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LEGEND

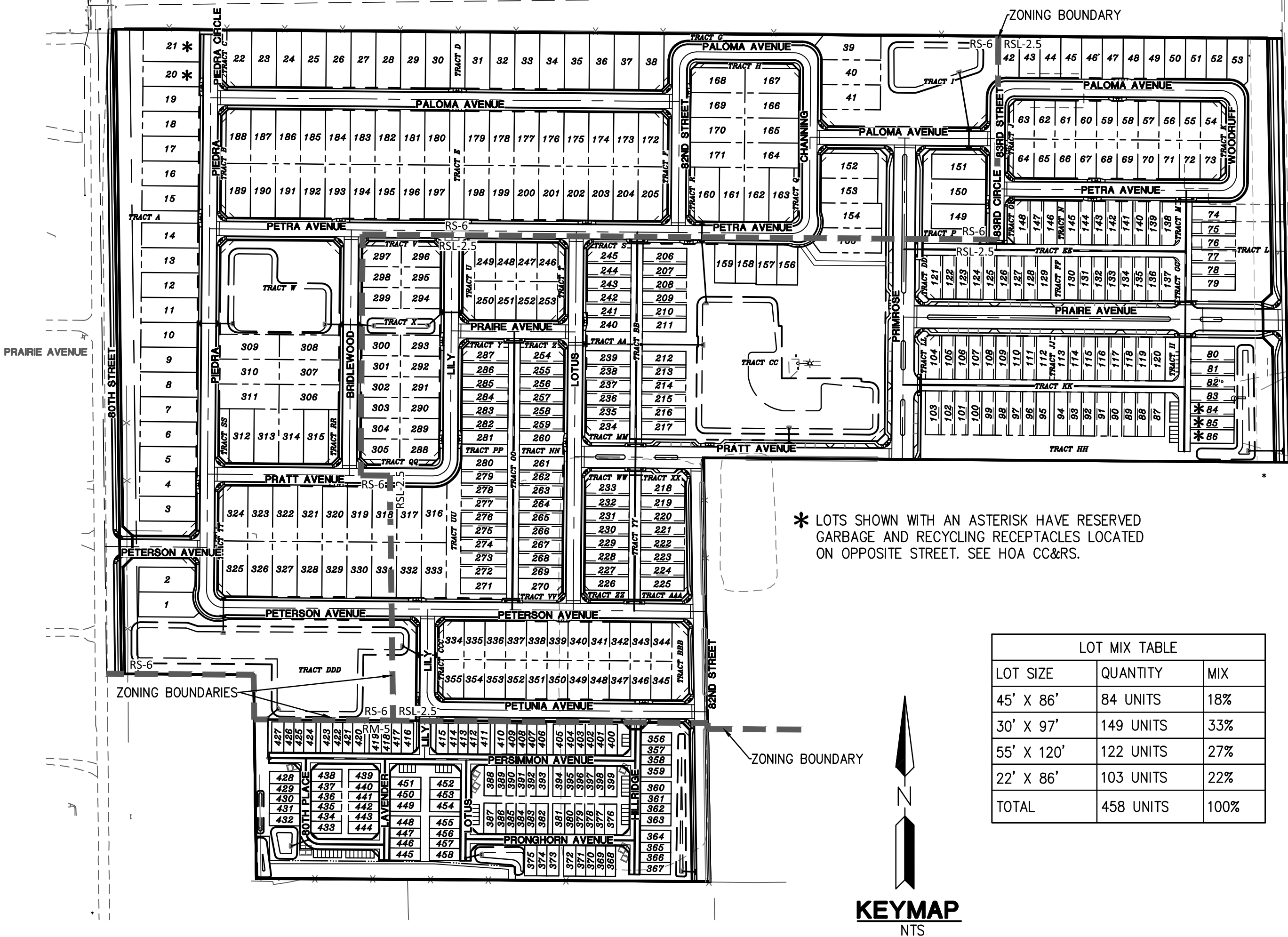
- PARCEL BOUNDARY
- LOT LINE
- RIGHT OF WAY (TRACT)
- CENTER LINE
- PUBLIC UTILITY EASEMENT (WIDTH PER PLANS)
- SEWER EASEMENT (WIDTH PER PLANS)
- WATER EASEMENT (WIDTH PER PLANS)
- SIGHT VISIBILITY TRIANGLE (33'X33' SVT)
- 8"W 8"S 8" WATER (UNLESS NOTED OTHERWISE) WITH WATER VALVES AND TEES
- 8" SEWER WITH MANHOLES AND FLOW DIRECTION
- PROPOSED FIRE HYDRANT WITH WATER VALVE AND TEE
- GRADING RETAINING WALLS
- FENCE LINE
- ADA ACCESSIBLE RAMP
- ADA ACCESSIBLE MID-BLOCK RAMP
- RETENTION BASIN
- STORM DRAIN
- CATCH BASIN
- UNDERGROUND STORAGE TANK
- DRAINAGE CHANNEL

