



**4600**  
EAST INDIAN SCHOOL RD  
PHOENIX, ARIZONA 85018  
**602-840-2929 P**  
**602-840-6646 F**

**GATEWAY**  
**COMMERCE CENTER II**  
304-61-023N AND 304-61-023P

1ST ISSUED: 09/29/21

Revisions

PROJECT NO: 21155.00  
DRAWN BY: DTC, JM  
CHK'D BY: MVO  
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ARCHITECTURE GROUP

**OVERALL SITE  
PLAN**

**AS-110**

## SITE DATA

**PROJECT:** GATEWAY COMMERCE CENTER II  
**GOVERNING MUNICIPALITY:** CITY OF MESA  
**ADDRESS:** SOUTHEAST OF SOSSAMAN RD. AND PECOS RD., MESA, AZ 85212  
**APN:** 304-61-023P AND 304-61-023N  
**PROJECT DESCRIPTION:** SCOPE OF WORK INCLUDES: SHELL SPEC LIGHT INDUSTRIAL BUILDING LOCATED ON A 27.87 NET ACRE SITE. BUILDING IS DESIGNED FOR MULTI-TENANT FLEXIBILITY. THE BUILDINGS WILL BE CROSS DOCK WITH TWO YARDS BEHIND 8'-0" HIGH MASONRY SCREEN WALLS AND GATES. THE BUILDING IS CONCRETE TILT PANEL CONSTRUCTION WITH HYBRID ROOF. SITE CURRENTLY UNDER REPLAT.

**REQUIRED ZONING:** PREOZ (PECOS ROAD ECONOMIC OPPORTUNITY ZONE) W/ UNDERLYING G-1 (GENERAL INDUSTRIAL)  
**SETBACK REGULATIONS:** PER ZONING SEC 11-7-3  
ARTERIAL STREET - 15'-0" PROVIDED: 20'-0"  
INTERIOR SIDE AND REAR YARD - 0'-0" PROVIDED: 92'-4"  
LANDSCAPE SETBACK - 15'-0" PROVIDED: 15'-0"

**SITE AREA:** NET: ± 1,214,044 SF (27.87 ACRES)  
**LOT COVERAGE:** ALLOWED 90% MAX. PROVIDED OPEN SPACE IS 242,940 AND IS 21% OF THE SITE, THE PROVIDED COVERAGE IS 79%  
**OCCUPANCY(IES):** B, F-1 AND S-1 (PRELIMINARY)  
**BUILDING HEIGHT:** ALLOWED 50'-0" PROPOSED 55'-0"±  
**CONSTRUCTION TYPE(S):** III-B W/ SPRINKLERS

**GROSS BUILDING AREA:**  
BLDG. A 448,933 SF (GROSS AREA PER IBC)  
449,077 SF (LEASABLE AREA)

**PARKING CALCULATIONS:**  
PER MZO TABLE 11-32-3 AND 11-32-8  
\*\*PARKING CALCULATIONS BASED ON GROSS FLOOR AREA FOR INDUSTRIAL SHELL BUILDING\*\*

BLDG. A	USE	SF	FACTOR	SPACES REQ'D	PROVIDED
WAREHOUSE	448,933	75%	1/500 SF	674	455
		25%	1/375 SF	300	455*

\* REFER TO PARKING ANALYSIS

BLDG. A TOTAL NUMBER OF SPACES:	974	455
STANDARD PARKING SPACES:	20	9
ACCESSIBLE PARKING SPACES:	53	20
BIKE SPACES:		

## LEGEND

↔ FIRE LANE ↔	FIRE TRUCK LANE ACCESS OR DRIVE.
○-○ ○-○	SITE LIGHT POLE LOCATIONS - REFER TO ELECTRICAL DRAWINGS.
○	EXISTING STREET LIGHTING, REFER TO CIVIL
●	NEW FIRE HYDRANT
EFH ●	EXISTING FIRE HYDRANT
▨	SITE VISIBILITY TRIANGLE AREA PER COM
→ →	ACCESSIBLE ROUTE
15'-0" 35'-0"	TYPICAL TURNING RADIUS
■	COMMON AREA
▨	ENTRY AREA
■	FOUNDATION AREA

