

DEVELOPER

WHATABRANDS REAL ESTATE  
CONTACT: CINDY ESPINOZA  
300 CONCORD PLAZA DRIVE  
SAN ANTONIO, TX 78216  
PHONE: 210-476-6180  
EMAIL: CESPINOZA@WBHQ.COM

OWNER

STAPLEY & BASELINE LLC  
955 E JAVELINA  
AVE, STE B114  
MESA, AZ 85204

CIVIL ENGINEER

SUSTAINABILITY ENGINEERING GROUP  
8280 E. GELDING DR., SUITE 101  
SCOTTSDALE, ARIZONA 85260  
PHONE: 480-588-7226  
ATTN: ALI FAKIH

WHATABURGER

SITE PLAN

1140 E BASELINE RD, MESA, AZ 85204

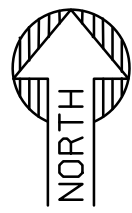
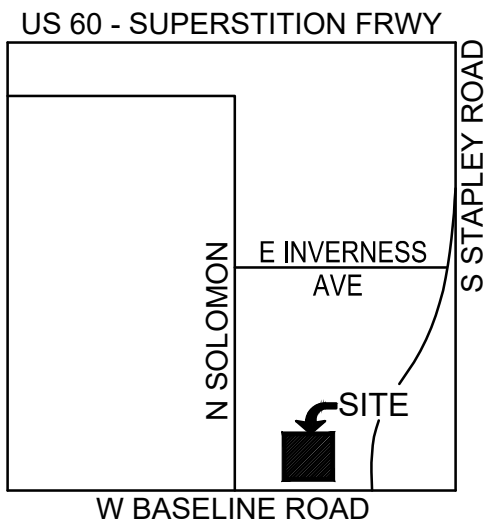
BENCHMARK

BENCHMARK IS A CITY OF MESA BRASS TAG ON TOP OF CURB, NORTHEAST CORNER OF THE INTERSECTION OF BASELINE ROAD AND STAPLEY ROAD.

ELEVATION: 1221.80' NAVD 88 (CITY OF MESA DATUM)

BASIS OF BEARING

THE BASIS OF BEARING AND ALL MONUMENTATION SHOWN HEREON IS BASED ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 35, T1N, R5E, USING A BEARING OF SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, AS SHOWN ON RECORD OF SURVEY, RECORDED IN BOOK 1586, PAGE 49, MARICOPA COUNTY RECORDS.



S/T/R  
35 1N 5E

VICINITY MAP  
N.T.S.

SITE PLAN KEYNOTES:

- 1A 6" VERTICAL CURB PER GRADING PLANS.
- 1B 6" CURB AND GUTTER PER GRADING PLANS.
- 1C TURNDOWN SLAB PER GRADING PLANS.
- 2 ACCESSIBLE RAMP PER GRADING PLANS.
- 2A LOADING ZONE RAMP PER GRADING PLANS.
- 3 CONCRETE SIDEWALK PER MAG STD. DET.230, WIDTH PER PLAN.
- 4 3' SCREEN WALL PER ARCHITECTURAL SHEET A6.6.
- 4B EXISTING SCREEN WALL.
- 5 TRASH ENCLOSURE PER ARCH. PLANS, SEE SHEET A6.6
- 6 PAINTED ADA SYMBOL PER DET 1/C2.10.
- 7 4" WIDE WHITE PAINTED STRIPING, TYP.
- 8 5' WIDE PEDESTRIAN PATHWAY WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C.
- 9 6" STEEL BOLLARDS
- 9A 6" LIT STEEL BOLLARDS.
- 10A HEAVY DUTY ASPHALT PAVEMENT PER CIVIL PLANS.
- 10B CONCRETE PAVEMENT PER GRADING PLANS FOR JOINT LAYOUT PLAN FOR CONCRETE PAVEMENT AND SIDEWALKS.
- 11 ACCESSIBLE PARKING SIGN PER DET. 2/C2.10.
- 12 DRIVE-THRU CLEARANCE BAR PER ARCHITECTURAL PLANS.
- 13 DRIVE-THRU MENU BOARD. PER DETAIL A2/A6.7
- 14 4' RESTAURANT CANOPY PER ARCHITECTURAL PLANS.
- 15 EXISTING FIRE HYDRANT.
- 16 28' HIGH FLAG POLE.
- 17 FREE STANDING MAILBOX BY G.C.
- 18 BIKE RACK (4 SPACES). PER DET. 5/C2.10.
- 19 PROPOSED FDC LOCATION.
- 20 CONCRETE ISLANDS NOSE, TYPICAL AT ISLANDS.
- 21 PLANTER. REFER TO LANDSCAPE PLANS.
- 22 GRANITE STRIPS. REFER TO LANDSCAPE PLANS FOR DETAIL.
- 23A EXISTING CANOPY.
- 23B MODIFIED CANOPY EDGE PER ARCH PLANS.
- 24 LIGHT POLE PER PHOTOMETRIC PLAN.
- 25 CONCRETE WITH BROOM FINISH. MIN 5' WIDE.
- 26 CURB OPENING PER GRADING PLANS.
- 27 GREASE INTERCEPTOR PER UTILITY PLANS.
- 28 PROPOSED MONUMENT SIGN.
- 29 MODIFIED SIDEWALK AT DRIVEWAY PER MESA STD. DETAIL M-042. SIDEWALK EASEMENT TO BE DEDICATED.

