LN	SAN JUAN CAPISTRANO	CA	92675
UNITED STATES OF AMERICA	3707 N 7TH ST	PHOENIX	AZ	85017
WAL MART STORES INC	1301 SE 10TH ST	BENTONVILLE	AR	72716-0535
WF GCC INDUSTRIAL LLC	3104 E CAMELBACK RD UNIT 957	PHOENIX	AZ	85018

Citizen Participation Report

Gallery Park Hotel Parcel
SEC Power Road and Ray Road
5051 S. Power Road
ZON21-01285

Purpose:

The purpose of this Citizen Participation Report is to provide the City of Mesa staff with information regarding the efforts made by the applicant to inform citizens and property owners in the vicinity concerning the Applicant's request to the City of Mesa approval of a rezoning the approximately 5.1-acre site located at 5057 S. Power Road, which is part of a larger project known as Gallery Park at the northeast corner of Power Road and Ray Road. The purpose is to allow for a modification to the approved hotel on the site plan.

By providing opportunities for citizen participation, the Applicant has ensured that those affected by this application have had an adequate opportunity to learn about and comment on the proposed plan.

Contact Information:

Those coordinating the Citizen Participation activities are listed as follows:

Ralph Pew and DJ Stapley
Pew & Lake, PLC
1744 S. Val Vista Drive, Ste. 217
Mesa, Arizona 85204
Ph. (480) 461-4670
Ralph.Pew@pewandlake.com
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Jose Pombo
VIVO Development Partners
4650 E. Cotton Center Blvd, Suite 200
Phoenix, AZ 85040
Ph. (602) 393-9370
jpombo@vivopartners.com

Actions Taken:

To provide effective citizen participation in conjunction with this application, the following actions were taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have relating to the proposed development:

1. A contact list was developed for citizens and agencies in this area including:
    a. Interested neighbors – focused on 1,000+ feet from parent parcel, but may include more; and

b. Homeowners Associations within one-half mile of the project site and registered neighborhood associations within one mile of the project (City indicated none are within the required area).

2. A letter providing notification of the Major Site Plan Review submittal and a copy of the proposed Site Plan was sent to all property owners and associations on the required notification list on April 12, 2022. The notice letter included an explanation of the request, drawings, and the name and contact information for the applicant, which provided opportunities for neighbors to ask questions and provide comments about the application. A copy of the notification letter, notification map, and notification lists are included with this Citizen Participation Plan.
3. The applicant will listen to and consider any comments or questions provided to the applicant during the application process. It will factor them into its determination regarding the project design.
4. The applicant will record comments and feedback from the public that it receives concerning the Site Plan application. A description of the comments provided, any issues raised, and the applicant's responses that address those issues raised will be submitted to the City of Mesa.
5. A Citizen Participation Report and updates regarding any citizen comments received will be submitted to the City before the Planning & Zoning Board Public Meeting with a copy of the sent notification letter and associated notification materials.
6. All requirements for public hearing notice will be complied with. For public hearing notice, applicant posted a 4' x 4' sign on the property. The sign was placed on the property on or before the Wednesday two weeks prior to the Planning & Zoning Board meeting. A notarized document with attached photograph of the sign(s) will be submitted to the Planning Staff to be kept in the case file.

Attached Exhibits:

1) Neighborhood Outreach Materials
    a. Copy of notice letter
    b. Notification Map of surrounding property owners
    c. List of property owners within 1000 ft. of the subject property and HOAs and registered neighborhood contacts

Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew
Certified Real Estate Specialist
Sean B. Lake
Reese L. Anderson

April 12, 2022

Notice of Public Hearing

Dear Neighbor,

Pew & Lake, PLC, on behalf of our client, Vivo Development Partners, is pleased to send this notice of an application to the City of Mesa for a Major Site Plan Modification for the approximately 5.1 acres located at 5051 S. Power Road, which is part of a larger project known as Gallery Park at the northeast corner of Power Road and Ray Road. This proposal modifies the layout of an approved hotel and commercial pad on a portion of Gallery Park, a mixed-use development that the City approved in 2019. The design is compliant with the high-quality nature and guidelines approved for Gallery Park and will contribute to a positive addition to the area.