## LINE TYPE LEGEND

---	PROPERTY LINE
----	LANDSCAPE OR BUILDING SETBACK AS NOTED ON PLAN
-x-x-x-x-	CHAIN LINK FENCE

## KEYNOTES

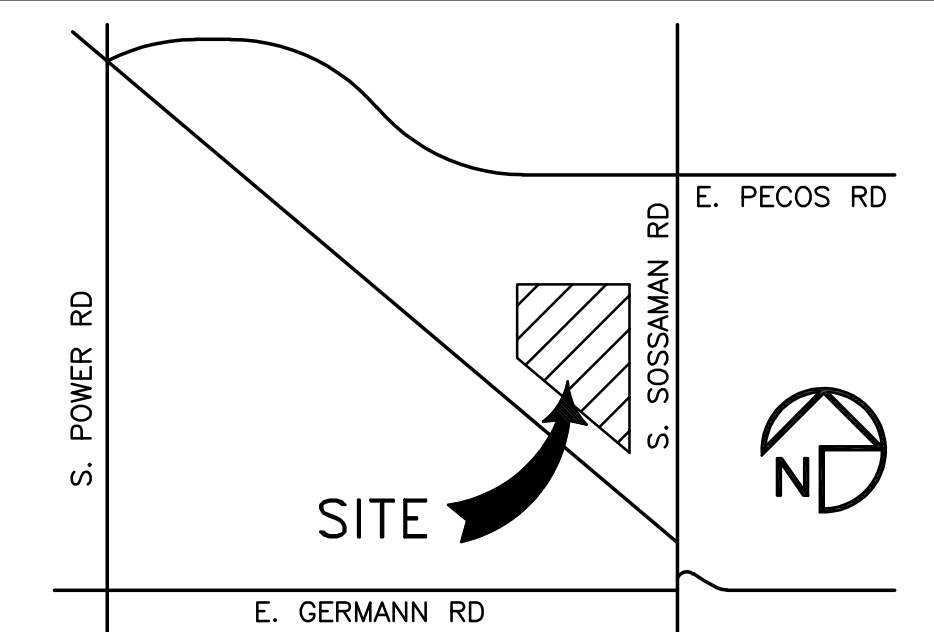
24. POLE-MOUNTED LIGHT FIXTURE-SEE ELECTRICAL
39. TRANSFORMER-SEE ELECTRICAL
40. SES-SEE ELECTRICAL
76. PROPOSED FUTURE SES LOCATION
77. PROPOSED FUTURE TRANSFORMER LOCATION
79. SITE ACCESS GATE
80. 8'-0" SCREEN WALL
81. TYPICAL REFUSE AND RECYCLE AREA FOR PERSPECTIVE TENANTS. LOCATED IN THE ENCLOSED DOCK YARD BY 8' HIGH WALL. BUILDING HAS DOCK BUMPERS TO PROTECT TRASH CONTAINER AND BUILDING.

## GENERAL NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. PER MESA AMENDED FIRE CODE SECTION 510.1 NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING. BUILDINGS OR STRUCTURES MORE THAN THREE STORIES ABOVE GROUND LEVEL OR BUILDINGS OR STRUCTURES TOTALING 45,000 SF OR MORE ON ANY SINGLE FLOOR. GC SHALL COORDINATE WITH ARCHITECT DURING CONSTRUCTION.
3. INSTALL 2" QUAD DUCT ALONG THE FRONTAGE OF THE SITE PER CITY STANDARDS.

COMMON AND ENTRY AREAS  
BUILDING A  
\* COMMON AREA REQUIRED: 4,489 SF PROVIDED: 4,837 SF  
\* ENTRY AREA REQUIRED: 900 SF PROVIDED: 1,028 SF  
\* FOUNDATION AREA REQUIRED: 9,150 SF PROVIDED: 17,524 SF

