



Whataburger Mesa NWC Stapley & Baseline

Citizen Participation Report (Case #: ZON21-00987/DRB21-00988)



(Example Rendering)

Request:

Design and Site Plan Review for a proposed fast-food restaurant located
at 1140 E. Baseline Rd., Mesa

Date: December 29, 2021

Overview

This report describes the results and implementation of the Citizen Participation Plan for the development of the 2-lane Whataburger Drive-Through Restaurant located at 1140 E. Baseline Road Mesa, AZ. This report provides evidence that citizens, neighbors, public agencies and interested persons have had adequate opportunity to learn about the proposed development and provide comment on proposed plans and address any concerns related to the applications.

Contact

Kevin Zenk – Project and Entitlements Coordinator
Sustainability Engineering Group, LLC
8280 E. Gelding Drive, Suite 101
Scottsdale, AZ 85260
Phone: 480-237-2511
Email: kevin@azseq.com

Notifications

- Separate notification letters for both the Design Review Board and Planning & Zoning Board Hearings were mailed to nearby property owner and HOA/NOAs. Notification letters for the DRB Hearing were mailed out November 29, 2021. Separate notification letters for the PZ Hearing were prepared and mailed out on December 24, 2021. The list of recipients for both mailings was obtained using the Maricopa County Parcel Map Assessor with a 500' radius buffer for the DRB Hearing notices and a 1,000' buffer radius for the PZ Hearing notices. Please see, ***Exhibit 1 – DRB Mailing Package*** and ***Exhibit 2 – PZ Mailing Package***, to view a copy of the buffer maps, notification lists and final letters that were sent.
- A notification sign was posted at the site on December 28, 2021, in accordance with the Mesa Sign Posting Guidelines for PZ Hearing notification requirements. The notification sign displayed the project information, upcoming hearing date and time of the PZ Board Hearing, as well as contact information should citizens have questions or comments. Please see ***Exhibit 2 – PZ Mailing Package***, to view a copy of the photo of the sign posting and the sign posting affidavit.

Correspondence and Telephone Calls

- The applicant (SEG) has not received any telephone calls from any nearby property owners or HOA/NOAs.
- Templates of the notification letters and the sign posting were provided by the City of Mesa Planning Department.

Neighborhood Meeting

As there were no adjacent residential subdivisions and no adjacent HOAs/NOAs directly affected by the development, no Neighborhood Meeting was held.

Schedule

Pre-Submittal Application:	May 12, 2021
Pre- Submittal Meeting:	June 1, 2021

1 st DRB/Site Plan Application Submittal:	September 30, 2021
DRB Hearing Notification Letter Mailing:	November 29, 2021
Design Review Board Hearing:	December 14, 2021
PZ Hearing Notification Letter Mailing:	December 24, 2021 (sent early due to holidays)
PZ Hearing Sign Posting:	December 28, 2021
Planning and Zoning Commission Hearing:	January 12, 2022

Attachments

- Exhibit 1 – DRB Mailing Package
- Exhibit 2 – PZ Mailing Package
- Exhibit 3 – HOA/NOA Notification List (Provided by City of Mesa)



Exhibit 1
DRB Mailing Package

Parcel Number	Owner	MAIL_ADDR1	MAIL_CITY	MAIL_STATE
139-10-016	WAL-MART STORES INC	1301 S E 10TH ST NO 2768	BENTONVILLE	AR
139-10-018A	DSW MESA GRAND/SPECTRUM LLC	1795 E SKYLINE DR STE 193	TUCSON	AZ
139-10-019	EDEN SB MESA LLC	5696 E VILLAGE DR	PARADISE VALLEY	AZ
139-10-020	DSW MESA GRAND/SPECTRUM LLC	1795 E SKYLINE DR STE 193	TUCSON	AZ
139-10-021	1230 E BASELINE LLC	15953 N GREENWAY-HAYDEN LOOP STE G	SCOTTSDALE	AZ
139-11-001N	STAPLEY & BASELINE LLC	955 E JAVELINA AVE STE B114	MESA	AZ
139-11-001P	BANK OF AMERICA NA	101 N TRYON ST	CHARLOTTE	NC
139-11-001Q	MYERSCOUGH JERRY E/CAROL L	683 CASTLE DR	CHARLESTON	IL
139-11-001R	KENNETH L KELTNER REVOCABLE LIVING TRUST	4021 MEADOWS LN	LAS VEGAS	NV
139-11-050	NELLA PROPERTIES LLC	2630 LINDBERG ST	AUBURN	CA
139-11-076, ET AL	FOREST LANE INVESTMENTS LLC/PARAGON CENTER LL	7904 E CHAPARRAL RD STE A110-496	SCOTTSDALE	AZ
139-11-094	ALLIANCE BANK OF ARIZONA	2701 E CAMELBACK RD SUITE 110	PHOENIX	AZ
139-11-095	JINLI TWO REAL ESTATE LLC	6371 MCDANIEL RD	GOLLAGE GROVE	TN
139-11-096, ET AL	CYPRESS STAPLEY PROPERTY LLC	10089 WILLOW CREEK RD STE 230	SAN DIEGO	CA
302-12-002V	CIRCLE K PROPERTIES INC	3003 N CENTRAL AVE	PHOENIX	AZ
302-12-516, ET AL	SY GILBERT COMMONS I LLC	150 PELICAN WY	SAN RAFAEL	CA
302-12-517	HUMAN RESOURCES PROVIDER INC	8312 S HARDY DR STE 108	TEMPE	AZ

	PENDING	PENDING	PENDING	
314-01-001	LEIGH ENTERPRISES INC	10215 N 111TH PLACE	SCOTTSDALE	AZ
314-01-005	COOPER BASELINE PLACE LLC/LIONFUR LLC	8111 E INDIAN BEND RD	SCOTTSDALE	AZ

MAIL_ZIP
72716-0550
85718
85253
85718
85260
85204
28255
61920
89107
95602
85250
85016
37046
92131
85012
94901
85284

85259
85230

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Show search results for **1140 E BASELI...**

139-11-097

139-11-001 K

139-11-001Q

139-10-019

139-10-012

139-10-018A

139-10-016

d# 812

18/1973

139-10-020

139-11-0014

W/BASELINE RD

N. COOPER RD.

314-01-001

314-01-005

W Moore Ave

STONEHENGE

W Hancock Ave

302-13-004M

Search By

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Using the Mouse

What I Know

Buffer

Results

Step 1: Enter a search distance and apply buffer:

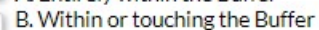
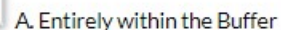
500

Feet

Apply Buffer

Clear Buffer

Step 2 (optional): Choose a parcel selection method:



WAL-MART STORES INC
1301 S E 10TH ST NO 2768
BENTONVILLE, AR 72716-0550

DSW MESA GRAND/SPECTRUM LLC
1795 E SKYLINE DR STE 193
TUCSON, AZ 85718

EDEN SB MESA LLC
5696 E VILLAGE DR
PARADISE VALLEY, AZ 85253

1230 E BASELINE LLC
15953 N GREENWAY-HAYDEN LOOP STE G
SCOTTSDALE, AZ 85260

STAPLEY & BASELINE LLC
955 E JAVELINA AVE STE B114
MESA, AZ 85204

BANK OF AMERICA NA
101 N TRYON ST
CHARLOTTE, NC 28255

MYERSCOUGH JERRY E/CAROL L
683 CASTLE DR
CHARLESTON, IL 61920

KENNETH L KELTNER REVOC. LIVING TRUST
4021 MEADOWS LN
LAS VEGAS, NV 89107

NELLA PROPERTIES LLC
2630 LINDBERG ST
AUBURN, CA 95602

FOREST LANE INVESTMENTS LLC/PARAGON
CENTER LL
7904 E CHAPARRAL RD STE A110-496
SCOTTSDALE, AZ 85250

ALLIANCE BANK OF ARIZONA
2701 E CAMELBACK RD SUITE 110
PHOENIX, AZ 85016

JINLI TWO REAL ESTATE LLC
6371 MCDANIEL RD
GOLLAGE GROVE, TN 37046

CYPRESS STAPLEY PROPERTY LLC
10089 WILLOW CREEK RD STE 230
SAN DIEGO, CA 92131

CIRCLE K PROPERTIES INC
3003 N CENTRAL AVE
PHOENIX, AZ 85012

SY GILBERT COMMONS I LLC
150 PELICAN WY
SAN RAFAEL, CA 94901

HUMAN RESOURCES PROVIDER INC
8312 S HARDY DR STE 108
TEMPE, AZ 85284

COOPER BASELINE PLACE LLC/LIONFUR LLC
8111 E INDIAN BEND RD
SCOTTSDALE, AZ 85230

LEIGH ENTERPRISES INC
10215 N 111TH PLACE
SCOTTSDALE, AZ 85259

KAY CIRCLE NEIGHBORS
ATTN: DEANNA VILLANUEVA
1513 S. KAY CIRCLE
MESA, AZ 85204

NEIGHBORGOOD
ATTN: JULIAN RAMIREZ
843 E. GARNET AVE.,
MESA, AZ 85204

CASA MESA
ATTN: DELMA DICKERMAN
1238 S. LESUEUR
MESA, AZ 85204

CASA MESA
ATTN: JEAN DECKER
553 E. GLADE AVE.,
MESA, AZ 85204

SUNSET MESA
ATTN: FELCIA ZAHN
615 E. GLADE
MESA, AZ 85204

SUNTREE HOA
ATTN: DANIEL WATSON
4135 S. POWER ROAD, STE 122
MESA, AZ 85212

WOODBIDGE CROSSING HOA
ATTN: KATHERINE TOTCKY,
4605 E. ELWOOD ST., STE 100
MESA, AZ 85040

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Notification for Design Review Board Meeting

Dear Neighbor and/or HOA Rep,

Sustainability Engineer Group, LLC has applied for Design Review Board Application for the property located at 1140 E. Baseline Road, Mesa, AZ 85204. This request is for development of a new 3,751 SF restaurant with 2 drive-thru lanes. The case number assigned to this project is DRB21-00988.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 480-237-2511 or e-mail me at kevin@azseg.com

This application will be scheduled for consideration by the Mesa Design Review Board at their meeting held on December 14, 2021, in the Lower Level of the City Council Chambers. The meeting will begin at 3:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched via a video conferencing platform at <https://mesa11.zoom.us/j/5301232921> or listened to by calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts. If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** [online comment card](#) at **least 1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Chloe Durfee-Sherman, of their Planning Division staff. She can be reached at 480-644-6714 or chloe.durfee-sherman@mesaaz.gov should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Kevin Zenk | Project and Entitlements Coordinator
Sustainability Engineering Group, LLC
8280 E. Gelding Dr., Suite 101
Scottsdale, AZ 85260
E: kevin@azseg.com
P: 480-237-2511

DEVELOPER

WHATABRANDS REAL ESTATE
CONTACT: CINDY ESPINOZA
300 CONCORD PLAZA DRIVE
SAN ANTONIO, TX 78216
PHONE: 210-476-6180
EMAIL: CESPINOZA@WBHQ.COM

OWNER

STAPLEY & BASELINE LLC
955 E JAVELINA
AVE, STE B114
MESA, AZ 85204

CIVIL ENGINEER

SUSTAINABILITY ENGINEERING GROUP
8280 E. GELDING DR., SUITE 101
SCOTTSDALE, ARIZONA 85260
PHONE: 480-588-7226
ATTN: ALI FAKIH

WHATABURGER

SITE PLAN

1140 E BASELINE RD, MESA, AZ 85204

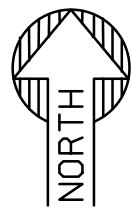
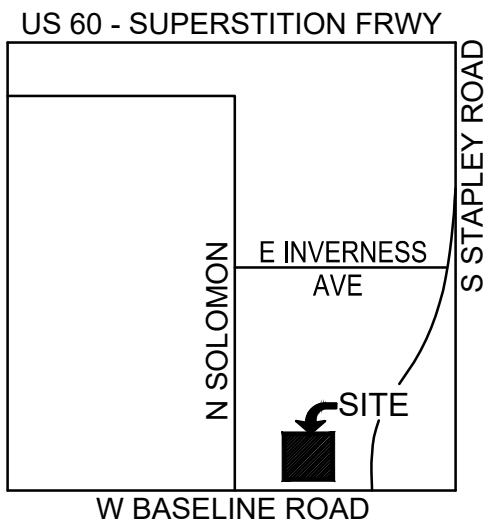
BENCHMARK

BENCHMARK IS A CITY OF MESA BRASS TAG ON TOP OF CURB, NORTHEAST CORNER OF THE INTERSECTION OF BASELINE ROAD AND STAPLEY ROAD.

ELEVATION: 1221.80' NAVD 88 (CITY OF MESA DATUM)

BASIS OF BEARING

THE BASIS OF BEARING AND ALL MONUMENTATION SHOWN HEREON IS BASED ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 35, T1N, R5E, USING A BEARING OF SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, AS SHOWN ON RECORD OF SURVEY, RECORDED IN BOOK 1586, PAGE 49, MARICOPA COUNTY RECORDS.



S/T/R
35 1N 5E

VICINITY MAP
N.T.S.

SITE PLAN KEYNOTES:

- 1A 6" VERTICAL CURB PER GRADING PLANS.
- 1B 6" CURB AND GUTTER PER GRADING PLANS.
- 1C TURNDOWN SLAB PER GRADING PLANS.
- 2 ACCESSIBLE RAMP PER GRADING PLANS.
- 2A LOADING ZONE RAMP PER GRADING PLANS.
- 3 CONCRETE SIDEWALK PER MAG STD. DET.230, WIDTH PER PLAN.
- 4 3' SCREEN WALL PER ARCHITECTURAL SHEET A6.6.
- 4B EXISTING SCREEN WALL.
- 5 TRASH ENCLOSURE PER ARCH. PLANS, SEE SHEET A6.6
- 6 PAINTED ADA SYMBOL PER DET 1/C2.10.
- 7 4" WIDE WHITE PAINTED STRIPING, TYP.
- 8 5' WIDE PEDESTRIAN PATHWAY WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C.
- 9 6" STEEL BOLLARDS
- 9A 6" LIT STEEL BOLLARDS.
- 10A HEAVY DUTY ASPHALT PAVEMENT PER CIVIL PLANS.
- 10B CONCRETE PAVEMENT PER GRADING PLANS FOR JOINT LAYOUT PLAN FOR CONCRETE PAVEMENT AND SIDEWALKS.
- 11 ACCESSIBLE PARKING SIGN PER DET. 2/C2.10.
- 12 DRIVE-THRU CLEARANCE BAR PER ARCHITECTURAL PLANS.
- 13 DRIVE-THRU MENU BOARD. PER DETAIL A2/A6.7
- 14 4' RESTAURANT CANOPY PER ARCHITECTURAL PLANS.
- 15 EXISTING FIRE HYDRANT.
- 16 28' HIGH FLAG POLE.
- 17 FREE STANDING MAILBOX BY G.C.
- 18 BIKE RACK (4 SPACES). PER DET. 5/C2.10.
- 19 PROPOSED FDC LOCATION.
- 20 CONCRETE ISLANDS NOSE, TYPICAL AT ISLANDS.
- 21 PLANTER. REFER TO LANDSCAPE PLANS.
- 22 GRANITE STRIPS. REFER TO LANDSCAPE PLANS FOR DETAIL.
- 23A EXISTING CANOPY.
- 23B MODIFIED CANOPY EDGE PER ARCH PLANS.
- 24 LIGHT POLE PER PHOTOMETRIC PLAN.
- 25 CONCRETE WITH BROOM FINISH. MIN 5' WIDE.
- 26 CURB OPENING PER GRADING PLANS.
- 27 GREASE INTERCEPTOR PER UTILITY PLANS.
- 28 PROPOSED MONUMENT SIGN.
- 29 MODIFIED SIDEWALK AT DRIVEWAY PER MESA STD. DETAIL M-042. SIDEWALK EASEMENT TO BE DEDICATED.

SITE PLAN NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- IF APPLICABLE, PEDESTRIAN ACCESS ROUTES ARE PROVIDED IN COMPLIANCE WITH THE LATEST ADA STANDARDS. ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS, 2% MAX CROSS SLOPES, AND 5% MAXIMUM LONGITUDINAL SLOPES. TRUNCATED DOMES, AS DETECTABLE WARNINGS, ARE REQUIRED, AS SHOWN IN PLANS, ON ALL SITE RAMPS AND WALKS THAT CROSS A VEHICULAR WAY PER ADAAG CHAPTER 7.
- PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS, AND RAILINGS, AS NECESSARY.
- ALL SIGNAGE REQUIRES SEPARATE APPROVAL AND PERMITS.
- A MINIMUM 6-FOOT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPELINES WILL BE MAINTAINED.
- OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.
- CURBS AND SCREEN WALL TO BE COORDINATED WITH UNDERGROUND STORAGE RISERS, PENDING DECISIONS ON SYSTEM REMOVAL.

DEVELOPMENT SUMMARY TABLE

PROJECT ADDRESS: 1140 E BASELINE RD, MESA, AZ 85204

PROJECT DESCRIPTION: PROPOSED WHATABURGER W/ DRIVE THRU

DEVELOPMENT INFORMATION:

APN:	139-11-001N		
ZONING:	LI		
LOT SIZE:	76,580 SF	1.76 AC	
PROPOSED LOT SIZE	76,580 SF	1.76 AC	
PROPOSED USE:	RESTAURANT W/ DRIVE THROUGH		
CONSTRUCTION TYPE:	VB		

BUILDING AREA

PREP:	1,516 SF		
DINING:	2,235 SF		
EXISTING CANOPY AREA:	3,195 sf		
TOTAL BUILDING AREA:	6,946 SF		
BUILDING HEIGHT:	MAX.	40 FT.	
	PROPOSED	22 FT.	
EXISTING CANOPY HT.	MAX.	18 FT.	

BUILDING SETBACKS

	REQUIRED	PROVIDED
- FRONT (BASELINE ROAD):	15 FT.	52 FT
- INTERNAL SIDE (WEST):	20 FT.	61 FT
- INTERNAL SIDE (EAST):	NONE	32 FT.
- REAR (NORTH):	20 FT.	20 FT.

LANDSCAPE YARDS

	REQUIRED	PROVIDED
- FRONT (BASELINE ROAD):	15 FT.	16 FT.
- INTERNAL SIDE (WEST):	15 FT.	36 FT.
- INTERNAL SIDE (EAST):	15 FT.	14 FT.
- REAR (NORTH):	15 FT.	18 FT.