SITE PLAN NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- IF APPLICABLE, PEDESTRIAN ACCESS ROUTES ARE PROVIDED IN COMPLIANCE WITH THE LATEST ADA STANDARDS. ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS, 2% MAX CROSS SLOPES, AND 5% MAXIMUM LONGITUDINAL SLOPES. TRUNCATED DOMES, AS DETECTABLE WARNINGS, ARE REQUIRED, AS SHOWN IN PLANS, ON ALL SITE RAMPS AND WALKS THAT CROSS A VEHICULAR WAY PER ADAAG CHAPTER 7.
- PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS, AND RAILINGS, AS NECESSARY.
- ALL SIGNAGE REQUIRES SEPARATE APPROVAL AND PERMITS.
- A MINIMUM 6-FOOT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPELINES WILL BE MAINTAINED.
- OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.
- CURBS AND SCREEN WALL TO BE COORDINATED WITH UNDERGROUND STORAGE RISERS, PENDING DECISIONS ON SYSTEM REMOVAL.

DEVELOPMENT SUMMARY TABLE

PROJECT ADDRESS: 1140 E BASELINE RD, MESA, AZ 85204

PROJECT DESCRIPTION: PROPOSED WHATABURGER W/ DRIVE THRU

DEVELOPMENT INFORMATION:

APN:	139-11-001N		
ZONING:	LI		
LOT SIZE:	76,580 SF	1.76 AC	
PROPOSED LOT SIZE	76,580 SF	1.76 AC	
PROPOSED USE:	RESTAURANT W/ DRIVE THROUGH		
CONSTRUCTION TYPE:	VB		

BUILDING AREA

PREP:	1,516 SF		
DINING:	2,235 SF		
EXISTING CANOPY AREA:	3,195 sf		
TOTAL BUILDING AREA:	6,946 SF		
BUILDING HEIGHT:	MAX.	40 FT.	
	PROPOSED	22 FT.	
EXISTING CANOPY HT.	MAX.	18 FT.	

BUILDING SETBACKS

	REQUIRED	PROVIDED
- FRONT (BASELINE ROAD):	15 FT.	52 FT
- INTERNAL SIDE (WEST):	20 FT.	61 FT
- INTERNAL SIDE (EAST):	NONE	32 FT.
- REAR (NORTH):	20 FT.	20 FT.

LANDSCAPE YARDS

	REQUIRED	PROVIDED
- FRONT (BASELINE ROAD):	15 FT.	16 FT.
- INTERNAL SIDE (WEST):	15 FT.	36 FT.
- INTERNAL SIDE (EAST):	15 FT.	14 FT.
- REAR (NORTH):	15 FT.	18 FT.