SPECIFIC PLAN FOR A SUBDIVISION

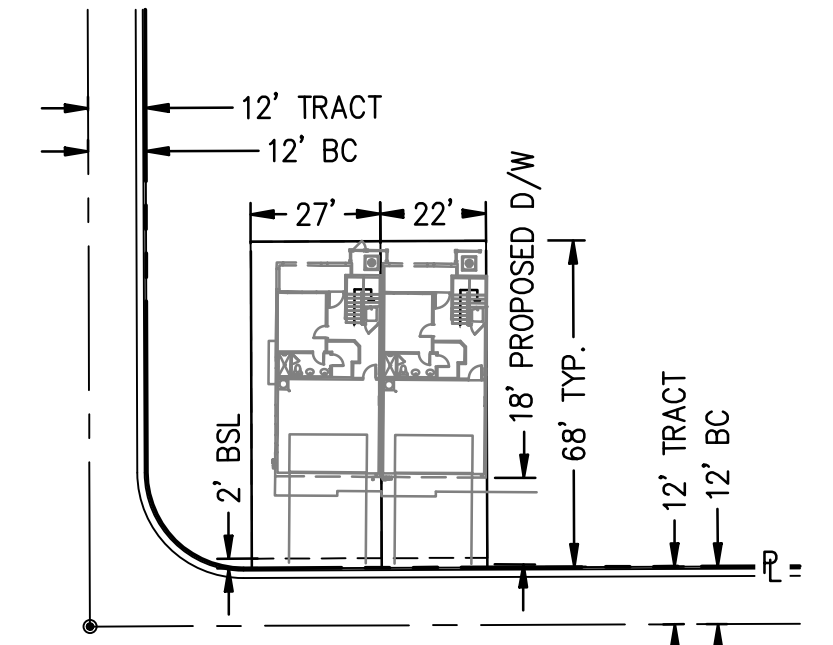
HAWES CROSSING - VILLAGE 1

MESA, ARIZONA

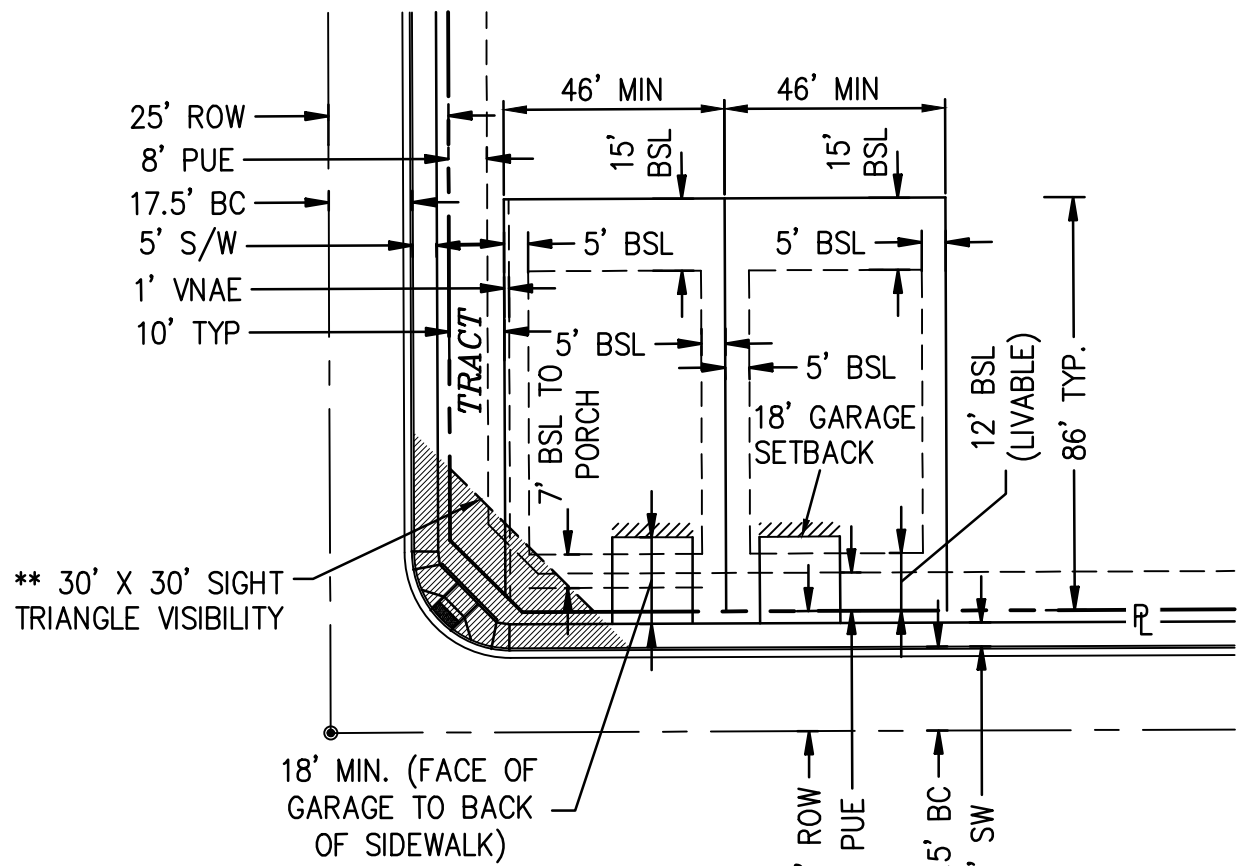
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8,
TOWNSHIP 1 SOUTH, RANGE 7 EAST OF
THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