Enclosed for your review are a copy of the site plan, preliminary landscape plan, and elevations. This letter is being sent to all property owners within 1,000 feet of the Property at the request of the City of Mesa Planning Division. This request (Case No. ZON21-01285) is scheduled for consideration by the Mesa Planning and Zoning Board at its meeting on April 27, 2022 at 4:00 p.m.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable **Mesa channel 11**, online at **Mesa11.com/live or www.youtube.com/user/cityofmesa11/live**, or listened to by **calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts**.

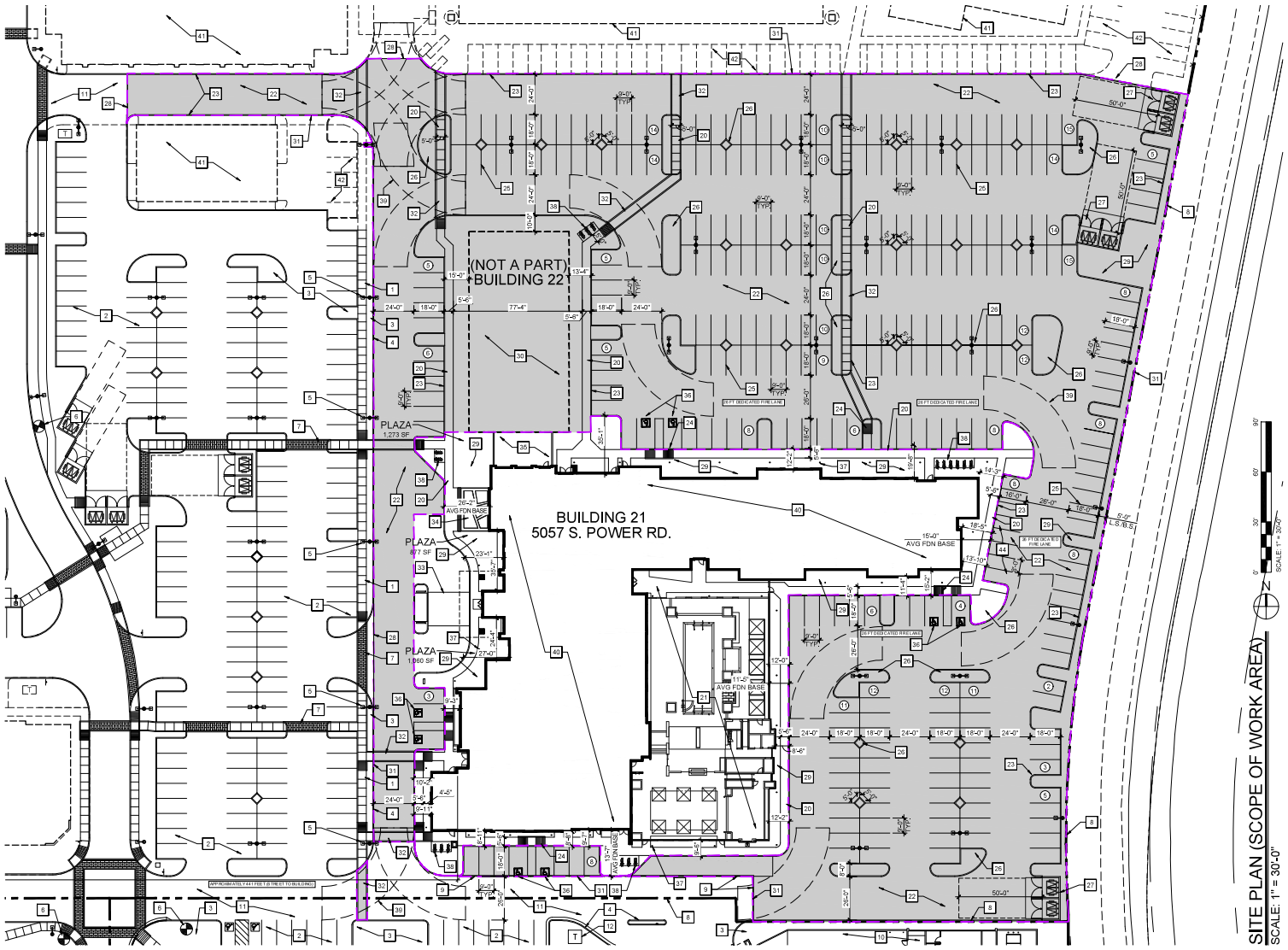
If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at **https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card** at **least 1 hour prior to the start of the meeting.** If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting.** You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak. For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