PARKING

	REQUIRED	PROVIDED	
- MIN. PARKING:	3,735 SF/100 SF	38	
- MAX. PARKING:	125% X 38	48	48 TOTAL
- ADA PARKING:		2	2
- BICYCLE PARKING	1 PER 10 SPACES	4	4

LOT COVERAGE

	REQUIRED	PROVIDED
- MAX BUILDING COVERAGE:	50%	9.1%
- MIN LANDSCAPE AREA COVERAGE	10%	36%

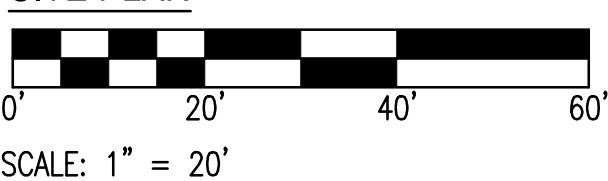
PROPOSED LEGEND:

- PROPERTY LINE
- VERTICAL CURB
- CURB AND GUTTER
- SITE WALL
- PARKING COUNT
- PAVEMENT STRIPING
- EXISTING FIRE HYDRANT
- TRANSFORMER

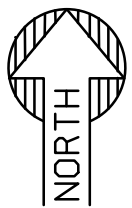
- CONCRETE PAVEMENT/SIDEWALK
- HEAVY DUTY PAVEMENT
- LIGHT DUTY PAVEMENT
- CONCRETE WITH BROOM FINISH
- ACCESSIBLE PEDESTRIAN PATH

35'/55' FIRE ACCESS TURN RADIUS

SITE PLAN



SE CORNER SECTION 35  
T1N, R5E  
CALCULATED POSITION



S 1/4 CORNER SECTION 35  
T1N, R5E  
FD BRASS CAP IN HANHOLE

LOCATION: Z:\SHARED\PROJECTS\WHATABURGER MESA - NWC STAPLEY & BASELINE RD - 210505\11 CAD (SEG)\11.4 CD\S\CD210505-C2.00.DWG SAVED BY: KEVIN.ZENK DATE: 11/23/2021

PRELIMINARY  
NOT FOR  
CONSTRUCTION

SUSTAINABILITY  
ENGINEERING  
GROUP

SEG



PROJECT  
RESTAURANT WITH DRIVE THRU

LOCATION  
1140 E BASELINE RD,  
MESA AZ 85204

DRAWN	IC	11/19/2021
DESIGNED	LR	11/19/2021
QC	SC	11/18/2021
FINAL QC	KZ	11/23/2021
PROJ. MGR.	AF	11/19/2021

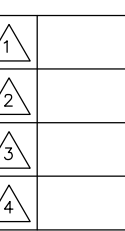
DATE: 11/23/2021

ISSUED FOR:

2ND SITE PLAN/DR REVIEW

REVISION NO.:

DATE:



JOB NO.:

210505

SHEET TITLE:

SITE PLAN

PAGE NO.:

1 OF 2

SHEET NO.:

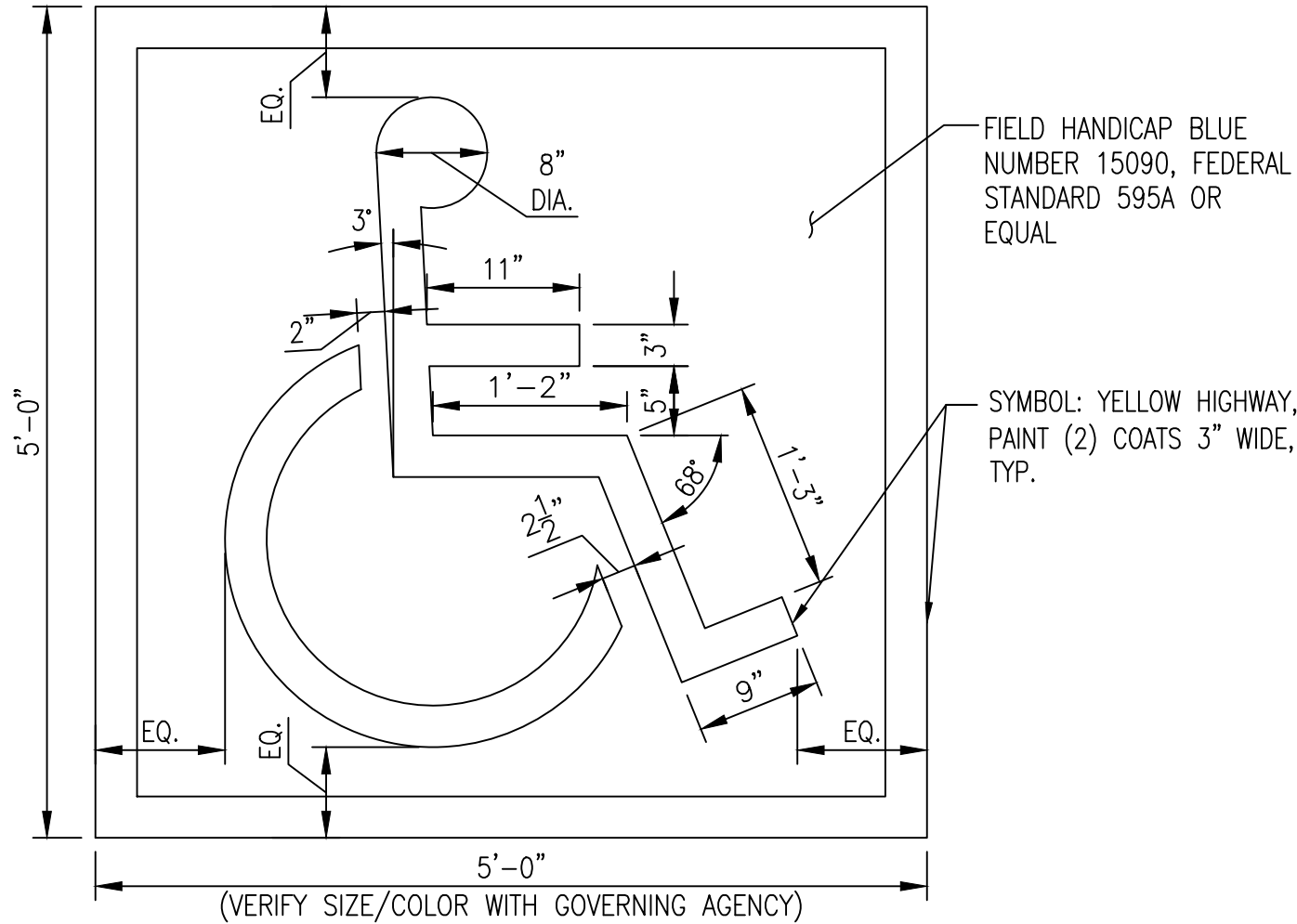
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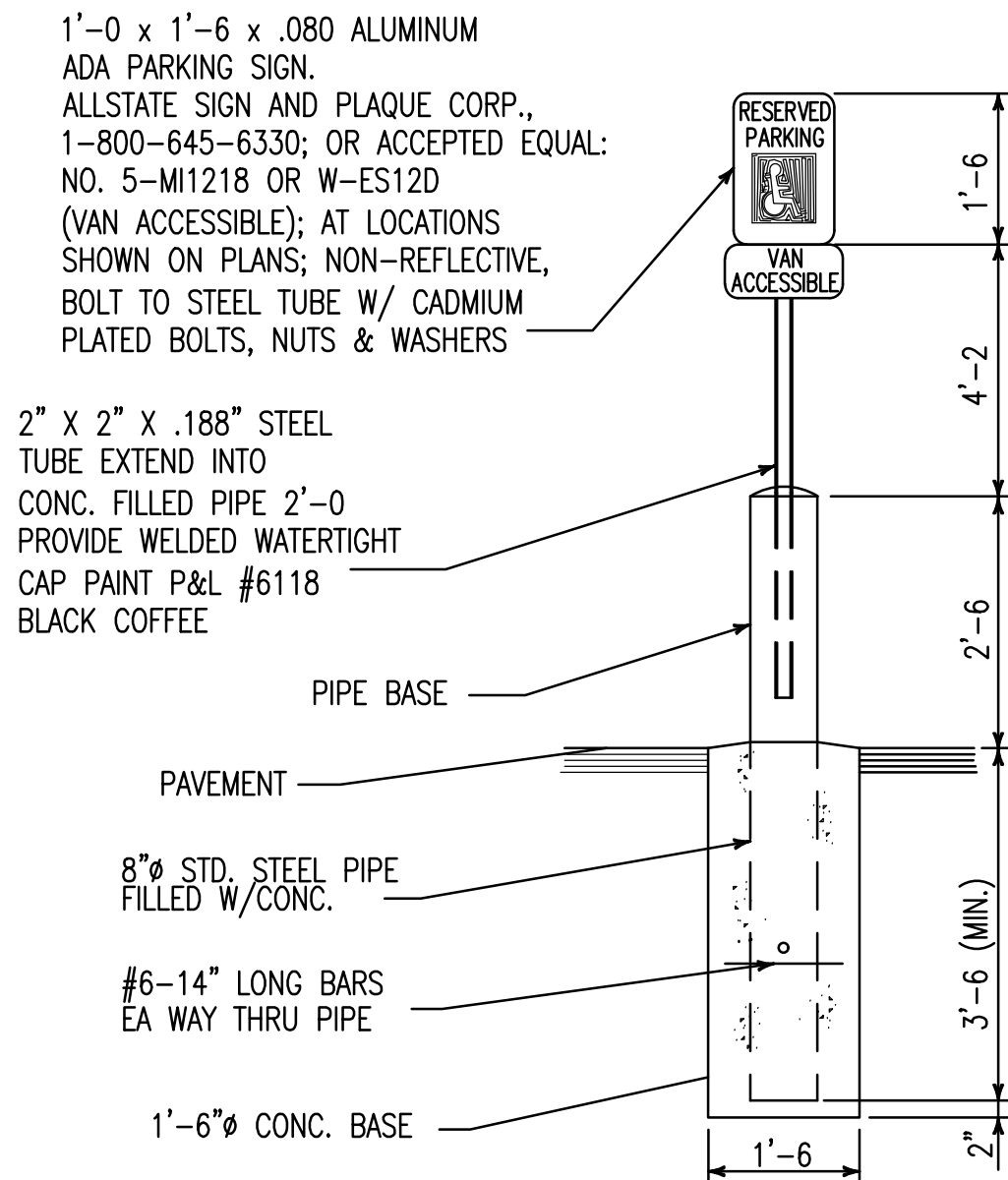
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DATE: 11/23/2021  
SAVED BY: KEVIN.ZENK