## VICINITY MAP

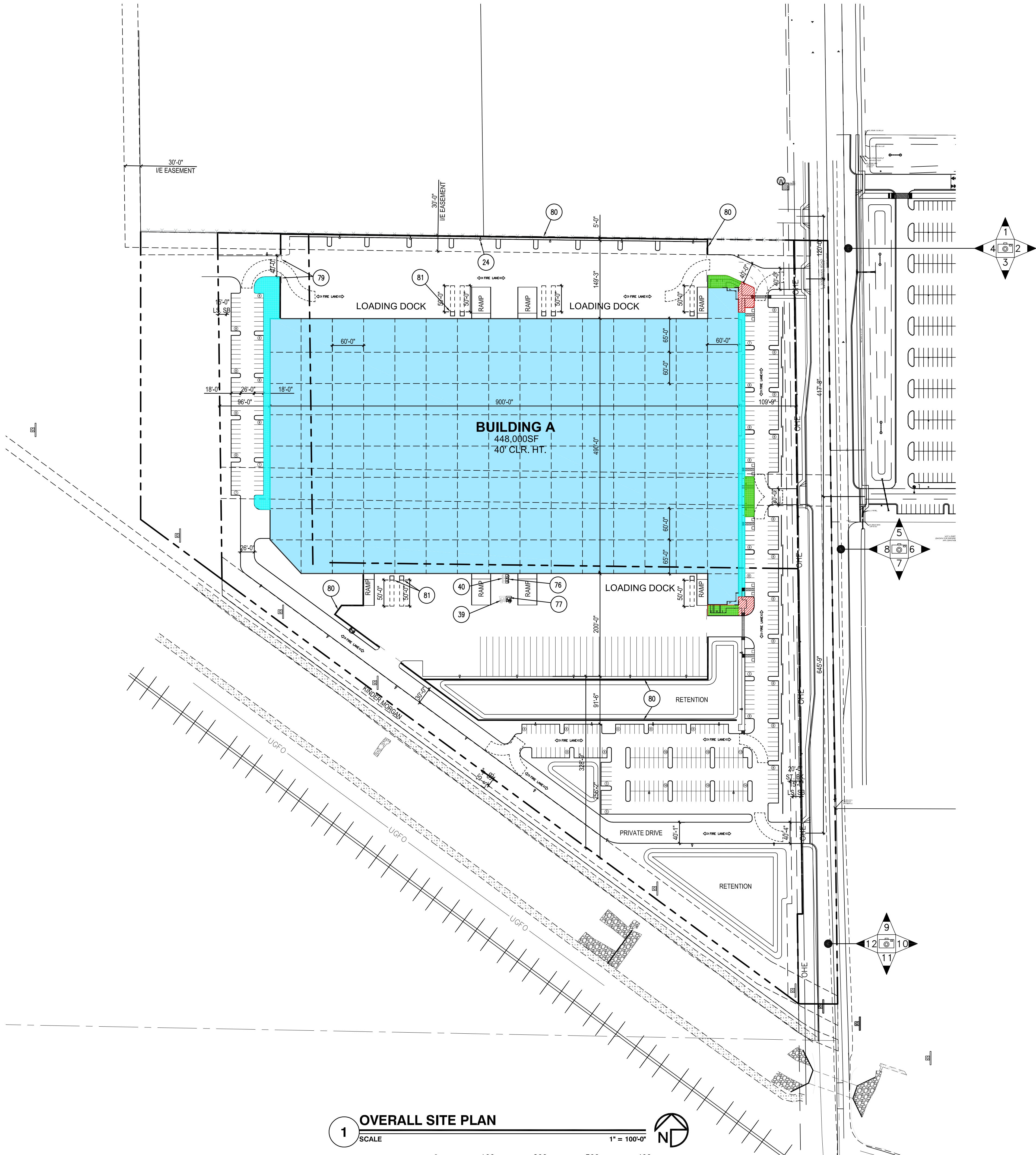


## PROJECT TEAM

<b>OWNER:</b> WETTA VENTURES, LLC 3104 E. CAMELBACK RD, STE 957 PHOENIX, AZ 85016 PHONE: 602-478-3538 E-MAIL: DW@WETTAVENTURES.COM CONTACT: DAVID WETTA	<b>ARCHITECT:</b> DEUTSCH ARCHITECTURE GROUP 4600 E INDIAN SCHOOL RD PHOENIX, AZ 85018 PHONE: 602-840-2929 E-MAIL: DCHISUM@2929.COM CONTACT: DUSTIN GHISUM
<b>CIVIL ENGINEER:</b> HUNTER ENGINEERING 10450 N. 74TH ST, STE 200 SCOTTSDALE, AZ 85258 PHONE: 480-294-6728 E-MAIL: LTALBOTT@HUNTERENGINEERING.COM CONTACT: LARRY TALBOTT, PE	<b>ELECTRICAL ENGINEER:</b> ZEE ENGINEERING GROUP 1830 S. ALMA SCHOOL RD., SUITE 120 MESA, AZ PHONE: 480-222-8835 E-MAIL: SHYAMUK@ZENGGROUP.COM CONTACT: SHYAMUK SIDHWIA, PE
<b>LANDSCAPE ARCHITECT:</b> G.K. FLANAGAN ASSOCIATES 4626 N. 44TH ST PHOENIX, AZ 85018 PHONE: 602-912-9691 E-MAIL: JUSTIN@GKFLANAGAN.COM CONTACT: JUSTIN FLANAGAN, PLA	