If you have any questions regarding this proposal, please contact our office at 480-461-4670 or via email at ralph.pew@pewandlake.com. The City of Mesa has assigned this case to Kellie Rorex, a member of the Planning Division staff. She can be reached at 480-644-6711 or at Kellie.Rorex@MesaAZ.gov should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

W. Ralph Pew
PEW & LAKE, PLC

1744 South Val Vista Drive, Suite 217 • Mesa Arizona 85204 • 480 461 4670 [phone] • 480 461 4676 [fax]


(NOT A PART)
BUILDING 22
BUILDING 21
5057 S. POWER RD.
PLAZA
1,273 SF
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877 SF
PLAZA
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AVG FDN BASE
15'-0"
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24 FT DEDICATED FIRE LANE
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PLANT LEGEND

BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TREES			
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Eucalyptus papuana	Ghost Gum Eucalyptus	36" Box	Standard Trunk Dense Canopy
Parkinsonia x 'Desert Museum'	Desert Museum	36" Box	Multi - Trunk Dense Canopy
Ulmus parvifolia	Chinese Elm	36" Box	Standard Trunk Dense Canopy
Fraxinus velutina 'Fan Tex'	Fan Tex Ash	24" Box	Standard Trunk Dense Canopy
Phoenix dactilifera	Date Palm	18' C.T.H.	Size Per Plan Diamond Cut
Nerium oleander	Oleander Tree	24" Box	Standard Trunk Dense Canopy
Olea europaea	Fruitless Olive	36" Box	Standard Trunk Dense Canopy
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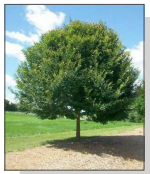
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NORTH

Chitalpa

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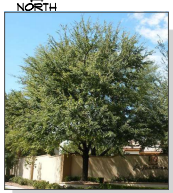
Fan Tex Ash

Ironwood

Chinese Pistache

Date Palm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COLLABORATIVE DESIGN STUDIO
Collaborative V Design Studio Inc.
7116 East 1st Ave., Suite 103
Scottsdale, Arizona 85251
office: 480-347-0590
fax: 480-656-6012

Registered Landscape Architect
CERTIFICATE NO. 36010
PAUL VAN DAM
ARIZONA, U.S.A.
03/02/2022
EXPIRES 06/30/2022

LANDSCAPE IMPROVEMENTS
Hilton Garden Inn
Mesa, AZ

CONCEPTUAL LANDSCAPE PLAN

DESIGNED BY PV/MD/CP
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Hilton Garden Inn Design Review

CLS-2

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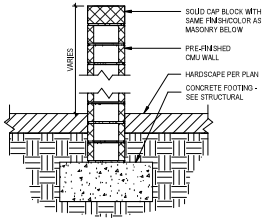

3 SITE WALL DETAIL
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SYMBOL	ID	DESCRIPTION	SYMBOL	ID	DESCRIPTION
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	PT2	EIFS INTEGRAL COLOR DUNN EDWARDS - CAVERNOUS DE6384		BR2	BRICK VENEER BRICKIT - WINTER WHITE WIRECUT
	PT3	EIFS INTEGRAL COLOR DUNN EDWARDS - VAPOR DE6358		ST1	4" X 16" INTEGRAL COLOR CMU ECHELON - TRENDSTONE GROUND FACE MISSION WHITE
	PT4 SW1	EIFS INTEGRAL COLOR DUNN EDWARDS - SHAGGY BARKED DEC771 SCULPTURED WALL		ST2	NATURAL STONE VENEER LIMESTONE - 12x24 RUNNING TILE
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16,366 SF		

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4,623 SF		

2 WEST ELEVATION
3/32" = 1'-0"

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HILTON DUAL BRAND AT GALLERY PARK