PARKING

	REQUIRED	PROVIDED	
- MIN. PARKING:	3,735 SF/100 SF	38	
- MAX. PARKING:	125% X 38	48	48 TOTAL
- ADA PARKING:		2	2
- BICYCLE PARKING	1 PER 10 SPACES	4	4

LOT COVERAGE

	REQUIRED	PROVIDED
- MAX BUILDING COVERAGE:	50%	9.1%
- MIN LANDSCAPE AREA COVERAGE	10%	36%

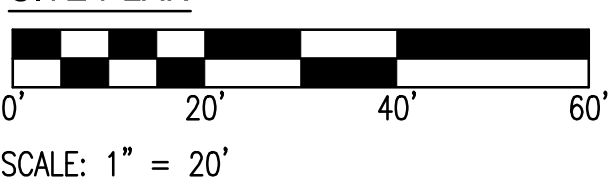
PROPOSED LEGEND:

- PROPERTY LINE
- VERTICAL CURB
- CURB AND GUTTER
- SITE WALL
- PARKING COUNT
- PAVEMENT STRIPING
- EXISTING FIRE HYDRANT
- TRANSFORMER

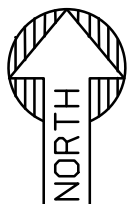
- CONCRETE PAVEMENT/SIDEWALK
- HEAVY DUTY PAVEMENT
- LIGHT DUTY PAVEMENT
- CONCRETE WITH BROOM FINISH
- ACCESSIBLE PEDESTRIAN PATH

35'/55' FIRE ACCESS TURN RADIUS

SITE PLAN



SE CORNER
SECTION 35
T1N, R5E
CALCULATED POSITION



S 1/4 CORNER
SECTION 35
T1N, R5E
FD BRASS CAP
IN HANHOLE

LOCATION: Z:\SHARED\PROJECTS\WHATABURGER MESA - NWC STAPLEY & BASELINE RD - 210505\11 CAD (SEG)\11.4 CD\S\CD210505-C2.00.DWG SAVED BY: KEVIN.ZENK DATE: 11/23/2021

PRELIMINARY
NOT FOR
CONSTRUCTION

SUSTAINABILITY
ENGINEERING
GROUP

SEG



PROJECT
RESTAURANT WITH DRIVE THRU

LOCATION
1140 E BASELINE RD,
MESA AZ 85204

DRAWN	IC	11/19/2021
DESIGNED	LR	11/19/2021
QC	SC	11/18/2021
FINAL QC	KZ	11/23/2021
PROJ. MGR.	AF	11/19/2021

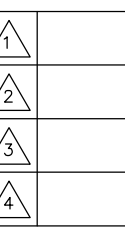
DATE: 11/23/2021

ISSUED FOR:

2ND SITE PLAN/DR REVIEW

REVISION NO.:

DATE:



JOB NO.:

210505

SHEET TITLE:

SITE PLAN

PAGE NO.:

1 OF 2

SHEET NO.:

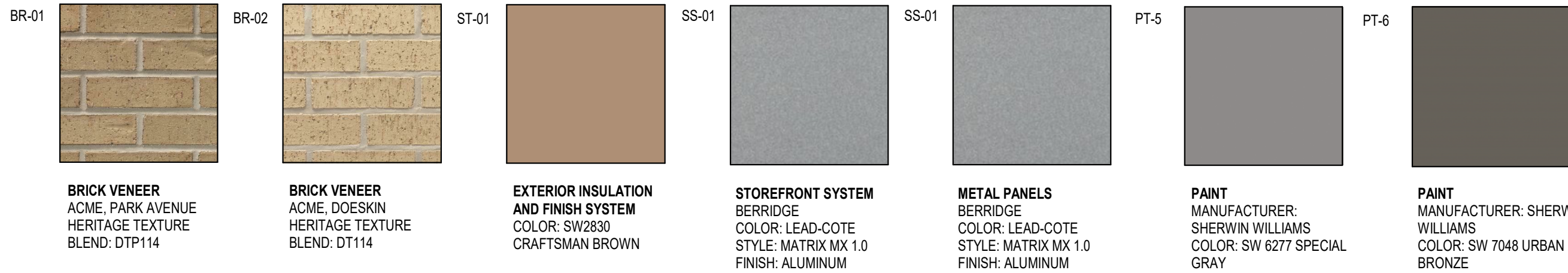
C2.00

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.

ZON21-00987/DR821-00988

Z:\Shared\PROJECTS\Whataburger\Mesa - NWC Stapley & Baseline Rd - 210205111 CAD (SEG)\11.4 CD's\RevitModel\PT20M 210505_ARCH.rvt

MATERIAL TEXTURES

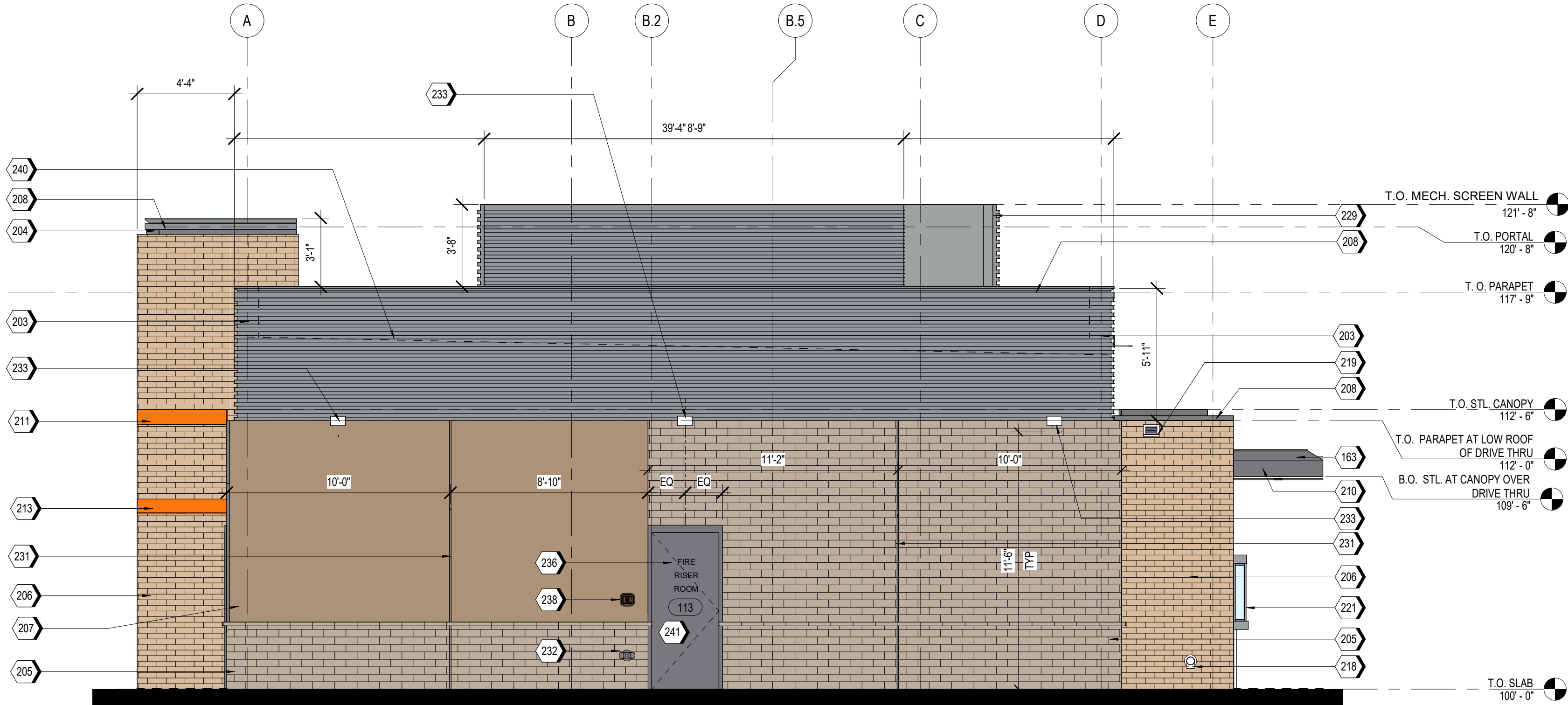


NOTES

1. EXTERIOR SIGNAGE TO BE PERMITTED
UNDER A SEPARATE SIGN PERMIT SET.

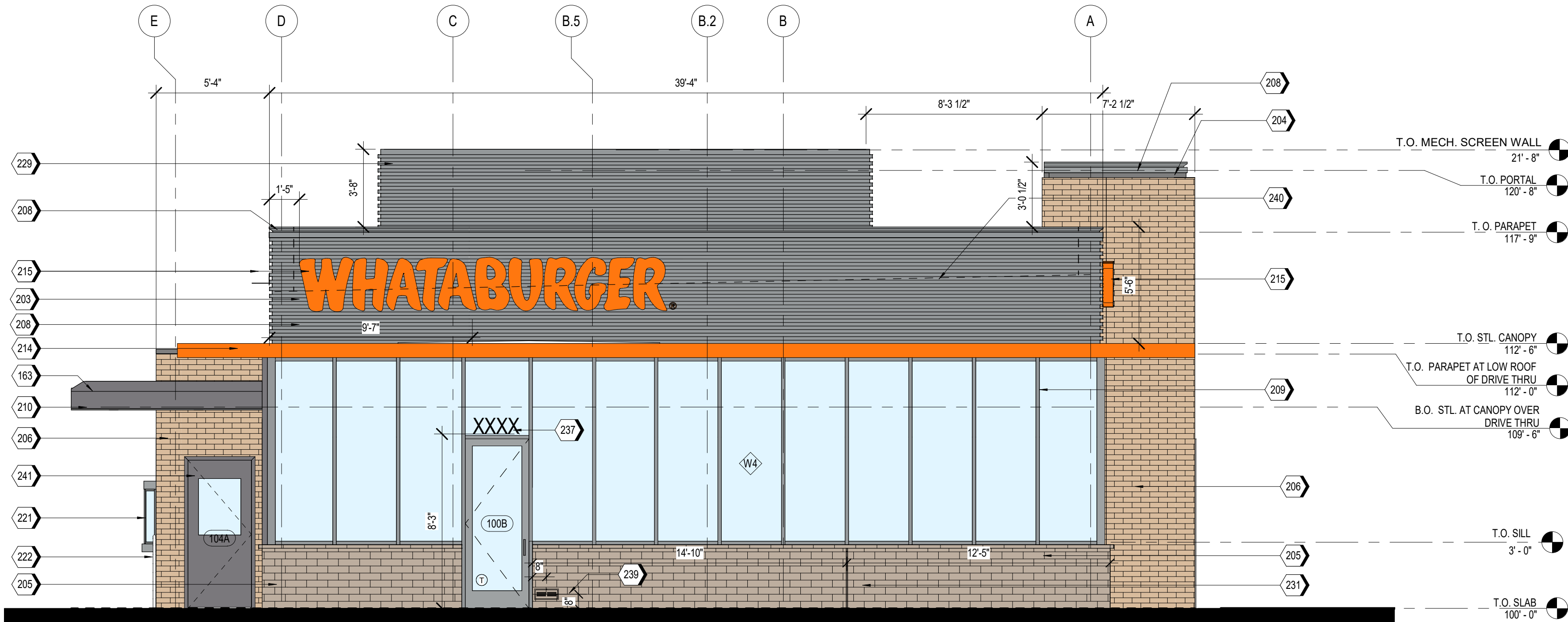
KEYNOTES

163	TPO MEMBRANE ROOFING SYSTEM, RE: A1/A5.3
203	MP-01: PRE-FINISHED CORRUGATED METAL PANEL
204	MP-02: PRE-FINISHED METAL FLASHING
205	BR-01: PARK AVENUE BRICK VENEER
206	BR-02: DOESKIN BRICK VENEER
207	ST-01: EIFS SW2830 CRAFTSMAN BROWN
208	MC-01: PRE-FINISHED METAL COPING
209	SS-01: ALUMINUM STOREFRONT SYSTEM
210	PRE-FINISHED DRIVE-THRU CANOPY
211	ENTRY PORTAL CANOPY, PAINT PT-5
213	SERVICE DOOR CANOPY, PAINT PT-5
214	SUN SHADE CANOPY, SEE A6.9
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
218	DOWNSPOUT FROM ROOF DRAIN, LAMBS TONGUE DISCHARGE AT 12" ABOVE FINISH GRADE, COLOR TO MATCH PT-5, RE:B3/A5.4
219	OVERFLOW SCUPPER
221	DRIVE-THRU WINDOW
222	GUARDRAIL, RE:D6/A6.8
229	MP-03: ROOF SCREEN WALL, RE: STRUCTURAL
231	MASONRY EXPANSION JOINT
232	FIRE DEPARTMENT CONNECTION, RE: FIRE PROTECTION
233	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
234	RTU, RE: MECHANICAL
236	RISER ROOM SIGN (PER 2015 IFC CHAPTER 5 - APPROVED SIGNS SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALL AND READILY VISIBLE. LETTERS SHALL BE A MINIMUM OF 2" WITH A MINIMUM 3/8" STROKE, THE COLORS OF THE LETTERS SHALL BE CONTRASTING WITH RESPECT TO BACKGROUND.
237	BUILDING ADDRESS 6" HIGH WHITE VINYL NUMBERS WITH 1" STROKE, 10" A.F.G.
238	GENERAL CONTRACTOR SHALL PROVIDE A KNOX BOX PER JURISDICTIONAL REQUIREMENTS, LOCATION TO BE VERIFIED PRIOR TO CONSTRUCTION.
239	EMERGENCY STEP LIGHT, RE: ELECTRICAL
240	DASHED LINE INDICATES TOP OF DECK.
241	PAINT (PT-5) EXTERIOR DOORS.



NORTH ELEVATION		
Material	Area (SF)	% of Total
Brick (Park Avenue)	286.06	41.37%
EIFS (Craftsman Brown)	169.49	24.51%
Metal Panel	235.94	34.12%
	691.49	100%

A2 NORTH ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION		
Material	Area (SF)	% of Total
Brick (Park Avenue)	109.71	16.04%
Metal Panel	242.49	35.45%
Storefront	331.76	48.51%
	683.96	100%

A1 SOUTH ELEVATION
1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

GL-01	VISION GLASS BASIS OF DESIGN: VIRACON VUE1-30 SHADING COEFFICIENT (SC): .20 EXTERIOR REFLECTION: 19% SOLAR HEAT GAIN COEFFICIENT (SHGC): .18 U-FACTOR: .26
GL-03	OPAQUE GLASS BASIS OF DESIGN: VIRACON V948
SS-01	STOREFRONT SYSTEM BASIS OF DESIGN: OLDCASTLE STYLE: FG-2000 FINISH: CLEAR ANODIZED
MP-01	METAL PANEL MANUFACTURER: BERRIDGE STYLE: BR-12 PANEL 0.040 ALUMINUM COLOR: LEAD-COTE
MP-02	PREFINISHED METAL FLASHING 0.050" THICK COLOR: LEAD-COTE TO MATCH MP-01
MP-03	METAL PANEL MANUFACTURER: BERRIDGE STYLE: BR-12 PANEL 0.040 ALUMINUM COLOR: LEAD-COTE
BR-01	BRICK MANUFACTURER: ACME STYLE: UTILITY SIZE: 4" x 4" x 12" COLOR: PARK AVENUE
BR-02	BRICK MANUFACTURER: ACME STYLE: UTILITY SIZE: 4" x 3" x 10" COLOR: DOESKIN
ST-01	EXTERIOR INSULATION AND FINISH SYSTEM COLOR: SW 2830 CRAFTSMAN BROWN
MO-01	MORTAR MANUFACTURER: AHI COLOR: VANILLA-N
MC-01	METAL COPING MANUFACTURER: BERRIDGE STYLE: SHADOWLINE COPING REVEAL COPING COLOR: LEADCOTE
PT-5	PAINT BASIS OF DESIGN: MANUFACTURER: SHERWIN WILLIAMS STYLE: SW 6277 SPECIAL GRAY SHEEN: FLAT
MS-01	METAL SOFFIT MANUFACTURER: BERRIDGE STYLE: HS-8 FINISH: PRE-FINISHED TO MATCH PT-5

PROJECT: 210505

WHATABURGER PT20M
NWC S. STAPLEY & E. BASELINE
1140 E. BASELINE RD.
CITY OF MESA, AZ



8280 E. GELDING DR #101,
SCOTTSDALE, AZ 85280
WWW.AZSEG.COM
TEL. 480.588.7228

WHATABURGER

300 CONCORD PLAZA DR.
SAN ANTONIO, TEXAS.
210-476-6000 ZIP 78216.

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CONSENT OF WHATABURGER

SHEET TITLE:
EXTERIOR
ELEVATIONS - COLOR

ISSUED FOR:
2ND SITE PLAN / DESIGN REVIEW
(ZON21-00987/DRB21-00988)

