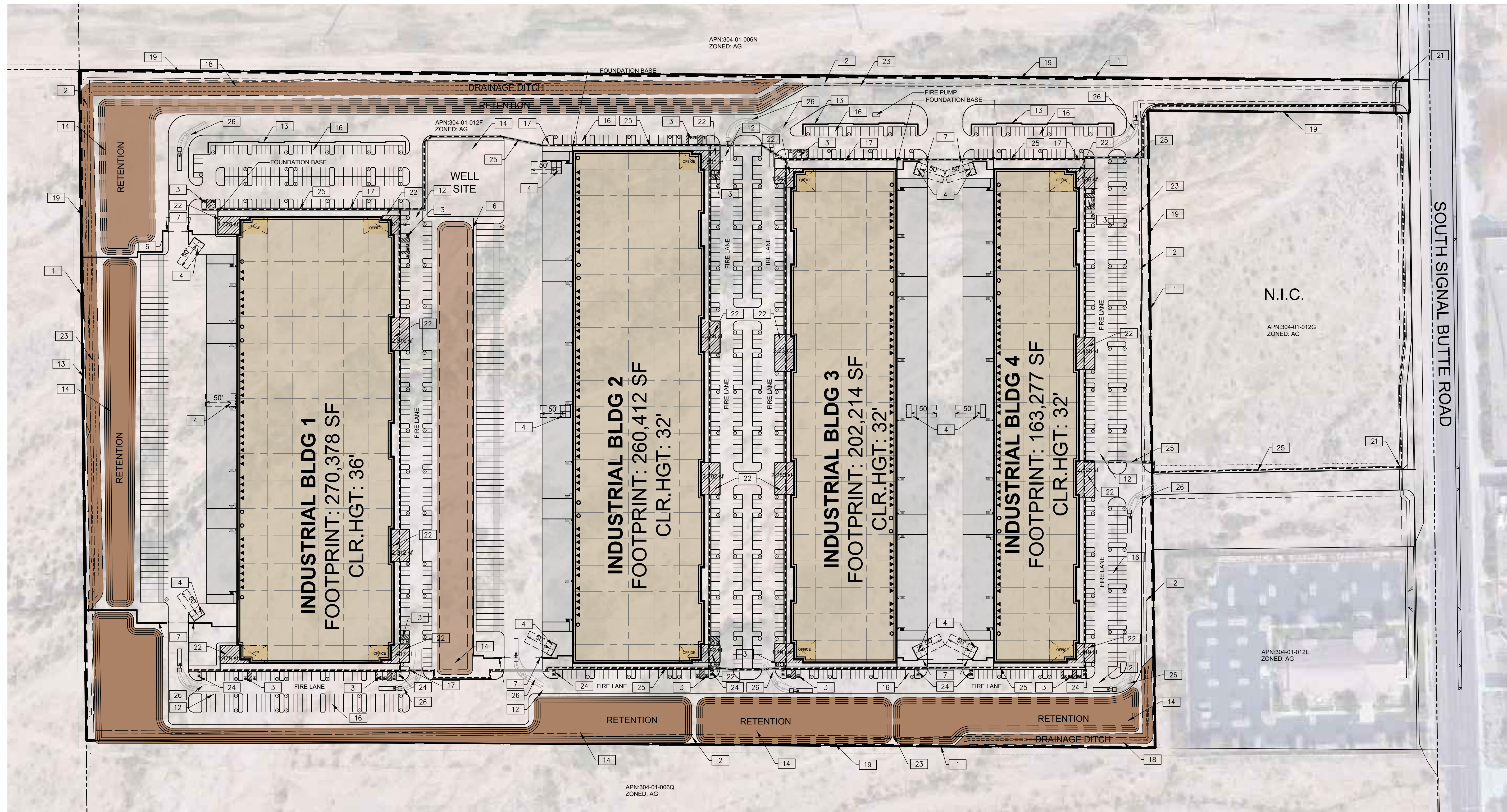




1" = 100'

0 50 100 200 500

SITE PLAN

SCALE: 1"=100'-0"



SITE PLAN KEYNOTES

- 1 PROPERTY LINE (— — — —)
- 2 LANDSCAPE SET BACK
- 3 ADA PARKING STALL
- 4 CMU DOUBLE TRASH ENCLOSURE COMPLIANT WITH COM STD. DETAIL M-62 WHERE NOT FULLY SCREENED BY TRUCK COURT WALLS
- 5 EXISTING PROPERTY LINE
- 6 8' CMU SCREEN WALL, SEE DETAIL 2/A1.2
- 7 SOLID 8" B-DECK GATE, PAINTED TO MATCH METAL ACCENT OF BUILDING
- 8 NEW 6" CURB, SEE CIVIL
- 9 NEW 12" CURB, SEE CIVIL
- 10 NEW PARKING STRIPING TO MATCH CITY STANDARDS
- 11 VISIBILITY TRIANGLE, SEE CIVIL
- 12 26' - 0" MIN. CLEAR FIRE LANE PROVIDED TO FRONT BUILDINGS, PER COM STANDARD
- 13 PARKING SCREEN WALL. SEE DETAIL 1/A1.2
- 14 RETENTION BASIN
- 15 PROPOSED FUTURE MONUMENT SIGN LOCATION. 20' WIDE TYP.
- 16 9'-0" x 18'-0" TYPICAL PARKING STALL
- 17 SIDEWALK. 5'-0" MIN. WIDE

- 18 OFFSITE DRAINAGE CHANNEL, SEE CIVIL FOR ADDITIONAL INFORMATION
- 19 DECORATIVE IRON FENCE.
- 20 8'-0" WIDE SIDEWALK AT ROW.
- 21 SITE ACCESS FROM PUBLIC WAY.
- 22 PEDESTRIAN PLAZAS.
- 23 BUILDING SETBACK.
- 24 BICYCLE PARKING.
- 25 PEDESTRIAN ROUTE. 3" RAISED PCCP CONCRETE WALKWAY AT CROSSWALK. MEDIUM BROOM FINISH, NATURAL CONCRETE GRAY COLOR.
- 26 MIN. TURNING RADIUS=35' INTERIOR, 55' EXTERIOR TYP. AS SHOWN IN PLAN

PROJECT DESCRIPTION

THIS PROJECT IS FOR THE MASTER PLANNING OF 4 NEW SHELL INDUSTRIAL BUILDINGS BUILT OVER 1 PHASE.

BUILDING PLAZA & PEDESTRIAN OPEN SPACE CALCULATIONS:

BUILDING 1 TOTAL: 270,378 SF (9,957 SF PROVIDED, 3.68% OF GFA)
BUILDING 2 TOTAL: 260,412 SF (7,345 SF PROVIDED, 2.82% OF GFA)
BUILDING 3 TOTAL: 202,214 SF (7,625 SF PROVIDED, 3.77% OF GFA)
BUILDING 4 TOTAL: 163,277 SF (7,778 SF PROVIDED, 4.76% OF GFA)

TOTAL PLAZA & PEDESTRIAN OPEN SPACE: 31,890 SF (3.5% OF COMBINED GFA)

TOTAL PERCENTAGE OF BUILDING PLAZA & PEDESTRIAN OPEN SPACE: 1.13% (GROSS) 1.13% (NET) SITE AREA

TOTAL OPEN SPACE PROVIDED (LANDSCAPE/RETENTION & PEDESTRIAN PLAZA): 73.3% (GROSS) 73.3% (NET)

SITE LEGEND

- △ KNOCK OUT DOOR
- ▲ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)

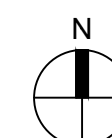
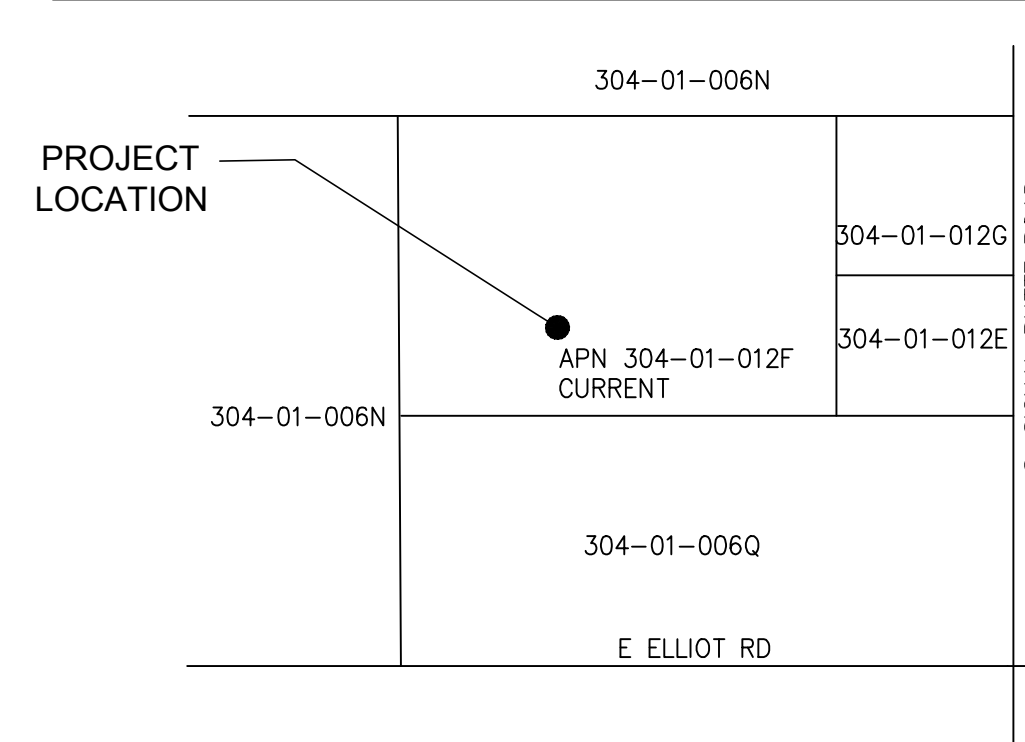
BUILDING 1 TOTAL DOCK DOORS: 34
BUILDING 2 TOTAL DOCK DOORS: 54
BUILDING 3 TOTAL DOCK DOORS: 51
BUILDING 4 TOTAL DOCK DOORS: 52

SITE PERVIOUS & IMPERVIOUS AREAS PROVIDED:
PERVIOUS AREA (LANDSCAPE & RETENTION): 633,542 SF
PERCENTAGE PERVIOUS (LANDSCAPE & RETENTION) AREA: 22.5% (GROSS) 22.5% (NET)
IMPERVIOUS AREA (CONCRETE & ASPHALT): 1,109,470 SF
IMPERVIOUS PERCENTAGE (CONC. & ASPHALT): 39.4% (GROSS) 39.5% (NET)
IMPERVIOUS AREA (BUILDINGS): 896,281 SF
IMPERVIOUS PERCENTAGE (BUILDINGS): 72.2% (NET) 72% (GROSS)

BUILDING 1 FOUNDATION BASE PROVIDED AREA: 30,136 SF
BUILDING 2 FOUNDATION BASE PROVIDED AREA: 24,749 SF
BUILDING 3 FOUNDATION BASE PROVIDED AREA: 25,474 SF
BUILDING 4 FOUNDATION BASE PROVIDED AREA: 23,723 SF

BUILDING 1 FOUNDATION BASE (REQUIRED) AREA: 27,772 SF
BUILDING 2 FOUNDATION BASE (REQUIRED) AREA: 25,839 SF
BUILDING 3 FOUNDATION BASE (REQUIRED) AREA: 24,568 SF
BUILDING 4 FOUNDATION BASE (REQUIRED) AREA: 23,796 SF

VICINITY MAP



SITE PLAN

DATE	REMARKS

PA / PM:	B. SANDSTROM
DRAWN BY:	A.S.
JOB NO.:	PHX21-0042

SHEET

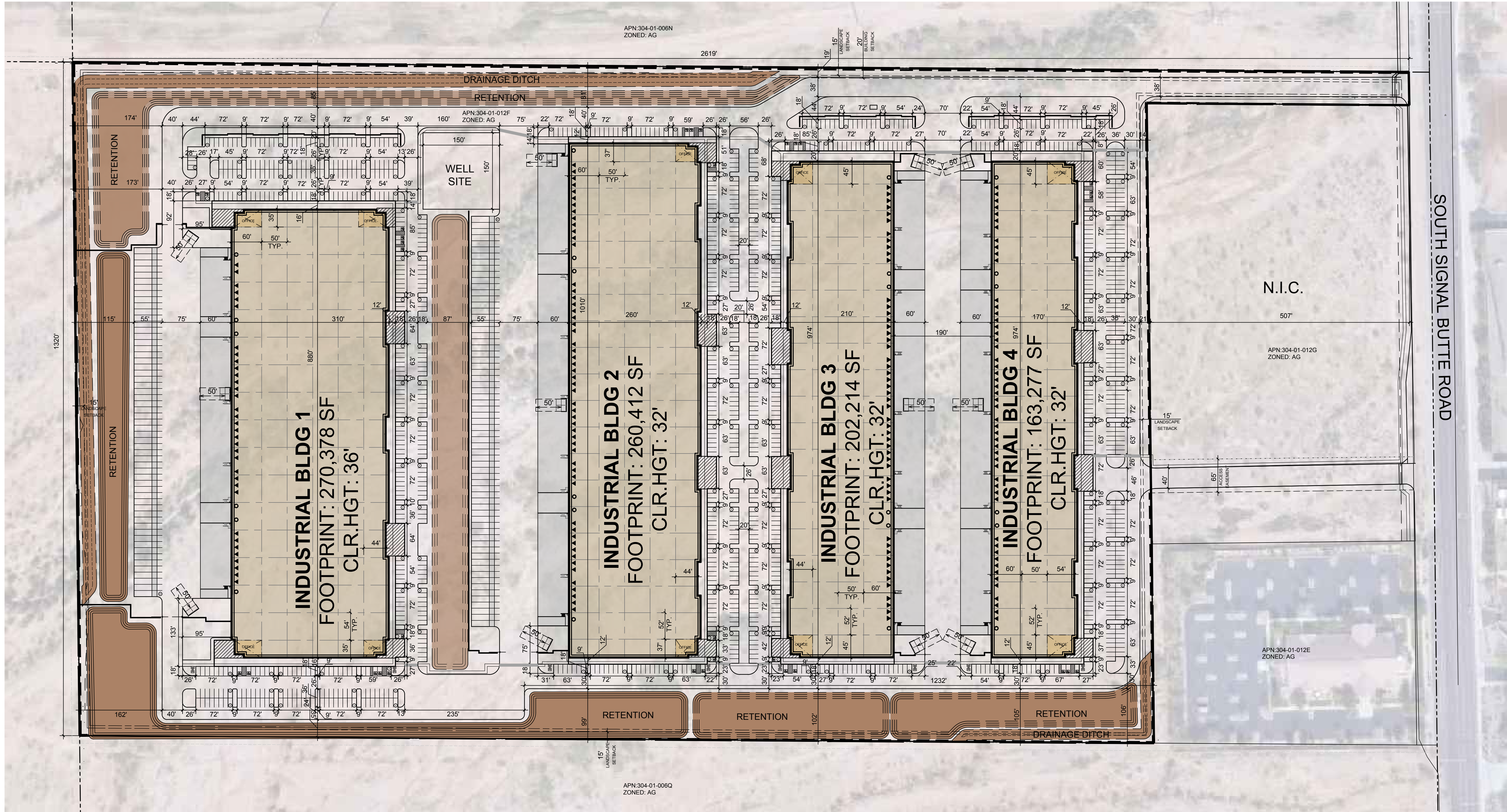
A1.1

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PURSUIT PARK
S. SIGNAL BUTTE ROAD
MESA, ARIZONA



1" = 100'

0 50 100 200 500

SITE DIMENSION PLAN

SCALE: 1"=100'-0"



SITE DIMENSION PLAN

DATE	REMARKS

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JOB NO.:	PHX21-0042

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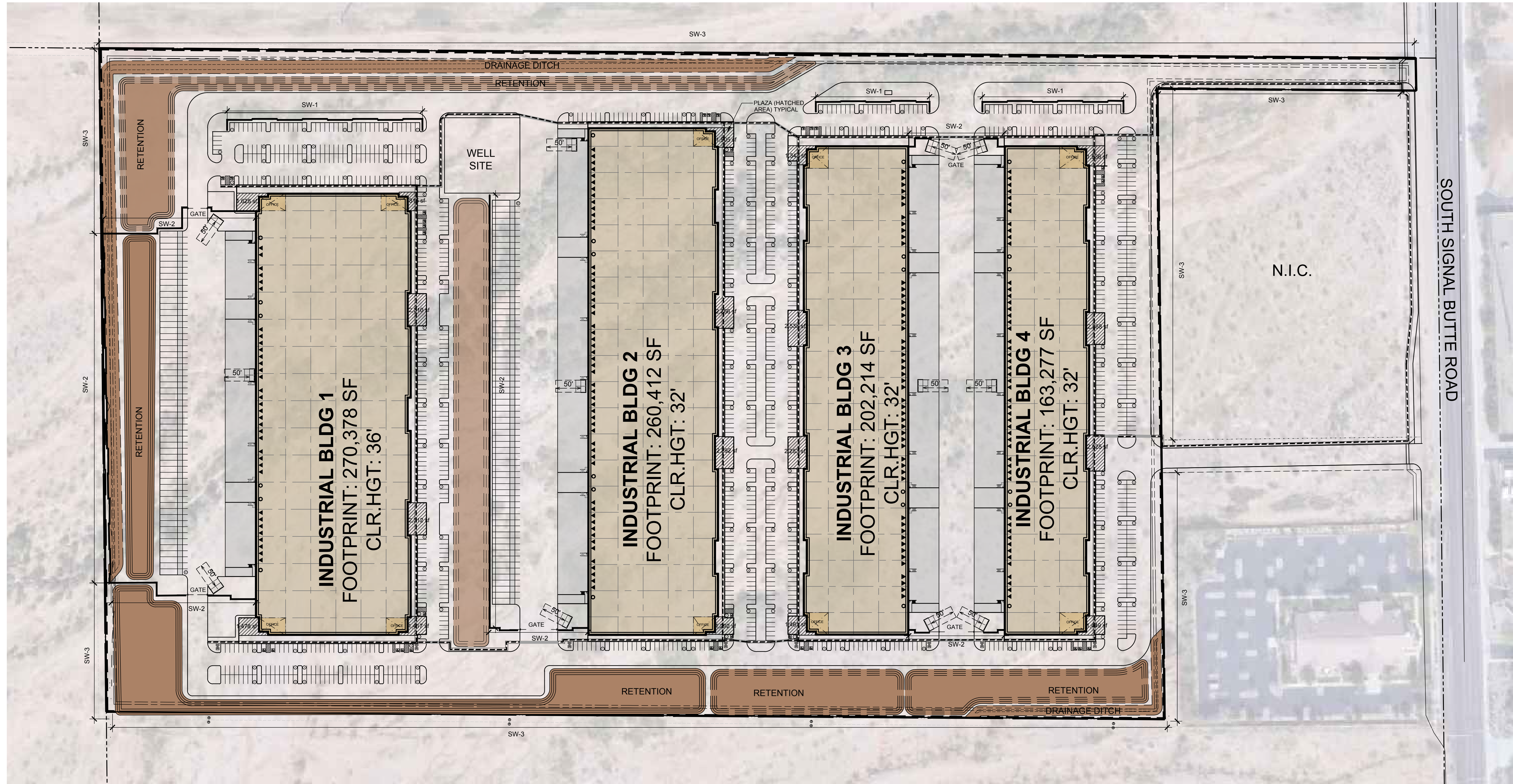
PURSUIT PARK
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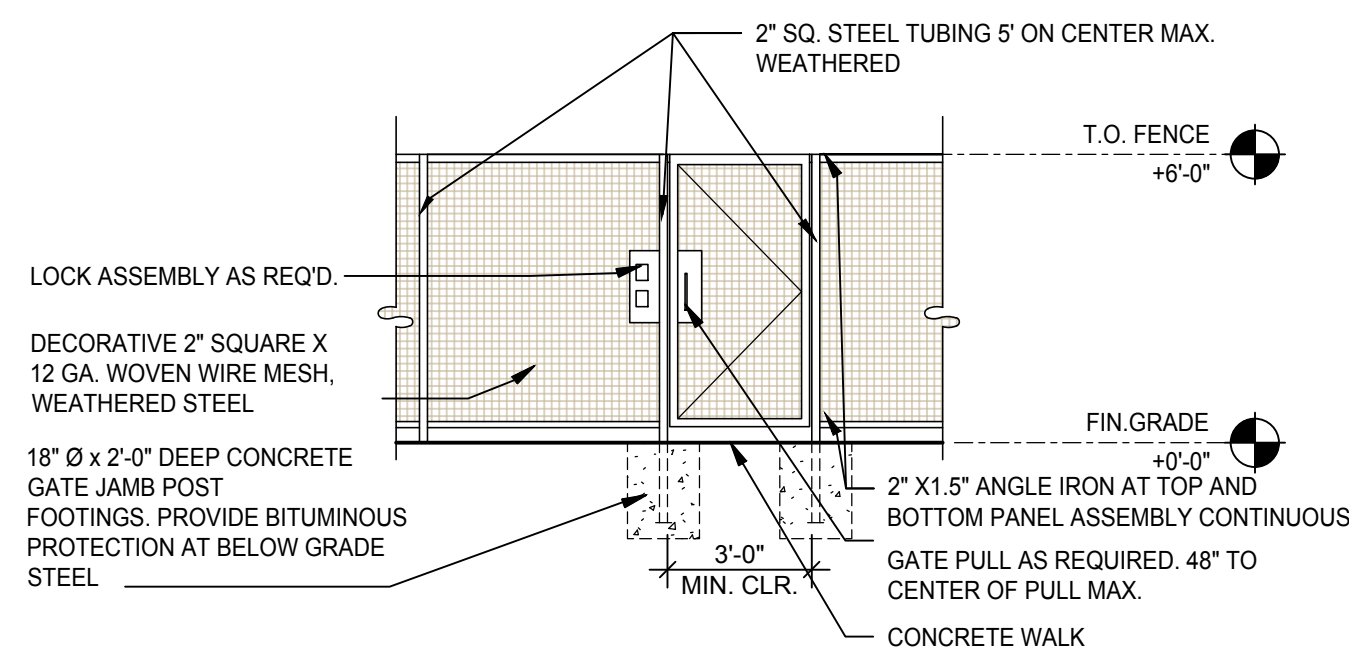
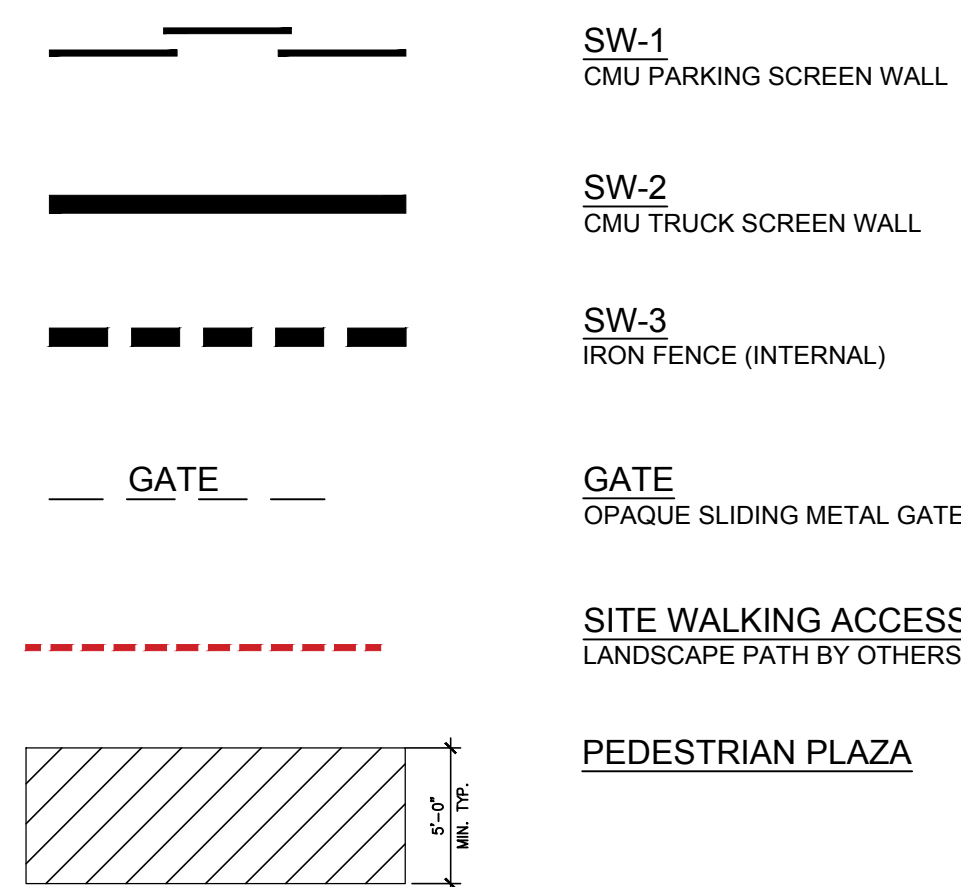
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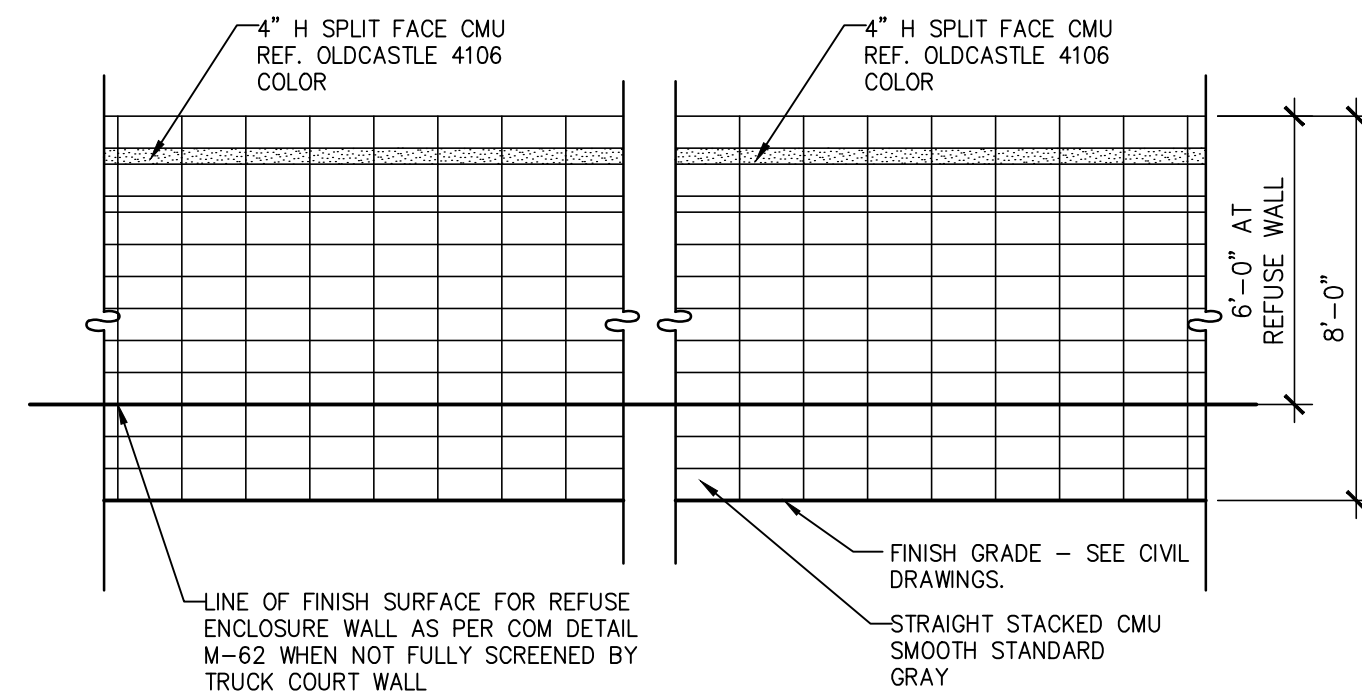