5057 S POWER RD, MESA, AZ 85212

designcell ARCHITECTURE

DR-3.1

02/09/2022

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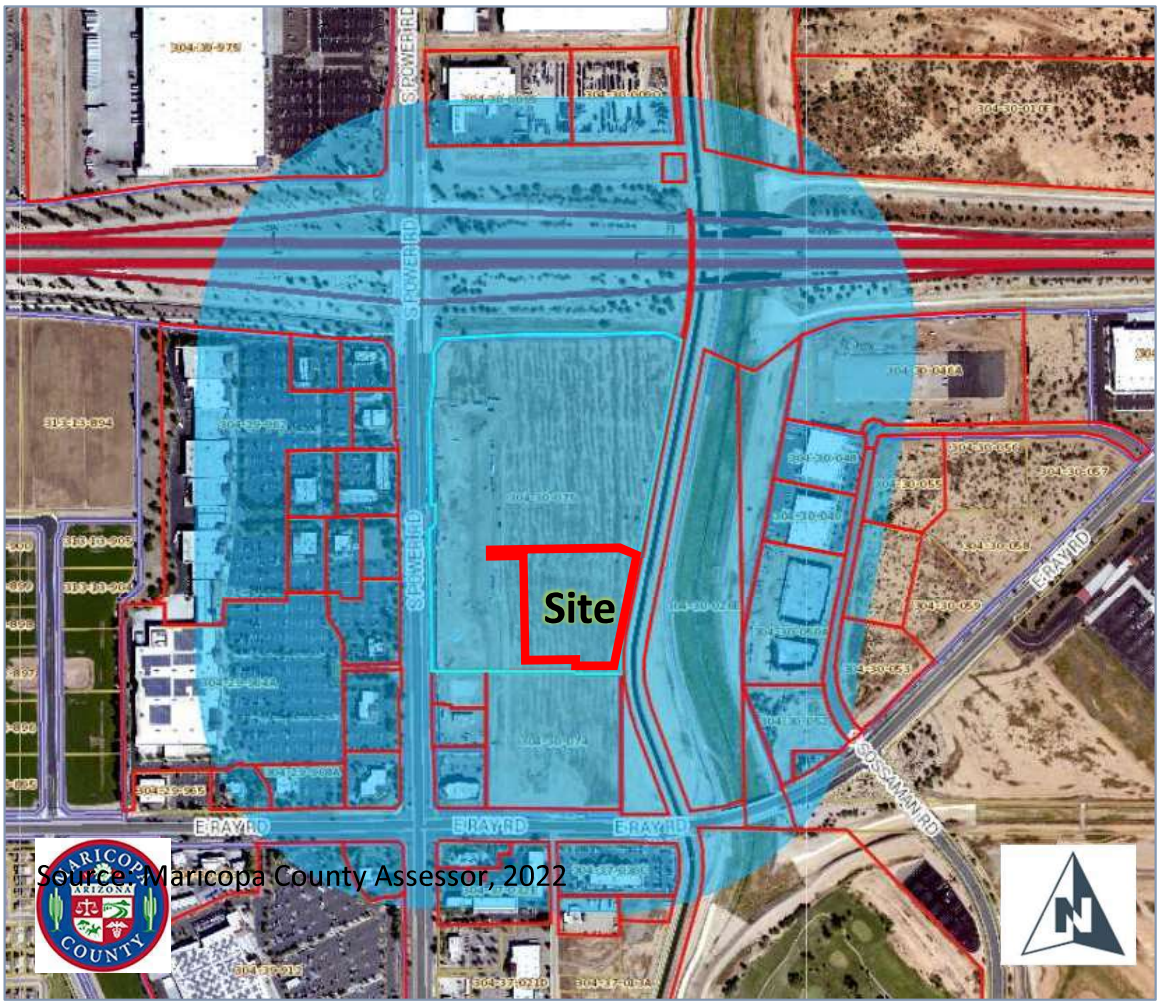
North of NEC of Ray Rd. and Power Rd.



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5057 S. Power Rd.

