

Zoning & Design Review Narrative

Wingate-Hawthorn Dual Brand by Wyndham For Arizona Skybridge Development



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Development Team

Developer:

Skybridge Arizona
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435-525-1448

Civil Engineer:

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63 East Main Street, Suite #502
Mesa, Arizona 85201
Attention: John Bishop
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Landscape Architect:

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Phoenix, Arizona 85034
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602-254-9600

Structural Engineer:

Vector Structural Engineering, LLC
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Draper, Utah 84020
Attention: Jonathon Archer
archer@vectorse.com
801-990-1775

Proposed Construction

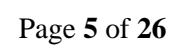
Project:

Wyndam Dual Brand Hotel, Wingate-Hawthorn with four-stories and 129 guestrooms (72 Wingate and 57 Hawthorn). Structure to be wood framed with flat-style roof over concrete slab on grade. A contemporary blend of exterior materials has been selected, including the following: EFIS/cementitious stucco, adhered stone veneer, Aluminum composite metal panels and James Hardie board siding.

Amenities:

1. Hawthorn rooms are considered extended stay rooms which include kitchenettes.
2. Van shuttle service will be provided with primary access to the airport.
3. Four electric vehicle charging stations with close proximity to building entrance.
4. Four carpool vehicle parking with close proximity to building entrance.
5. Three large meeting rooms that are capable of being combined into one large meeting space, available to the public and guests.
6. Outdoor patio with direct access from the exterior and meeting rooms. Provides a public/private gathering area to the front of the hotel.
7. Indoor pre-function space for meetings also serves as an expanded lounge area.
8. Full-service bar available to guests and the public.
9. Breakfast buffet for guests will be provided daily.
10. Fitness center available to guests 24 hours a day.
11. Pool and spa with deck space for ample seating and outdoor gathering to the rear of the hotel.
12. Guest laundry services.
13. Business center.
14. Porte Cochere for covered vehicle parking during check-in/out.

Final plans may vary



Exterior Building Renderings:



Exterior Building Renderings:



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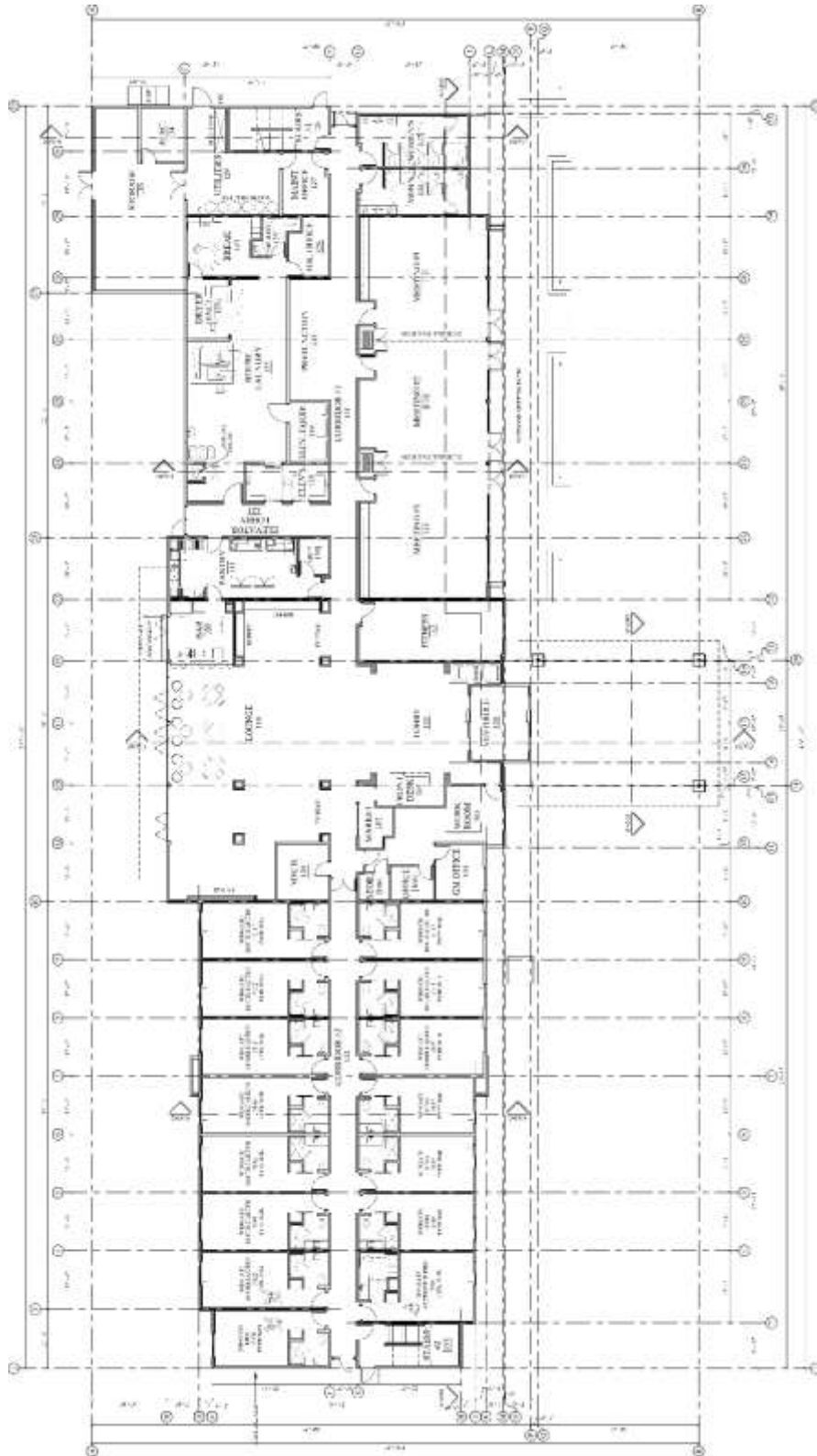
Material Board:



Wingate-Hawthorn Dual Brand
for Skybridge Arizona
Sossaman Rd. & Skybridge Blvd.
Mesa, Arizona