UNIT NO:
DATE: 11/23/2021
SCALE: As indicated
DRAWN BY: EG
CHECKED BY: BH

SHEET NO:
A2.3



MATERIAL TEXTURES

BR-01

BRICK VENEER
ACME, PARK AVENUE
HERITAGE TEXTURE
BLEND, DTP114

BR-02

BRICK VENEER
ACME, DOESKIN
HERITAGE TEXTURE
BLEND, DT114

ST-01

EXTERIOR INSULATION
AND FINISH SYSTEM
COLOR: SW2830
CRAFTSMAN BROWN

SS-01

STOREFRONT SYSTEM
BERRIDGE
COLOR: LEAD-COTE
STYLE: MATRIX MX 1.0
FINISH: ALUMINUM

SS-01

METAL PANELS
BERRIDGE
COLOR: LEAD-COTE
STYLE: MATRIX MX 1.0
FINISH: ALUMINUM

PT-5

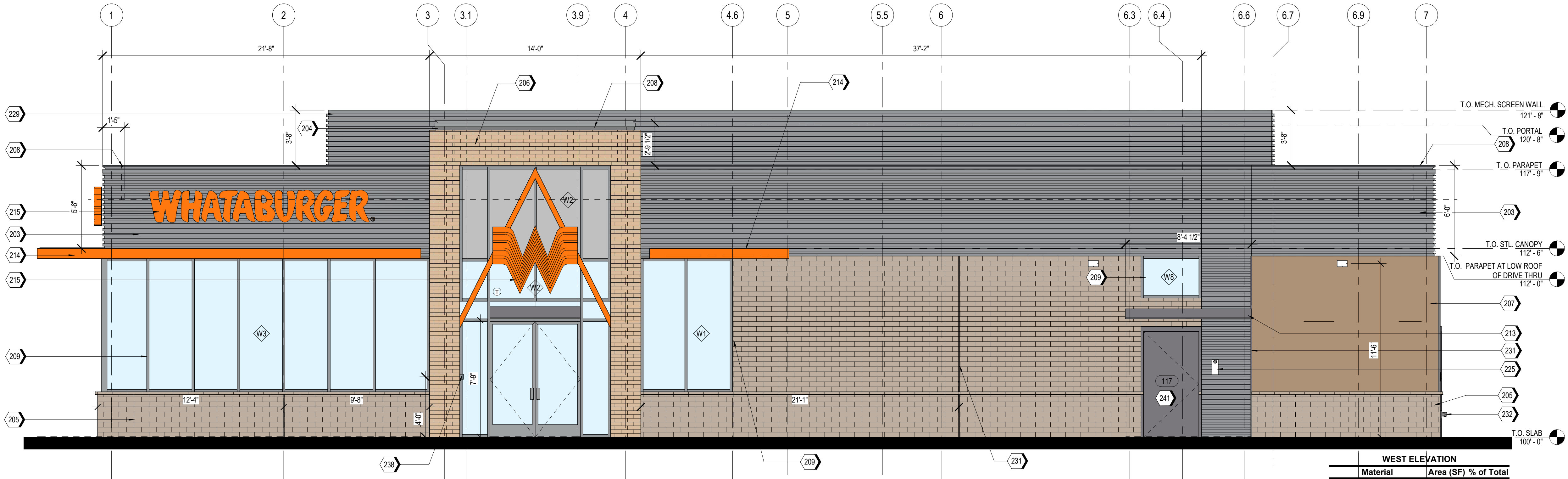
PAINT
MANUFACTURER:
SHERWIN WILLIAMS
COLOR: SW 6277 SPECIAL
GRAY

PT-6

PAINT
MANUFACTURER: SHERWIN
WILLIAMS
COLOR: SW 7048 URBAN
BRONZE

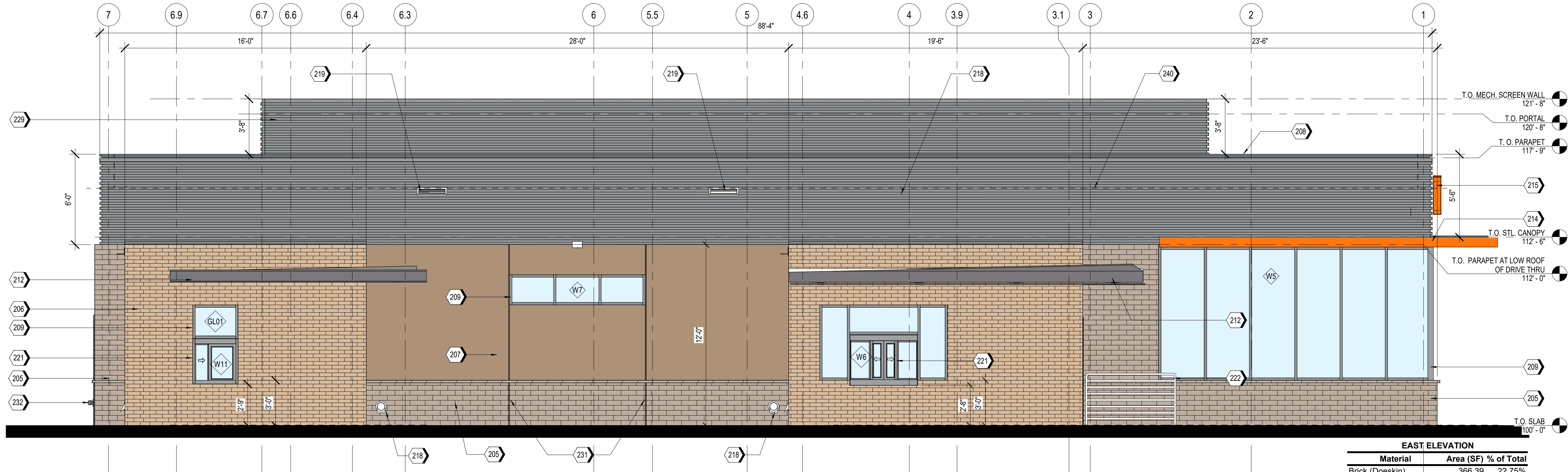
NOTES

1. EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.



Material	Area (SF)	% of Total
Brick (Doeskin)	104.64	6.68%
Brick (Park Avenue)	454.32	29.00%
EIFS (Craftsman Brown)	112.37	7.17%
Metal Panel	458.86	29.29%
Storefront	436.56	27.86%
	1566.75	100%

A2 WEST ELEVATION
SCALE 1/4" = 1'-0"



Material	Area (SF)	% of Total
Brick (Doeskin)	366.39	22.75%
Brick (Park Avenue)	223.55	13.86%
EIFS (Craftsman Brown)	234	14.53%
Metal Panel	547.94	34.02%
Storefront	238.64	14.82%
	1610.52	100%

A1 EAST ELEVATION
SCALE 1/4" = 1'-0"

KEYNOTES

203	MP-01: PRE-FINISHED CORRUGATED METAL PANEL
204	MP-02: PRE-FINISHED METAL FLASHING
205	BR-01: PARK AVENUE BRICK VENEER
206	BR-02: DOESKIN BRICK VENEER
207	ST-01: EIFS SW2835 CRAFTSMAN BROWN
208	MC-01: PRE-FINISHED METAL COPING
209	SS-01: ALUMINUM STOREFRONT SYSTEM
212	DRIVE-THRU DOOR CANOPY, PAINT PT-5
213	SERVICE DOOR CANOPY, PAINT PT-5
214	SUN SHADE CANOPY, SEE A6.9
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
218	DOWNSPOUT FROM ROOF DRAIN, LAMBS TONGUE DISCHARGE AT 12" ABOVE FINISH GRADE, COLOR TO MATCH PT-5, RE B3/A5.4
219	OVERFLOW SCUPPER
221	DRIVE-THRU WINDOW
222	GUARDRAIL, RE D6/A6.8
225	STAINLESS STEEL GREASE SHIELD W/ 2 1/2" HOLE THROUGH WALL FOR GREASE TANK
229	MP-03: ROOF SCREEN WALL, RE: STRUCTURAL
231	MASONRY EXPANSION JOINT
232	FIRE DEPARTMENT CONNECTION, RE: FIRE PROTECTION
238	GENERAL CONTRACTOR SHALL PROVIDE A KNOX BOX PER JURISDICTIONAL REQUIREMENTS, LOCATION TO BE VERIFIED PRIOR TO CONSTRUCTION.
240	DASHED LINE INDICATES TOP OF DECK.
241	PAINT (PT-5) EXTERIOR DOORS.

EXTERIOR MATERIAL SCHEDULE

GL-01	VISION GLASS BASIS OF DESIGN: VIRACON VUE1-30 SHADING COEFFICIENT (SC): .20 EXTERIOR REFLECTION: 18% SOLAR HEAT GAIN COEFFICIENT (SHGC): .18 U-FACTOR: .26
GL-03	OPAQUE GLASS BASIS OF DESIGN: VIRACON V948
SS-01	STOREFRONT SYSTEM BASIS OF DESIGN: OLDCASTLE STYLE: FG-3000 FINISH: CLEAR ANODIZED
MP-01	METAL PANEL MANUFACTURER: BERRIDGE STYLE: BR-12 PANEL 0.040 ALUMINUM COLOR: LEAD-COTE
MP-02	PREFINISHED METAL FLASHING 0.050" THICK COLOR: LEAD-COTE TO MATCH MP-01
MP-03	METAL PANEL MANUFACTURER: BERRIDGE STYLE: BR-12 PANEL 0.040 ALUMINUM COLOR: LEAD-COTE
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MC-01	METAL COPING MANUFACTURER: BERRIDGE STYLE: SHADOWLINE COPING REVEAL COPING COLOR: LEADCOTE
PT-5	PAINT BASIS OF DESIGN: MANUFACTURER: SHERWIN WILLIAMS STYLE: SW 6277 SPECIAL GRAY SHEEN: FLAT
MS-01	METAL SOFFIT MANUFACTURER: BERRIDGE STYLE: HS-8 FINISH: PRE-FINISHED TO MATCH PT-5

PROJECT: 210505
WHATABURGER PT20M
NWC S. STAPLEY & E. BASELINE
1140 E. BASELINE RD.
CITY OF MESA, AZ



8280 E. GELDING DR #101,
SCOTTSDALE, AZ 85280
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WHATABURGER

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210-476-6000 ZIP 78216.

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CONSENT OF WHATABURGER

SHEET TITLE:
EXTERIOR
ELEVATIONS - COLOR

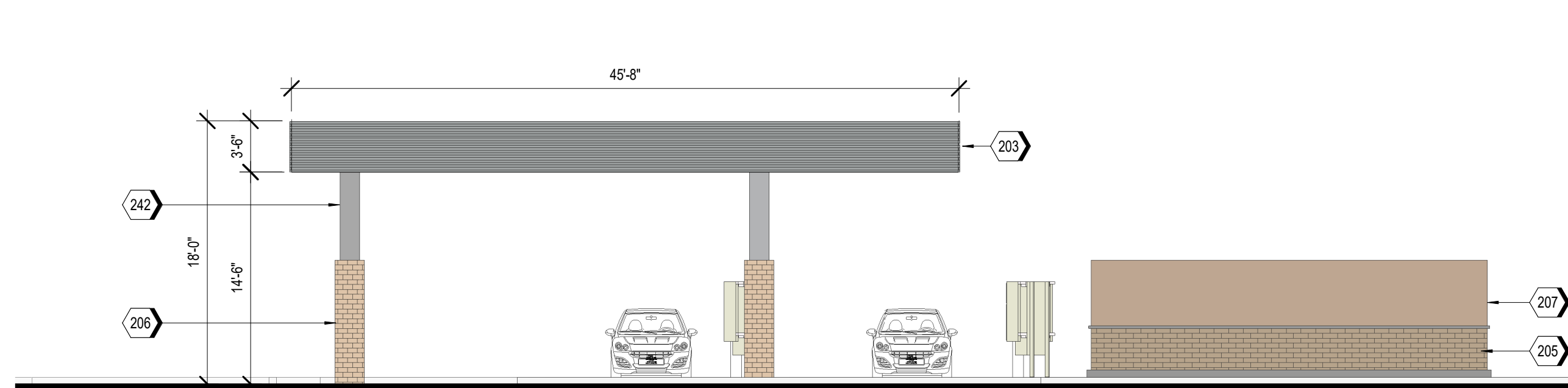
ISSUED FOR:
2ND SITE PLAN / DESIGN REVIEW
(ZON21-00987/DRB21-00988)

UNIT NO.
DATE: 11/23/2021
SCALE: As indicated
DRAWN BY: EG
CHECKED BY: BH

SHEET NO:
A2.4



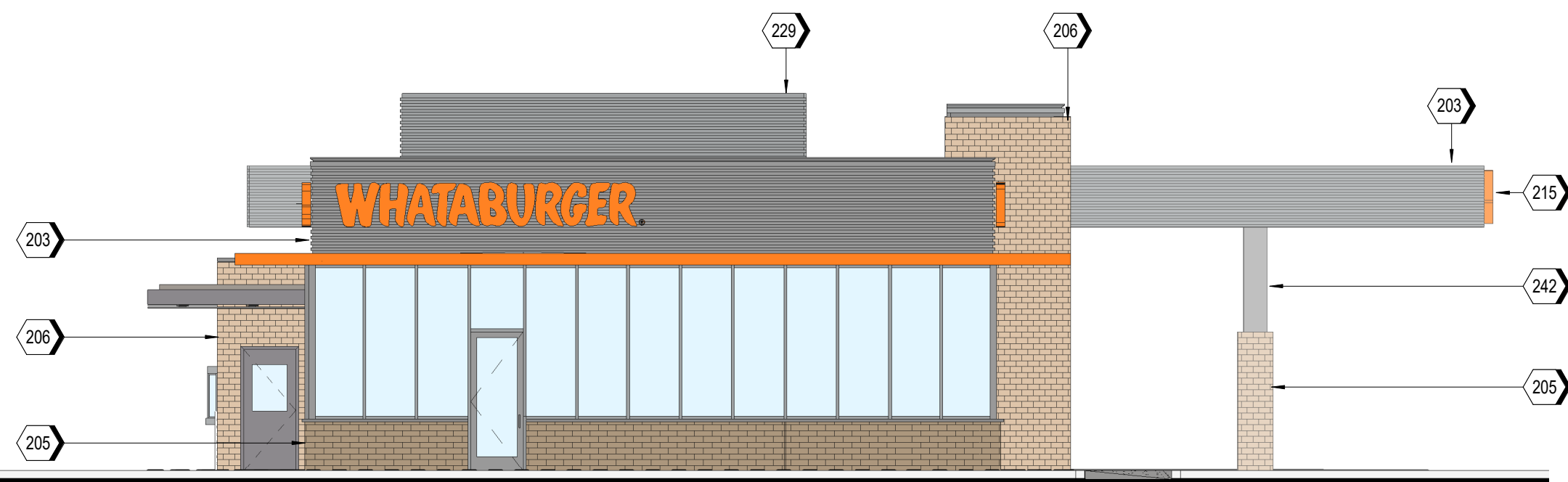
Z:\Shared\PROJECTS\Whataburger\Mesa - NWC Stapley & Baseline Rd - 21020511 CAD (SEG)\11.4 CD's\RevitModel\PT20M 210505_ARCH.rvt



1 WEST ELEVATION
SCALE 1/8" = 1'-0"



2 EAST ELEVATION
SCALE 1/8" = 1'-0"



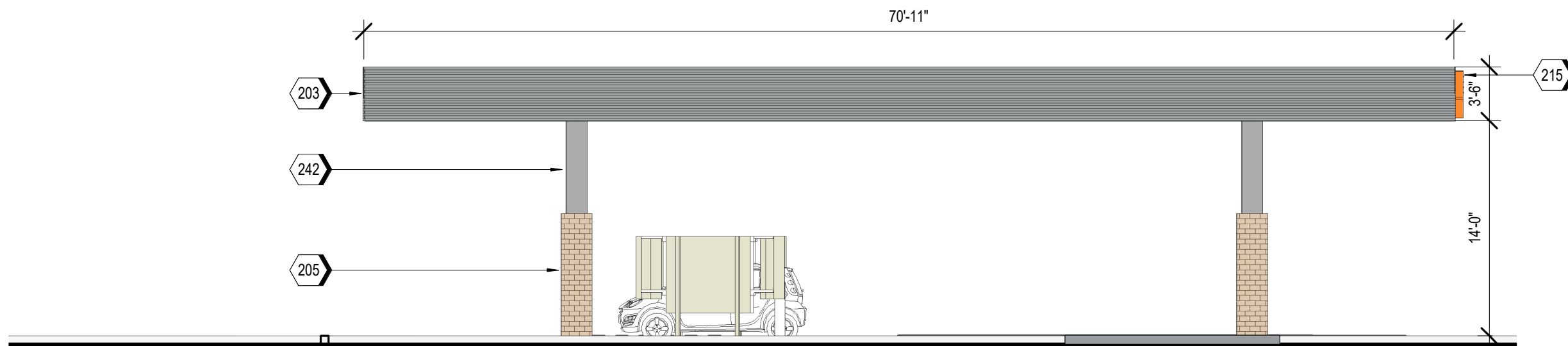
3A SOUTH ELEVATION
SCALE 1/8" = 1'-0"



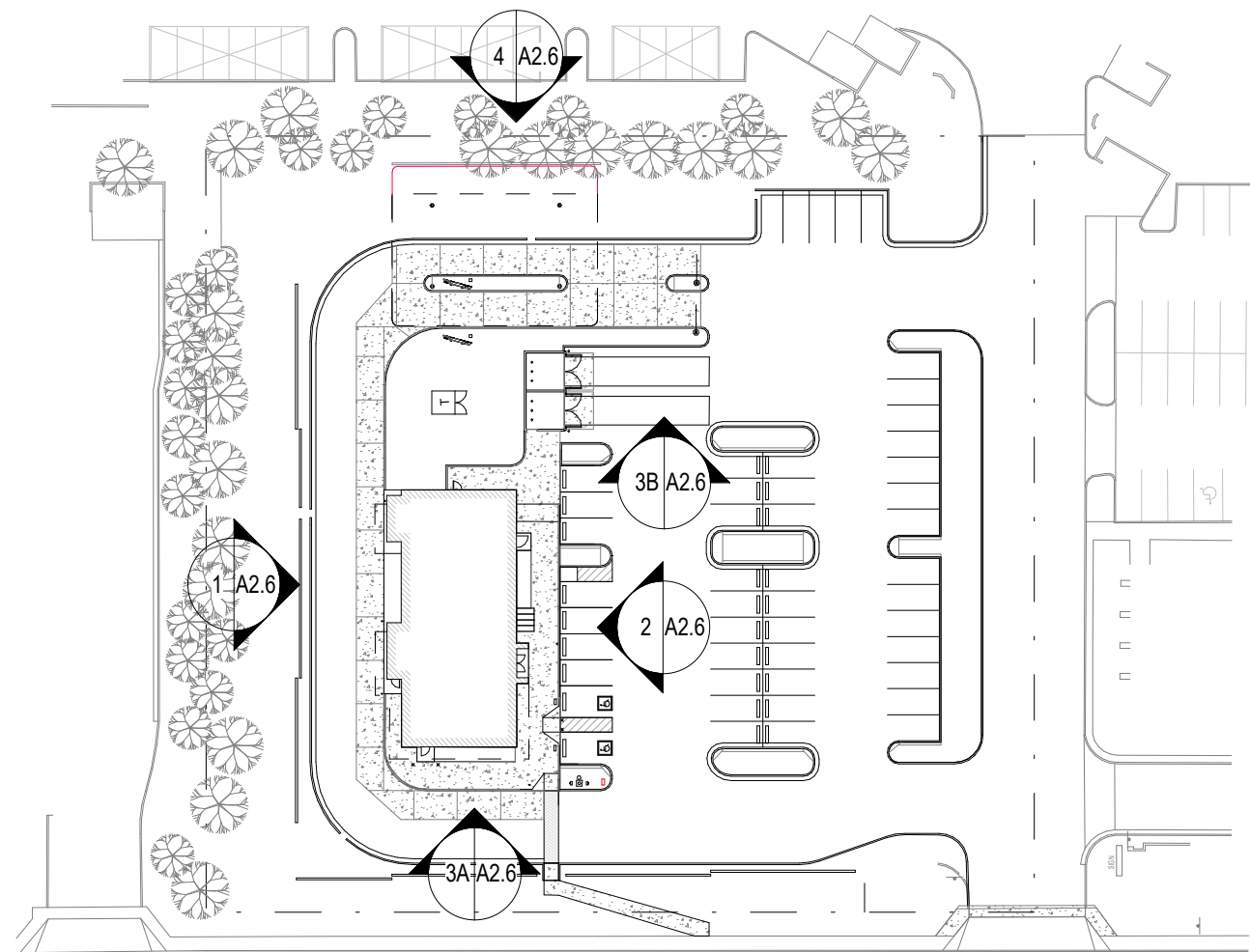
4 NORTH ELEVATION
SCALE 1/8" = 1'-0"