Owner	Address	City	State	Zip
20TH ST & BELL MULTI-FAMILY LLC/P202-GP LOT 4 TIC LLC/VDP-GP LOT 4 TIC LLC	4650 E COTTON CENTER BLVD STE 200	PHOENIX	AZ	85040
6907 EAST RAY ROAD OWNER LP	870 7TH AVE FRNT 2	NEW YORK	NY	10019-4369
AEI ARIZONA OZ FUND LLC	11100 SANTA MONICA BLVD STE 260	LOS ANGELES	CA	90025-6695
AEI RAY DEVELOPMENT LLC	300 W CLARENDON AVE STE 240	PHOENIX	AZ	85013
ALI ADVISOR INC	2999 N 44TH ST NO 100	PHOENIX	AZ	85018
AMERICAN FURNITURE WARHOUSE CO	8820 AMERICAN WY	ENGLEWOOD	CO	80112
BC PICO LLC/DRIVE PICO LLC/AUTOMATIC PROPERTIES LLC	11601 SANTA MONICA BLVD	LOS ANGELES	CA	90025
CRP PDC MESA GATEWAY OWNER LLC	450 NEWPORT CENTER DR STE 405	NEWPORT BEACH	CA	92660
DICKERSON ZACHARY	32624 N RUGOSA RD	QUEEN CREEK	AZ	85142
FLOOD CONTROL DISTRICT OF MARICOPA COUNTY	2801 W DURANGO ST	PHOENIX	AZ	85009
GATEWAY 71B LLC	4942 S 71ST ST	MESA	AZ	85212-6436
GATEWAY CORNER HOLDINGS LLC	7515 E 1ST ST	SCOTTSDALE	AZ	85251
GILBERT GATEWAY TOWNE CENTER HOLDINGS LLC	3941 W MOHAVE ST NO 110	PHOENIX	AZ	85009
GRANITE FIELD INVESTMENTS LLC	PO BOX 151	QUEEN CREEK	AZ	85142
KCK INVESTMENTS LLC	4747 S POWER RD	MESA	AZ	85212
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MESA 18 LP	720 3RD ST NO E	SASKATOON	SK	S7H1M3
MGW BUILDING LLC	4144 W SUNSET RD	LAS VEGAS	NV	89118
NORTHINGTON MESA INDUSTRIAL INVESTORS LLC	PO BOX 1368	CARLSBAD	CA	92018
PHOENIX-MESA GATEWAY AIRPORT AUTHORITY	600 S POWER RD BLDG 41	MESA	AZ	85206-5219
POWER 17 LLC	124 S 600 E	SALT LAKE CITY	UT	84102
POWER 202 MIXED-USE LLC	4650 E COTTON CENTER BLVD STE 200	PHOENIX	AZ	85040
POWER ROAD GP STV LLC	525 W 21ST ST	TEMPE	AZ	85282
ROOSEVELT WATER CONS DIST 5239	PO BOX 100	HIGLEY	AZ	85236
RRCCN OWNERS ASSOCIATION	2999 N 44TH ST STE 500	PHOENIX	AZ	85018
TARGET CORPORATION	PO BOX 9456	MINNEAPOLIS	MN	55440-9456
TRIANGLE TRUST/STROSCHER INVESTMENTS LLC	32101 COOK LN	SAN JUAN CAPISTRANO	CA	92675
UNITED STATES OF AMERICA	3707 N 7TH ST	PHOENIX	AZ	85017
WAL MART STORES INC	1301 SE 10TH ST	BENTONVILLE	AR	72716-0535
WF GCC INDUSTRIAL LLC	3104 E CAMELBACK RD UNIT 957	PHOENIX	AZ	85018

Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew
Certified Real Estate Specialist
Sean B. Lake
Reese L. Anderson

April 12, 2022

Notice of Public Hearing

Dear Neighbor,

Pew & Lake, PLC, on behalf of our client, Vivo Development Partners, is pleased to send this notice of an application to the City of Mesa for a Major Site Plan Modification for the approximately 5.1 acres located at 5051 S. Power Road, which is part of a larger project known as Gallery Park at the northeast corner of Power Road and Ray Road. This proposal modifies the layout of an approved hotel and commercial pad on a portion of Gallery Park, a mixed-use development that the City approved in 2019. The design is compliant with the high-quality nature and guidelines approved for Gallery Park and will contribute to a positive addition to the area.

Enclosed for your review are a copy of the site plan, preliminary landscape plan, and elevations. This letter is being sent to all property owners within 1,000 feet of the Property at the request of the City of Mesa Planning Division. This request (Case No. ZON21-01285) is scheduled for consideration by the Mesa Planning and Zoning Board at its meeting on April 27, 2022 at 4:00 p.m.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable **Mesa channel 11**, online at **Mesa11.com/live or www.youtube.com/user/cityofmesa11/live**, or listened to by **calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts**.