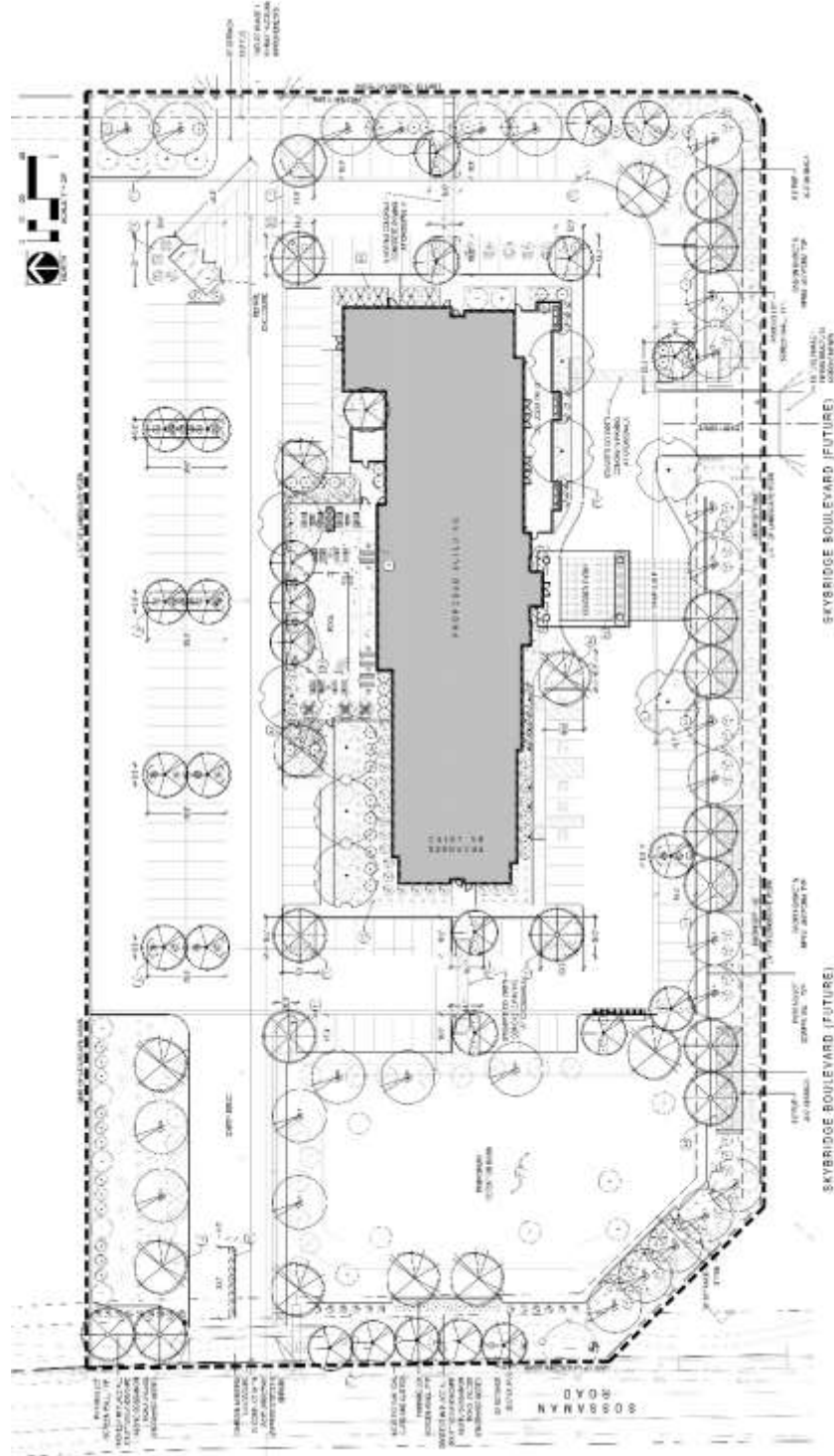


First Floor Plan:



Final plans may vary

Landscape Plan:



Final plans may vary

Bonus Intensity Zone (BIZ) Requirements

Development Standards Overview:

Per Mesa City Ordinance 11-21-3 – Development Standards the project must comply with the requirements of items 1 and either items 2 or 3. Mandatory Item 1 is for Superior Design, between the two options the development team has selected item 2, Environmental Performance Standards, to satisfy the development standards requirements.

Superior Design (Item 1):

Holistic Approach to Project Design:

Building Form/Massing:

Massing and form emphasize efficiency by minimizing corridors and heat gains through effective building orientation, see sustainable design, building orientation for more information. The building form will additionally lend to greater outdoor shading for the pool area. Site massing provides extra clear site space and landscaping.

Exterior Finishes:

Standard exterior building-finishing material for the area, due to climate, is cementitious stucco with acrylic colors. The building will incorporate the regionally appropriate aforementioned stucco system with an assortment of upgraded exterior materials, all of which are to be UL and ASTM listed or equal.

Adhered stone veneer provides a textural and color accent. Great for dry arid climates and installed with adhesive mortar. Widely available and accepted as an upgrade to the standard stucco system.

Aluminum composite panels (ACM) are a durable sleek metal that are superior to metal flashing, break metal and similar system. ACM is comprised of three layers, two aluminum sheets sandwiching a polyethylene core. Prevents oil canning and the need for repainting. Pre-fabricated off site and mechanically anchored, limits on-site waste.

James Hardie Board Siding is an upgraded alternate to vinyl or wood siding. Pre-manufactured and made with cement, sand and cellulose fibers the siding is more durable, sun fade resistant and more insulating than vinyl or wood. Required minimal maintenance to help reduce life-cycle costs.

Window frames and glazing:

The International Energy Conservation Code provides minimum window design standards for SHGC and U-Factors. On average the glazing systems will provide 30% more efficient than the minimum window design standards. Window and PTAC grille systems will be achieved through an integrated window-louver system that provides a higher quality packaged system.

Responsive Approach to Site and Sub-Area Context:

Landscaping Berms:

Landscaping berms that provide a more texturized and green approach to parking lot screening in lieu of the MZO block screen walls. The berms also help continue the landscaped design language of Sossaman Road. Berm are allowed, per 11-30-9.I.3 of the MZO, as substitution to the required screen walls for the BIZ overlay district. The berms are not required and are considered an upgrade. Berm design information can be seen in the provided landscaping plans. Gabion baskets historically provide ~80% less carbon dioxide when compared to concrete or block walls. Additionally, gabion baskets provide improved drainage when compared to block screen walls.

Sustainable Design:

Building Orientation:

The building has been oriented to provide energy savings especially from Western exposure, shade systems have been designed with the building orientation in mind, see awnings and port-cochere section for more information

Awnings & Porte-Cochere

Projection factor shading is not required by the International Energy Conservation Code but will be provided on most public area windows/door systems. Awnings and porte-cochere will provide permanent passive shading and be constructed of metal and ACM that requires minimal maintenance for lower life-cycle costs. North & South orientation for horizontal shade structures has been utilized to provide maximum shade coefficient effectiveness.

Landscaping:

Along the southern landscaped foundation base trees will provide passive shading to limit solar heat gain. Plants to be selected require little to no watering to promote water conservation and fit within the regions typical plant typology. Existing plants along Sossaman will be maintained to limit waste and provide a more developed mature landscape.

Reduced lighting:

Lighting that provides reduced lighting wattage and power consumption that exceeds the minimum design stands of the International Energy Conservation Code. LED lighting make up the majority, if not all, of the lighting fixture types, daylighting design considerations have been provided to limit required lighting during daylight operations.

Mechanical Systems:

HVAC heating and cooling systems exceed the minimum SEER and EER efficiency requirements. PTAC units provide independent make-up air for optimal

functionality on demand controls to limit waste from large roof top make-up air units.

Insulation Ratings:

Roof insulation has been upgraded to provide R-30 min. continuous insulation which exceeds the International Energy Conservation Code minimum of R-25. Wall insulation to be R-19 cavity with R-4 continuous insulation which exceeds the International Energy Conservation Code minimum of R-13 and R-3.8 respectively.

Non-vented Attic:

The attic has been designed so as to not require ventilation and as a result provides a greater envelope efficiency that also provides conditioned air for the 4th floor mechanical, plumbing and fire suppression systems.

Roof Membrane:

Roof membrane to be 60 MIL TPO that is white in color which reduces solar heat gain. System to be UL and ASTM approved.

Busing:

Location is located within 1/4 mile of a planned bus stop along Sossaman Rd, current bus stop serves the Mesa Gateway Airport, providing access to employees, patrons and the public in general. A shuttle service to and from the Mesa Gateway Airport will also be provided. Helping to limit the demand on parking and local traffic.

Biking:

Facility provides a bike storage rack located near the front of the building encouraging cycling to and from the facility.

Parking Spaces Number:

Parking will not exceed the min. required number of parking spaces; this will provide the site with additional landscaping areas. Plans to be adjusted to reflect final required amount. Carpool and electric vehicle parking provide alternative forms of transportation which also provide energy savings.

Exceeds Standards:

Primary Exterior Finish Materials:

Per MZO 11-7-3.5.a, the required number of distinct building materials is 3, building incorporates 5 materials as follows: Stucco, adhered stone veneer, James Hardie board siding, aluminum composite panels and glazing, including storefront glazing.

Maximum Lot Coverage:

Per Table 11-7-3 of the MZO the maximum lot coverage is 90%, this project provides approximately 50,000 sq. ft. of landscaping or approximately 28%

landscaping which provides a total of 72% lot coverage. Exceeds minimum landscaping required by 18%. Additionally, landscaping has been provided throughout the site with the majority being located within view from the public right of way.

Building Setback:

Per Table 11-7-3 of the MZO the minimum setback is 20 ft., this project provides setbacks of the following, 42', 88', 118' and 204' which provides a more open property and better fits the contextual scale of the area.

Great Public Spaces:

Outdoor Meeting Patio:

Public space that can provide an area to gather, wait and socialize with seating, vegetation and screen walls to provide an inviting semi-public/semi-private environment. Flooring to be either stamped concrete or pavers that provide texture and accent colors. Festoon lighting will make the space usable after dusk/sunset.

Pool & Spa:

~3,700 sq. ft. of pool area and pool decking provided. Spa/hot tub will also be provided. Pool facility will be fully ADA accessible with required pool lift and or transfers. Flooring to be either stamped concrete or pavers that provide texture and accent colors. Festoon lighting will make the space usable after dusk/sunset. Pool connects directly to the interior lobby area and interior bar as well as the outdoor access spaces.

Environmental Performance Standards (Item 2):

Site Criteria:

Busing:

Location is located within 1/4 mile of a planned bus stop along Sossaman Rd, current bus stop serves the Mesa Gateway Airport, providing access to employees, patrons and the public in general. A shuttle service to and from the Mesa Gateway Airport will also be provided. Helping to limit the demand on parking and local traffic.