SYMBOL OF ACCESSIBILITY



1



ACCESSIBLE PARKING SIGN

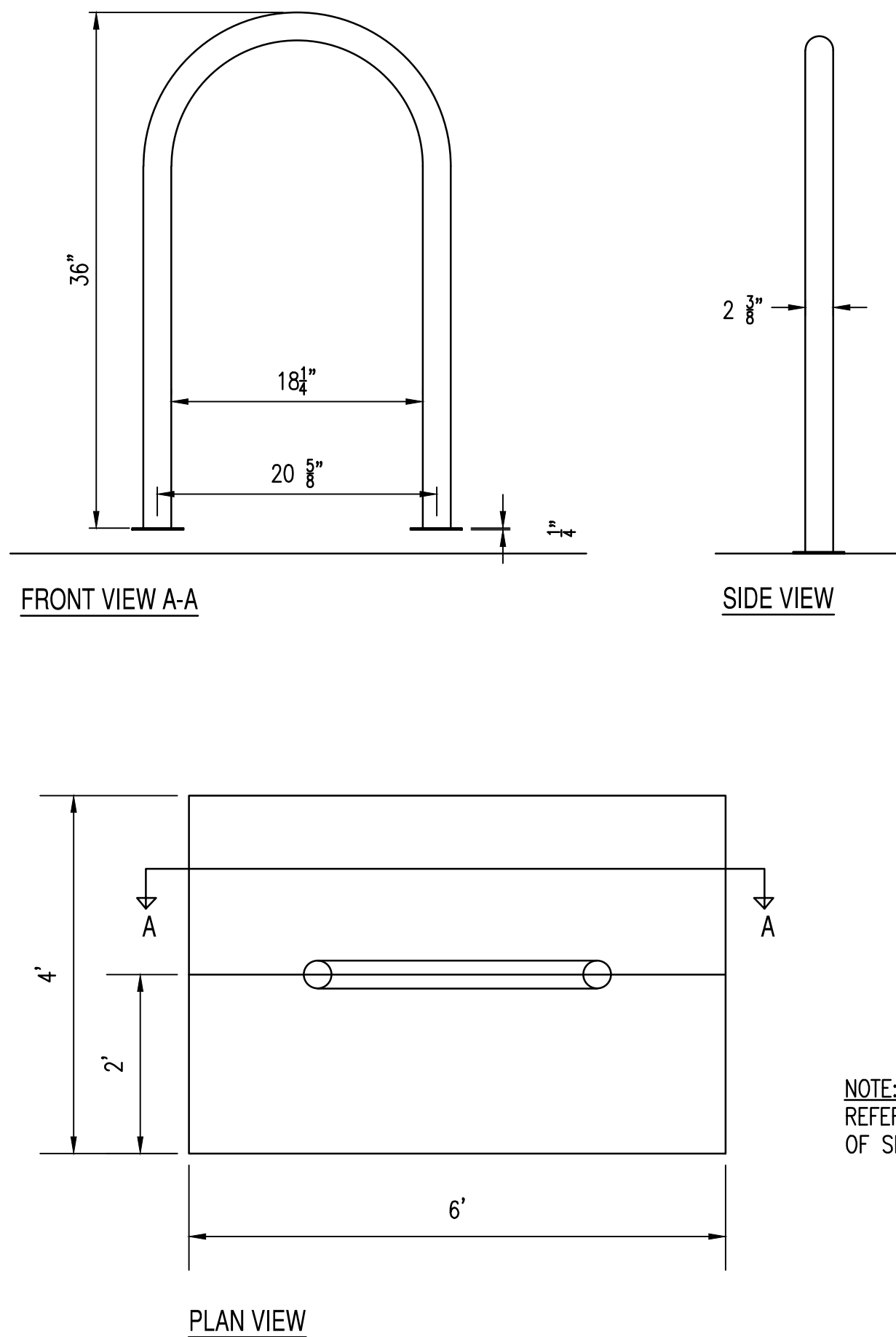


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NOT USED



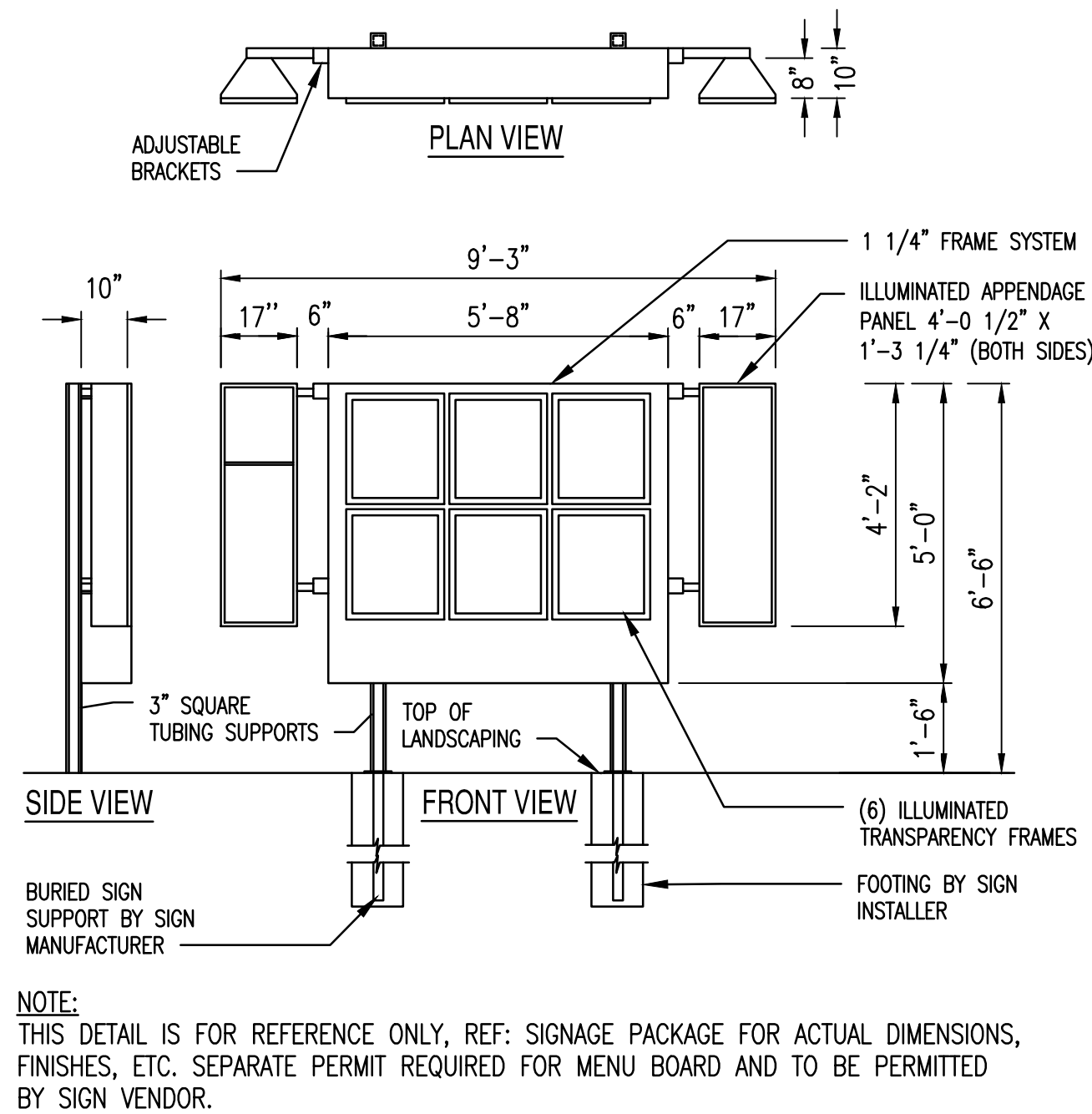
3



BICYCLE RACK DETAIL  
N.T.S.



5



MENU BOARD ELEVATION  
N.T.S.



6

NOT USED

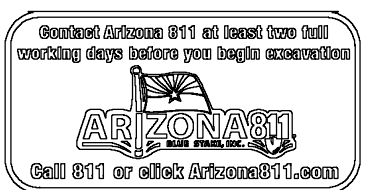


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PRELIMINARY  
NOT FOR  
CONSTRUCTION



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PROJECT  
RESTAURANT WITH DRIVE THRU

DRAWN: IC 11/19/2021  
DESIGNED: LR 11/19/2021  
QC: SC 11/18/2021  
FINAL QC: KZ 11/23/2021  
PROJ. MGR: AF 11/19/2021

DATE: 11/23/2021

ISSUED FOR:  
2ND SITE PLAN/DR REVIEW

REVISION NO.	DATE
1	
2	
3	

JOB NO.: 210505

SHEET TITLE:

SITE PLAN DETAILS

PAGE NO.:  
2 OF 2

SHEET NO.:  
C2.10

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