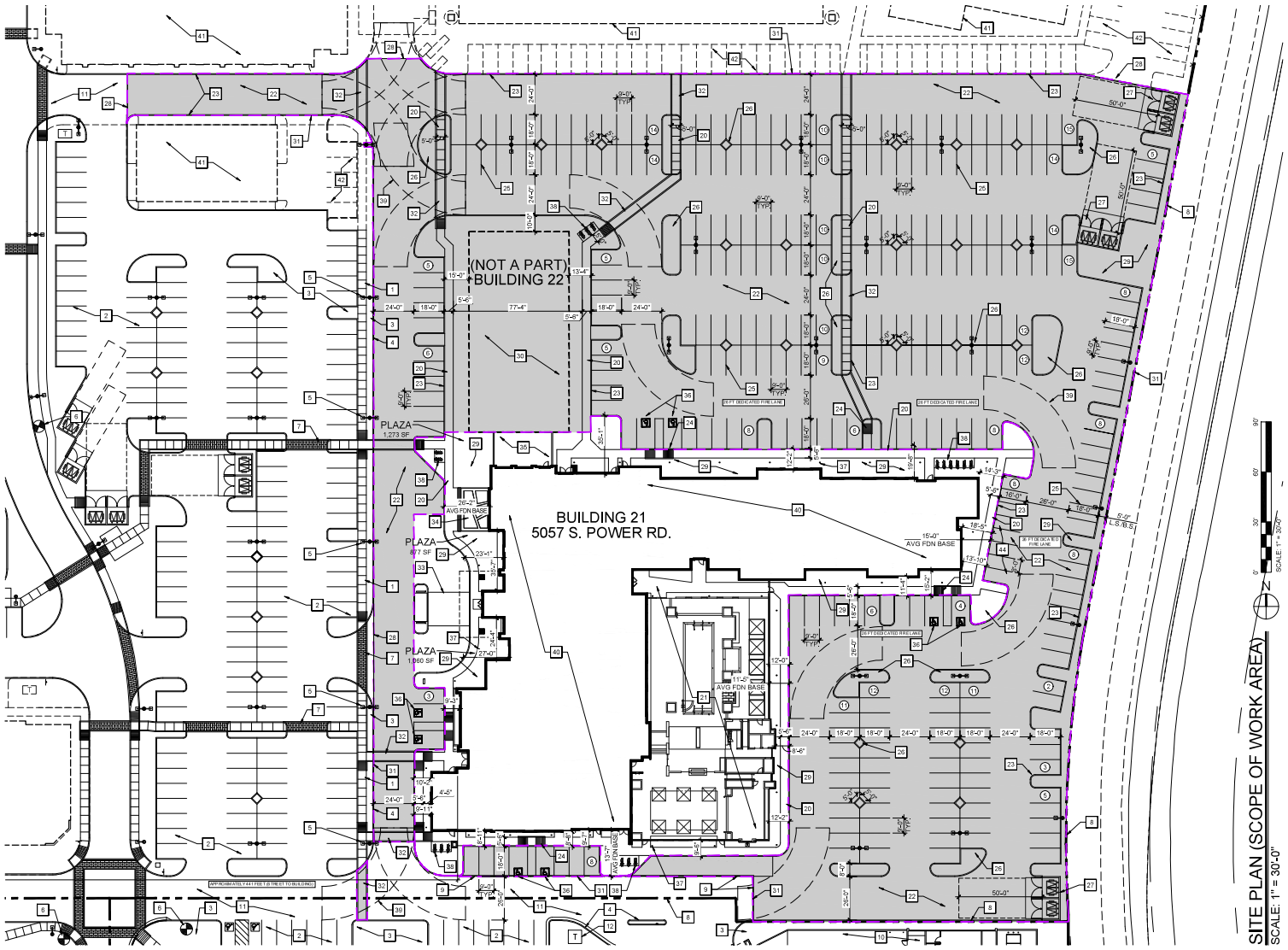
If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at **https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card** at **least 1 hour prior to the start of the meeting.** If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting.** You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak. For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