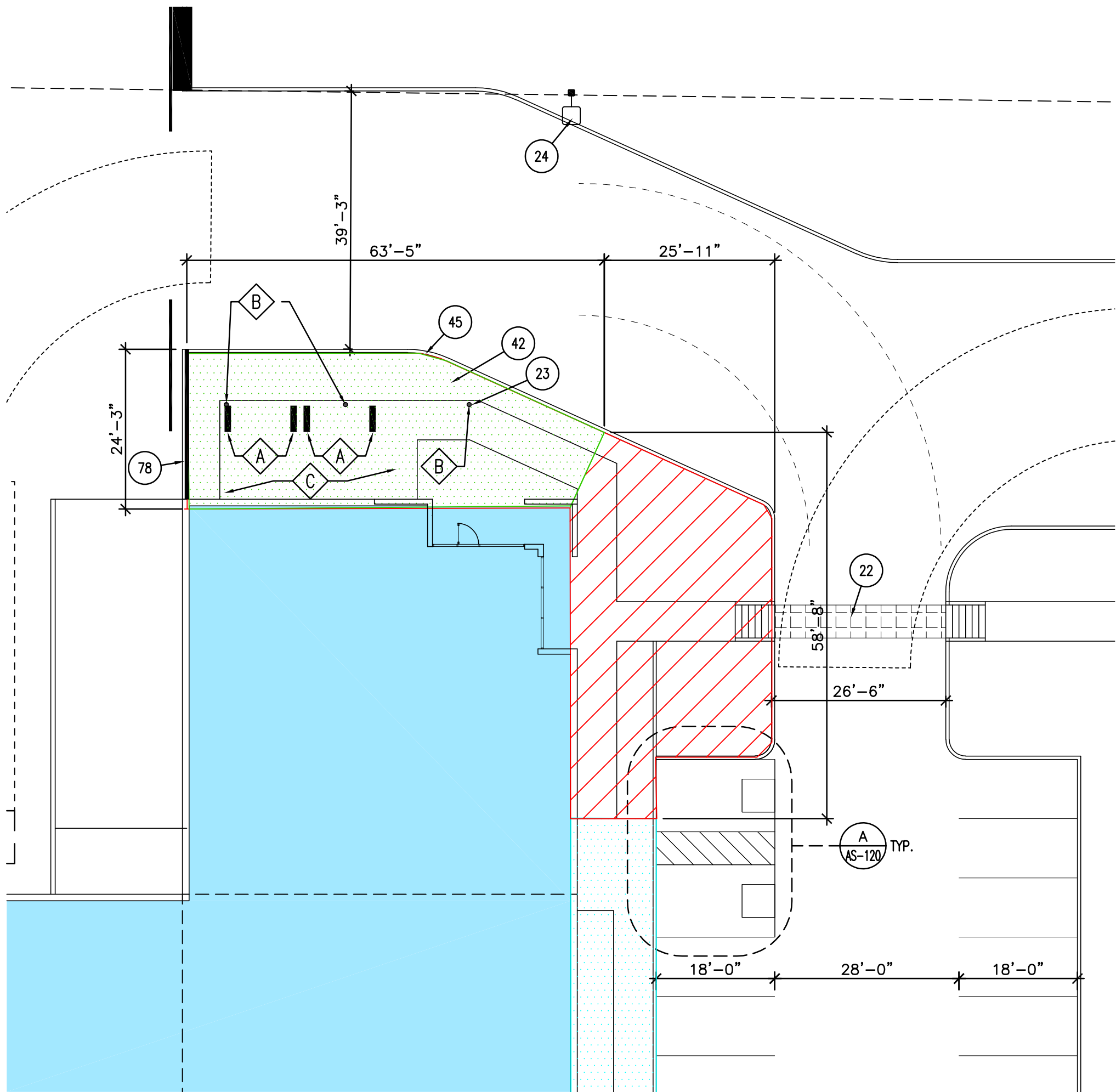
## APPROVAL STAMP

ZON22-00040 FINAL SITE PLAN

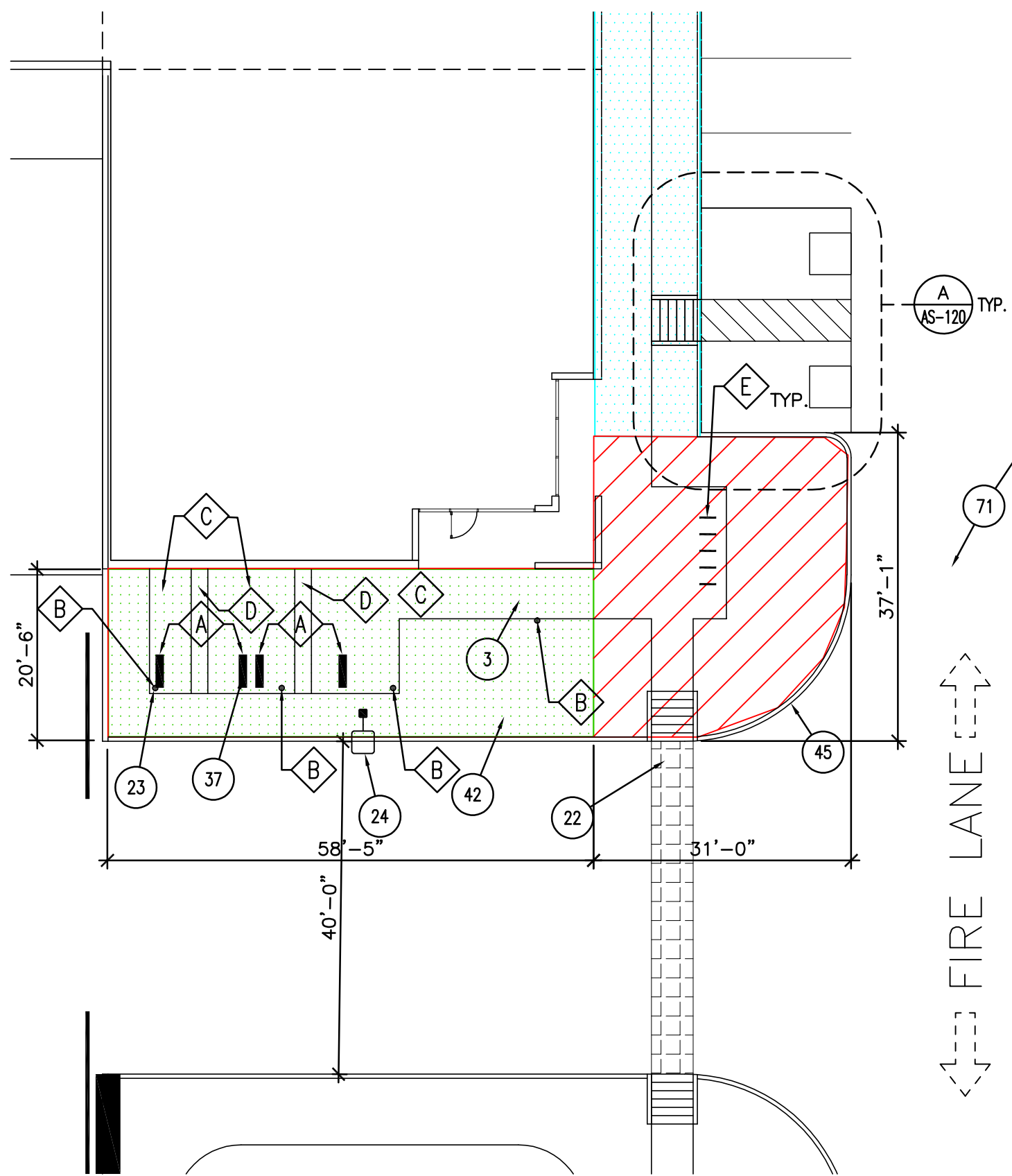


**1 OVERALL SITE PLAN**  
SCALE 1" = 100'-0"  
0 100 200 300 400

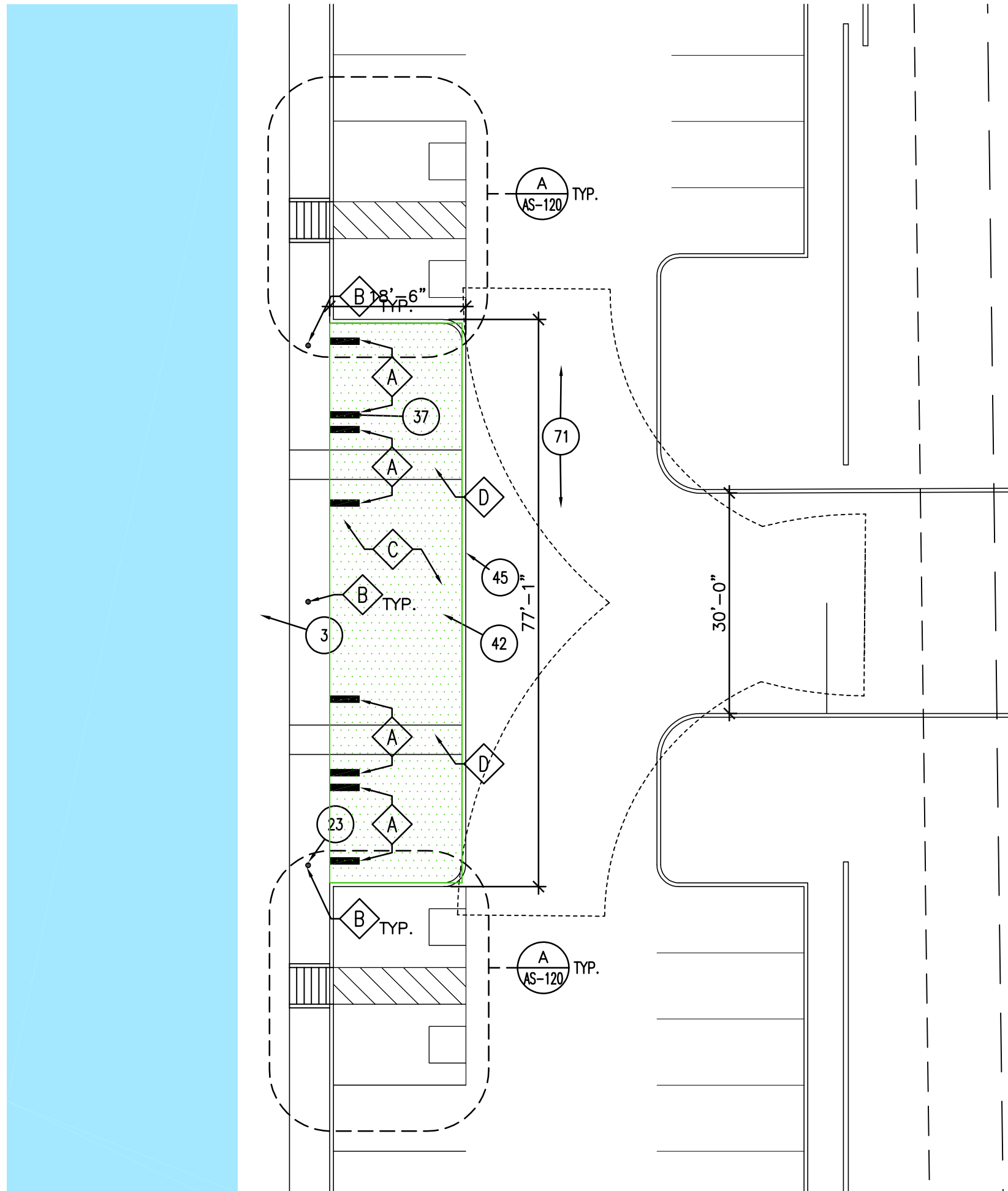
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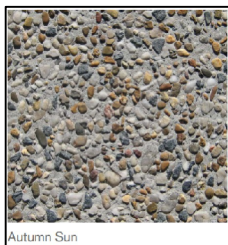


1 ENLARGED SITE PLAN  
SCALE 0 16 32 48 64 1/16" = 1'-0"


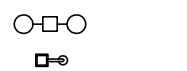
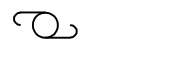