3B SOUTH ELEVATION
SCALE 1/8" = 1'-0"



3B SOUTH ELEVATION
SCALE 1/8" = 1'-0"



5 KEY MAP
SCALE 1/64" = 1'-0"

MATERIAL TEXTURES



KEYNOTES

203	MP-01: PRE-FINISHED CORRUGATED METAL PANEL
205	BR-01: PARK AVENUE BRICK VENEER
206	BR-02: DOESKIN BRICK VENEER
207	ST-01: EIFS SW2835 CRAFTSMAN BROWN
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
229	MP-03: ROOF SCREEN WALL, RE: STRUCTURAL
242	COLUMN, PAINT (PT-5)
803	PRE-FINISHED CORRUGATED METAL PANEL (MP-01)

PROJECT: 210505

WHATABURGER PT20M
NWC S. STAPLEY & E. BASELINE
1140 E. BASELINE RD.
CITY OF MESA, AZ



8280 E. GELDING DR #101,
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SHEET TITLE:
MODIFIED CANOPY
ELEVATIONS

ISSUED FOR:
2ND SITE PLAN / DESIGN REVIEW
(ZON21-00987/DRB21-00988)

UNIT NO.
DATE: 11/23/2021
SCALE:
DRAWN BY: EG
CHECKED BY: BH

SHEET NO:
A2.5





Exhibit 2
PZ Mailing Package

Parcel Number	Owner	MAIL_ADDR1	MAIL_CITY	MAIL_STATE	MAIL_ZIP
139-10-012	LUNAR VENTURES LLC	10 SW QUAIL BUTTE PL	BEND	OR	97702
139-10-016	WAL-MART STORES INC	1301 S E 10TH ST NO 2768	BENTONVILLE	AR	72716-0550
139-10-017, ET AL	DSW MESA GRAND/SPECTRUM LLC	1795 E SKYLINE DR STE 193	TUCSON	AZ	85718
139-10-019	EDEN SB MESA LLC	5696 E VILLAGE DR	PARADISE VALLEY	AZ	85253
139-10-020	DSW MESA GRAND/SPECTRUM LLC	1795 E SKYLINE DR STE 193	TUCSON	AZ	85718
139-10-021	1230 E BASELINE LLC	15953 N GREENWAY-HAYDEN LOOP STE G	SCOTTSDALE	AZ	85260
139-10-022	DSW MESA GRAND/SPECTRUM LLC	1795 E SKYLINE DR STE 193	TUCSON	AZ	85718
139-11-001K	RI CS1 LLC	1500 N PRIEST DR	TEMPE	AZ	85281
139-11-001N	STAPLEY & BASELINE LLC	955 E JAVELINA AVE STE B114	MESA	AZ	85204
139-11-001P	BANK OF AMERICA NA	101 N TRYON ST	CHARLOTTE	NC	28255
139-11-001Q	MYERSCOUGH JERRY E/CAROL L	683 CASTLE DR	CHARLESTON	IL	61920
139-11-001R	KENNETH L KELTNER REVOCABLE LIVING TRUST	4021 MEADOWS LN	LAS VEGAS	NV	89107
139-11-038	JUANITA LLC	1254 MOKAPU BLVD	KAILUA	HI	96734

139-11-039	CALDERON REAL ESTATE HOLDINGS LLC	7902 W GOLD DUST AVE	PEORIA	AZ	85345
139-11-045	CRUM PLUMBING INC	920 E JAVELINA AVE STE 2	MESA	AZ	85204-6689
139-11-046	CLOD LLC	2150 E HIGHLAND AVE STE 207	PHOENIX	AZ	85016
139-11-047	CLOD LLC	2150 E HIGHLAND AVE STE 207	PHOENIX	AZ	85016
139-11-048	CLOD LLC	2150 E HIGHLAND AVE STE 207	PHOENIX	AZ	85016
139-11-049C	NATIONAL CENTER FOR AMERICAN INDIAN ENTERPRIS	953 E JUANITA AVE	MESA	AZ	85204
139-11-050, ET AL	NELLA PROPERTIES LLC	2630 LINDBERG ST	AUBURN	CA	95602
139-11-052C	HALL ROBERT P TR	2030 N 3RD AVE	NAPA	CA	94558
139-11-053, ET AL	JUANITA PROPERTIES LLC	PO BOX 5771	SCOTTSDALE	AZ	85261
139-11-054	CRUM PLUMBING INC	920 E JAVELINA AVE STE 2	MESA	AZ	85204-6689
139-11-074, ET AL	FOREST LANE INVESTMENTS LLC/PARAGON CENTER LL	7904 E CHAPARRAL RD STE A110-496	SCOTTSDALE	AZ	85250
139-11-094	ALLIANCE BANK OF ARIZONA	2701 E CAMELBACK RD SUITE 110	PHOENIX	AZ	85016
139-11-095	JINLI TWO REAL ESTATE LLC	6371 MCDANIEL RD	GOLLAGE GROVE	TN	37046
139-11-096, ET AL	CYPRESS STAPLEY PROPERTY LLC	10089 WILLOW CREEK RD STE 230	SAN DIEGO	CA	92131
139-11-098, ET AL	CLOD LLC/DC 23 LLC/RGA PROPERTIES LLC	2150 E HIGHLAND AVE	PHOENIX	AZ	85016

302-12-002V	CIRCLE K PROPERTIES INC	3003 N CENTRAL AVE	PHOENIX	AZ	85012
302-12-515	1017 BASELINE ROAD LLC	1330 BROADWAY SUITE 1050	OAKLAND	CA	94612
302-12-516, ET AL	SY GILBERT COMMONS I LLC	150 PELICAN WY	SAN RAFAEL	CA	94901
302-12-517	HUMAN RESOURCES PROVIDER INC	8312 S HARDY DR STE 108	TEMPE	AZ	85284
302-12-521A	ALPHA IV DEVELOPMENT LLC	8601 S DORSEY LN	TEMPE	AZ	85284
310-05-290	MULLINS COLUMBUS/NINA J	708 W MOORE	GILBERT	AZ	85233
310-05-291	ORLANDO PETER C/ROBERTA L TR	716 W MOORE AVE	GILBERT	AZ	85233
310-05-292	DOWNING BRITTANY/RICHARDSON ROBERT	20933 N LAUREN RD	MARICOPA	AZ	85138
310-05-293	BAIN LIAM	14302 SE SUMMIT DR	CLACKAMAS	OR	97015
310-05-294	MURRIETTA PABLO C/ELVA N	740 W MOORE AVE	GILBERT	AZ	85233
310-05-295	MULDER LUANN	748 W MOORE AVE	GILBERT	AZ	85233
310-05-296	GENTRY FAMILY TRUST	756 W MOORE AVE	GILBERT	AZ	85233
310-05-297	ELLISON KIMBERLEE/THOMAS	762 W MOORE AVE	GILBERT	AZ	85233
310-05-298	HATZIATHANASSIOU CHRISTOS/TINA M	1518 N SADDLE ST	GILBERT	AZ	85233
310-05-299	PROGRESS RESIDENTIAL BORROWER 16 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261

310-05-300	BEETSO DERRICK	1500 N SADDLE ST	GILBERT	AZ	85233
310-05-301	AYSON MARCUS/TAMBASCO CARLIE	1492 N SADDLE ST	GILBERT	AZ	85233
310-05-302	BUCKNER WILLIAM H/JENNIFER L	1484 N SADDLE ST	GILBERT	AZ	85233
310-05-303	GARCIA JESUS R	755 W MOORE	GILBERT	AZ	85233
310-05-304	BUSTAMANTE RAUL F	749 WEST MOORE AVENUE	GILBERT	AZ	85233
310-05-305	HESS MICHAEL J/KIMBERLY A	741 W MOORE AVE	GILBERT	AZ	85233
310-05-306	GEHRING LINDA	731 WEST MOORE AVE	GILBERT	AZ	85234
310-05-307	ENGELMANN JAMES V/TAMARA L	721 W MOORE AVE	GILBERT	AZ	85233
310-05-314	TRAN DUC HUU PHUOC/NGUYEN ALICE TIEN THUY	740 W HANCOCK AVE	GILBERT	AZ	85233
310-05-315	LOW CHRISTINE/HUANG HENRY/LINH	2059 45TH AVE	SAN FRANCISCO	CA	94116
310-05-316	MOORE CHRISTOPHER L/LISA M	756 W HANCOCK AVE	GILBERT	AZ	85233
310-05-338	MCKAY JESSE	1077 MARINASIDE CRESCENT UNIT 2002	VANCOUVER	BC	V6Z2Z5
310-05-428	STONEHENGE-GILBERT HOMEOWNERS ASSOCIATION	760 S STAPLEY DR	MESA	AZ	85204
310-05-429	STONEHENGE-GILBERT HOMEOWNERS ASSOCIATION	760 S STAPLEY DR	MESA	AZ	85204

314-01-001	LEIGH ENTERPRISES INC	10215 N 111TH PLACE	SCOTTSDALE	AZ	85259
314-01-002	MIKE GRUNER AND AUDREY GRUNER REVOCABLE TRUST	108 TOWNPARK DR NW	KENNESAW	GA	30144- 5508
314-01-003	GLAMAZON BEAUTIQUE LLC	2431 W MAYA WY	PHOENIX	AZ	85085
314-01-004	GM VASQUEZ PROPERTIES LLC	2727 W FRYE RD STE 205	CHANDLER	AZ	85224
314-01-005	COOPER BASELINE PLACE LLC/LIONFUR LLC	8111 E INDIAN BEND RD	SCOTTSDALE	AZ	85230
314-01-006	VAL VISTA VILLAGE SQUARE LLC	12806 S BRISTOL CIR	LOS ANGELES	CA	90049
314-01-007	BB MAC LLC	18935 E PICACHO RD	RIO VERDE	AZ	85263



Feature Information

(1 of 2)

Clear ?

139-11-001N

Owner Information

Owner Name: STAPLEY & BASELINE LLC
Property Address: 1140 E BASELINE RD MESA 85204
Mailing Address: 955 E JAVELINA AVE STE B114 MESA AZ 85204
Deed Number: 011042650
Sale Date:
Sale Price: \$

Property Information

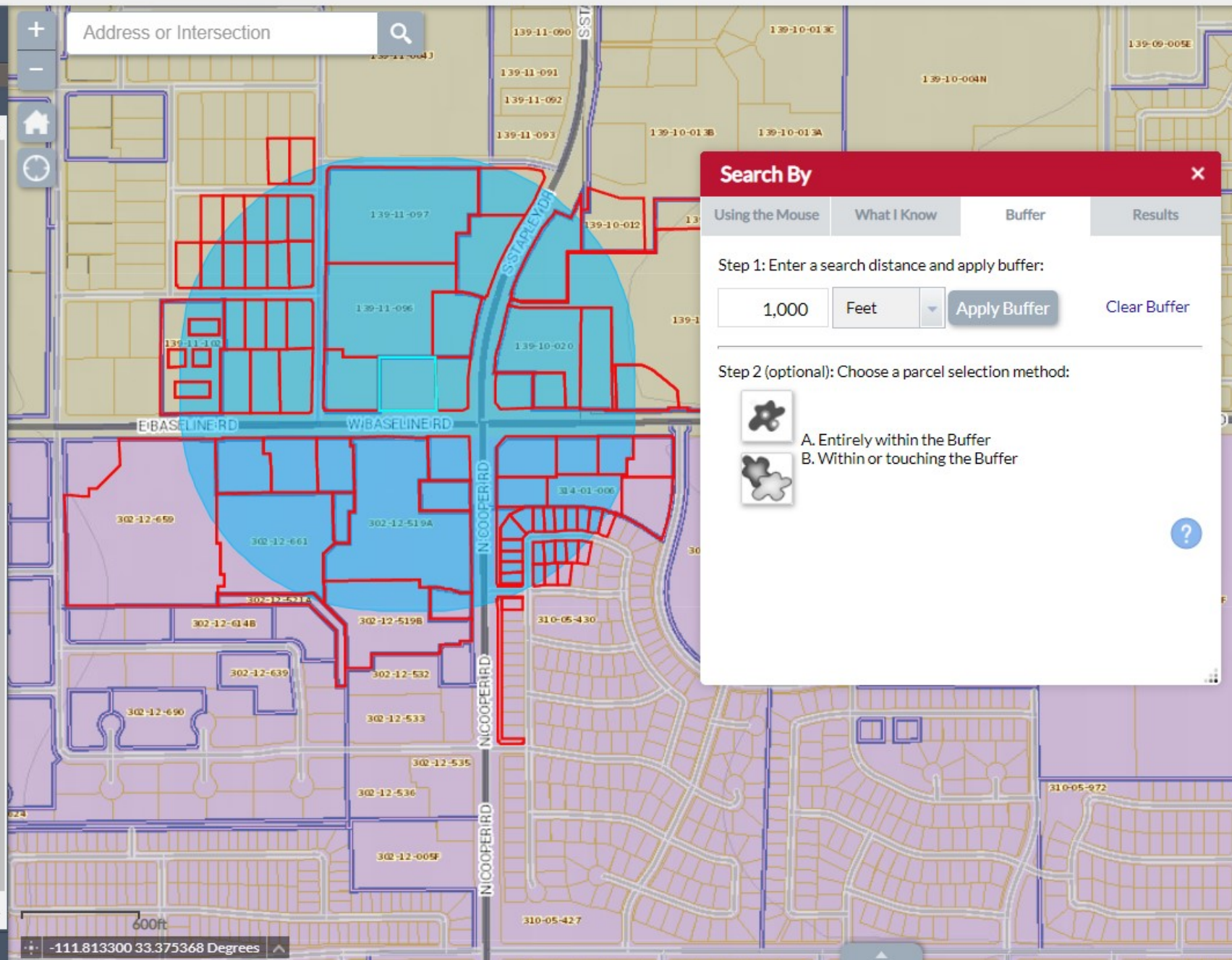
Lat/Long: 33.379476, -111.808479
S/T/R: 35 1N 5E
Jurisdiction: MESA
Zoning: LI
PUC: 1753
Lot Size (sq ft): 76,580
MCR #:
Subdivision:
Lot #:
Floor: 1
Construction Year:
Living Space (sq ft):

Valuation Information

Tax Year:	2022	2021
FCV:	\$2,178,400	\$2,191,400
LPV:	\$2,074,387	\$1,975,607
Legal Class:	1.12	1.12



Zoom to Clear Selected



Search By

Using the Mouse

What I Know

Buffer

Results

Step 1: Enter a search distance and apply buffer:

1,000

Feet

Apply Buffer

Clear Buffer

Step 2 (optional): Choose a parcel selection method:



A. Entirely within the Buffer



B. Within or touching the Buffer

LUNAR VENTURES LLC
10 SW QUAIL BUTTE PL
BEND, OR 97702

WAL-MART STORES INC
1301 S E 10TH ST NO 2768
BENTONVILLE, AR 72716-0550

DSW MESA GRAND/SPECTRUM LLC
1795 E SKYLINE DR STE 193
TUCSON, AZ 85718

EDEN SB MESA LLC
5696 E VILLAGE DR
PARADISE VALLEY, AZ 85253

DSW MESA GRAND/SPECTRUM LLC
1795 E SKYLINE DR STE 193
TUCSON, AZ 85718

1230 E BASELINE LLC
15953 N GREENWAY-HAYDEN LOOP
STE G
SCOTTSDALE, AZ 85260

RI CS1 LLC
1500 N PRIEST DR
TEMPE, AZ 85281

STAPLEY & BASELINE LLC
955 E JAVELINA AVE STE B114
MESA, AZ 85204

BANK OF AMERICA NA
101 N TRYON ST
CHARLOTTE, NC 28255

MYERSCOUGH JERRY E/CAROL L
683 CASTLE DR
CHARLESTON, IL 61920

KENNETH L KELTNER REVOCABLE
LIVING TRUST
4021 MEADOWS LN
LAS VEGAS, NV 89107

JUANITA LLC
1254 MOKAPU BLVD
KAILUA, HI 96734

CALDERON REAL ESTATE HOLDINGS LLC
7902 W GOLD DUST AVE
PEORIA, AZ 85345

CRUM PLUMBING INC
920 E JAVELINA AVE STE 2
MESA, AZ 85204-6689

CLOD LLC
2150 E HIGHLAND AVE STE 207
PHOENIX, AZ 85016

NATIONAL CENTER FOR AMERICAN
INDIAN ENTERPRIS
953 E JUANITA AVE
MESA, AZ 85204

NELLA PROPERTIES LLC
2630 LINDBERG ST
AUBURN, CA 95602

HALL ROBERT P TR
2030 N 3RD AVE
NAPA, CA 94558

JUANITA PROPERTIES LLC
PO BOX 5771
SCOTTSDALE, AZ 85261

CRUM PLUMBING INC
920 E JAVELINA AVE STE 2
MESA, AZ 85204-6689

FOREST LANE INVESTMENTS
LLC/PARAGON CENTER LL
7904 E CHAPARRAL RD STE A110-496
SCOTTSDALE, AZ 85250

ALLIANCE BANK OF ARIZONA
2701 E CAMELBACK RD SUITE 110
PHOENIX, AZ 85016

JINLI TWO REAL ESTATE LLC
6371 MCDANIEL RD
GOLLAGE GROVE, TN 37046

CYPRESS STAPLEY PROPERTY LLC
10089 WILLOW CREEK RD STE 230
SAN DIEGO, CA 92131

CLOD LLC/DC 23 LLC/RGA PROPERTIES
LLC
2150 E HIGHLAND AVE
PHOENIX, AZ 85016

CIRCLE K PROPERTIES INC
3003 N CENTRAL AVE
PHOENIX, AZ 85012

1017 BASELINE ROAD LLC
1330 BROADWAY SUITE 1050
OAKLAND, CA 94612

SY GILBERT COMMONS I LLC
150 PELICAN WY
SAN RAFAEL, CA 94901

HUMAN RESOURCES PROVIDER INC
8312 S HARDY DR STE 108
TEMPE, AZ 85284

ALPHA IV DEVELOPMENT LLC
8601 S DORSEY LN
TEMPE, AZ 85284

MULLINS COLUMBUS/NINA J
708 W MOORE
GILBERT, AZ 85233

ORLANDO PETER C/ROBERTA L TR
716 W MOORE AVE
GILBERT, AZ 85233

DOWNING BRITTANY/RICHARDSON
ROBERT
20933 N LAUREN RD
MARICOPA, AZ 85138

BAIN LIAM
14302 SE SUMMIT DR
CLACKAMAS, OR 97015

MURRIETTA PABLO C/ELVA N
740 W MOORE AVE
GILBERT, AZ 85233

MULDER LUANN
748 W MOORE AVE
GILBERT, AZ 85233

GENTRY FAMILY TRUST
756 W MOORE AVE
GILBERT, AZ 85233

ELLISON KIMBERLEE/THOMAS
762 W MOORE AVE
GILBERT, AZ 85233

HATZIATHANASSIOU CHRISTOS/TINA M
1518 N SADDLE ST
GILBERT, AZ 85233

PROGRESS RESIDENTIAL BORROWER 16
LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