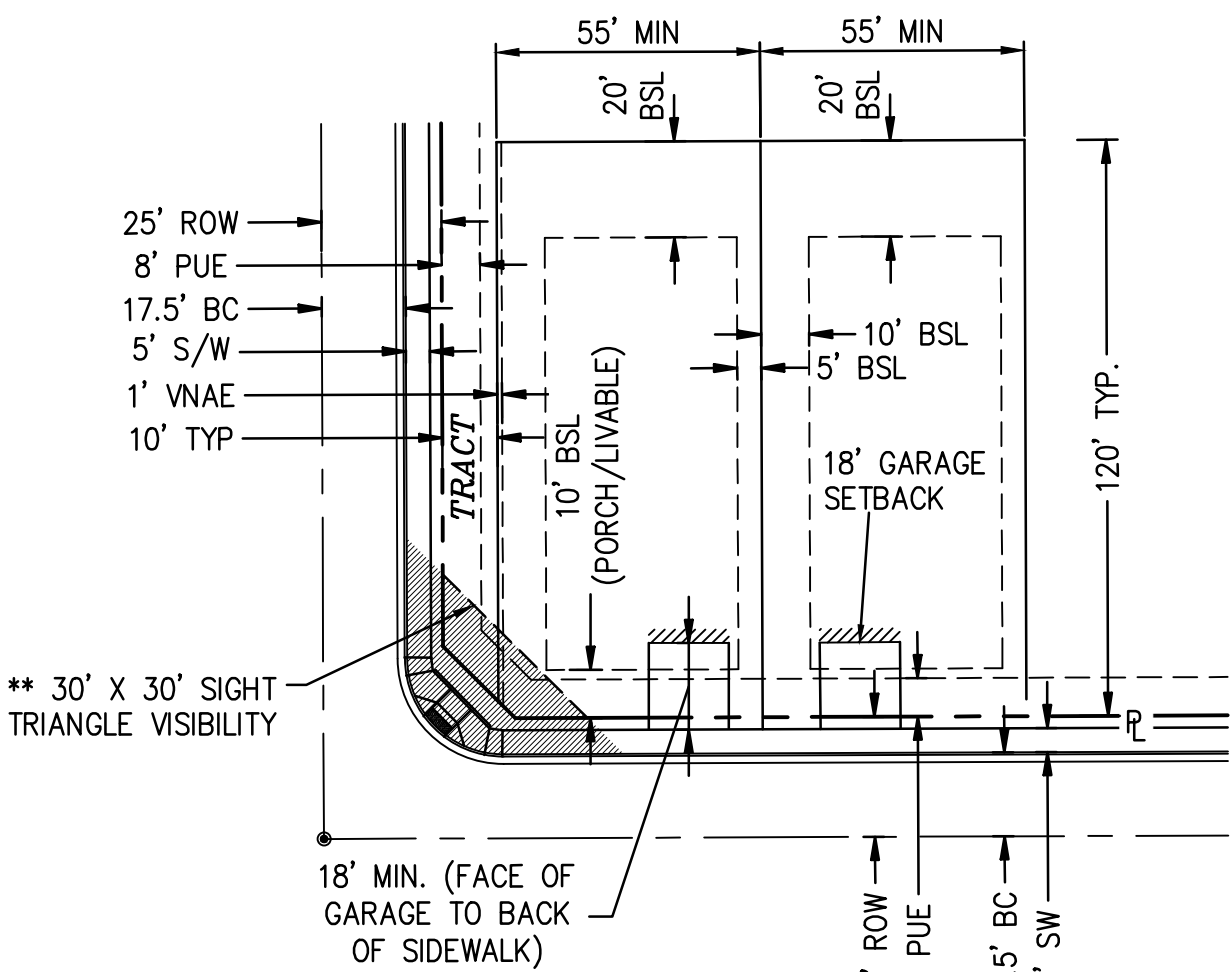
* LOTS SHOWN WITH AN ASTERISK HAVE RESERVED
GARBAGE AND RECYCLING RECEPTACLES LOCATED
ON OPPOSITE STREET. SEE HOA CC&RS.



22', 27' x 68' TYPICAL LOT DETAILS
N.T.S.

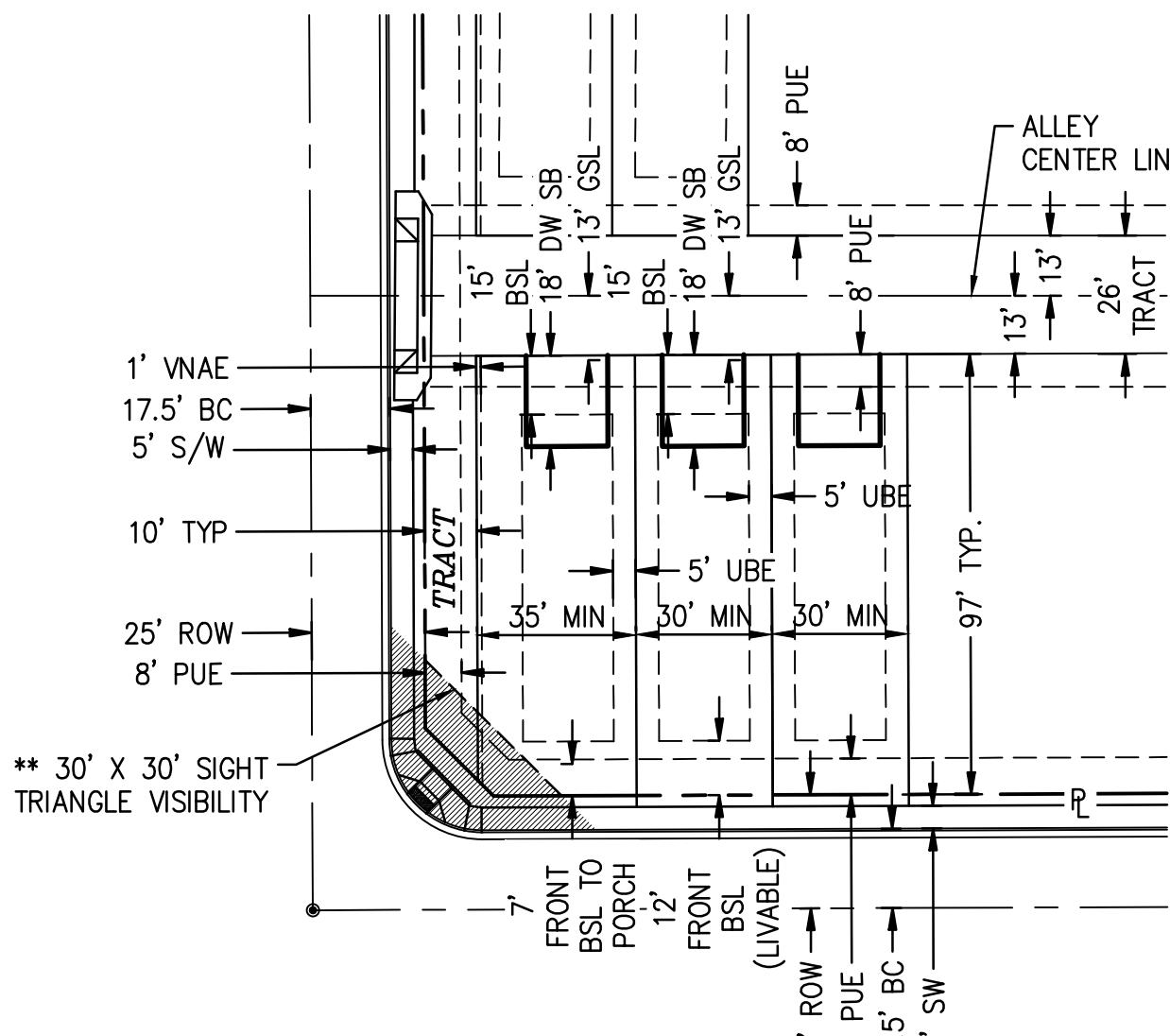


46' x 86' TYPICAL LOT DETAILS



55' x 120' TYPICAL LOT DETAILS

* LOT RESTRICTIONS: DRIVEWAY TO BE INSTALLED ON THE SOUTH
SIDE OF THE LOT

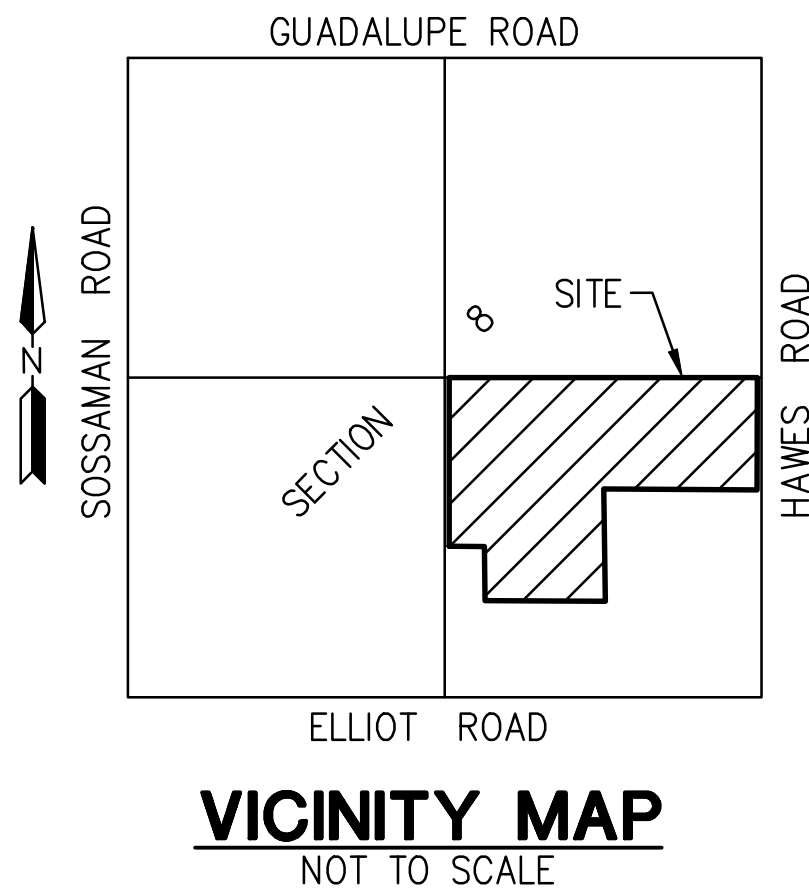


30' x 97' TYPICAL LOT DETAILS

THE PROMPT PAY LAW WILL BE ALTERED FOR THIS CONTRACT

NOTICE OF EXTENDED PAYMENT PROVISION

THE CONSTRUCTION CONTRACT WILL ALLOW THE OWNER TO
MAKE PAYMENT WITHIN THIRTY (30) DAYS AFTER
CERTIFICATION AND APPROVAL OF BILLINGS.



ENGINEER

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2141 EAST HIGHLAND AVENUE SUITE #250
PHOENIX, AZ 85016
PH: 602.490.0535
CONTACT: SHAWN BYRON, PE

LANDSCAPE ARCHITECT

RVI PLANNING + LANDSCAPE ARCHITECTURE
120 SOUTH ASH AVENUE, SUITE 201
TEMPE, AZ 85281
PH: 480.586.2359
CONTACT: SHAWN BYRON

OWNER/CLIENT

LENNAR ARIZONA, INC.
1665 W. ALAMEDA DR.
SUITE 130
TEMPE, AZ 85282
PH: 480.476.8441
CONTACT: HEATHER CHADWICK

BENCHMARK

BEARING NAIL AND TAG AT THE NORTHWEST
CORNER IN HEADWALL LOCATED AT ELLIOT ROAD
AND HAWES ROAD

DATUM: 88 DATUM (CITY OF MESA)
ELEVATION: 1377.52

BASIS OF BEARING

BASIS OF BEARING IS N89°36'06"W ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF
SECTION 17, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA
COUNTY, ARIZONA, BETWEEN THE MONUMENTS AS SHOWN HEREON.

SITE DATA

TOTAL LOTS: 458
GROSS VILLAGE 1 AREA: 80.66 AC (INCLUSIVE OF ADJACENT 1/2 STREET R/W)
NET VILLAGE 1 AREA: 79.43 AC
ZONING: RS-6, RSL-2.5, RM-5
COMMON AREAS / OPEN SPACE: 20.39 AC (25.3%)
TOTAL PARK AREA: 9.1 AC (44.6% OF OPEN SPACE)
TOTAL URBAN PLAZA AREA: 0.3 AC (1.5% OF OPEN SPACE)

SITE DATA - NORTH (SINGLE-FAMILY)

TOTAL LOTS: 355
TYPICAL LOT SIZE: 30' X 97', 46' X 86', 55' X 120'
MINIMUM LOT SIZE: 2,910 SQ. FT.
MAXIMUM LOT SIZE: 8,893 SQ. FT.
AVERAGE LOT SIZE: 4,535 SQ. FT.
GROSS NORTH AREA: 72.88 AC (INCLUSIVE OF ADJACENT 1/2 STREET R/W)
NET NORTH AREA: 71.64 AC
GROSS PARCEL DENSITY: 4.9 DU/AC
ZONING: RS-6, RSL-2.5
COMMON AREAS / OPEN SPACE: 17.8 AC (24.4%)

SITE DATA - SOUTH (TOWNHOMES)

TOTAL LOTS: 103
TYPICAL LOT SIZE: 22'/27' X 68'
MINIMUM LOT SIZE: 1,496 SQ. FT.
MAXIMUM LOT SIZE: 1,836 SQ. FT.
AVERAGE LOT SIZE: 1,638 SQ. FT.
GROSS TOWNHOME AREA: 7.78 AC
NET TOWNHOME AREA: 7.78 AC
GROSS PARCEL DENSITY: 13.2 DU/AC
ZONING: RM-5
COMMON AREAS / OPEN SPACE: 2.59 AC (33.3%)

HILGARTWILSON
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HAWES CROSSING - VILLAGE 1
80TH STREET & ELLIOT ROAD
MESA, ARIZONA

SPECIFIC PLAN - COVER SHEET

HILGARTWILSON
PROJ NO.: 1833
DATE: OCT 2021
SCALE: N.T.S.
DRAWN: SN
DESIGNED: NS
APPROVED: NL
DWG. NO.
SP01
SHT. 01 OF 04

CITY TRACKING

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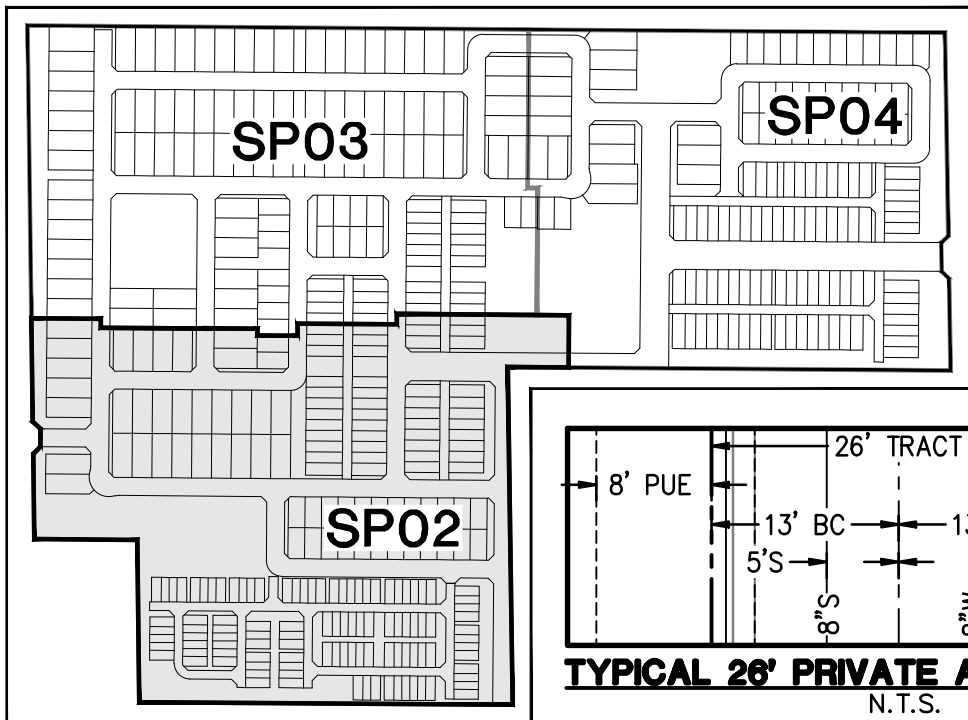
CURVE TABLE			
NO.	RADIUS	DELTA	LENGTH
C1	37.50'	90°00'00"	58.90'
C2	37.50'	90°00'00"	58.90'
C3	37.50'	90°00'00"	58.90'
C4	32.00'	90°00'00"	50.27'

LINE TABLE		
NO.	DIRECTION	LENGTH
L1	N00°51'17"W	937.62'
L2	S89°32'27"E	609.50'
L3	S00°27'33"W	184.50'
L4	S89°32'27"E	1099.38'
L5	N89°32'27"W	226.02'
L6	S00°27'33"W	1230.64'

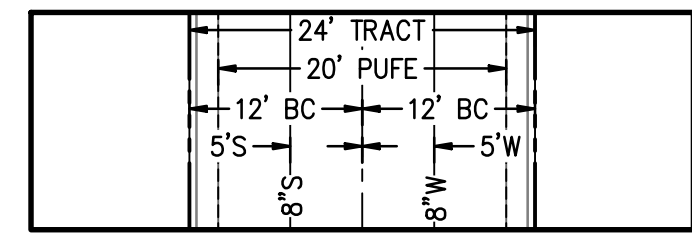
LINE TABLE		
NO.	DIRECTION	LENGTH
L7	S89°32'27"E	499.38'
L8	S00°27'33"W	543.14'
L9	S89°32'27"E	499.38'
L10	N00°27'33"E	505.64'
L11	S00°27'33"W	838.14'
L12	S89°32'27"E	715.87'

LINE TABLE		
NO.	DIRECTION	LENGTH
L13	S46°43'12"E	29.30'
L14	S00°27'33"W	50.01'
L15	S44°44'33"W	28.03'
L16	N04°34'39"E	62.66'
L17	N00°27'33"E	85.00'
L18	N89°32'27"W	810.31'

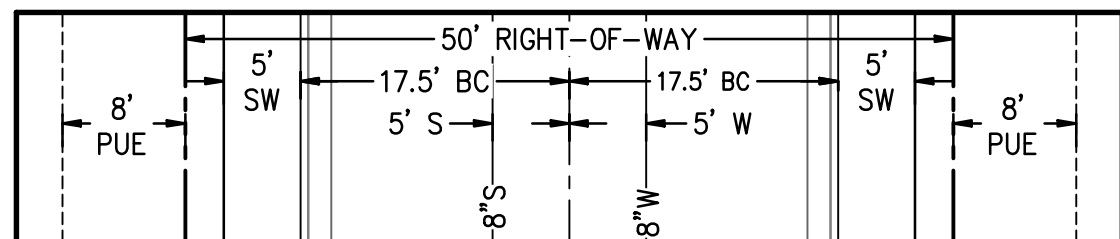
LINE TABLE		
NO.	DIRECTION	LENGTH
L19	S00°27'33"W	361.50'
L20	S89°32'27"E	369.14'
L21	N00°27'33"E	224.00'
L22	N00°27'33"E	224.00'
L23	N89°32'27"W	143.00'
L24	S00°27'33"W	158.00'



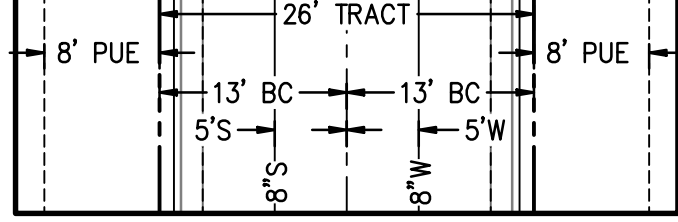
KEY MAP
N.T.S.



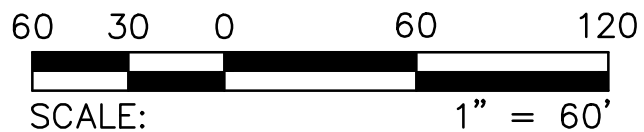
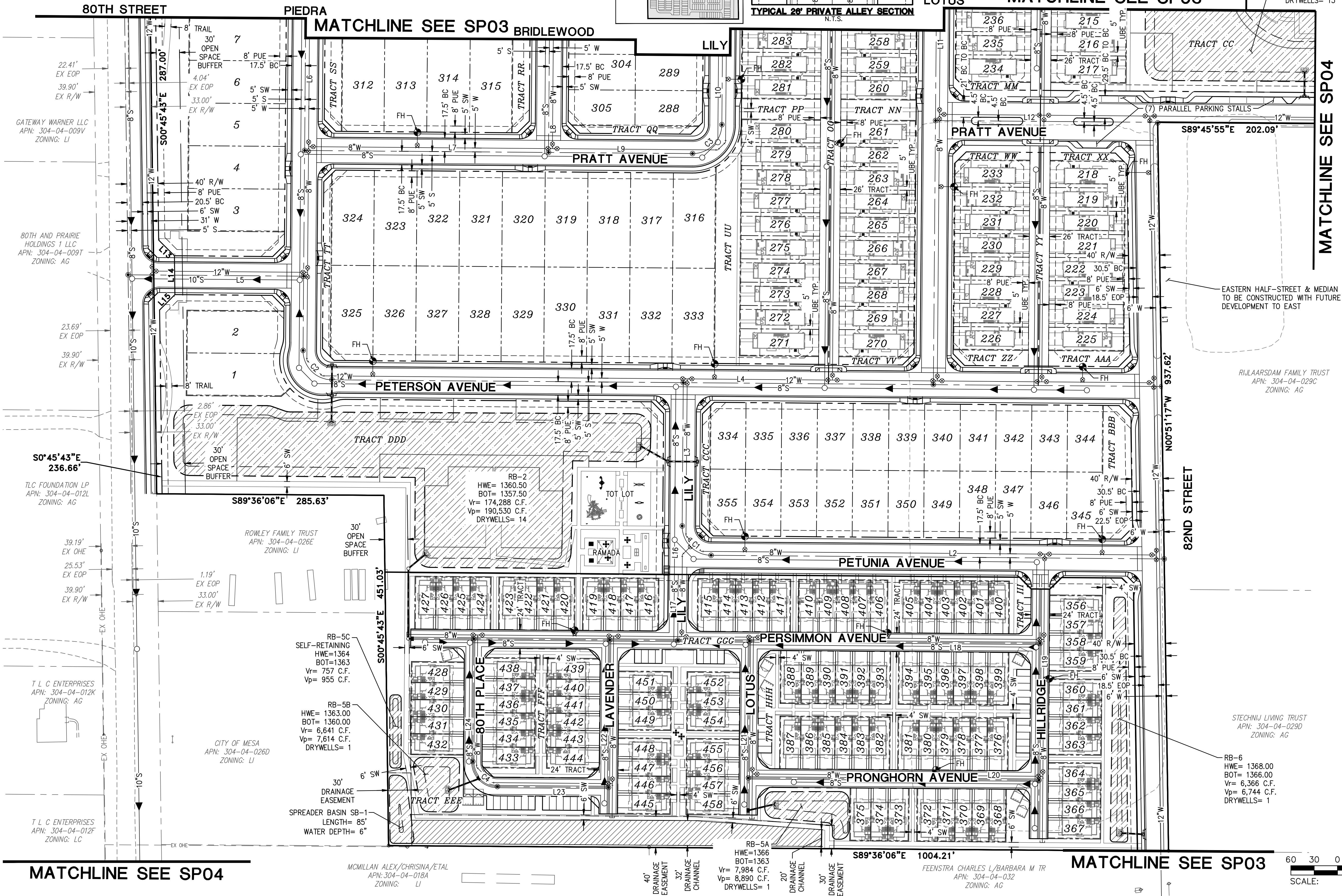
TYPICAL 24' PRIVATE STREET SECTION
N.T.S.



TYPICAL LOCAL STREET SECTION
N.T.S.



TYPICAL 28' PRIVATE ALLEY SECTION
N.T.S.



REV:

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HAWES CROSSING - VILLAGE 1
80TH STREET & ELLIOT ROAD
MESA, ARIZONA
SPECIFIC PLAN - PLAN SHEET

HILGARTWILSON
PROJ. NO.: 1833
DATE: OCT 2021
SCALE: 1" = 60'
DRAWN: SN
DESIGNED: NS
APPROVED: NL
DWG. NO.:
SP02
SHT. 02 OF 04
CITY TRACKING