1" = 100'
0 50 100 200 500
SITE PLAN
SCALE: 1"=100'-0"

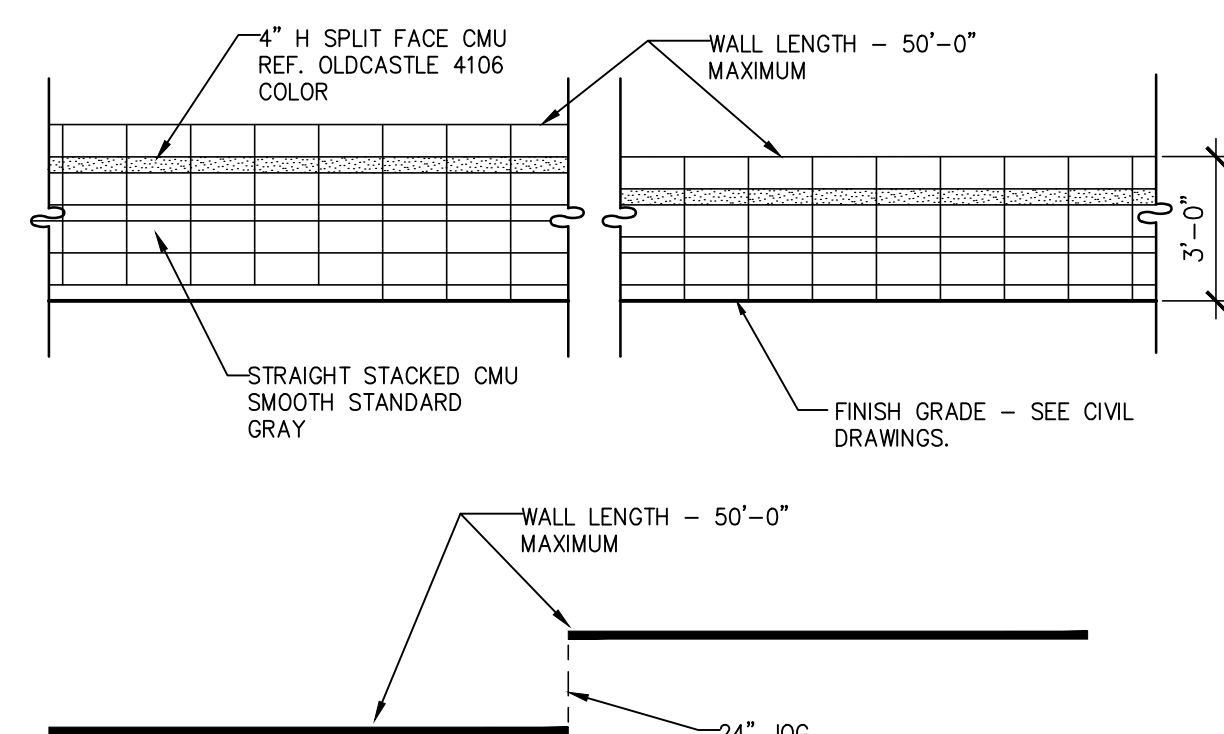
SITE WALL LEGEND



SW-3 IRON FENCE (INTERNAL) ③
SCALE: 1/4" = 1'-0"



SW-2 CMU TRUCK SCREEN WALL ②
SCALE: 1/4" = 1'-0"



SW-1 CMU PARKING SCREEN WALL ①
SCALE: 1/4" = 1'-0"

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SITE WALL-SCREEN	
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A1.2

MILL FINISH ALUMINUM
BAR GRATING

WIDE FLANGE COLUMN AND BEAM
STRUCTURE - POWDER COAT FINISH TO
MATCH STOREFRONT GLAZING SYSTEM

OPEN SPACE/PLAZA PROTOTYPE



SITE TABLES



SITE REFUSE CONTAINER



SITE BIKE RACKS



SITE BENCHES

SITE FURNISHINGS	
DATE	REMARKS

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A1.5

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REGISTERED ARCHITECT
59847
ERIC R. ZITNY
01/24/2022
ARIZONA, U.S.

PURSUIT PARK

S. SIGNAL BUTTE ROAD
MESA, ARIZONA

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