Site Design Criteria:

Biking:

Facility provides a bike storage rack located near the front of the building encouraging cycling to and from the facility.

Low-Emission Vehicle Parking:

Four electrical vehicle parking spaces with charging equipment have been provided. Location of parking spaces is near a building entrance and public access.

Carpool/Vanpool Vehicle Parking:

Four carpool vehicle parking with close proximity to building entrance and public access.

Parking Spaces Number:

Parking will not exceed the min. required number of parking spaces; this will provide the site with additional landscaping areas. Plans to be adjusted to reflect final required amount. Carpool and electric vehicle parking provide alternative forms of transportation which also provide energy savings.

Energy Efficiency:

Building Orientation:

The building has been oriented to provide energy savings especially from Western exposure, shade systems have been designed with the building orientation in mind, see awnings and port-cochere section for more information

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Site Analysis

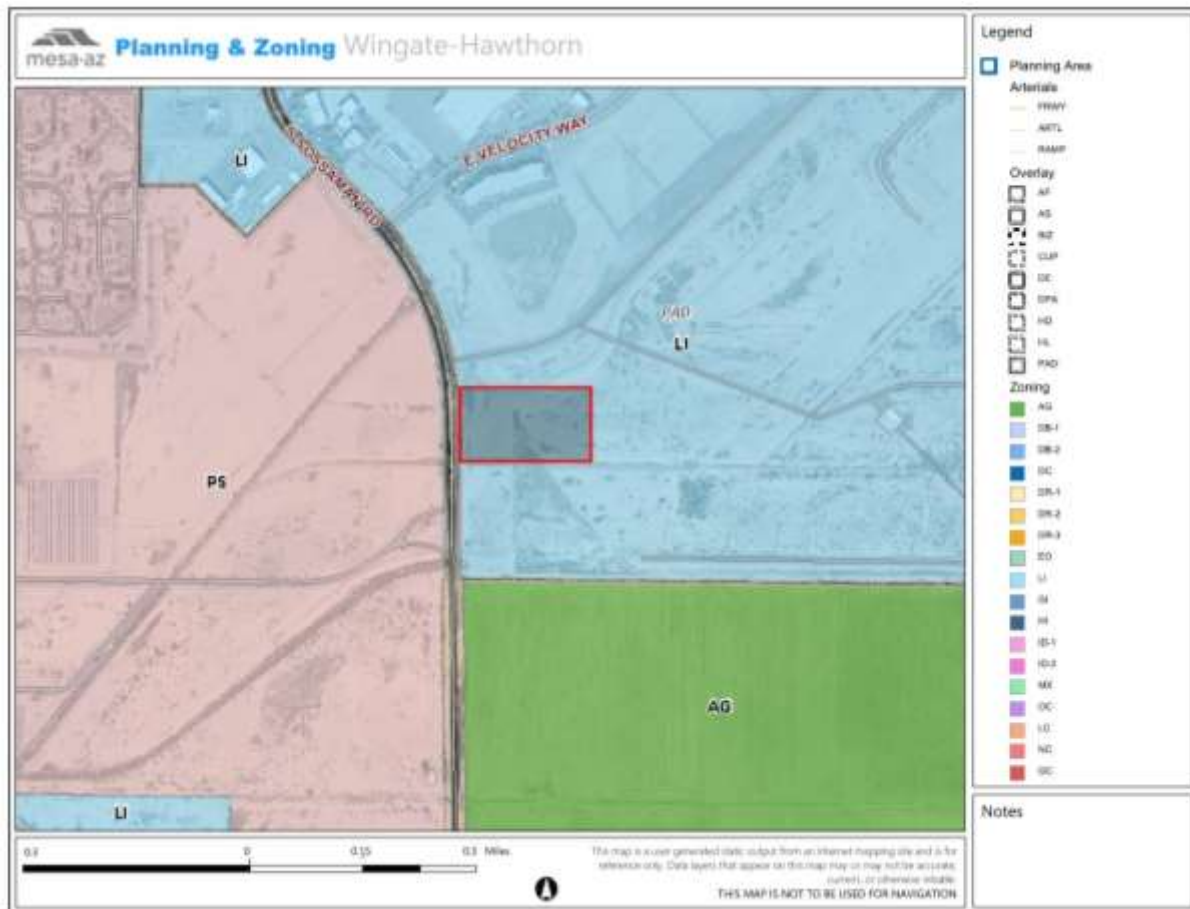
Location:

Situated on 7722 East Velocity Way, Mesa, Arizona 85212, which is located south of the Mesa Gateway Airport and within the approved Skybridge Arizona Business Park. Assessors' number: APN 304-36-002G. Lot size is 178,027.66 sq. ft. or 4.0869 Acres. See pinned location on following site maps:



Zoning:

Project is zoned LI (Light Industrial). Hotel Use is permitted per the City of Mesa ordinances. General planning is indicated as “specialty.” Immediately west is S. Sossaman Road which runs roughly north and south to and from the Phoenix-Mesa Gateway Airport. Adjacent properties are zoned LI except to the west across Sossaman Road which is zoned PS (Public and Semi-Public). Further to the south there is agriculturally zoned land. All adjacent properties are currently vacant. See Mesa city GIS zoning map:



The site is located within the Bonus Intensity Zone Overlay District (BIZ), compliance is demonstrated on page 9.

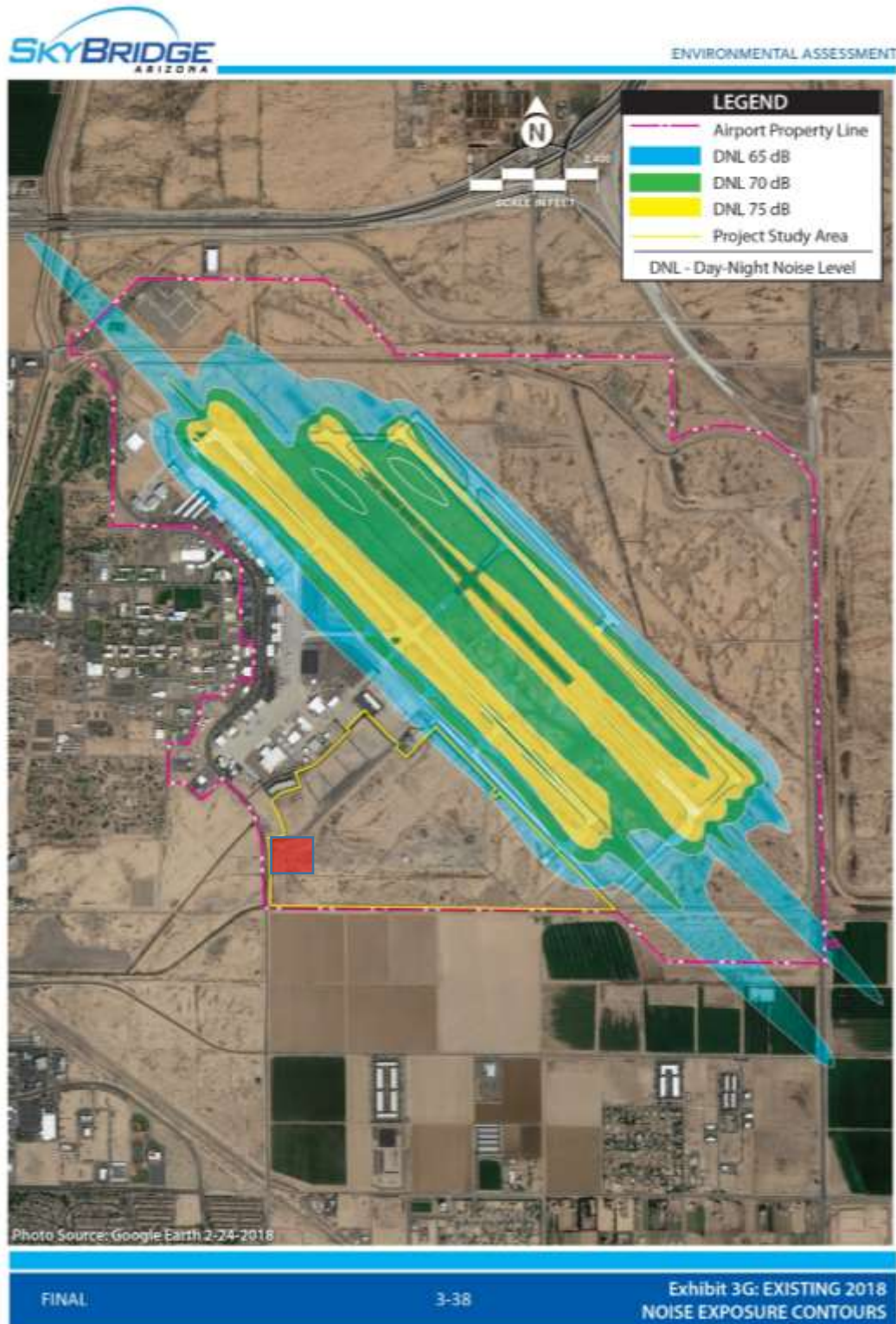
Per the approved Final Environmental Assessment for Proposed Skybridge Arizona Business Park the existing hazards are minimal. As per the attached exhibit some concrete debris and an abandoned fire training building are located on the property. See approved final environmental report and the following existing hazards map for additional information:



Items not within this property's leasing boundaries are to be resolved or addressed at time of future development as applicable.

Airport Noise Exposure:

Per the approved Final Environmental Assessment for Proposed Skybridge Arizona Business Park the noise exposure levels are less than 65 dB. See approved final environmental report and the following noise exposure map for additional information:



Approved Land Use:

The hotel fits within the approved Retail/Hotel use per Final Environmental Assessment for Proposed Skybridge Arizona Business Park. See the following maps for additional information:



Phasing:

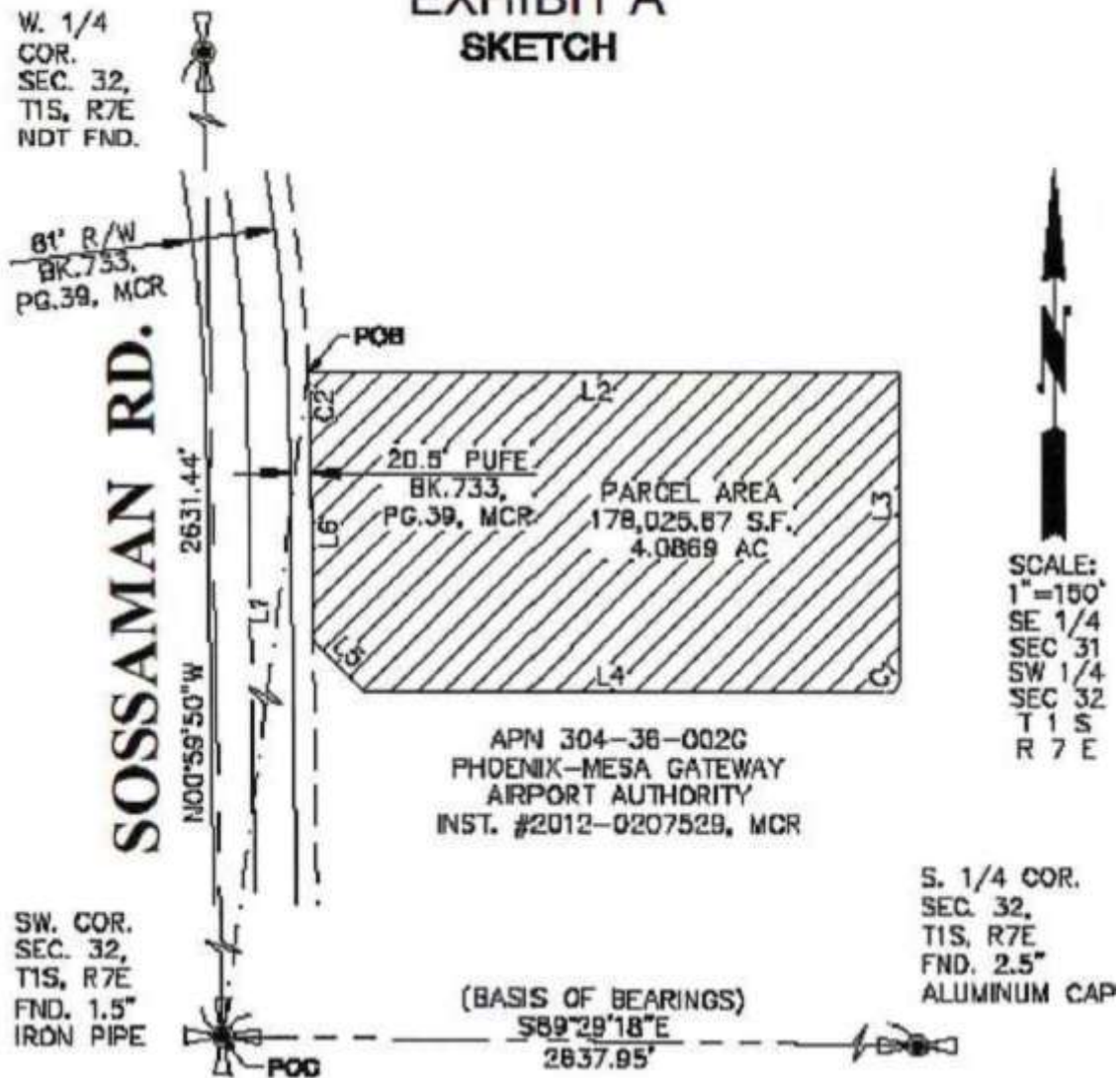
Part of the approved phase 2 of the Final Environmental Assessment for Proposed Skybridge Arizona Business Park. This portion of the phasing is critical as it acts as the first step in expanding logically and systematically to phase 2 and phase 3. See the following map for additional information:



Property for Wingate-Hawthorn has leasing boundaries per the following Exhibit A:

PROPERTY PLAT

EXHIBIT A
SKETCH



Lease is from the Mesa Gateway Airport Authority as part of the Skybridge Master Planning of the Skybridge Business Park.

Development Standards

Development within the Skybridge Business Park PAD shall comply with the standards of the LI Zoning District or the BIZ overlay district of the City of Mesa Zoning Ordinance (“MZO”), except as modified below. If this section is absent or void of a development standard, the requirements of the MZO is to govern.

DEVELOPMENT STANDARDS		
Standard	LI Requirement	Requested Standard
Building Form and Location		
Maximum height	40 feet	60 feet
Supplemental Standards		
Retention Basin Landscaping (per 11-33-6.G)	Landscaping shall be provided in all areas of the retention basin (slope, top, and bottom).	No planted landscaping is required in the retention basin, i.e., slope, top and bottom.*

* To prevent imminent waste of planted landscaping as retention basin is temporary and will be removed/relocated with future development.

Conclusion

The proposed Wingate-Hawthorn dual brand hotel meets all the ordinances and guidelines for the LI Zoning District, BIZ overlay district and the Mesa Zoning Ordinances (permitted the requested development standards are approved). The design reflects and complies with the goals set forth by the city of Mesa in the General Plan, Gateway Strategic Development Plan and the Design Guidelines.

This project will provide a superior quality with future phasing and growth. In addition, this is one of the first steps in facilitating logical planned growth to undeveloped land approved for development in the Skybridge Business Park. The development fits the existing and future design contexts while providing growth to the local economy and Mesa Gateway Airport infrastructure. The amenities and benefits to the local residents and business community are numerous and act as a natural extension of Mesa City.



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wr@berryriddell.com
Direct: 480-682-3902

Via Email to:

Sean Pesek
City of Mesa Planning Division
55. N. Center St.
Mesa, AZ 85201

Re: ZON21-00588 Council Use Permit for a Hotel use

Mr. Pesek:

In addition to the Site Plan Review, BIZ overlay and Design Review requests currently filled for the Wingate- Hawthorn Hotel at Skybridge, we respectfully request a Council Use Permit (CUP) be added for the hotel use. The property is located within the 6700 block of S. Sossaman Road ("the Site") and is located within the Airport Overflight Area 2 (AOA 2) from Phoenix Mesa Gateway Airport. Per Section 11-7-1 in the Mesa Zoning Ordinance, hotels are permitted with a CUP in the Light- Industrial zoning district (LI District) when located within the AOA 2.

Per Section 11-70-6 of the Mesa Zoning Ordinance, Council Use Permits are required to show conformance with specific review criteria. Please see the following justification:

1. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies:

The Site is designated as "Specialty" and "Employment" with an airport sub-type on the Mesa 2040 General Plan Character Map. The Site is located within Skybridge Arizona, which is a larger master planned development adjacent to the airport. The subject Site is also located within the "Airport Campus District" in the Mesa Gateway Strategic Plan. This district is intended to be a transitional area that integrates well with on-airport uses. The proposed hotel use is needed to support the employment activities at the airport and the surrounding employment uses.

2. The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies;

The proposed hotel use is consistent with the purpose of the Mesa 2040 Character Area designations and the Mesa Gateway Strategic Development Plan and offers a supporting use to the airport.

October 12, 2021

Page 2

- 3. The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area of the proposed project or improvements in the neighborhood or to the general welfare of the City;***

The hotel will provide a much-needed amenity to serve the airport and surrounding employment uses.

- 4. Adequate public services, public facilities and public infrastructure are available to serve the proposed project.***

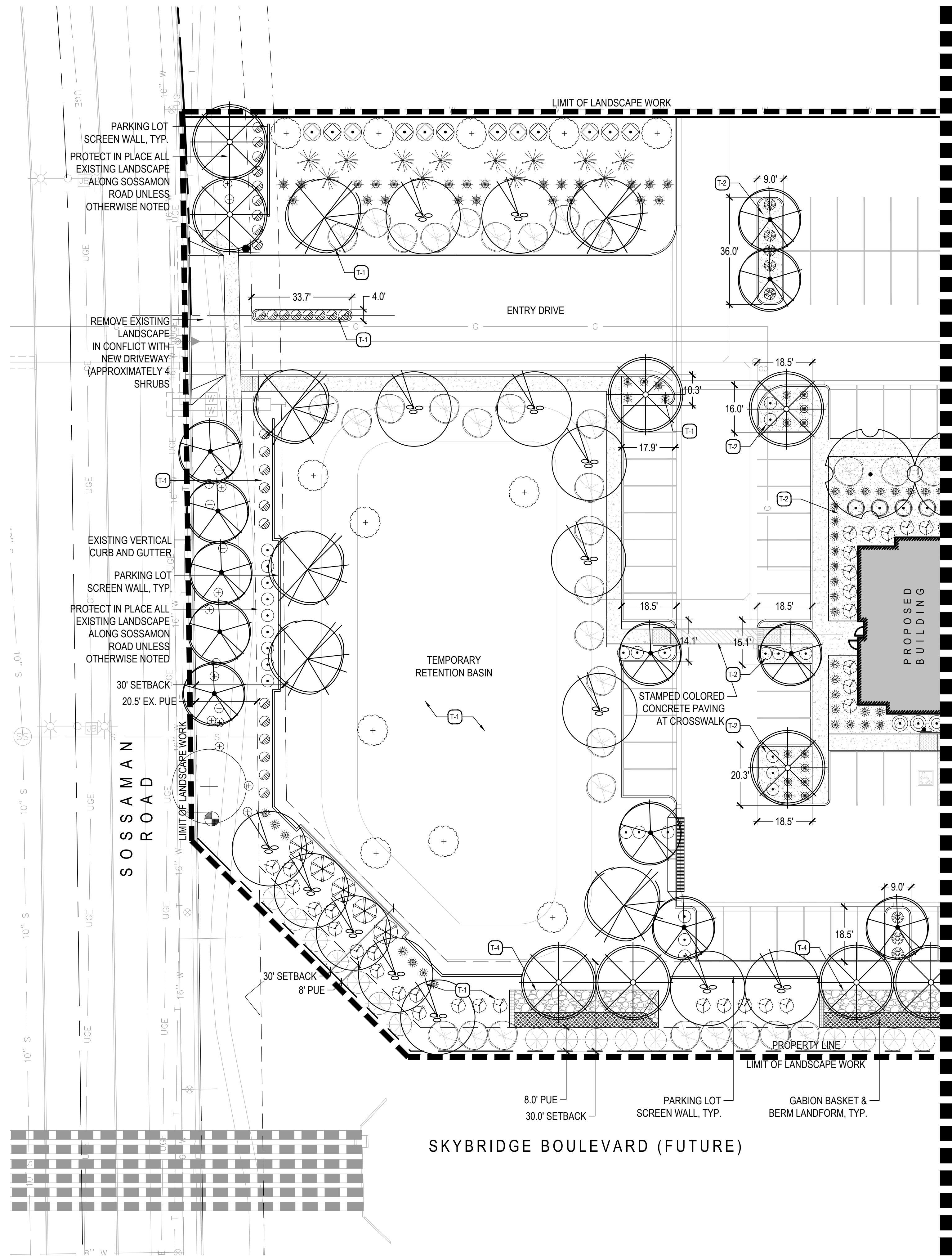
The proposed development will be responsible to extended required infrastructure to serve the hotel use.

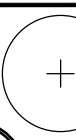




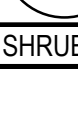





















Skybridge Arizona is a 360-acre development at the Phoenix-Mesa Gateway airport that will promote large development projects. The additional use of a hotel will add a needed land use to support large employment and airport uses.

Very truly yours,

A handwritten signature in black ink, appearing to read 'WR', with a long horizontal flourish extending to the right.

Wendy Riddell



PLANT SCHEDULE				
SYM.	BOTANICAL NAME COMMON NAME	SIZE	QTY	CREDIT (SF)
TREES				
	<i>Existing Tree</i> Varies	--	--	--
	<i>Acacia aneura</i> Mulga	36" BOX SINGLE 2" CALIPER 7' HT / 4' W	28	50
	<i>Olea europaea 'Wilsonii'</i> Fruitless Olive	24" BOX MULTI 3" CALIPER 6' HT / 3' W	9	100
	<i>Olneya tesota</i> Ironwood	24" BOX MULTI 1.5" CALIPER 4' HT / 3' W	10	100
	<i>Parkinsonia praecox</i> Palo Brea	36" BOX SINGLE 2" CALIPER 8' HT / 6' W	15	100
	<i>Prosopis</i> sp. 'Leslie Roy' Leslie Roy Mesquite	36" BOX SINGLE 2" CALIPER 8' HT / 6' W	27	100
SHRUBS		SIZE	QTY	(SF)
	<i>Existing Shrub</i> Varies	--	--	--
	<i>Bouteloua curtipendula</i> Sideoats Grama	1 GAL	372	10
	<i>Caesalpinia pulcherrima</i> Red Bird of Paradise	5 GAL	18	50
	<i>Calliandra x Sierra Star</i> Sierra Star Fairy Duster	5 GAL	45	25
	<i>Callistemon citrus 'Little John'</i> Little John Bottle Brush	5 GAL	38	10
	<i>Eremophila maculata 'Valentine'</i> Red Emu Bush	5 GAL	25	25
	<i>Larrea tridentata</i> Creosote	5 GAL	22	50
	<i>Leucophyllum frutescens</i> Texas Sage	5 GAL	64	25
	<i>Ruellia brittoniana</i> Mexican Petunia	5 GAL	37	25
	<i>Senna artemisioides</i> Feathery Cassia	5 GAL	12	50
	<i>Simmondsia chinensis</i> Jojoba	5 GAL	26	25
ACCENTS		SIZE	QTY	(SF)
	<i>Carnegiea gigantea</i> Saguaro	4' SPEAR	1	25
	<i>Dasylistron longissimum</i> Mexican Grass Tree	15 GAL	33	25
	<i>Echinocactus grusonii</i> Golden Barrel	5 GAL	23	10
	<i>Muhlenbergia capillaris</i> Pink Muhly	1 GAL	114	10
	<i>Muhlenbergia rigens</i> Deer Grass	1 GAL	66	10
	<i>Opuntia ficus-indica</i> Barbary Fig	5 GAL	11	25
	<i>Pachycereus schottii</i> Senita Cactus	15 GAL	7	25
	<i>Yucca pallida</i> Pale Leaf Yucca	5 GAL	42	10
GROUNDCOVERS		SIZE	QTY	(SF)
	<i>Acacia redolens 'Low Boy'</i> Prostrate Acacia	1 GAL	72	10
	<i>Eremophila glabra</i> 'Mingenew Gold' Gold Emu Bush	1 GAL	27	10

TOPDRESS SCHEDULE

- T-1** TYPE 1 - DECOMPOSED GRANITE
 SIZE: 1" SCREENED
 COLOR: CARMEL
 SOURCE: ROCK PROS USA

T-2 TYPE 2 - DECOMPOSED GRANITE
 SIZE: $\frac{3}{4}$ " SCREENED
 COLOR: CARMEL
 SOURCE: ROCK PROS USA

T-3 TYPE 3 - RIP RAP
 SIZE: 3" - 8"
 COLOR: MAHOGANY
 SOURCE: ROCK PROS USA

T-4 TYPE 4 - BUILDING STONE/THIN VENEER
 TYPE: YUKON GREY RUBBLE
 SOURCE: ANAZASI STONE

NOTES:
1. CONTRACTOR TO PROVIDE SAMPLES OF ALL TOPDRESS MATERIALS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

PLANT QUANTITIES

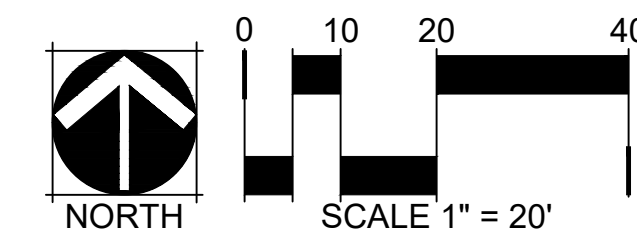
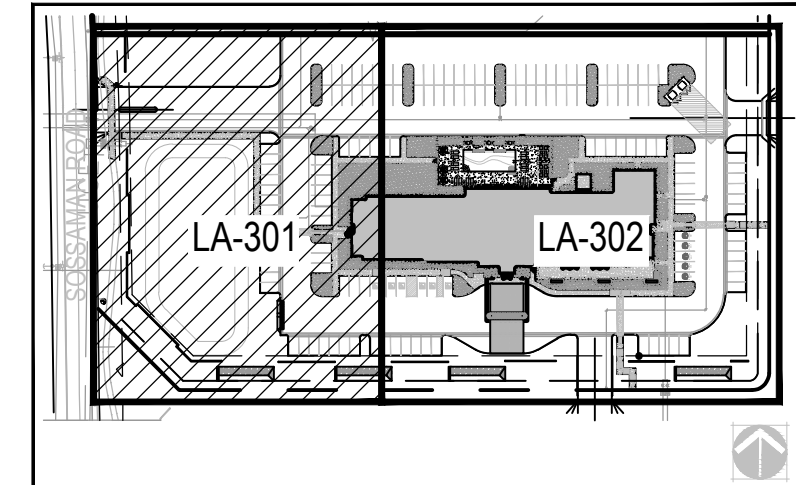
NORTH FRONTAGE N/A


EAST FRONTAGE	<u>TREES</u>
252 LF	REQUIRED: 7.56
	PROVIDED: 8
	<u>SHRUBS</u>
	REQUIRED: 50.4
	PROVIDED: 51

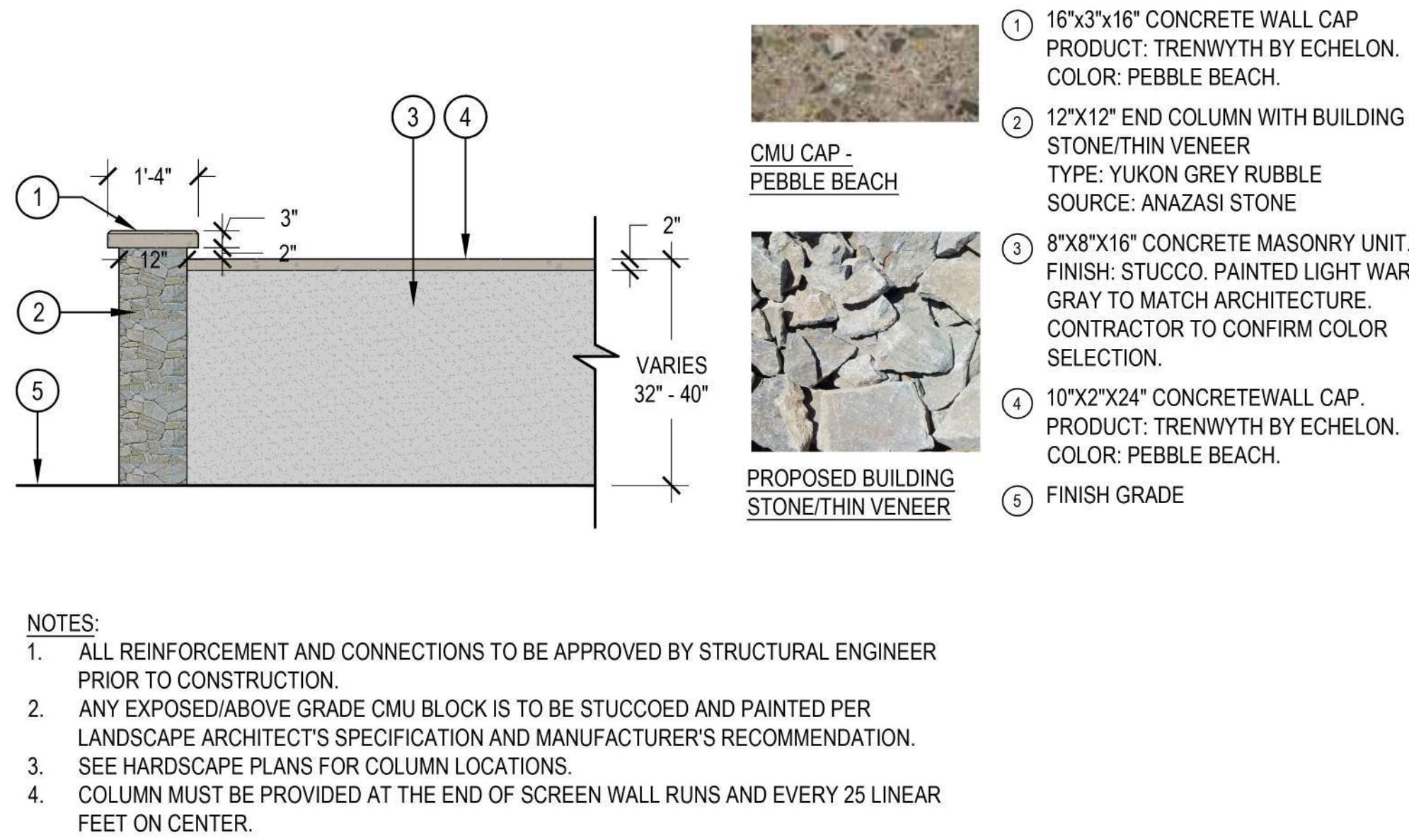
SOUTH FRONTAGE TREES
602 LF REQUIRED: 18
PROVIDED: 21
SHRUBS
REQUIRED: 120.4
PROVIDED: 494

WEST FRONTAGE TREES
126 LF REQUIRED: 7.52
PROVIDED: 8 (1 EXISTING, 7 NEW)
SHRUBS
REQUIRED: 45.36
PROVIDED: 46 (16 EXISTING, 30
NEW)
PROTECT IN PLACE ALL EXISTING
LANDSCAPE ALONG SOSSOMAN
ROAD UNLESS OTHER NOTED

KEY MAP

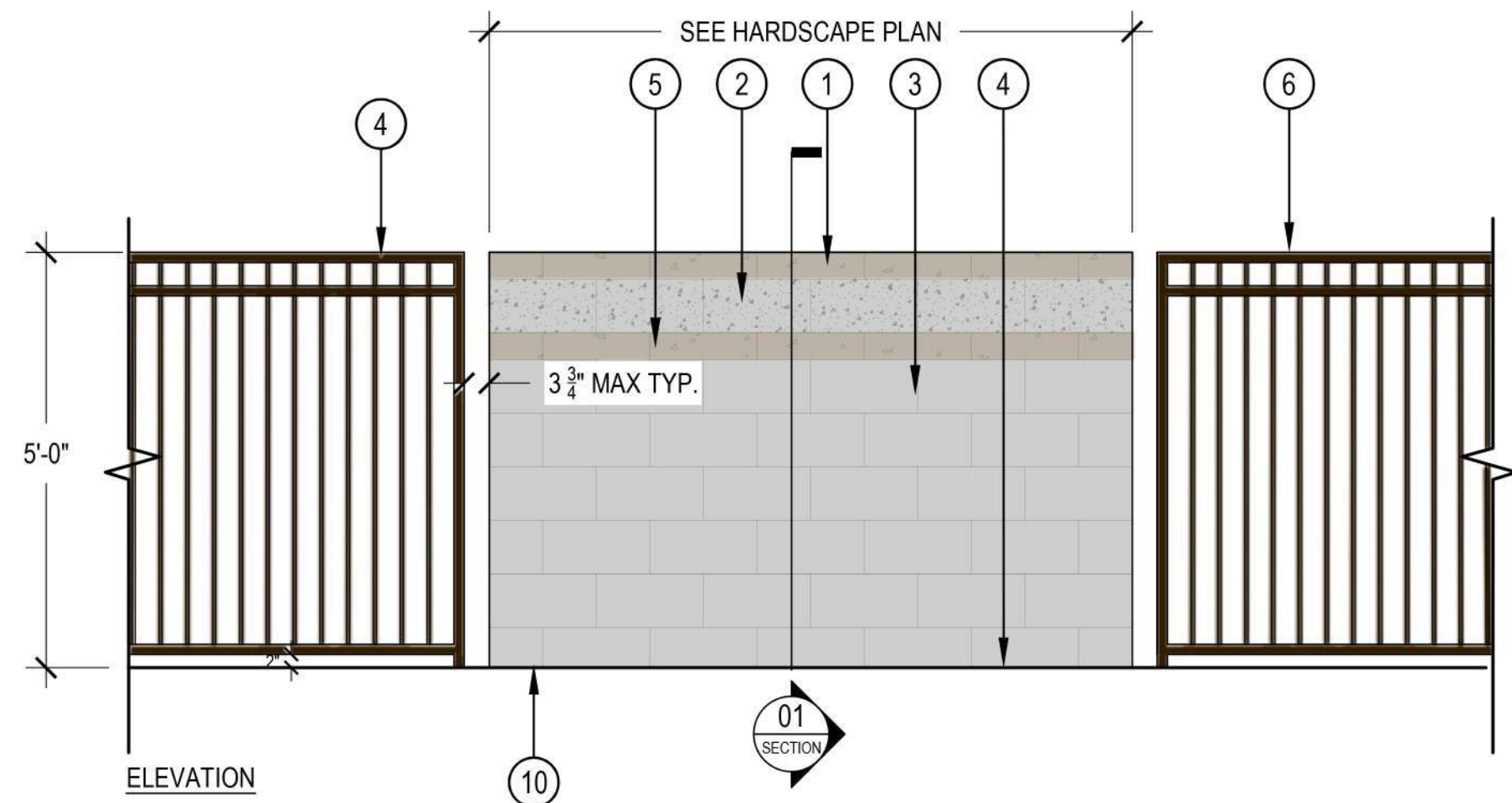


DWG. LA-301	JOB NO.:	220136	SKYBRIDGE WYNDHAM 821 NORTH 6TH STREET LANDSCAPE PLAN	PRELIMINARY NOT FOR CONSTRUCTION		901 East Madison Street Phoenix, AZ 85034 P 602.254.9900 www.norris-design.com	NO.	DATE	BY	REVISION
	DESIGN BY:	BS, EM, JH								
SHEET	DRAWN BY:	JH	MARICOPA COUNTY	MESA, ARIZONA						DRB / ZONING / BUILDING AND SITE
	CHECKED:	BS, EM, JRK								
OF	DATE:	8/09/2021								



1 PARKING LOT SCREEN WALL - ELEVATION

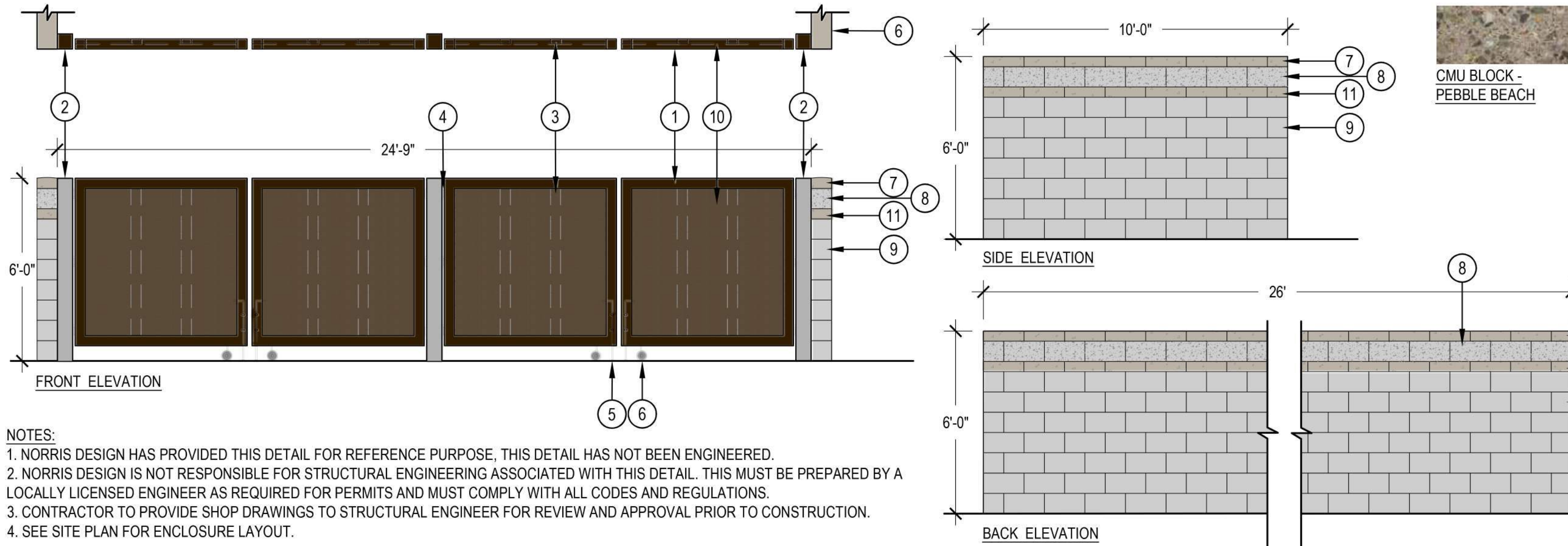
SCALE: 1/2" = 1'-0"



1. ALL REINFORCEMENT AND CONNECTIONS TO BE APPROVED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
2. WATERPROOF ALL MASONRY SURFACES BELOW GRADE.
3. ANY CMU BLOCK NOT EXPOSED, OR BELOW GRADE MAY BE A NON-DECORATIVE UNIT

3 5' H POOL BARRIER WALL

SCALE: 1/2" = 1'-0"



1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE PURPOSE. THIS DETAIL HAS NOT BEEN ENGINEERED.
2. NORRIS DESIGN IS NOT RESPONSIBLE FOR STRUCTURAL ENGINEERING ASSOCIATED WITH THIS DETAIL. THIS MUST BE PREPARED BY A LOCALLY LICENSED ENGINEER AS REQUIRED FOR PERMITS AND MUST COMPLY WITH ALL CODES AND REGULATIONS.
3. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
4. SEE SITE PLAN FOR ENCLOSURE LAYOUT.