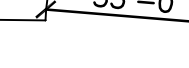


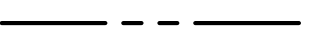

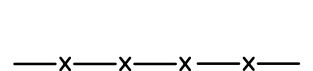
3 ENLARGED SITE PLAN  
SCALE 0 16 32 48 64 1/16" = 1'-0"



2 ENLARGED SITE PLAN  
SCALE 0 16 32 48 64 1/16" = 1'-0"

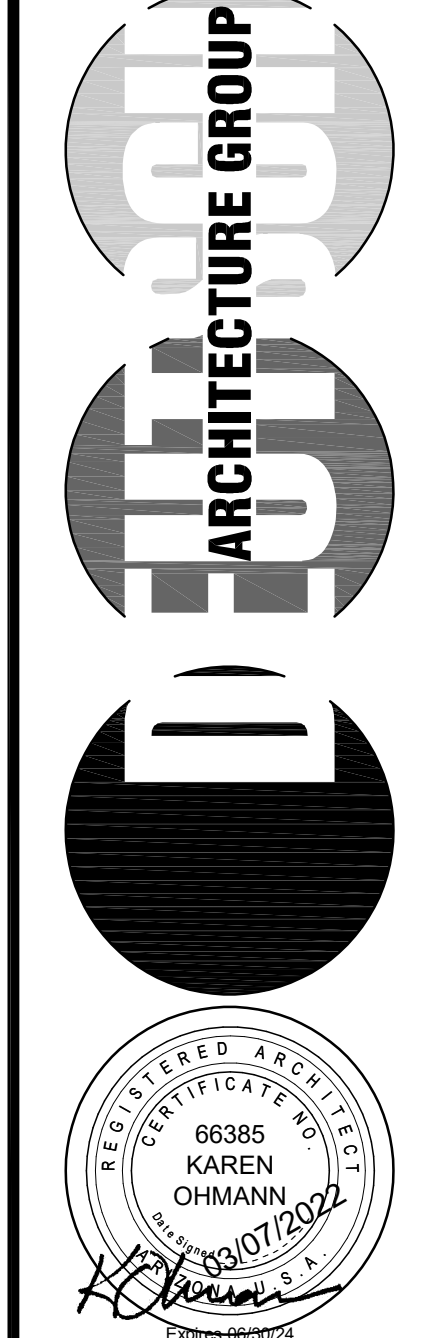
FINISH ITEMS		KEYNOTES
A		GARDEN BENCH
B		LED BOLLARD LIGHT FIXTURE
C		EXPOSED AGGREGATE WITH AUTUMN SUN
D		EXPOSED AGGREGATE WITH BLACK STONE
E		BIKE RACK

LEGEND	
	FIRE TRUCK LANE ACCESS OR DRIVE.
	SITE LIGHT POLE LOCATIONS — REFER TO ELECTRICAL DRAWINGS.
	EXISTING STREET LIGHTING, REFER TO CIVIL
	NEW FIRE HYDRANT
	EXISTING FIRE HYDRANT
	SITE VISIBILITY TRIANGLE AREA PER COM
	ACCESSIBLE ROUTE
	TYPICAL TURNING RADIUS
	COMMON AREA
	ENTRY AREA
	FOUNDATION AREA

LINE TYPE LEGEND	
	PROPERTY LINE
	LANDSCAPE OR BUILDING SETBACK AS NOTED ON PLAN
	CHAIN LINK FENCE

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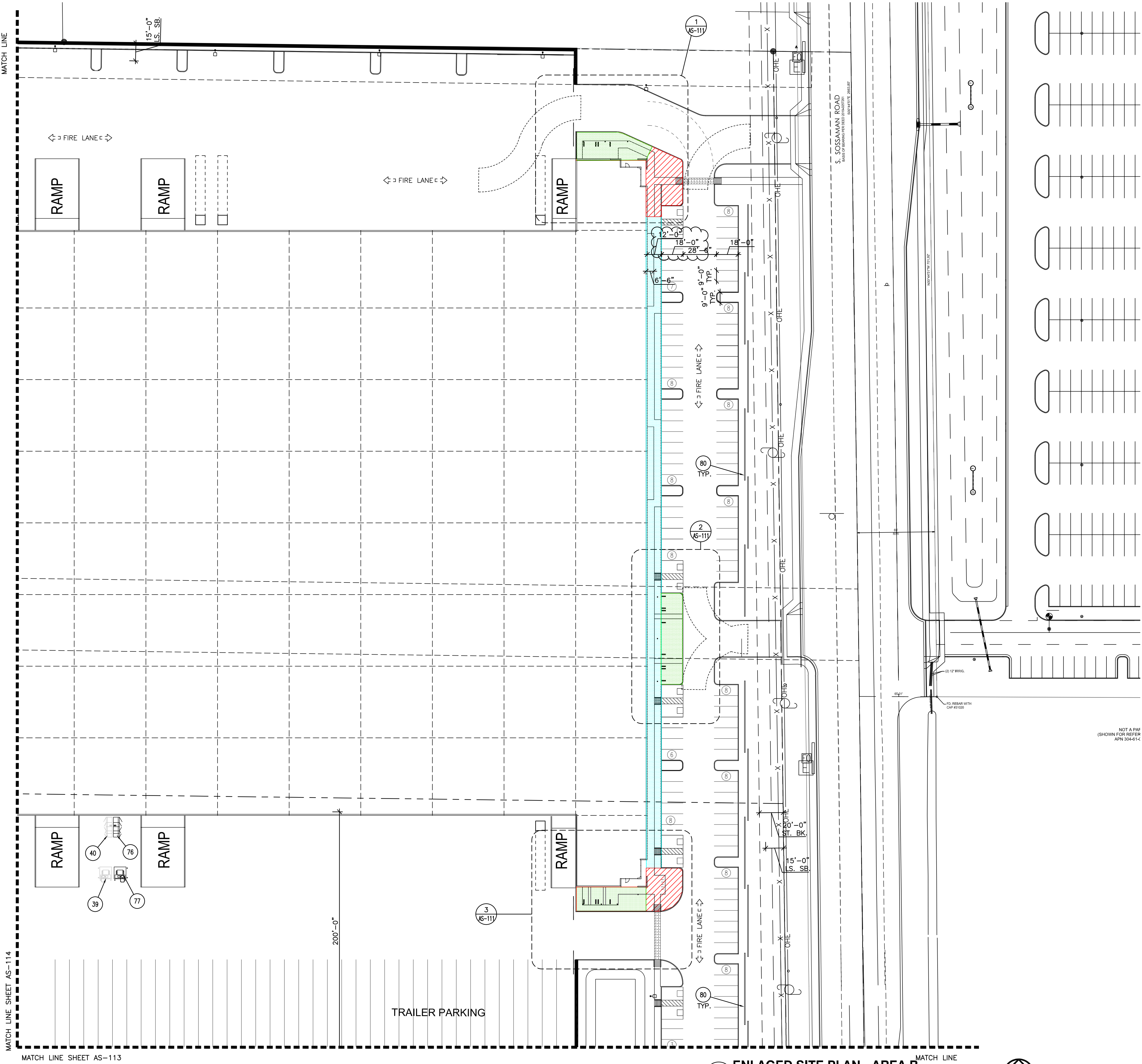
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ENLARGED SITE  
PLAN