If you have any questions regarding this proposal, please contact our office at 480-461-4670 or via email at ralph.pew@pewandlake.com. The City of Mesa has assigned this case to Kellie Rorex, a member of the Planning Division staff. She can be reached at 480-644-6711 or at Kellie.Rorex@MesaAZ.gov should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

W. Ralph Pew
PEW & LAKE, PLC

1744 South Val Vista Drive, Suite 217 • Mesa Arizona 85204 • 480 461 4670 [phone] • 480 461 4676 [fax]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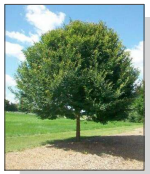
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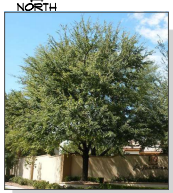
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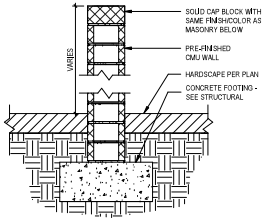

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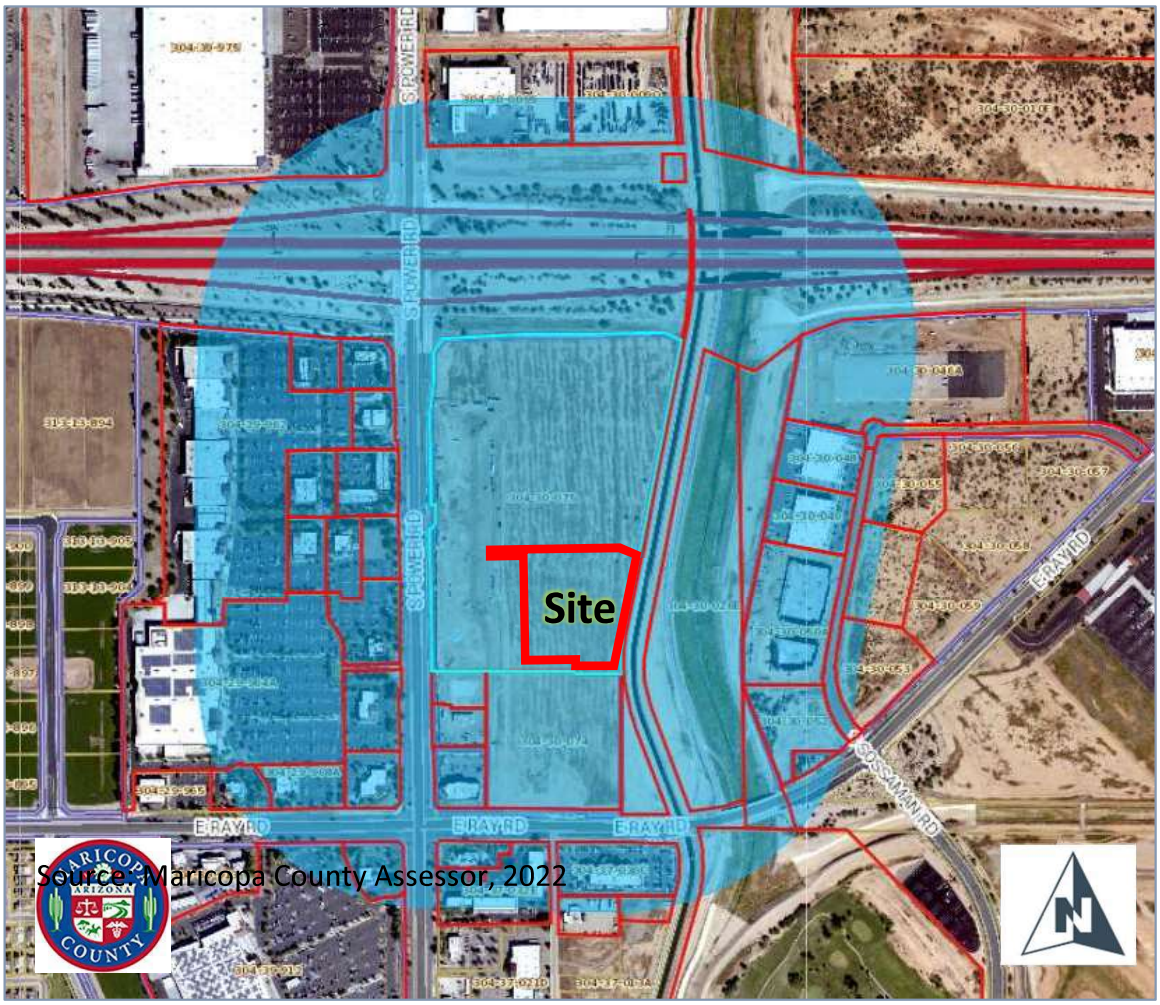