BEETSO DERRICK
1500 N SADDLE ST
GILBERT, AZ 85233

AYSON MARCUS/TAMBASCO CARLIE
1492 N SADDLE ST
GILBERT, AZ 85233

BUCKNER WILLIAM H/JENNIFER L
1484 N SADDLE ST
GILBERT, AZ 85233

GARCIA JESUS R
755 W MOORE
GILBERT, AZ 85233

BUSTAMANTE RAUL F
749 WEST MOORE AVENUE
GILBERT, AZ 85233

HESS MICHAEL J/KIMBERLY A
741 W MOORE AVE
GILBERT, AZ 85233

GEHRING LINDA
731 WEST MOORE AVE
GILBERT, AZ 85234

ENGELMANN JAMES V/TAMARA L
721 W MOORE AVE
GILBERT, AZ 85233

TRAN DUC HUU PHUOC/NGUYEN ALICE
TIEN THUY
740 W HANCOCK AVE
GILBERT, AZ 85233

LOW CHRISTINE/HUANG HENRY/LINH
2059 45TH AVE
SAN FRANCISCO, CA 94116

MOORE CHRISTOPHER L/LISA M
756 W HANCOCK AVE
GILBERT, AZ 85233

MCKAY JESSE
1077 MARINASIDE CRESCENT UNIT
2002
VANCOUVER, BC V6Z2Z5

STONEHENGE-GILBERT HOMEOWNERS
ASSOCIATION
760 S STAPLEY DR
MESA, AZ 85204

LEIGH ENTERPRISES INC
10215 N 111TH PLACE
SCOTTSDALE, AZ 85259

MIKE GRUNER AND AUDREY GRUNER
REVOCABLE TRUST
108 TOWNPARK DR NW
KENNESAW, GA 30144-5508

GLAMOZON BEAUTIQUE LLC
2431 W MAYA WY
PHOENIX, AZ 85085

GM VASQUEZ PROPERTIES LLC
2727 W FRYE RD STE 205
CHANDLER, AZ 85224

COOPER BASELINE PLACE LLC/LIONFUR
LLC
8111 E INDIAN BEND RD
SCOTTSDALE, AZ 85230

VAL VISTA VILLAGE SQUARE LLC
12806 S BRISTOL CIR
LOS ANGELES, CA 90049

BB MAC LLC
18935 E PICACHO RD
RIO VERDE, AZ 85263

NOTICE OF PLANNING & ZONING BOARD HEARING

Date: December 24, 2021

Dear Neighbor,

We have applied for a Site Plan Review for the property located at 1140 E. Baseline Road Mesa, AZ. This request is for development of a new 2-lane drive-through restaurant. The case number assigned to this project is ZON21-00987.

This letter is being sent to all property owners within 1,000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 480-237-2511 or e-mail me at kevin@azseg.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on January 12, 2022 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by calling **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts**. If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at **least 1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Chloe Durfee-Sherman of their Planning Division staff. She can be reached at 480-644-6714 or chloe.durfee-sherman@mesaaz.gov should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Kevin Zenk Project and Entitlements Coordinator



Sustainability Engineering Group, LLC
8280 E. Gelding Dr., Suite 101
Scottsdale, AZ 85260
O: 480.237.2511
E: kevin@azseg.com

DEVELOPER

WHATABRANDS REAL ESTATE
300 CONCORD PLAZA DRIVE
SAN ANTONIO, TX 78216
CONTACT: CINDY ESPINOZA
PHONE: 210-476-6180
EMAIL: CESPINOZA@WBHQ.COM

OWNER

STAPLEY & BASELINE LLC
955 E JAVELINA AVE,
STE B114
MESA, AZ 85204

CIVIL ENGINEER

SUSTAINABILITY ENGINEERING GROUP
8280 E. GELDING DR., SUITE 101
SCOTTSDALE, ARIZONA 85260
ATTN: ALI FAKIH
PHONE: 480-588-7226
EMAIL: ALI@AZSEG.COM

WHATABURGER

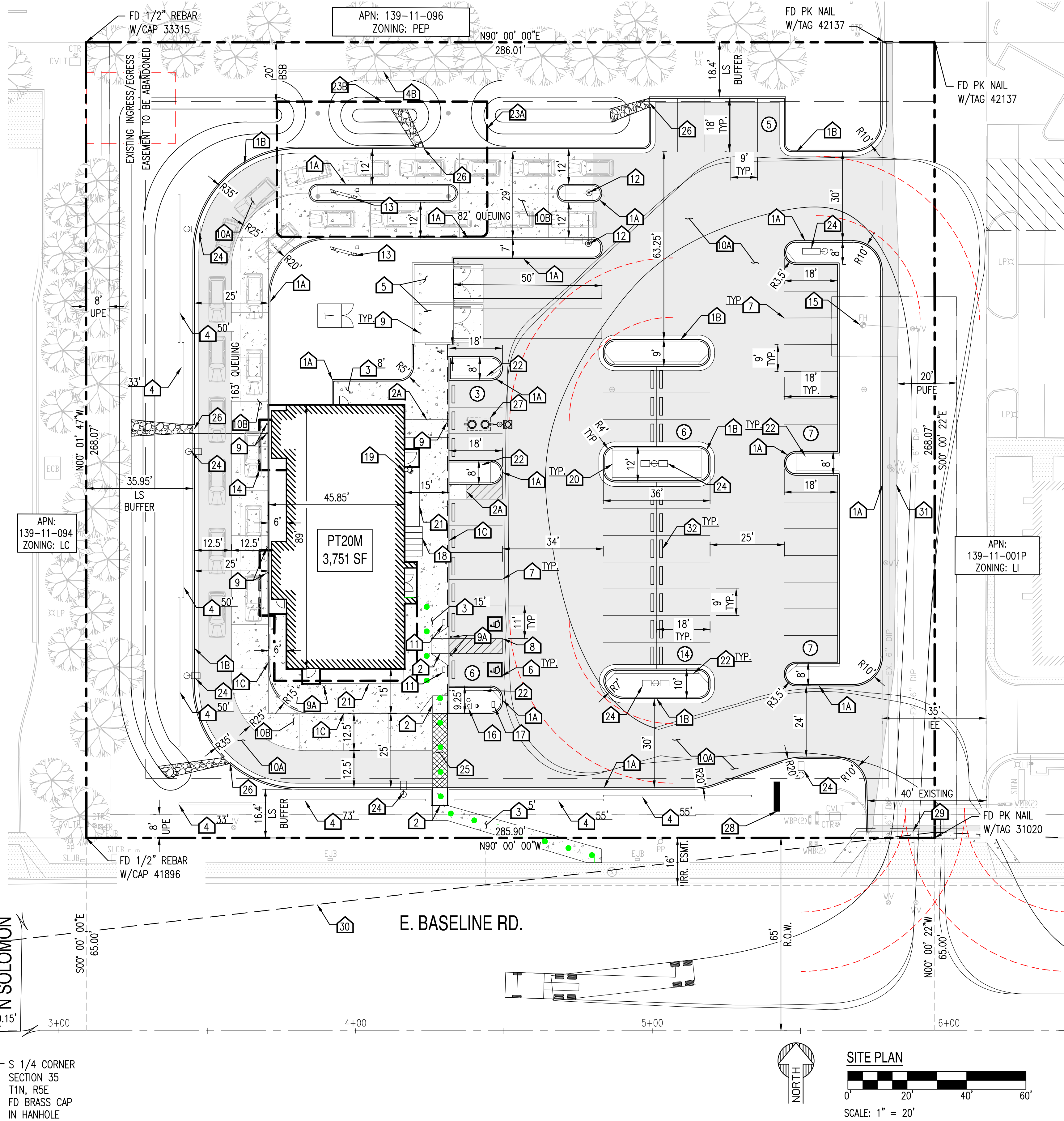
SITE PLAN

1140 E BASELINE RD, MESA, AZ 85204

BENCHMARK

BENCHMARK IS A BRASS TAG ON TOP OF CURB,
NORTHEAST CORNER OF THE INTERSECTION OF
BASELINE ROAD AND STAPLEY ROAD.

ELEVATION: 1221.80' NAVD 88 (CITY OF MESA DATUM)

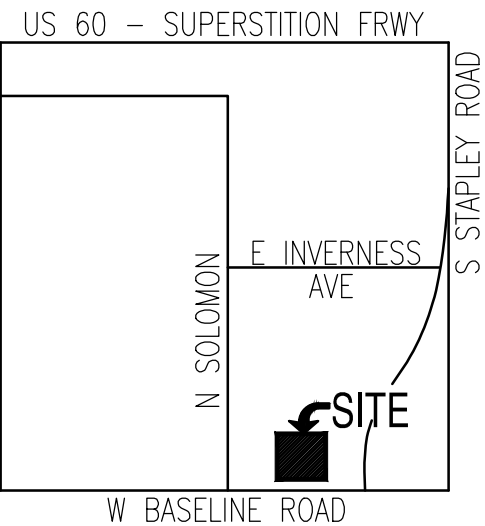
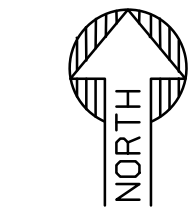


SITE PLAN KEYNOTES:

- 1A CONSTRUCT 6" VERTICAL CURB PER GRADING PLANS.
- 1B CONSTRUCT 6" CURB AND GUTTER PER GRADING PLANS.
- 1C CONSTRUCT TURNDOWN SLAB PER GRADING PLANS.
- 2 CONSTRUCT ACCESSIBLE RAMP PER GRADING PLANS.
- 2A CONSTRUCT LOADING ZONE RAMP PER GRADING PLANS.
- 3 CONSTRUCT CONCRETE SIDEWALK PER MAG STD. DET.230, WIDTH PER PLAN.
- 4 CONSTRUCT 3' SCREEN WALL PER ARCHITECTURAL SHEET A6.6.
- 4B EXISTING SCREEN WALL.
- 5 TRASH ENCLOSURE PER ARCH. PLANS, SEE SHEET A6.6
- 6 PROVIDE PAINTED ADA SYMBOL PER DET 1/C2.10.
- 7 PROVIDE 4" WIDE WHITE PAINTED STRIPING, TYP.
- 8 PROVIDE 5' WIDE PEDESTRIAN PATHWAY WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C.
- 9 INSTALL 6" STEEL BOLLARDS PER DET. 3/C2.10.
- 9A INSTALL 6" LIT STEEL BOLLARDS PER DET. 3/C2.10.
- 10A PROVIDE HEAVY DUTY ASPHALT PAVEMENT PER CIVIL PLANS.
- 10B PROVIDE CONCRETE PAVEMENT WITH JOINT LAYOUT PER GRADING PLANS.
- 11 INSTALL ACCESSIBLE PARKING SIGN PER DET. 2/C2.10.
- 12 INSTALL DRIVE-THRU CLEARANCE BAR PER ARCH PLAN A6.7
- 13 INSTALL DRIVE-THRU MENU BOARD. PER ARCH PLAN A6.7.
- 14 CONSTRUCT 4' RESTAURANT CANOPY PER ARCHITECTURAL PLANS.
- 15 EXISTING FIRE HYDRANT.
- 16 INSTALL 28" HIGH FLAG POLE.
- 17 INSTALL FREE STANDING MAILBOX BY G.C.
- 18 INSTALL BIKE RACK (5 SPACES). PER DET. 5/C2.10.
- 19 PROPOSED FDC LOCATION.
- 20 CONSTRUCT CONCRETE NOSE, TYPICAL AT ISLANDS.
- 21 INSTALL PLANTER. REFER TO LANDSCAPE PLANS.
- 22 CONSTRUCT GRANITE STRIPS. REFER TO LANDSCAPE PLANS FOR DETAIL.
- 23A EXISTING CANOPY.
- 23B MODIFIED NORTH CANOPY EDGE PER ARCH PLANS.
- 24 INSTALL LIGHT POLE PER ELECTRICAL PLAN.
- 25 PROVIDE CONCRETE WITH BROOM FINISH. MIN 5' WIDE.
- 26 CURB OPENING PER GRADING PLANS.
- 27 INSTALL GREASE INTERCEPTOR PER MEP AND UTILITY PLANS.
- 28 PROPOSED MONUMENT SIGN.
- 29 MODIFIED SIDEWALK AT DRIVEWAY PER CITY OF MESA STD. DETAIL M-042. SIDEWALK EASEMENT TO BE DEDICATED.
- 30 SIGHT LINE PER CITY OF MESA REQUIREMENT.
- 31 NEW PAVEMENT LIMIT.
- 32 PROVIDE CONCRETE WHEELSTOP PER DET. 6/C2.10.

PROPOSED LEGEND:

- PROPERTY LINE
- VERTICAL CURB
- CURB AND GUTTER
- SITE WALL
- PARKING COUNT
- PAVEMENT STRIPING
- EXISTING FIRE HYDRANT
- TRANSFORMER



S/T/R
35 1N 5E

VICINITY MAP
N.T.S.

SITE PLAN NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- IF APPLICABLE, PEDESTRIAN ACCESS ROUTES ARE PROVIDED IN COMPLIANCE WITH THE LATEST ADA STANDARDS. ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS, 2% MAX CROSS SLOPES, AND 5% MAXIMUM LONGITUDINAL SLOPES. TRUNCATED DOMES, AS DETECTABLE WARNINGS, ARE REQUIRED, AS SHOWN IN PLANS, ON ALL SITE RAMPS AND WALKS THAT CROSS A VEHICULAR WAY PER ADAG CHAPTER 7.
- PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS, AND RAILINGS, AS NECESSARY.
- ALL SIGNAGE REQUIRES SEPARATE APPROVAL AND PERMITS.
- A MINIMUM 6-FOOT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPELINES WILL BE MAINTAINED.
- OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.
- CURBS AND SCREEN WALL TO BE COORDINATED WITH UNDERGROUND STORAGE RISERS, PENDING DECISIONS ON SYSTEM REMOVAL.

DEVELOPMENT SUMMARY TABLE

PROJECT ADDRESS: 1140 E BASELINE RD, MESA, AZ 85204
PROJECT DESCRIPTION PROPOSED WHATABURGER W/ DRIVE THRU

DEVELOPMENT INFORMATION:

APN:	139-11-001N		
ZONING:	LI		
LOT SIZE:	76,580	SF	1.76 AC
PROPOSED LOT SIZE	76,580	SF	1.76 AC
PROPOSED USE:	RESTAURANT W/ DRIVE THROUGH		
CONSTRUCTION TYPE:	VB		

BUILDING AREA			
PREP:	1,516	SF	
DINING:	2,235	SF	
EXISTING CANOPY AREA:	3,195	SF	
TOTAL BUILDING AREA:	6,946	SF	
BUILDING HEIGHT:	MAX.	40	FT.
	PROPOSED	22	FT.
EXISTING CANOPY HT.	MAX.	18	FT.
BUILDING SETBACKS		REQUIRED	PROVIDED
- FRONT (BASELINE ROAD):		15 FT.	52 FT
- INTERNAL SIDE (WEST):		20 FT.	61 FT
- INTERNAL SIDE (EAST):		NONE	32 FT.
- REAR (NORTH):		20 FT.	20 FT.
LANDSCAPE YARDS		REQUIRED	PROVIDED
- FRONT (BASELINE ROAD):		15 FT.	16 FT.
- INTERNAL SIDE (WEST):		15 FT.	36 FT.
- INTERNAL SIDE (EAST):		15 FT.	14 FT.
- REAR (NORTH):		15 FT.	18 FT.
PARKING		REQUIRED	PROVIDED
- MIN. PARKING:	3,735 SF/100 SF	38	48
- MAX. PARKING:	125% X 38	48	48
- ADA PARKING:		2	2
- BICYCLE PARKING	1 PER 10 SPACES	5	5
LOT COVERAGE		REQUIRED	PROVIDED
- MAX BUILDING COVERAGE:		50%	9.1%
- MIN LANDSCAPE AREA COVERAGE		10%	36%

PRELIMINARY
NOT FOR
CONSTRUCTION

SUSTAINABILITY
ENGINEERING
GROUP

SEG



PROJECT
RESTAURANT WITH DRIVE THRU

LOCATION
1140 E BASELINE RD,
MESA AZ 85204

DRAWN	IC	12/07/2021
DESIGNED	IC	12/07/2021
QC	SC	12/07/2021
FINAL QC	SO	12/07/2021
PROJ. MGR.	AF	12/07/2021

DATE: 12/07/2021

ISSUED FOR:

NOTIFICATION LETTER

REVISION NO.:	DATE:
1	
2	
3	
4	

JOB NO.: 210505

SHEET TITLE:

SITE PLAN

SHEET NO.:

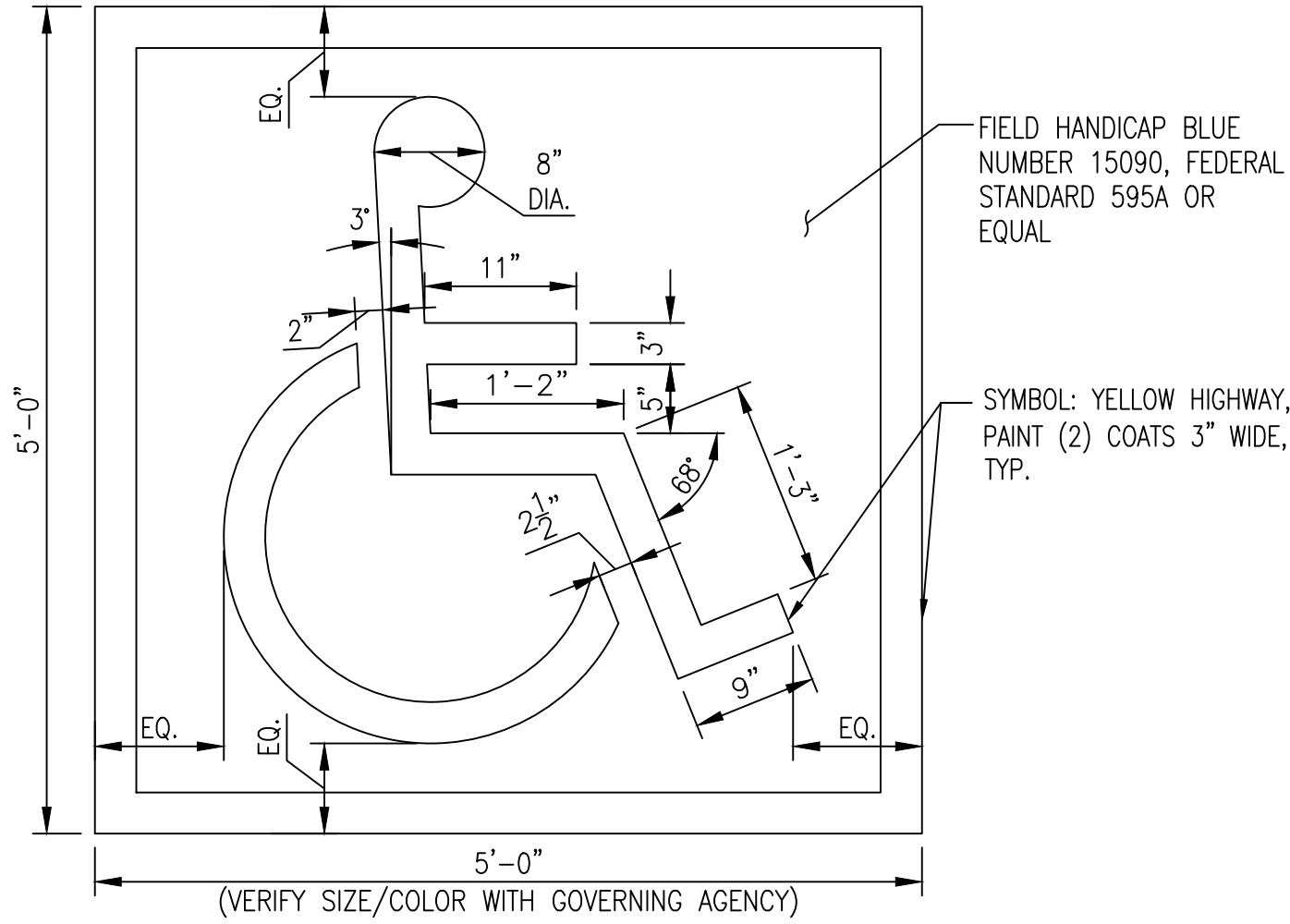
C2.00

DATE: 12/8/2021

LOCATION: Z:\SHARED\PROJECTS\WHATABURGER MESA - NWC STAPLEY & BASELINE RD - 210505\11 CAD (SEG)\11.4 CD\11.4 CD\210505-C2.00.DWG SAVED BY: GABRIEL ARANDA

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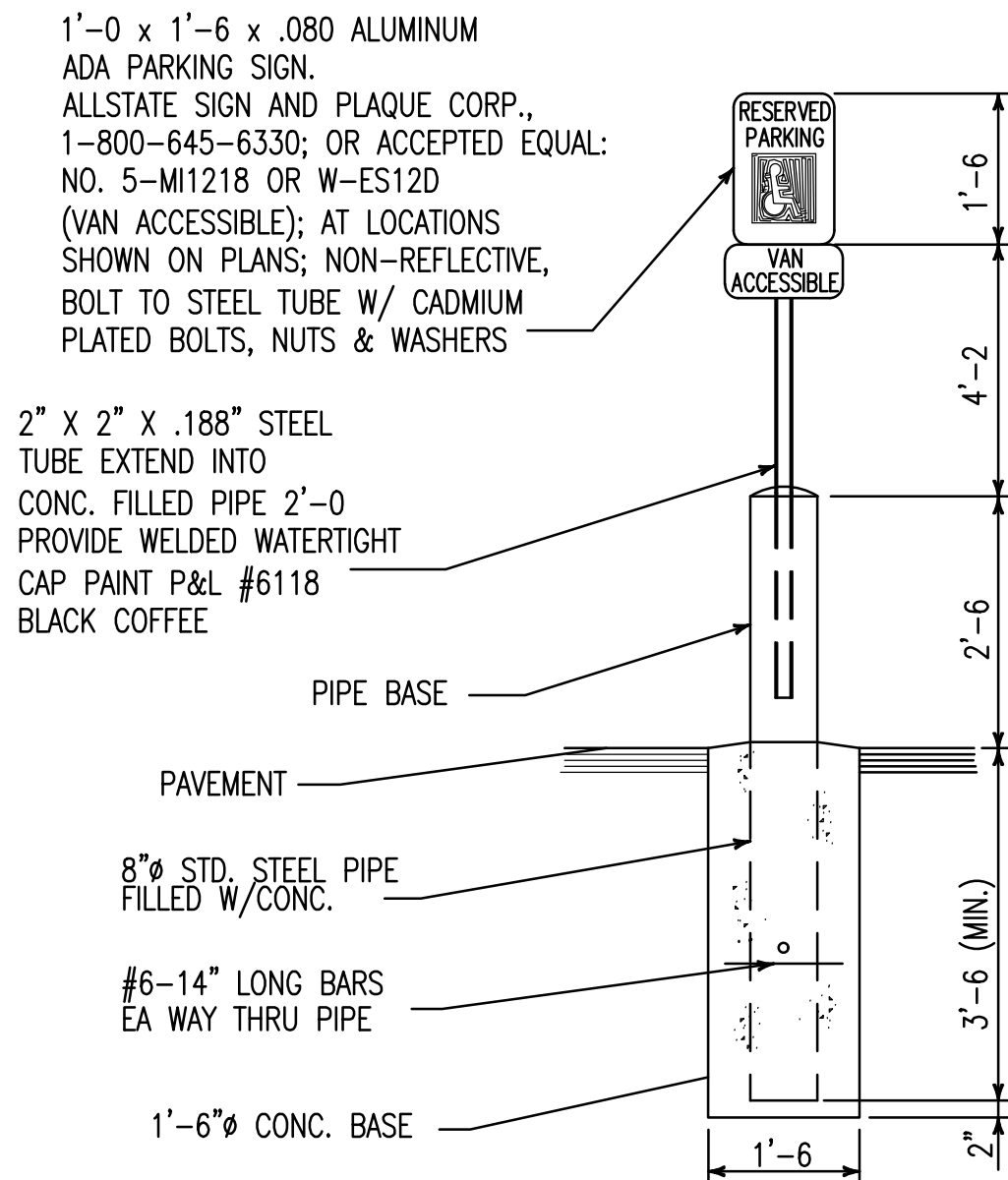
ZON21-00987/DR821-00988



SYMBOL OF ACCESSIBILITY



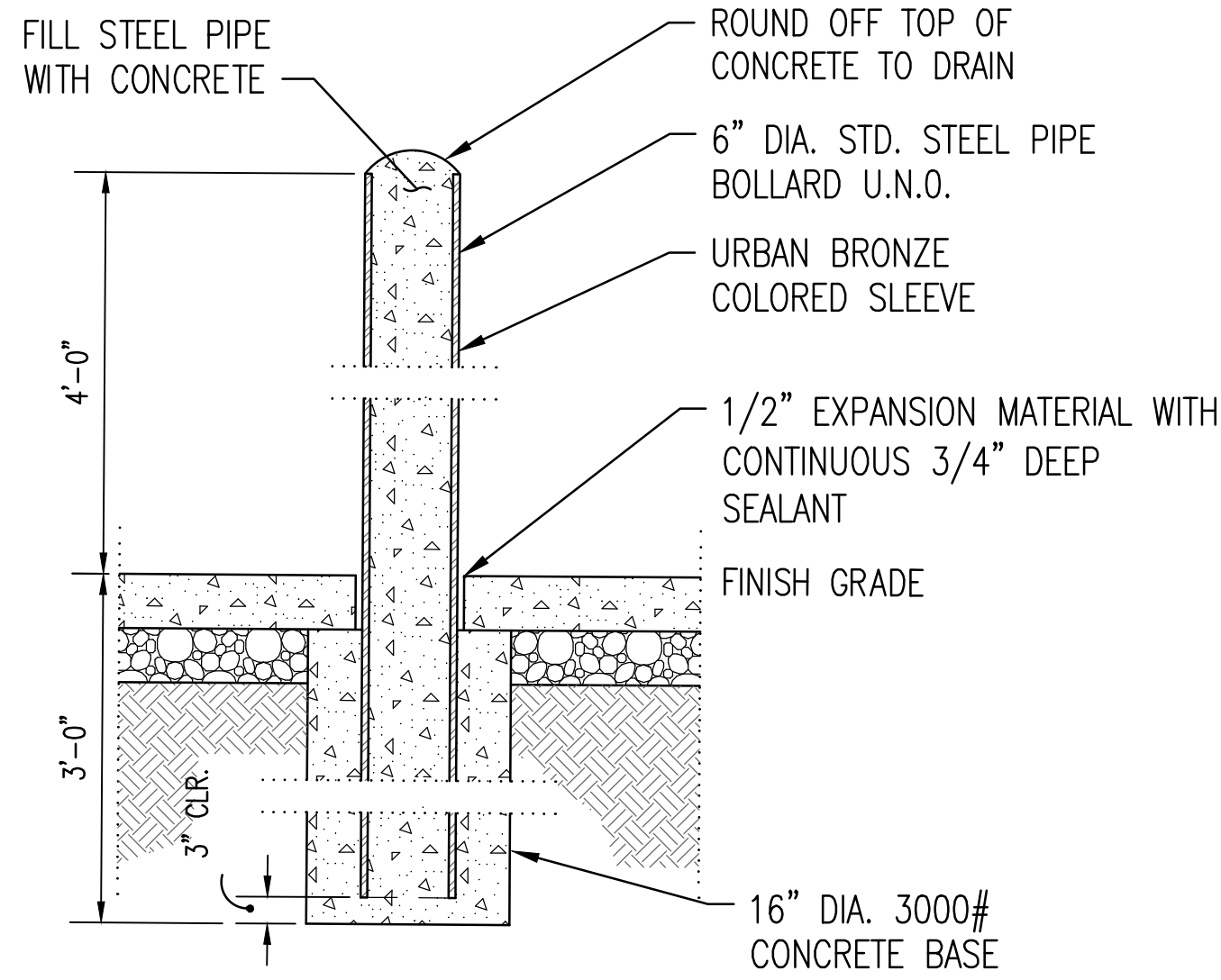
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ACCESSIBLE PARKING SIGN



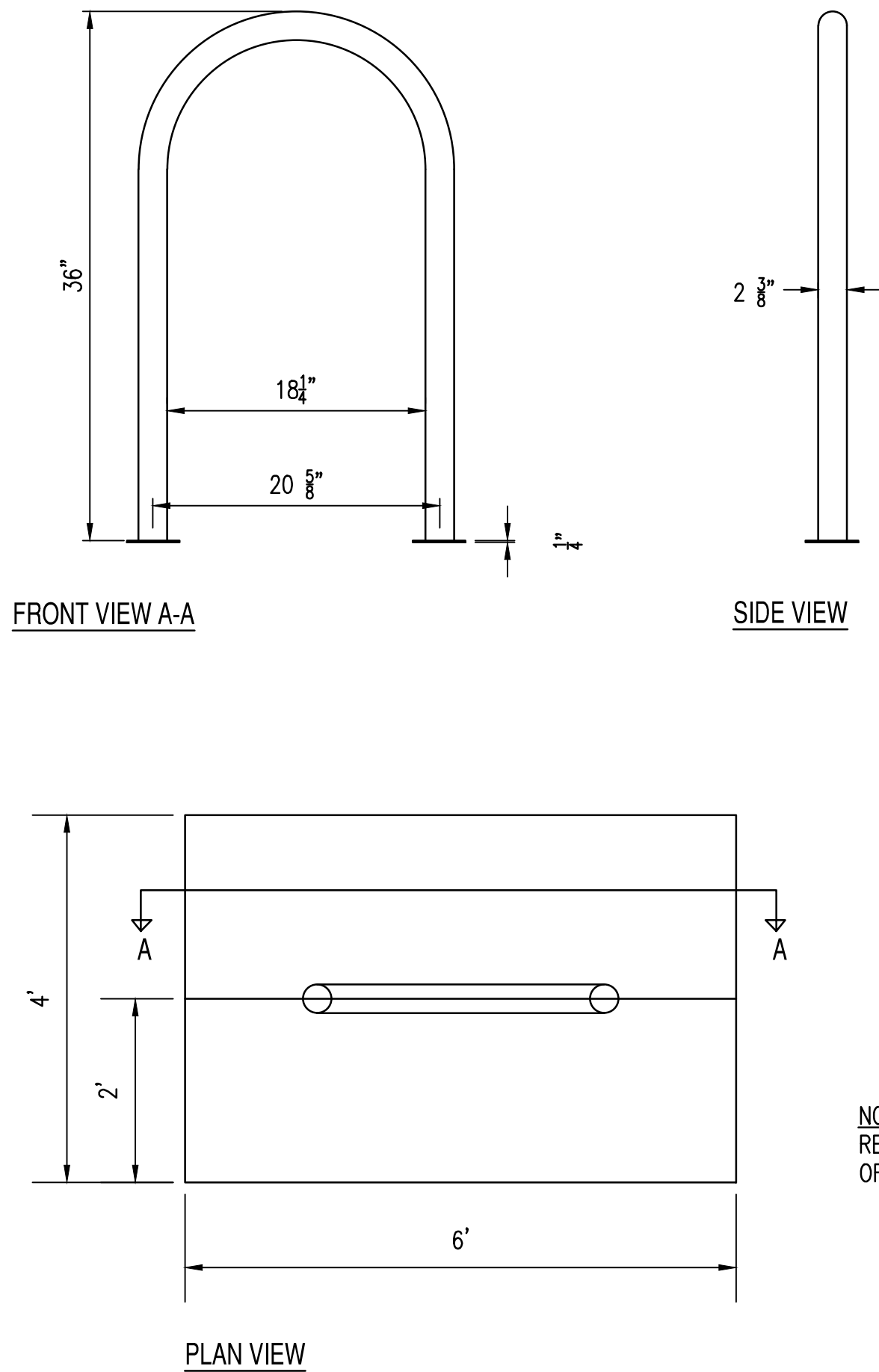
2



STEEL PIPE BOLLARD IN CONCRETE
N.T.S.



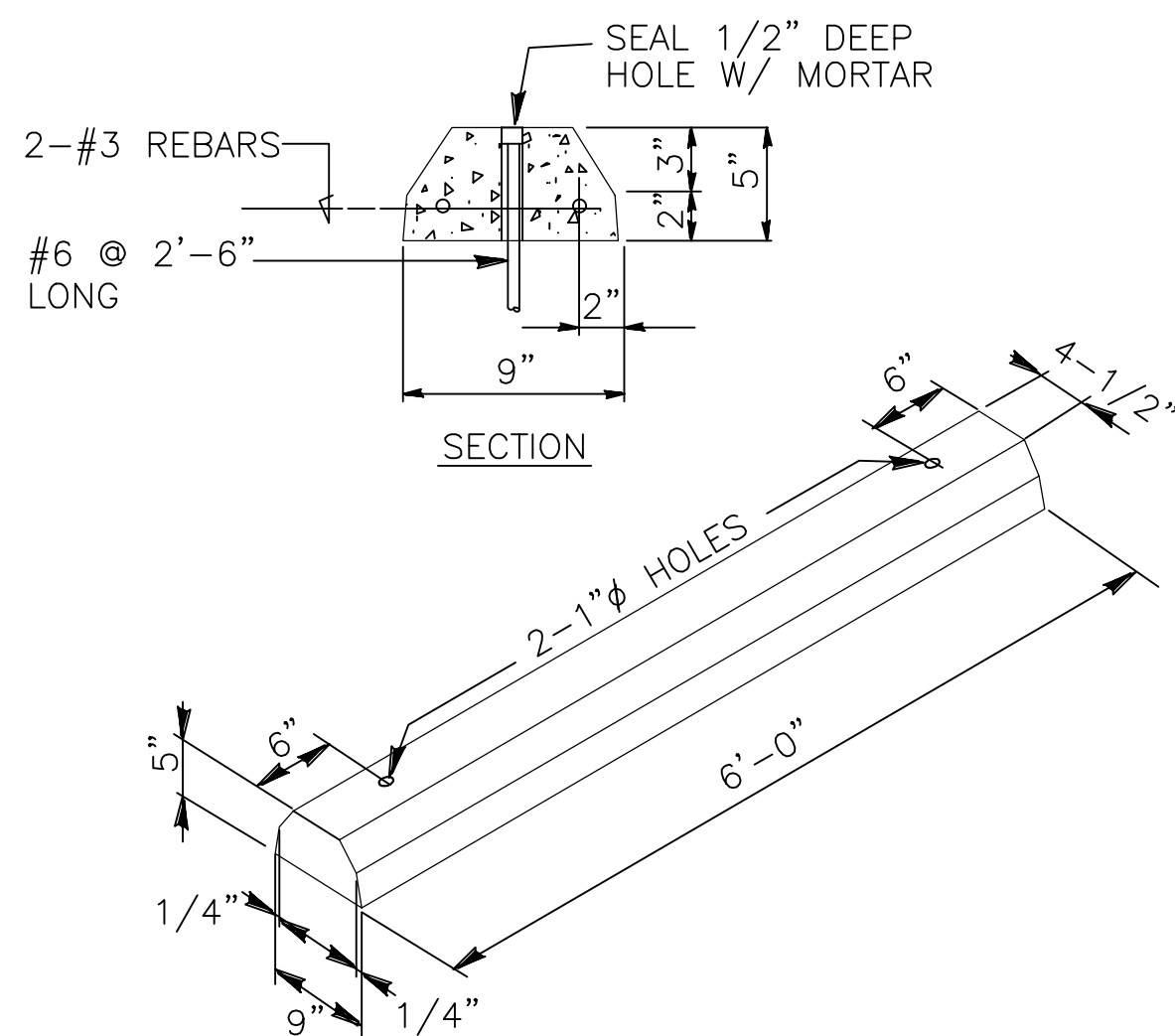
3



BICYCLE RACK DETAIL
N.T.S.