AS-111

NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION: THIS CONTRACT ALLOWS THE OWNER TO CERRY AND APPROVE BILLINGS AND ESTIMATES WITHIN 30 DAYS AFTER THE BILLINGS AND ESTIMATES ARE RECEIVED FROM THE CONTRACTOR

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KEYNOTES

39. TRANSFORMER—SEE ELECTRICAL  
40. SES—SEE ELECTRICAL  
76. PROPOSED FUTURE SES LOCATION  
77. PROPOSED FUTURE TRANSFORMER LOCATION  
80. MASONRY SITE WALL REFER TO DETAILS

LEGEND

↔ FIRE LANE ↔

○ ○ ○

○

⊕

EFH

FIRE TRUCK LANE ACCESS OR DRIVE.

SITE LIGHT POLE LOCATIONS — REFER TO ELECTRICAL DRAWINGS.

EXISTING STREET LIGHTING, REFER TO CIVIL

NEW FIRE HYDRANT

EXISTING FIRE HYDRANT

SITE VISIBILITY TRIANGLE AREA PER COM

ACCESSIBLE ROUTE

TYPICAL TURNING RADIUS

COMMON AREA

ENTRY AREA

FOUNDATION AREA

LINE TYPE LEGEND

---

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-x-x-x-x-

PROPERTY LINE

LANDSCAPE OR BUILDING SETBACK AS NOTED ON PLAN

CHAIN LINK FENCE

KEYPLAN

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ENLARGED SITE PLAN

AS-112

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DEUTSCH ARCHITECTURE GROUP

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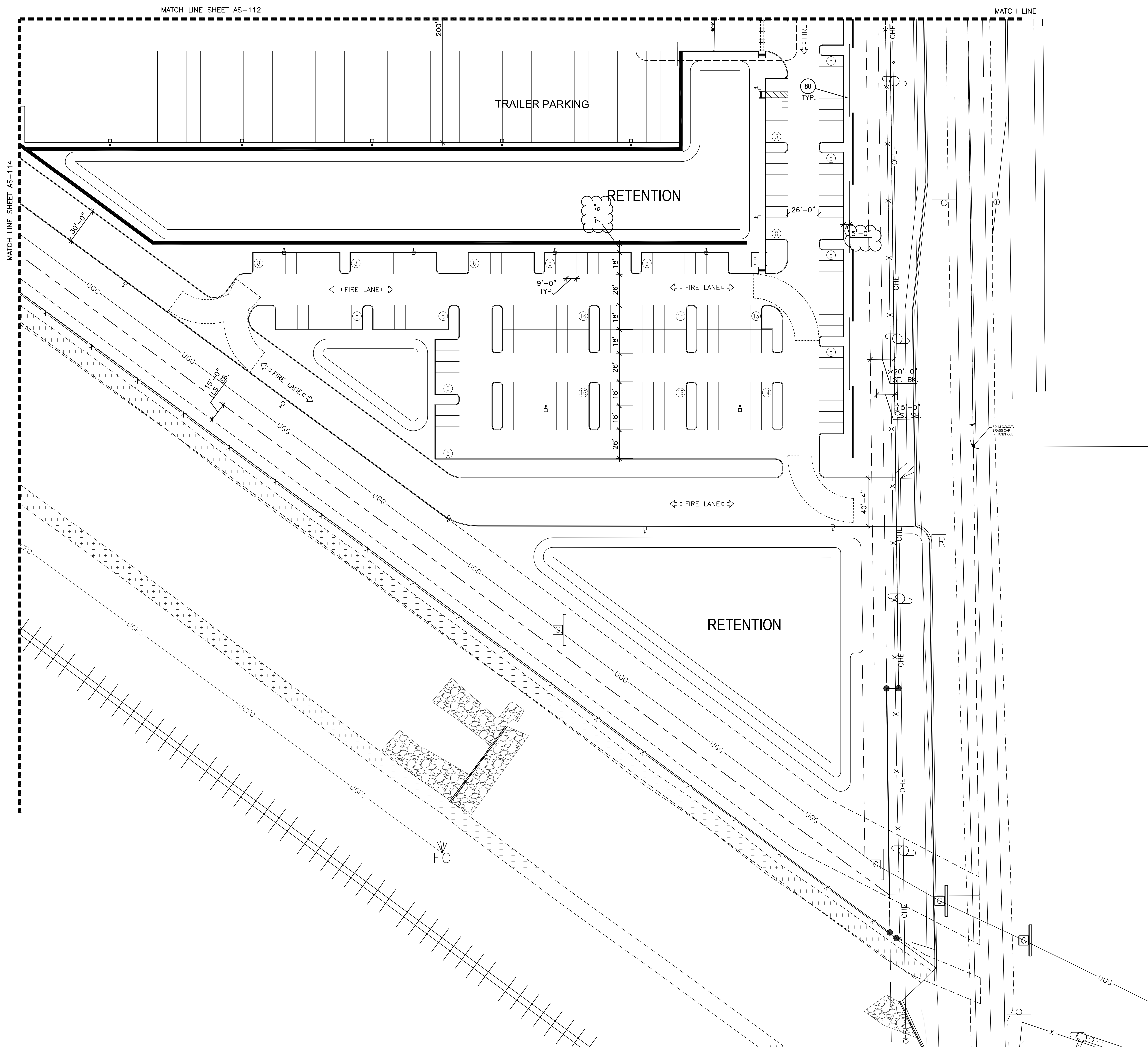
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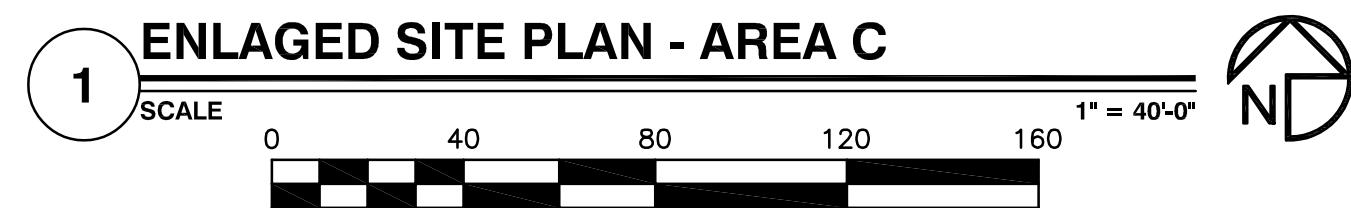
COMMERCE CENTER II