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TARGET CORPORATION	PO BOX 9456	MINNEAPOLIS	MN	55440-9456
TRIANGLE TRUST/STROSCHER INVESTMENTS LLC	32101 COOK LN	SAN JUAN CAPISTRANO	CA	92675
UNITED STATES OF AMERICA	3707 N 7TH ST	PHOENIX	AZ	85017
WAL MART STORES INC	1301 SE 10TH ST	BENTONVILLE	AR	72716-0535
WF GCC INDUSTRIAL LLC	3104 E CAMELBACK RD UNIT 957	PHOENIX	AZ	85018

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

Date: 04/12/22

I, Meghan Liggett, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to case # ZON21-01285, on NEC Power Rd & Ray rd. The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant's/Representative's signature: Meghan Liggett

SUBSCRIBED AND SWORN before me on 04/12/22

Mary Beth Conrad
Notary Public

MARYBETH CONRAD
Notary Public - Arizona
Maricopa County
Commission # 591461
My Comm. Expires Oct 25, 2024

CITY OF MESA
PUBLIC NOTICE
ZONING HEARING
PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA
TIME: 4:00 PM DATE: April 27, 2022
CASE: ZON21-01285
REQUEST: Site Plan Modification.
This request will allow for the
development of a hotel.
APPLICANT: Vivo
PHONE: 480-461-4670
Planning Division 480-644-2385
Posting date: 4/12/2022
Chick-fil-A
Gilbert Gateway
Towne Center
Palace Nail
Lounge
Target
E RAY RD
Cogburn's
Big Wings
Walmart
Supercenter
Maps
S Power Rd
Mesa AZ 85212
+33.324179,-111.686827
Tuesday, April 12, 2022 at 6:39:41 AM

CONSENT TO CONDITIONS & WAIVER OF LAND USE LAW CLAIMS
("Consent & Waiver")

The undersigned is the owner(s) ("Owner") of the parcel of land described in Exhibit 1 hereto (the "Property"). Owner has applied for and seeks the City's approval for a Site Plan Modification. This request will allow for the development of a hotel in case No. #ZON21-01285 (the "Land Use Application").

Owner agrees and consents to all the conditions and stipulations approved as part of or in connection with the Land Use Application. Owner waives any claim under Arizona Revised Statutes § 12-1134, including any right to compensation for reduction to the fair market value of the Property, that may now or in the future exist as a result of, or that arises out of, the approval or application of the Land Use Application or any stipulations and/or conditions of approval to the Land Use Application.

Owner represents and warrants to being the owner of fee title to the Property or to being a person who has legal authority to bind all fee title owners of the Property to this Consent & Waiver. The terms of this Consent & Waiver shall run with the land and shall be binding upon all subsequent landowners. Owner consents to the recordation of this Consent & Waiver.

If Owner withdraws the application for the Land Use Application prior to final action by the City, Owner is released from this Consent and Waiver.

Dated this 5th day of April, 2022.

OWNER:
Power 202 Mixed Use, LLC
4650 E. Cotton Center Blvd. Suite 200
Phoenix, AZ 85040

Robert Kerwin
Print Name

Sign Name

STATE OF ARIZONA)
) ss.
County of Maricopa)

On this 5th day of April, 2022, before me, the undersigned Notary Public, personally appeared Robert Kerwin, who acknowledged that this document was executed for the purposes therein contained.

Deborah A Cox
Notary Public

My Commission Expires:

11/21/2024

DEBORAH A COX
Notary Public - Arizona
Maricopa County
Commission # 593542
My Comm. Expires Nov 21, 2024

EXHIBIT 1

LEGAL DESCRIPTION

A PORTION OF FINAL PLAT GALLERY PARK REPLAT 2 AS RECORDED IN BOOK 1615, PAGE 1, RECORDS OF MARICOPA COUNTY, ARIZONA. LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA