



DESIGN REVIEW BOARD

May 10, 2022



DRB22-00337



Request

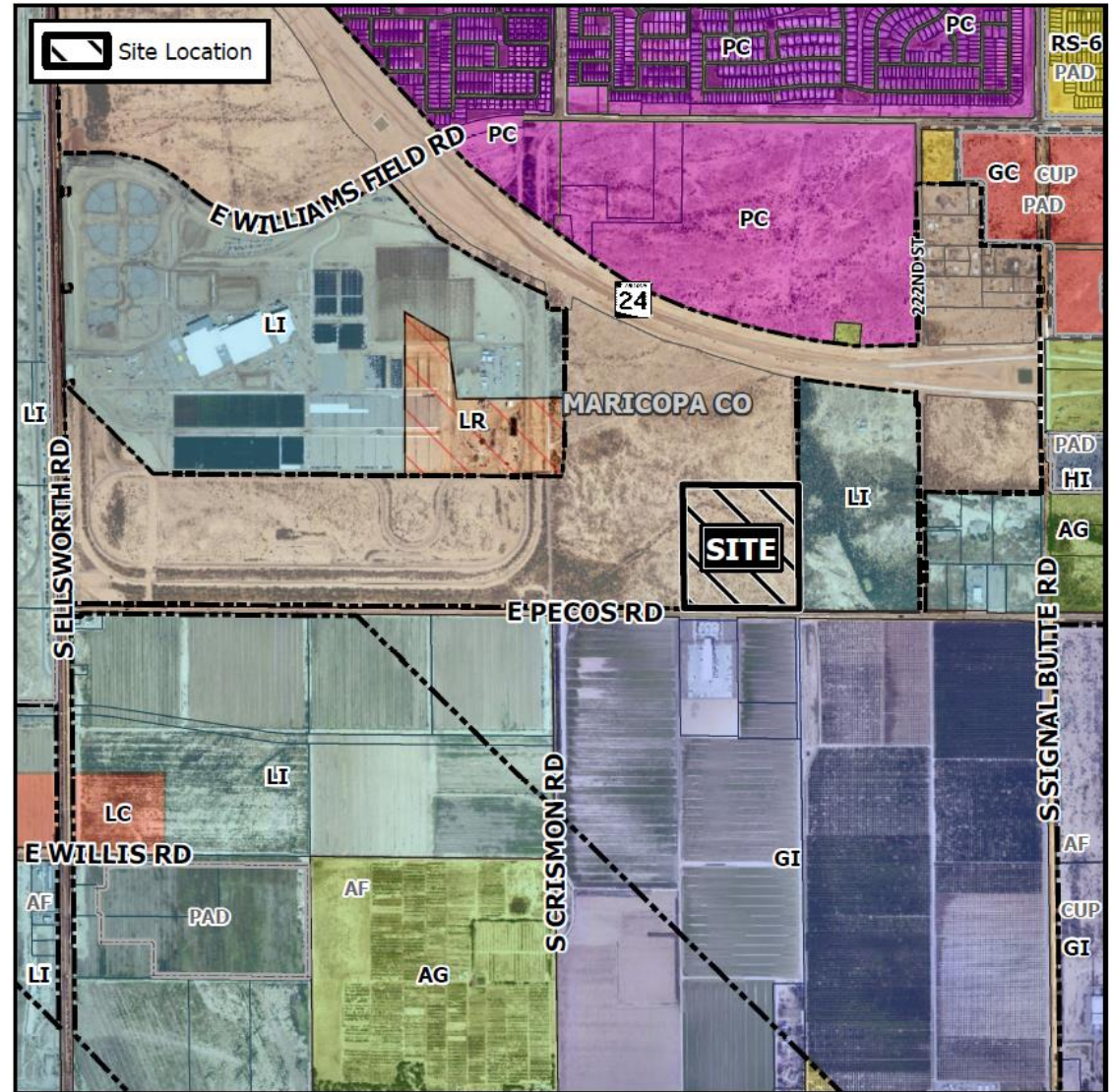
- Design Review

Purpose

- To allow for the development of an industrial park

Location

- North of Pecos Road
- East of Ellsworth Road

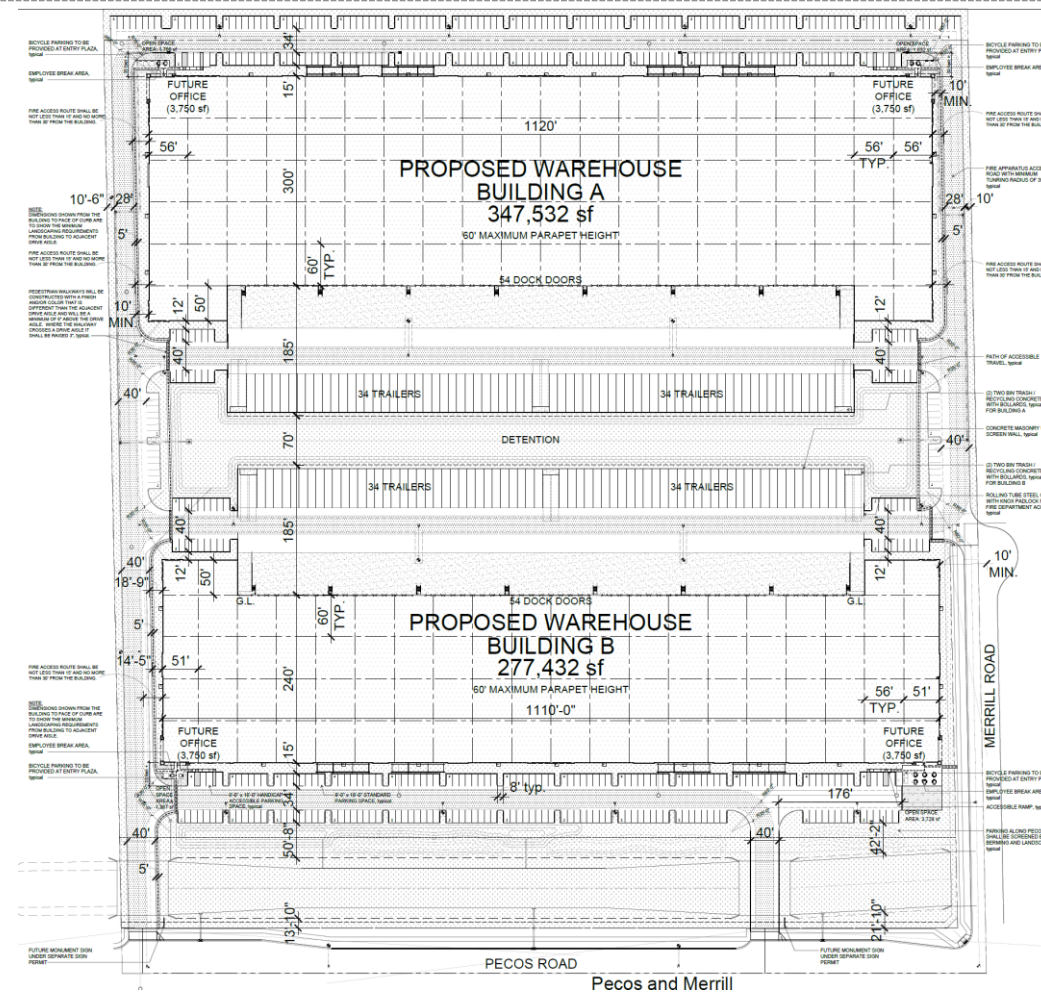


Site Photo












Looking north towards the site from Pecos Road

Site Plan


























Landscape Plan

PLANT LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	QTY
TREES				
	Acacia farnesiana 'Sierra Sweet'	Sweet Acacia	24" Box	21
	Acacia salicina	Willow Acacia	24" Box 15 Gall	64 50
	Caesalpinia cacalaco	Cascabel 'Smoothie'	15 Gall 36" Box	50 4
	Chitalpa tashkentensis	Chitalpa	36" Box	8
	Fraxinus velutina 'Fan Tex'	Fan Tex Ash	15 Gall	48
	Pinus edulis	Mondel Pine	24" Box 36" Box	15 7
	Prosopis hybrid 'Thomasi'	Thornless Mesquite	24" Box	18
	Quercus virginiana 'Heritage'	'Heritage' Live Oak	15 Gall 36" Box	7 63
	Ulmus parvifolia	Chinese Evergreen Elm	24" Box 36" Box	47 11

