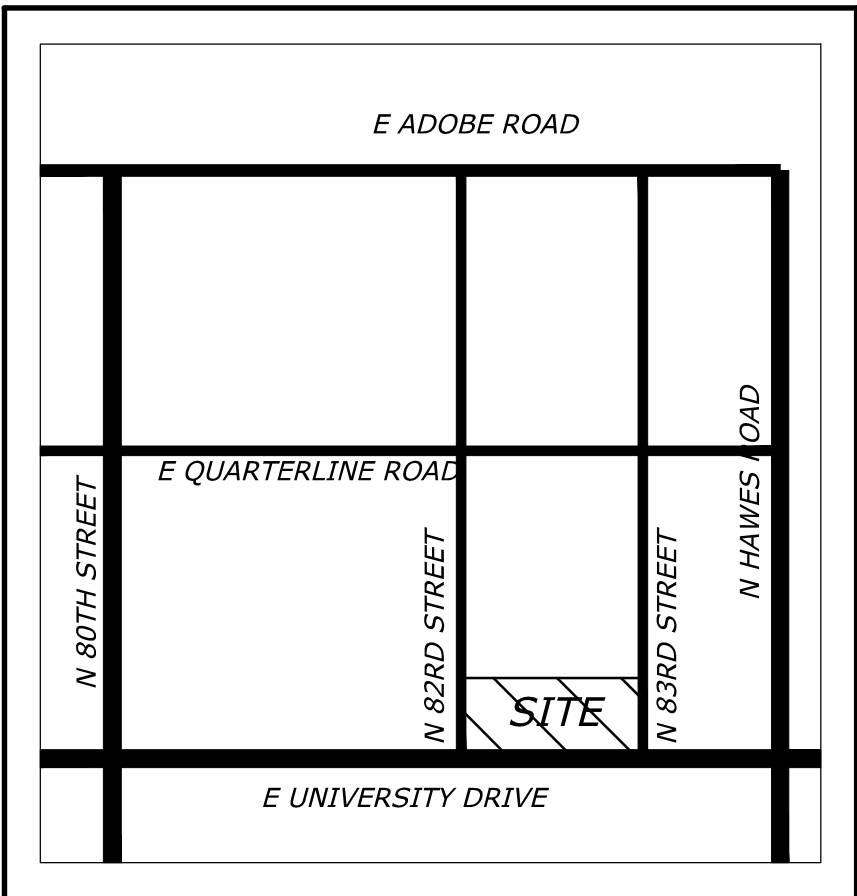


PRELIMINARY SITE PLAN
FOR
PROJECT 4 MULTI-FAMILY
MESA, ARIZONA

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 1 NORTH,
RANGE 7 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA



VICINITY MAP
NOT TO SCALE

OWNER/ DEVELOPER:
UNFAMILIAR, LLC.
1733 E. MELROSE ST.
GILBERT, AZ 85297
ATTN: HUDDSON HASSELL
480.282.1061

ENGINEER:
RCC DESIGN GROUP, LLC
ATTN: STUART W. RAYBURN, P.E.
16815 S DESERT FOOTHILLS PKWY, SUITE 138
PHOENIX, AZ 85048
480.598.0270
480.598.0273 FAX

DESCRIPTION:
THIS PROJECT IS A 32-UNIT MULTI-FAMILY DEVELOPMENT
INCLUDING SUBDIVISION OF THE PROPERTY TO CREATE
MULTI-FAMILY PARCELS EACH CONTAINING (1) 4-UNIT BUILDING.
TYPICAL LOT SIZE IS 12,939 SF. THE INTERIOR SIDE YARDS
ARE PROPOSED AT 15' MINIMUM RATHER THAN THE STANDARD
30'. THE UNITS ARE SINGLE STORY AT THE PERIMETER AND 30'
OF TOTAL SEPARATION IS PROVIDED BETWEEN THE BUILDINGS.
THE PROJECT WILL BE DESIGNED UNDER PAD, MULTI-FAMILY
STANDARDS.

ZONING
EXISTING: RS-43
PROPOSED: PAD

APN: 218-09-004, 218-09-005

PROJECT DATA
GROSS AREA: 197,353 SF OR 4.53 AC

NET AREA: 177,608 SF OR 4.08 AC

BUILDING HEIGHT: 30' (2-STORY)

OPEN SPACE:
PRIVATE OPEN SPACE REQUIRED = 120 SF/UNIT
PRIVATE OPEN SPACE PROVIDED = 144 SF/UNIT
X 32=4,608 SF
COMMON OPEN SPACE = 38,748 SF = 1,210 SF/UNIT
(200 SF/UNIT REQUIRED)
TOTAL OPEN SPACE = 43,356 SF

LOT COVERAGE = 70.0% (MAXIMUM)
BUILDING COVERAGE = 52.7% (MAXIMUM)
PAVED STREET FRONTAGE=31.7% (MAXIMUM)

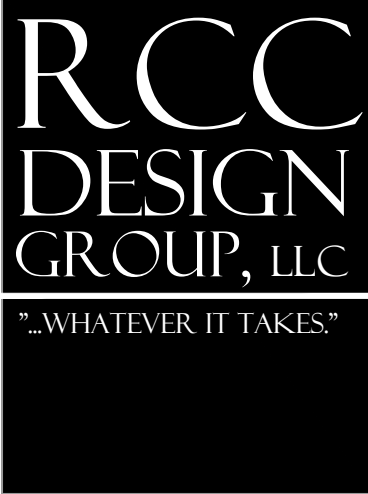
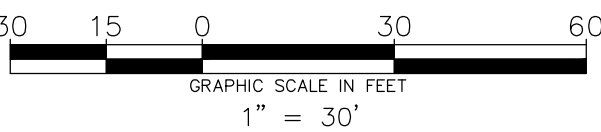
PARKING SPACES REQUIRED:
2.1 SPACES PER UNIT X 32 UNITS = 67 SPACES
TOTAL PARKING REQUIRED: 67 SP
1 GARAGE SPACES PER UNIT X 32 UNITS = 32 SPACES
1 DRIVEWAY SPACE PER UNIT X 32 UNITS = 32 SPACES
12 ADDITIONAL GUEST SPACES PROVIDED
TOTAL PARKING PROVIDED:76

SITE PLAN NOTES:

- ROLL CURB
- BUILDING SETBACK LINE
- 6" CURB AND GUTTER
- 6" VERTICAL CURB
- SITE VISIBILITY TRIANGLE
- 12'X12' PRIVATE OPEN SPACE WITH CONCRETE PATIO
- 5 SPACE BIKE PARKING
- 16'X16' RAMADA WITH BBQ AREA
- NEW 5' CONCRETE SIDEWALK
- 6' PERIMETER SITE WALL
- PICKLE BALL COURT
- CLUSTER MAILBOX
- PARKING SPACE 9' X 18'
- (2) 4'X4.5' BARREL COLLECTION AREA FOR TRASH AND RECYCLING
NO STRUCTURE OF ANY KIND SHALL BE PLACED WITHIN 4' HORIZONTAL
OF THE BARREL COLLECTION AREA.
- PLAY SYSTEM
- GROUND MOUNTED MECHANICAL EQUIPMENT W/ SCREEN WALL
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT

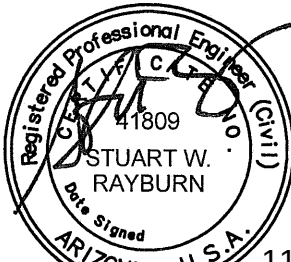
ID	AREA (SF)	USE
A	17,654	PRIVATE DRIVE/UTILITIES
B	20,042	RETENTION
C	4,634	OPEN SPACE
D	4,637	OPEN SPACE
E	4,635	OPEN SPACE
F	4,632	OPEN SPACE
G	20,210	OPEN SPACE

DEVELOPMENT STANDARDS	22' MIN
INTERIOR FRONT SETBACK	20' MIN
INTERIOR GARAGE SETBACK	10' MIN
INTERIOR SIDE SETBACK	15' MIN
INTERIOR REAR SETBACK	20' MIN
PERIMETER LANDSCAPE SETBACK	



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CIVIL & SITE ENGINEERING SERVICES



Expires 12/31/22



PRELIMINARY SITE PLAN
FOR
PROJECT 4 MULTI-FAMILY
8232 EAST UNIVERSITY DRIVE
MESA
ARIZONA

PROJECT NO. 21-076-50
DRAWING NO. 00000
DATE: 09/20/21
DRAWN BY: AJR/SWR
CHECKED BY: JSR/SWR
REVISIONS:

SHEET NO.
CSP
1 OF 1
PRELIMINARY
SITE PLAN