5



PRECAST CONCRETE WHEEL STOP
N.T.S.



6

NOT USED



4

PRELIMINARY
NOT FOR
CONSTRUCTION

SUSTAINABILITY
ENGINEERING
GROUP

SEG



8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEG.COM TEL. 480.588.7226 FAX. 480.259.3534



PROJECT
RESTAURANT WITH DRIVE THRU

DRAWN
DESIGNED
QC
FINAL QC
PROJ. MGR.

DATE:

ISSUED FOR:

NOTIFICATION LETTER

REVISION NO.:

DATE:

JOB NO.:

SHEET TITLE:

210505

12/07/2021

1140 E BASELINE RD,
MESA AZ 85204

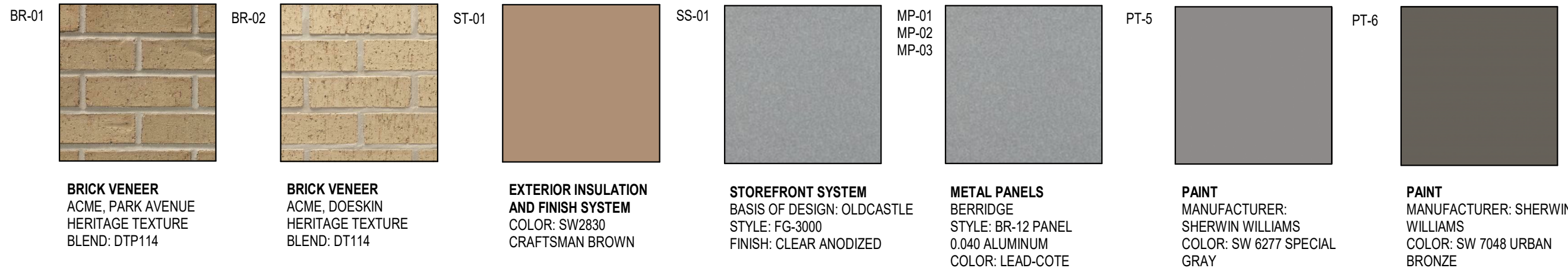
IC 12/07/2021
IC 12/07/2021
SC 12/07/2021
SO 12/07/2021
AF 12/07/2021

NOT USED

C2.10

Z:\Shared\PROJECTS\Whataburger\Mesa - NWC Stapley & Baseline Rd - 210205111 CAD (SEG)\11.4 CD's\RevitModel\PT20M 210505_ARCH.rvt

MATERIAL TEXTURES



NOTES

1. EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.

KEYNOTES

163	TPO MEMBRANE ROOFING SYSTEM, RE: A1/A5.3
203	MP-01: PRE-FINISHED CORRUGATED METAL PANEL
204	MP-02: PRE-FINISHED METAL FLASHING
205	BR-01: PARK AVENUE BRICK VENEER
206	BR-02: DOESKIN BRICK VENEER
207	ST-01: EIFS SW2835 CRAFTSMAN BROWN
208	MC-01: PRE-FINISHED METAL COPING
209	SS-01: ALUMINUM STOREFRONT SYSTEM
210	PRE-FINISHED DRIVE-THRU CANOPY
211	ENTRY PORTAL CANOPY, PAINT PT-5
213	SERVICE DOOR CANOPY, PAINT PT-5
214	SUN SHADE CANOPY, SEE A6.9
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
218	DOWNSPOUT FROM ROOF DRAIN, LAMBS TONGUE DISCHARGE AT 12" ABOVE FINISH GRADE, COLOR TO MATCH PT-5, RE:B3/A5.4
219	OVERFLOW SCUPPER
221	DRIVE-THRU WINDOW
222	GUARDRAIL, RE:D6/A6.8
229	MP-03: ROOF SCREEN WALL, RE: STRUCTURAL
231	MASONRY EXPANSION JOINT
232	FIRE DEPARTMENT CONNECTION, RE: FIRE PROTECTION
233	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
234	RTU, RE: MECHANICAL
236	RISER ROOM SIGN (PER 2015 IFC CHAPTER 5 - APPROVED SIGNS SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALL AND READILY VISIBLE. LETTERS SHALL BE A MINIMUM OF 2" WITH A MINIMUM 3/8" STROKE, THE COLORS OF THE LETTERS SHALL BE CONTRASTING WITH RESPECT TO BACKGROUND.
237	BUILDING ADDRESS 6" HIGH WHITE VINYL NUMBERS WITH 1" STROKE, 10' A.F.G.
238	GENERAL CONTRACTOR SHALL PROVIDE A KNOX BOX PER JURISDICTIONAL REQUIREMENTS, LOCATION TO BE VERIFIED PRIOR TO CONSTRUCTION.
239	EMERGENCY STEP LIGHT, RE: ELECTRICAL
240	DASHED LINE INDICATES TOP OF DECK.
241	PAINT (PT-5) EXTERIOR DOORS.

EXTERIOR MATERIAL SCHEDULE

GL-01
VISION GLASS
BASIS OF DESIGN: VIRACON VUE1-30
SHADING COEFFICIENT (SC): .20
EXTERIOR REFLECTION: 19%
SOLAR HEAT GAIN COEFFICIENT (SHGC): .18
U-FACTOR: .26

GL-03
OPAQUE GLASS
BASIS OF DESIGN: VIRACON V948

SS-01
STOREFRONT SYSTEM
BASIS OF DESIGN: OLDCASTLE
STYLE: FG-3000
FINISH: CLEAR ANODIZED

MP-01
METAL PANEL
MANUFACTURER: BERRIDGE
STYLE: BR-12 PANEL
0.040 ALUMINUM
COLOR: LEAD-COTE

MP-02
PREFINISHED METAL
FLASHING 0.050" THICK
COLOR: LEAD-COTE
TO MATCH MP-01

MP-03
METAL PANEL
MANUFACTURER: BERRIDGE
STYLE: BR-12 PANEL
0.040 ALUMINUM
COLOR: LEAD-COTE

BR-01
BRICK
MANUFACTURER: ACME
STYLE: UTILITY
SIZE: 4" x 4" x 12"
COLOR: PARK AVENUE

BR-02
BRICK
MANUFACTURER: ACME
STYLE: UTILITY
SIZE: 4" x 3" x 10"
COLOR: DOESKIN

ST-01
EXTERIOR INSULATION AND FINISH SYSTEM
COLOR: SW 2830 CRAFTSMAN BROWN

MO-01
MORTAR
MANUFACTURER: AHI
COLOR: VANILLA-N

MC-01
METAL COPING
MANUFACTURER: BERRIDGE
STYLE: SHADOWLINE COPING
REVEAL COPING
COLOR: LEADCOTE

PT-5
PAINT
BASIS OF DESIGN:
MANUFACTURER: SHERWIN WILLIAMS
STYLE: SW 6277 SPECIAL GRAY
SHEEN: FLAT

MS-01
METAL SOFFIT
MANUFACTURER: BERRIDGE
STYLE: HS-8
FINISH: PRE-FINISHED TO MATCH PT-5

PROJECT: 210505

WHATABURGER PT20M
NWC S. STAPLEY & E. BASELINE
1140 E. BASELINE RD.
CITY OF MESA, AZ



8280 E. GELDING DR #101,
SCOTTSDALE, AZ 85280
WWW.AZSEG.COM
TEL. 480.588.7228

WHATABURGER

300 CONCORD PLAZA DR.
SAN ANTONIO, TEXAS.
210-476-6000 ZIP 78216.

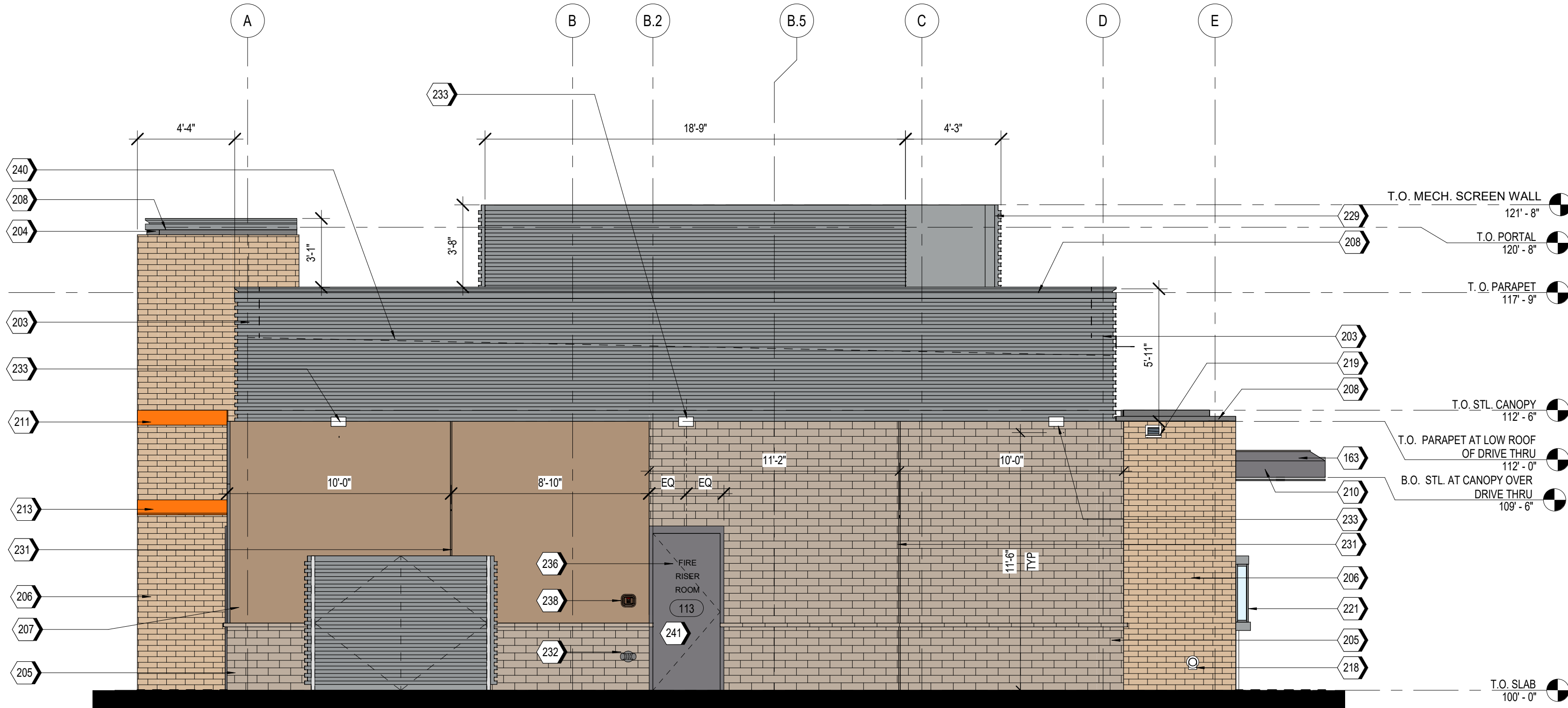
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WITHOUT THE EXPRESSED WRITTEN
CONSENT OF WHATABURGER

SHEET TITLE:
EXTERIOR
ELEVATIONS - COLOR

ISSUED FOR:
90% OWNER REVIEW

UNIT NO.
DATE: 12/07/2021
SCALE: As indicated
DRAWN BY: EG
CHECKED BY: BH

SHEET NO:
A2.3

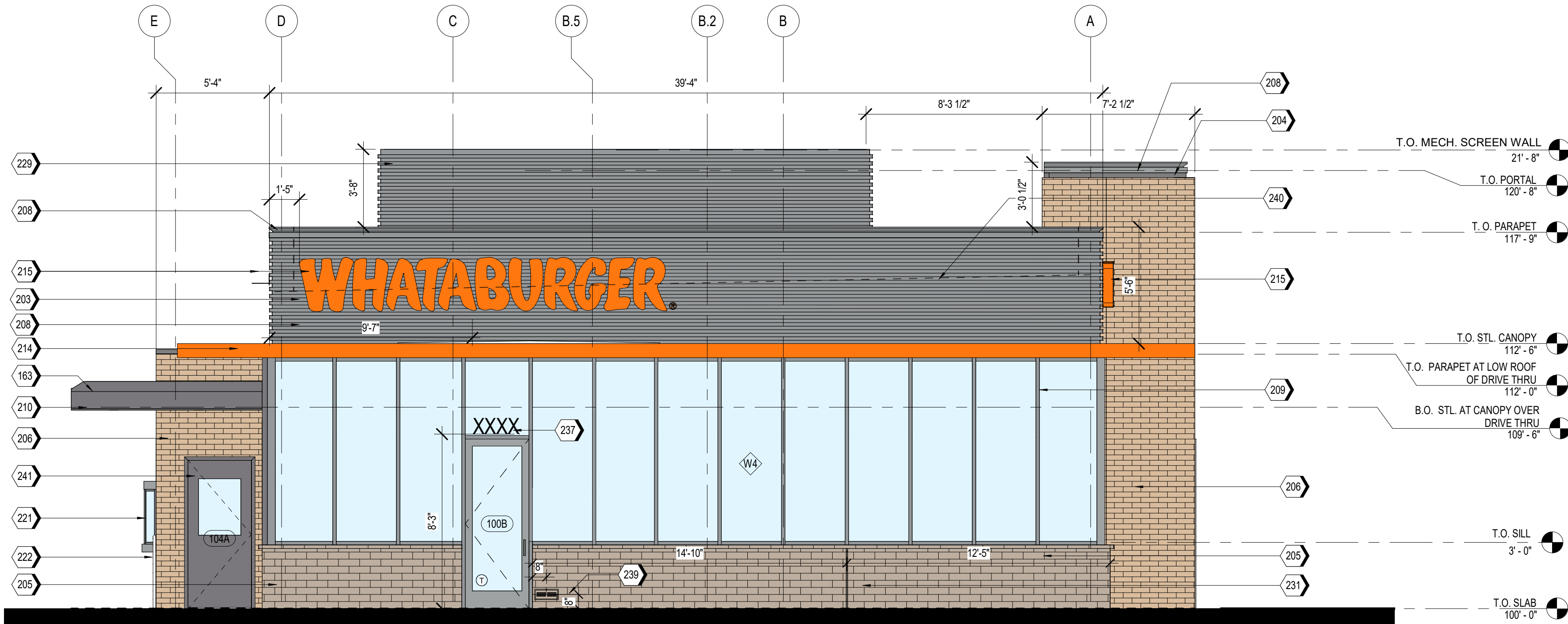


NORTH ELEVATION

Material	Area (SF)	% of Total
Brick (Park Avenue)	286.06	41.37%
EIFS (Craftsman Brown)	169.49	24.51%
Metal Panel	235.94	34.12%
	691.49	100%

A2 NORTH ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

Material	Area (SF)	% of Total
Brick (Park Avenue)	109.71	16.04%
Metal Panel	242.49	35.45%
Storefront	331.76	48.51%
	683.96	100%

A1 SOUTH ELEVATION

1/4" = 1'-0"