SHRUBS/ACCENTS

SHRUBS/ACCENTS	COMMON NAME	SIZE	QTY
	Agave americana	Century Plant	5 Gal 106
	Calliandra californica	Baja Fairy Custer	5 Gal 41
	Cordia boissieri	Desert Olive	5 Gal 21
	Callistemon x 'Little John'	Dwarf Callistemon	1 Gal 146
	Caesalpinia pulcherrima	Red Bird of Paradise	5 Gal 94
	Cordia alliodora	Little Leaf Cordia	5 Gal 70
	Dasyliyon wheeleri	Desert Spout	5 Gal 305
	Eremophila maculata 'Valentine'	'Valentine' Erem Bush	5 Gal 103
	Eremophila glabra 'Winter's Blaze'	Blue Belts	5 Gal 122
	Euphorbia rigida	Gopher Plant	5 Gal 80
	Hesperaloe parviflora	Giant Hesperaloe	5 Gal 122
	Hesperaloe parviflora 'Brakeleights'	Brakeleights Yucca	5 Gal 173
	Jostea californica	Chuparosa	5 Gal 136
	Lantana x 'Dallas Reef'	Dallas Red Lantana	5 Gal 78
	Leucophyllum longistylus 'Rio Bravo'	Rio Bravo Sage	5 Gal 75
	Muhlenbergia capillaris 'Regal Mist'	'Regal Mist' Muhly	5 Gal 52
	Muhlenbergia lindheimeri 'Autumn Glow'	'Autumn Glow' Muhly	5 Gal 165
	Muhlenbergia rigida 'Nashville'	Purple Muhly	5 Gal 155
	Ruellia peninsularis	Desert Ruellia	5 Gal 130
	Ruellia brittoniana	Purple Ruellia	5 Gal 36
	Senna artemisioides	Feathery Cassia	5 Gal 63
	Simmondsia chinensis 'Ysita'	Compact jojoba	5 Gal 101
	Tecoma stans 'Gold Star'	Yellow Belts	5 Gal 119

GROUNDCOVERS

	Acacia redolens 'Desert Carpet'	Thompson Acacia	1 Gal	24
	Baccharis hybrid 'Stam'	Baccharis Baccharis	1 Gal	14
	Convolvulus creumum	Bush Morning Glory	1 Gal	56
	Dalea capitata 'Sierra Gold'	Sierra Gold Dalea	1 Gal	170
	Eremophila prostrata 'Outback Sunrise'	'Outback Sunrise'	1 Gal	176
	Lantana x 'New Gold'	New Gold Lantana	1 Gal	479
	Lantana monodensis	Trailing Purple Lantana	1 Gal	135
	Rosmarinus officinalis 'Prostratus'	Dwarf Rosemary	1 Gal	472

MATERIALS

	3/4" Screened Decomposed Granite Desert Brown or Equal, 2" Depth Min.	332,707 S.F.
	Hydroseeding	



Building A Elevations



[illegible]

Architectural elevation drawing of the exterior of a building. The drawing shows a long, low profile with a series of vertical panels and a flat roof. Dimensions are provided for panel widths and heights. A legend on the right side of the drawing identifies the materials used.

Dimensions (from left to right):

- 107'-5"
- 67'-1"
- 61'-0"
- 79'-0"
- 61'-0"
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- 67'-1"
- 107'-5"











Panel Joint, typical

PAINTED CONCRETE TILT-UP PANELS, typical

Legend:

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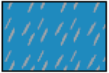


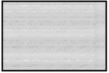

Renderings



Renderings

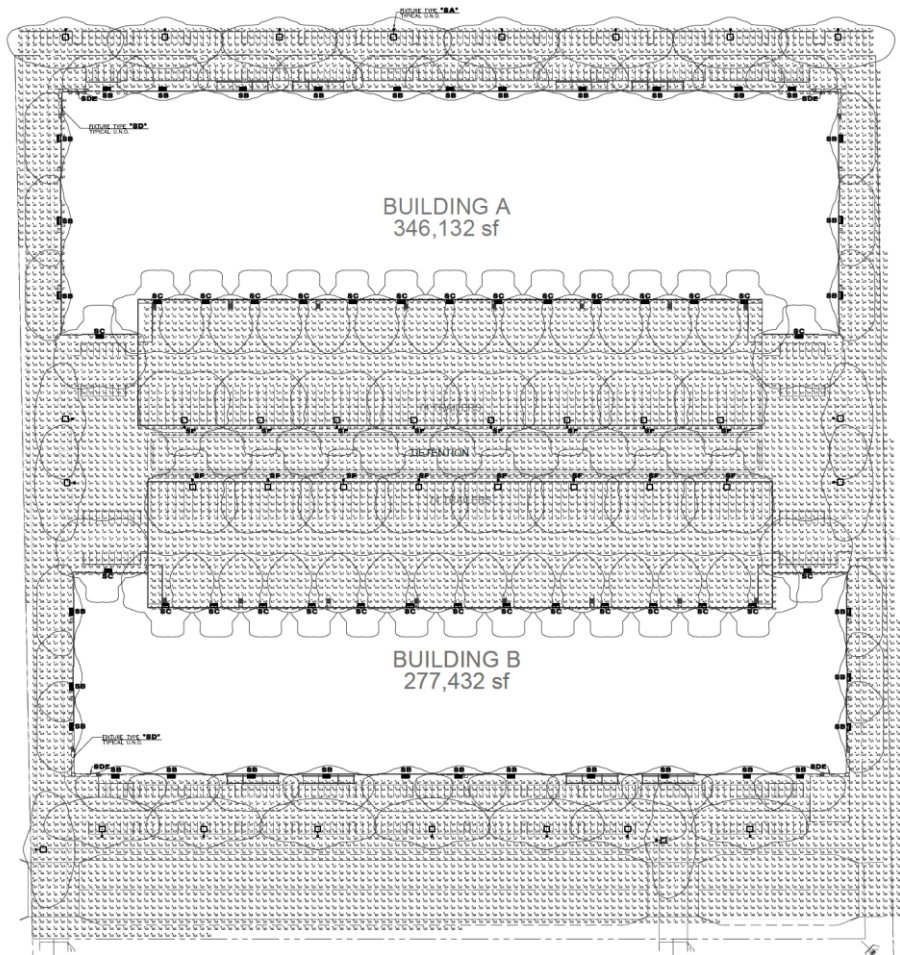



Colors and Materials

	<div><div>P 1</div><div>TILT-UP CONCRETE WALL PANEL WALL PANEL FIELD COLOR SHERWIN WILLIAMS - #7626 - ZURICH WHITE</div></div>		<div><div>P 3</div><div>TILT-UP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR SHERWIN WILLIAMS - #7075 - WEB GRAY</div></div>		<div><div>G 1</div><div>1" INSULATED DUAL PANE MEDIUM PERFORMANCE PPG VISTACOOOL PACIFICA GLAZING CLEAR ANODIZED ALUMINUM MULLIONS</div></div>
	<div><div>P 2</div><div>TILT-UP CONCRETE WALL PANEL WALL PANEL FIELD COLOR SHERWIN WILLIAMS - #7065 - ARGOS</div></div>		<div><div>P 4</div><div>TILT-UP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR CAPROCK RED</div></div>		<div><div>FL 1</div><div>FORM LINER</div></div>
			<div><div>P 5</div><div>TILT-UP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR WHITE</div></div>		

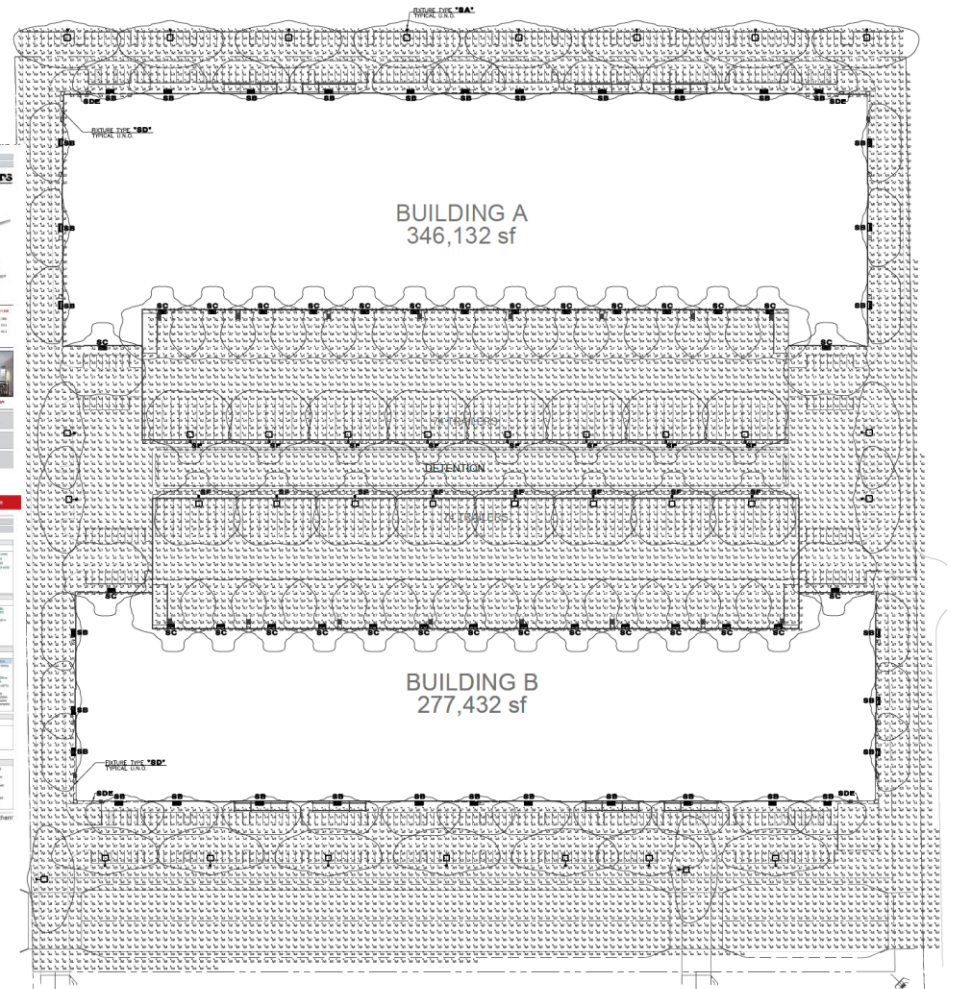
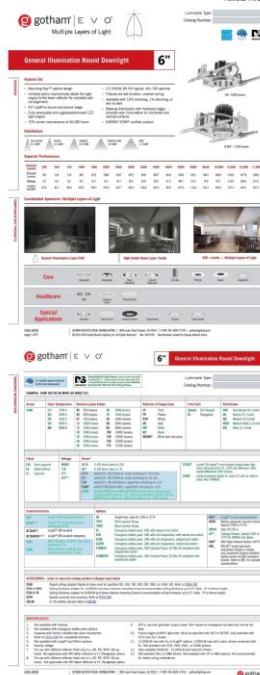
LEGEND

Lighting



ELECTRICAL PRE-CURFEW PHOTOMETRICS 

SCALE: 1"=60'-0"



ELECTRICAL POST-CURFEW PHOTOMETRICS 

SCALE: 1"=60'-0"

Alternative Compliance

Publicly visible facades (i.e., viewed from rights-of-way or private property), may not have blank, uninterrupted wall lengths exceeding 50-feet without including at least two (2) of the following: change in plane, change in texture or masonry pattern, windows, trellis with vines, or an equivalent element that subdivides the wall into human scale proportions.

All parapets must have detailing

Facades shall incorporate 3 different materials

No more than 50% of façade may be covered in one material

Alternative Compliance

Vary building height, providing at least two (2) changes in height or roof forms that are varied over different portions of the building through changes in pitch, plane, and orientation.

Primary entrances along major facades shall be clearly defined with façade variations, porticos, roof variations, recesses or projections, or other integral building forms.

Summary

Findings

- ✓ Staff is seeking your review and recommendation on the following:
 - Alternative Compliance for materials, vertical modulation, and parapet detailing
- Staff welcomes any feedback



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