304-61-023N AND 304-61-023P

NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION: THIS CONTRACT ALLOWS THE OWNER TO CERTIFY AND APPROVE BUILDINGS AND ESTIMATES WITHIN 30 DAYS AFTER THE BUILDING AND ESTIMATES ARE RECEIVED FROM THE CONTRACTOR.



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## KEYNOTES

- NEW CONCRETE SIDE WALK.
- HEAVY-DUTY TRAFFIC RATED INTEGRAL COLOR CONCRETE CROSSWALK.
- BOLLARD LIGHTING-SEE ELECTRICAL.
- POLE-MOUNTED LIGHT FIXTURE-SEE ELECTRICAL.
- BIKE PARKING SPACES; REFERENCE DETAIL 5/AS-120.
- LANDSCAPE AREA.
- 6" CONCRETE CURB.
- PARKING PAVEMENT - PER CIVIL PLANS.
- MASONRY SCREEN WALL AND RETAINING PER CIVIL AND STRUCTURAL DWGS.
- MASONRY SITE WALL REFER TO DETAILS.

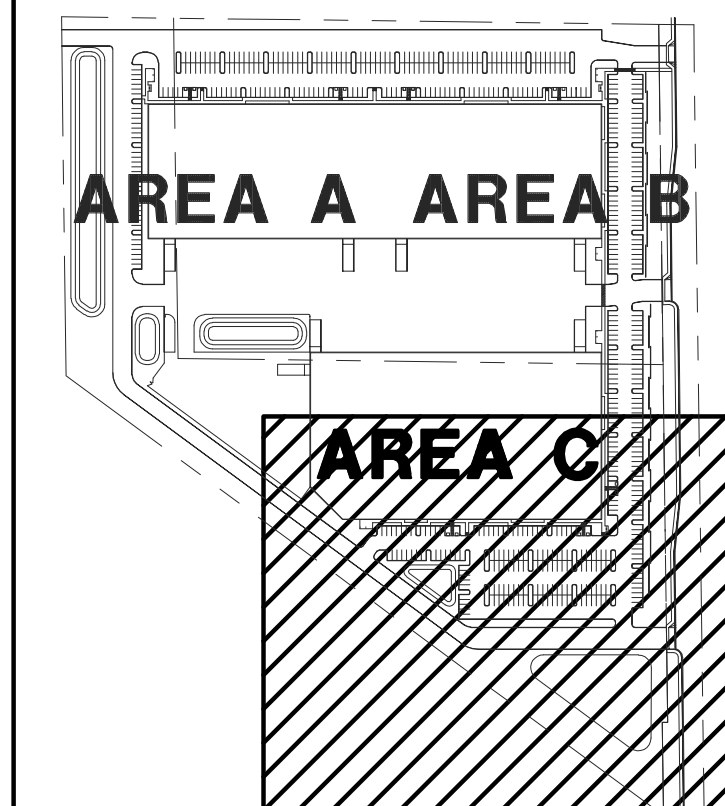
## LEGEND

- FIRE TRUCK LANE ACCESS OR DRIVE.
- SITE LIGHT POLE LOCATIONS - REFER TO ELECTRICAL DRAWINGS.
- EXISTING STREET LIGHTING, REFER TO CIVIL.
- NEW FIRE HYDRANT.
- EXISTING FIRE HYDRANT.
- SITE VISIBILITY TRIANGLE AREA PER COM.
- ACCESSIBLE ROUTE.
- TYPICAL TURNING RADIUS.

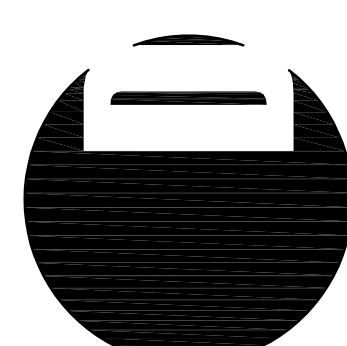
## LINE TYPE LEGEND

- PROPERTY LINE.
- LANDSCAPE OR BUILDING SETBACK AS NOTED ON PLAN.
- CHAIN LINK FENCE.

## KEYPLAN



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**ENLARGED SITE PLAN**

**AS-113**

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