MATERIAL TEXTURES

BR-01

BRICK VENEER
ACME, PARK AVENUE
HERITAGE TEXTURE
BLEND, DTP114

BR-02

BRICK VENEER
ACME, DOESKIN
HERITAGE TEXTURE
BLEND, DT114

ST-01

EXTERIOR INSULATION
AND FINISH SYSTEM
COLOR: SW2830
CRAFTSMAN BROWN

SS-01

STOREFRONT SYSTEM
BASIS OF DESIGN: OLDCASTLE
STYLE: FG-3000
FINISH: CLEAR ANODIZED

MP-01
MP-02
MP-03

METAL PANELS
BERRIDGE
STYLE: BR-12 PANEL
0.040 ALUMINUM
COLOR: LEAD-COTE

PT-5

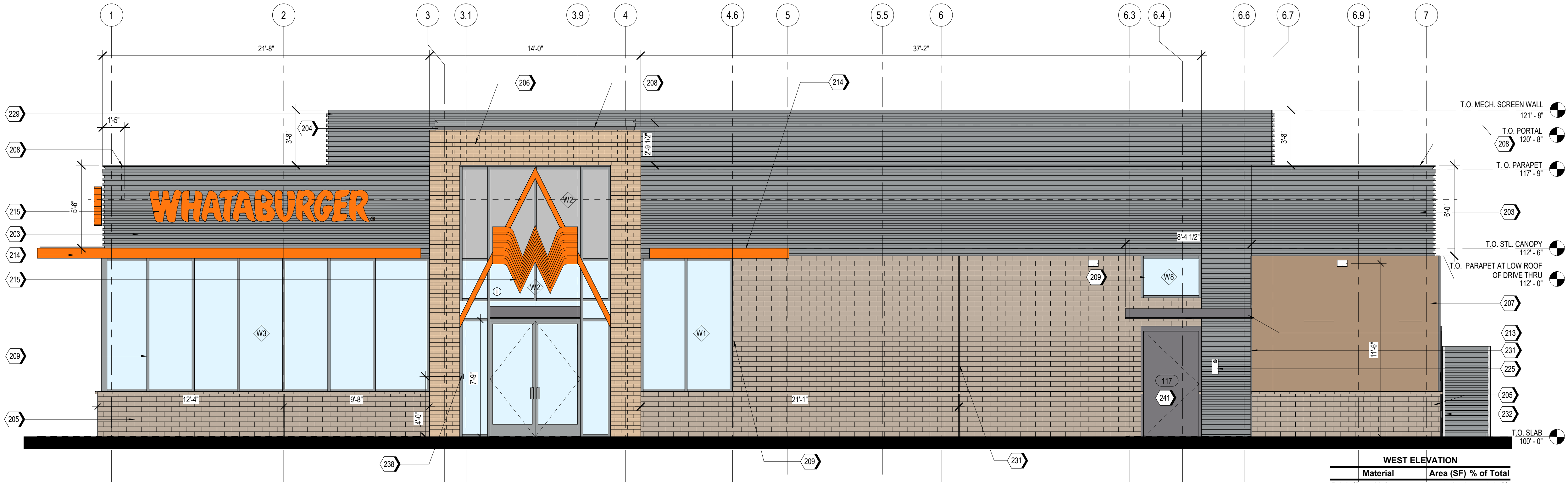
PAINT
MANUFACTURER:
SHERWIN WILLIAMS
COLOR: SW 6277 SPECIAL
GRAY

PT-6

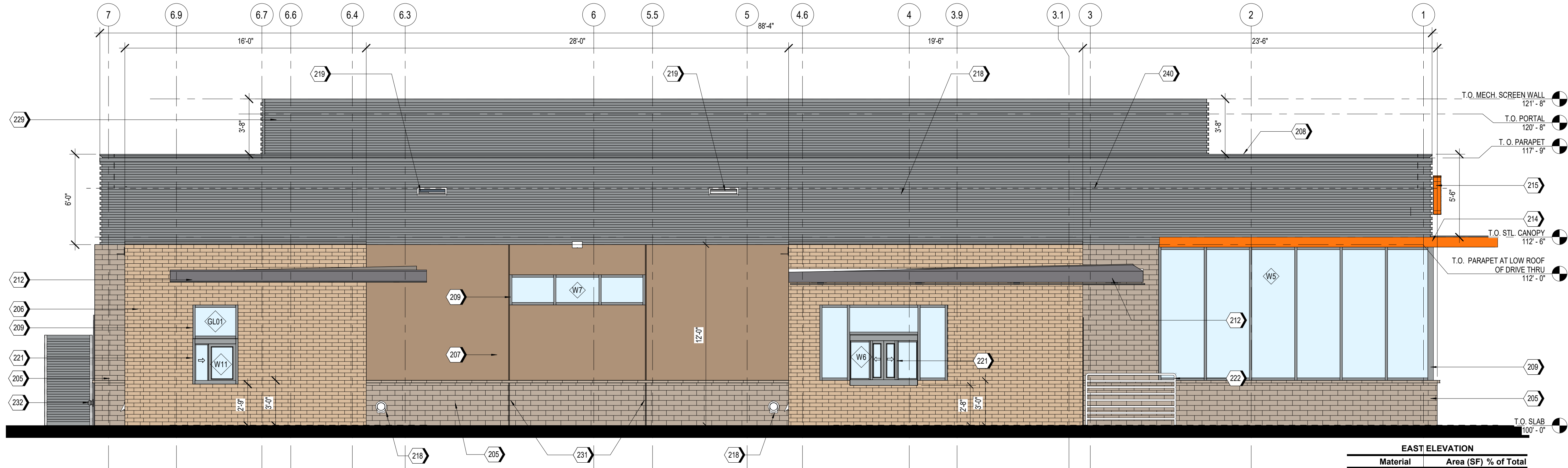
PAINT
MANUFACTURER: SHERWIN
WILLIAMS
COLOR: SW 7048 URBAN
BRONZE

NOTES

1. EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.



A2 WEST ELEVATION
SCALE 1/4" = 1'-0"



A1 EAST ELEVATION
SCALE 1/4" = 1'-0"

KEYNOTES

203	MP-01: PRE-FINISHED CORRUGATED METAL PANEL
204	MP-02: PRE-FINISHED METAL FLASHING
205	BR-01: PARK AVENUE BRICK VENEER
206	BR-02: DOESKIN BRICK VENEER
207	ST-01: EIFS SW2835 CRAFTSMAN BROWN
208	MC-01: PRE-FINISHED METAL COPING
209	SS-01: ALUMINUM STOREFRONT SYSTEM
212	DRIVE-THRU DOOR CANOPY, PAINT PT-5
213	SERVICE DOOR CANOPY, PAINT PT-5
214	SUN SHADE CANOPY, SEE A6.9
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
218	DOWNSPOUT FROM ROOF DRAIN, LAMBS TONGUE DISCHARGE AT 12" ABOVE FINISH GRADE, COLOR TO MATCH PT-5, RE B3/A5.4
219	OVERFLOW SCUPPER
221	DRIVE-THRU WINDOW
222	GUARDRAIL, RE D6/A6.8
225	STAINLESS STEEL GREASE SHIELD W/ 2 1/2" HOLE THROUGH WALL FOR GREASE TANK
229	MP-03: ROOF SCREEN WALL, RE: STRUCTURAL
231	MASONRY EXPANSION JOINT
232	FIRE DEPARTMENT CONNECTION, RE: FIRE PROTECTION
238	GENERAL CONTRACTOR SHALL PROVIDE A KNOX BOX PER JURISDICTIONAL REQUIREMENTS, LOCATION TO BE VERIFIED PRIOR TO CONSTRUCTION.
240	DASHED LINE INDICATES TOP OF DECK.
241	PAINT (PT-5) EXTERIOR DOORS.

EXTERIOR MATERIAL SCHEDULE

GL-01	VISION GLASS BASIS OF DESIGN: VIRACON VUE1-30 SHADING COEFFICIENT (SC): .20 EXTERIOR REFLECTION: 18% SOLAR HEAT GAIN COEFFICIENT (SHGC): .18 U-FACTOR: .26
GL-03	OPAQUE GLASS BASIS OF DESIGN: VIRACON V948
SS-01	STOREFRONT SYSTEM BASIS OF DESIGN: OLDCASTLE STYLE: FG-3000 FINISH: CLEAR ANODIZED
MP-01	METAL PANEL MANUFACTURER: BERRIDGE STYLE: BR-12 PANEL 0.040 ALUMINUM COLOR: LEAD-COTE
MP-02	PREFINISHED METAL FLASHING 0.050" THICK COLOR: LEAD-COTE TO MATCH MP-01
MP-03	METAL PANEL MANUFACTURER: BERRIDGE STYLE: BR-12 PANEL 0.040 ALUMINUM COLOR: LEAD-COTE
BR-01	BRICK MANUFACTURER: ACME STYLE: UTILITY SIZE: 4" x 4" x 12" COLOR: PARK AVENUE
BR-02	BRICK MANUFACTURER: ACME STYLE: UTILITY SIZE: 4" x 3" x 10" COLOR: DOESKIN
ST-01	EXTERIOR INSULATION AND FINISH SYSTEM COLOR: SW 2830 CRAFTSMAN BROWN
MO-01	MORTAR MANUFACTURER: AHI COLOR: VANILLA-N
MC-01	METAL COPING MANUFACTURER: BERRIDGE STYLE: SHADOWLINE COPING REVEAL COPING COLOR: LEADCOTE
PT-5	PAINT BASIS OF DESIGN: MANUFACTURER: SHERWIN WILLIAMS STYLE: SW 6277 SPECIAL GRAY SHEEN: FLAT
MS-01	METAL SOFFIT MANUFACTURER: BERRIDGE STYLE: HS-8 FINISH: PRE-FINISHED TO MATCH PT-5

PROJECT: 210505
WHATABURGER PT20M
NWC S. STAPLEY & E. BASELINE
1140 E. BASELINE RD.
CITY OF MESA, AZ



8280 E. GELDING DR #101,
SCOTTSDALE, AZ 85280
WWW.AZSEG.COM
TEL. 480.588.7228

WHATABURGER

300 CONCORD PLAZA DR.
SAN ANTONIO, TEXAS.
210-476-6000 ZIP 78216.

THIS DRAWING IS THE PROPERTY OF
WHATABURGER. SAN ANTONIO,
TEXAS AND MAY NOT BE USED OR
REPRODUCED IN WHOLE OR IN PART
WITHOUT THE EXPRESSED WRITTEN
CONSENT OF WHATABURGER

SHEET TITLE:
EXTERIOR
ELEVATIONS - COLOR

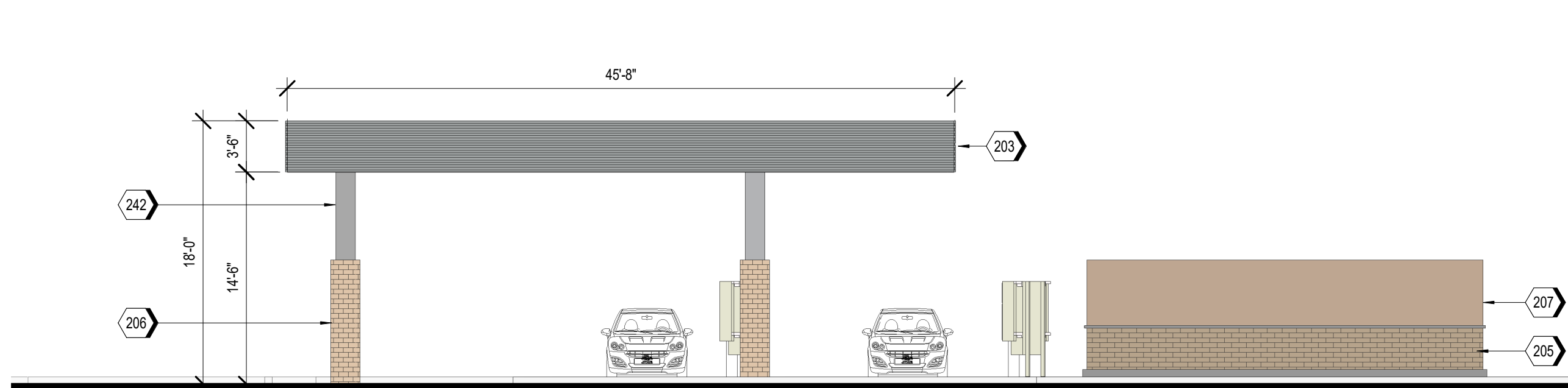
ISSUED FOR:
90% OWNER REVIEW

UNIT NO.
DATE: 09/30/2021
SCALE: As indicated
DRAWN BY: EG
CHECKED BY: BH

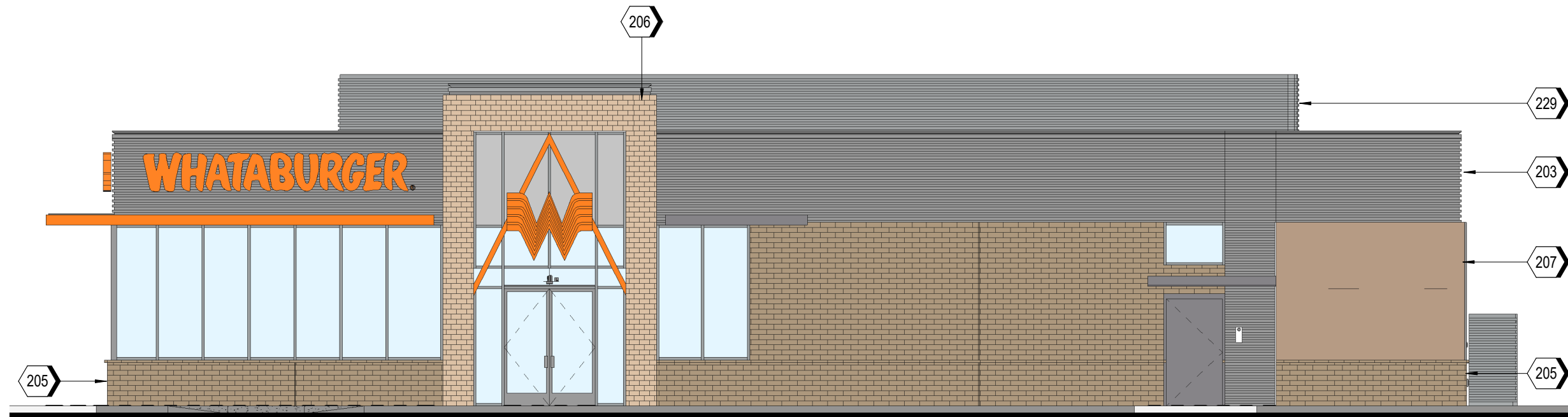
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A2.4



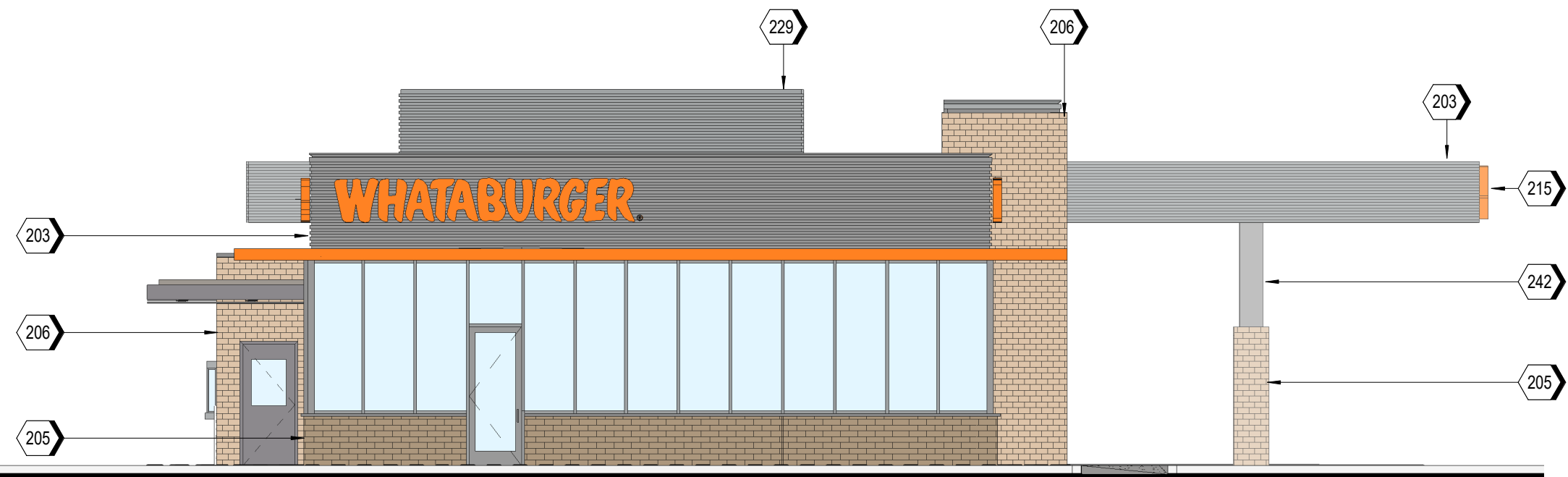
Z:\Shared\PROJECTS\Whataburger\Mesa - NWC Stapley & Baseline Rd - 21050511 CAD (SEG)\11.4 CD's\RevitModel\PT20M 210505_ARCH (For renderings).rvt



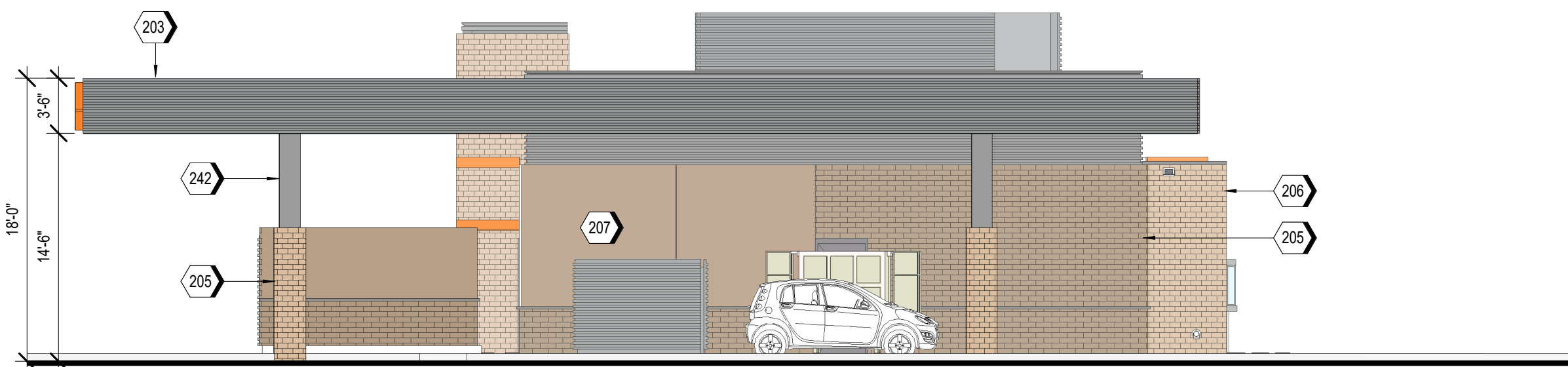
1 WEST ELEVATION
SCALE 1/8" = 1'-0"



2 EAST ELEVATION
SCALE 1/8" = 1'-0"



3A SOUTH ELEVATION
SCALE 1/8" = 1'-0"



City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

Date: 12/28/21

I, Meghan Liggett, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to case # ZON21-00987, on NWC Baseline Rd and Stapley Dr. The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

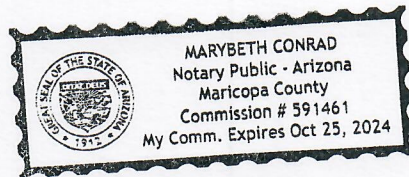
SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant's/Representative's signature:

Meghan Liggett

SUBSCRIBED AND SWORN before me on 12/28/21

Mary Beth Conrad
Notary Public



CITY OF MESA
PUBLIC NOTICE
ZONING HEARING

PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

TIME: 4:00 PM DATE: January 12, 2022
CASE: ZON21-00987

REQUEST: Site Plan Review. This request
will allow for the development of a
restaurant with a drive thru.

APPLICANT: Kevin Zenk, Sustainability
Engineering Group, LLC

PHONE: 480-237-2511
Planning Division 480-644-2385

Posting date: 12/28/2021

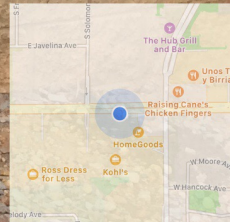




Exhibit 3
HOA/NOA Notification List
(Provided By City of Mesa)

Registered Neighborhoods and City of Mesa

Neighborhood Name	First Name	Last Name	St No	St Dir	St Name	St type	City	State
Kay Circle Neighbors	Deanna	Villanueva	1513	S	Kay	Cir	Mesa	AZ
Neighborgood	Julian	Ramirez	843	E	Garnet	Ave	Mesa	AZ
Casa Mesa	Delma	Dickerman	1238	S	Lesueur		Mesa	AZ
Casa Mesa	Jean	Decker	553	E	Glade	Ave	Mesa	AZ
Sunset Mesa	Felecia	Zahn	615	E	Glade		Mesa	AZ

HOA Name	Corp Comm Link
Suntree	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=013998
Woodbridge Crossing	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=015381

Zip Code

85204

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