2 REFUSE ENCLOSURE

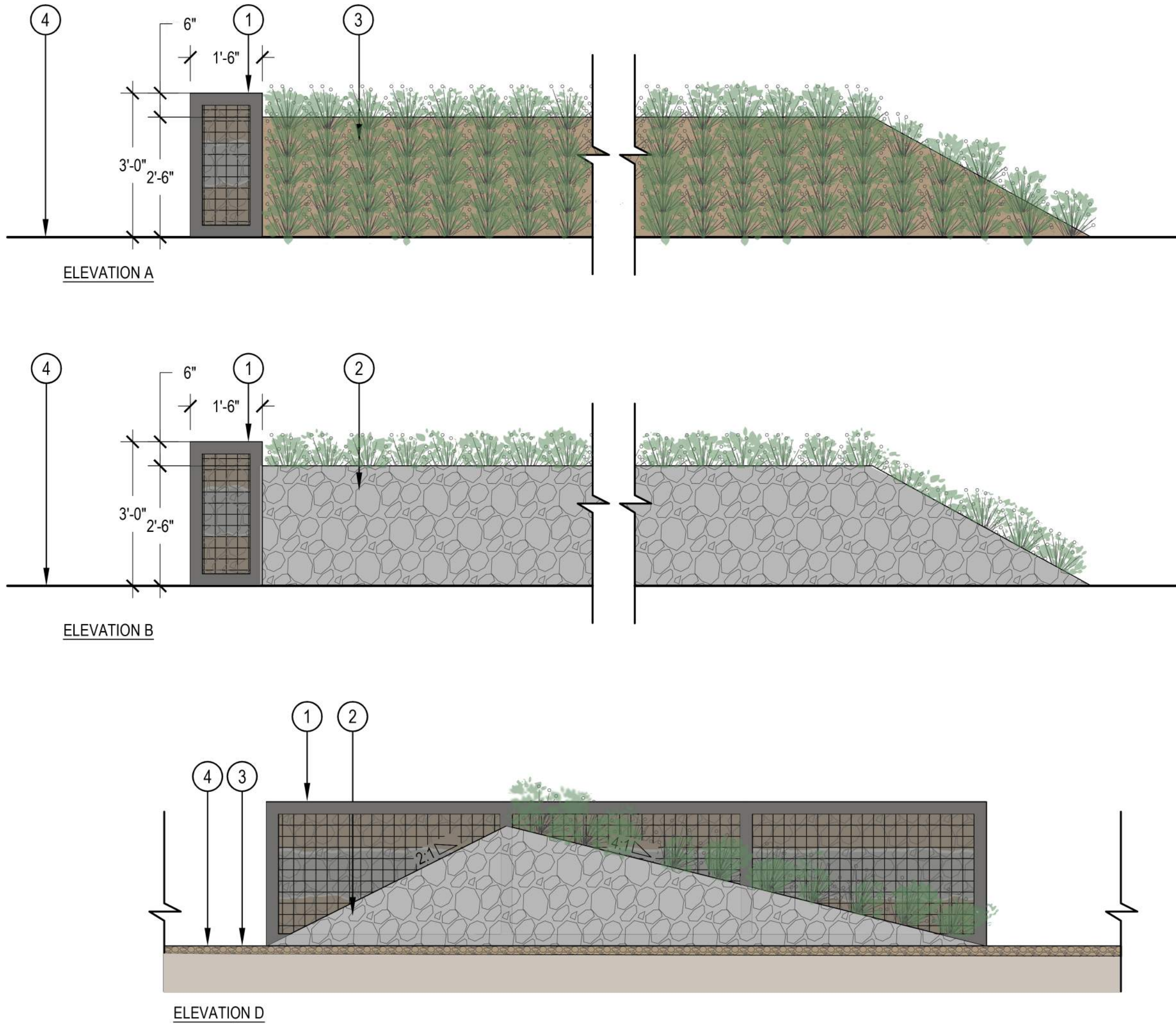
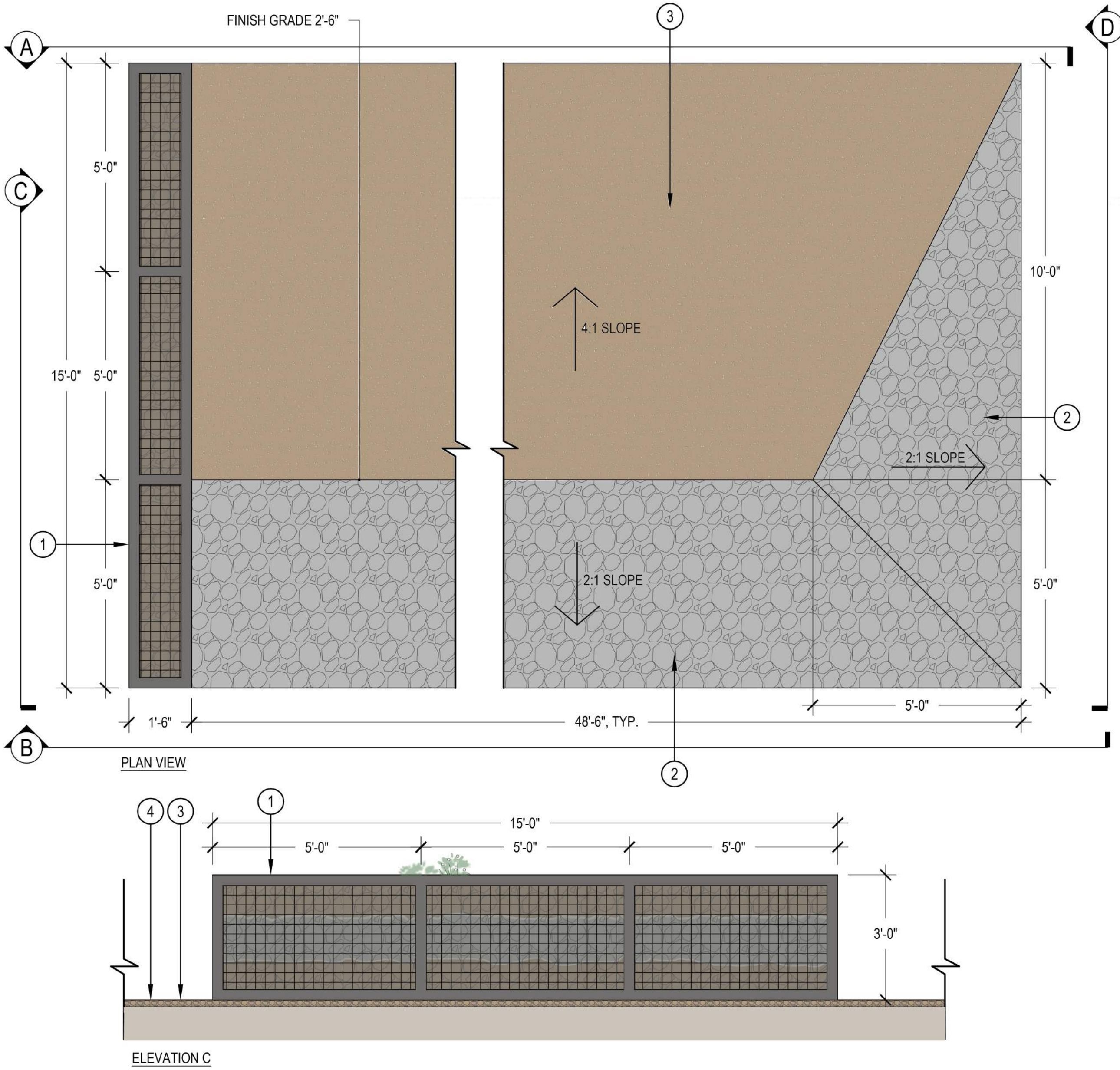


CMU BLOCK -
PEBBLE BEACH

- ① 8"X4"X16" CONCRETE MASONRY UNIT WALL CAP. PRODUCT: TRENNWYTH BY ECHELON. COLOR: PEBBLE BEACH.
- ② 8"X8"X16" CONCRETE MASONRY UNIT. FINISH: SPLIT FACE. PAINTED LIGHT WARM GRAY TO MATCH ARCHITECTURE. CONTRACTOR TO CONFIRM COLOR SELECTION.
- ③ 8"X8"X16" CONCRETE MASONRY UNIT. FINISH: SMOOTH. PAINTED LIGHT WARM GRAY TO MATCH ARCHITECTURE. CONTRACTOR TO CONFIRM COLOR SELECTION.
- ④ FINISH GRADE
- ⑤ 8"X4"X16" CONCRETE MASONRY UNIT. PRODUCT: TRENNWYTH BY ECHELON. COLOR: PEBBLE BEACH.
- ⑥ 5' H STEEL POOL FENCE - PRIMED AND PAINTED COLOR DARK BROWN TO MATCH ARCHITECTURE. CONTRACTOR TO CONFIRM COLOR SELECTION

- ① 4" SQ TUBE STEEL FRAME -
PAINTED DARK BROWN TO MATCH
ARCHITECTURE. CONTRACTOR TO
CONFIRM COLOR SELECTION.
- ② 6" SQ TUBE STEEL POST -
PAINTED DARK BROWN TO MATCH
ARCHITECTURE. CONTRACTOR TO
CONFIRM COLOR SELECTION.
- ③ 2"x4" TUBE STEEL SUPPORT
- ④ HEAVY DUTY BARREL HINGE -
WELD TO STEEL POSTS, TYP.
- ⑤ 24" CANE BOLT
- ⑥ 4" DIAMETER HEAVY DUTY
SPRING LOADED CASTER
- ⑦ 8"x4"x16" CONCRETE MASONRY
UNIT WALL CAP. PRODUCT:
TRENWYTH BY ECHELON. COLOR:
PEBBLE BEACH.
- ⑧ 8"x8"x16" CONCRETE MASONRY
UNIT. FINISH: SPLIT FACE.
PAINTED LIGHT WARM GRAY TO
MATCH ARCHITECTURE.
CONTRACTOR TO CONFIRM
COLOR SELECTION.
- ⑨ 8"x8"x16" CONCRETE MASONRY
UNIT. FINISH: SMOOTH. PAINTED
LIGHT WARM GRAY TO MATCH
ARCHITECTURE. CONTRACTOR
TO CONFIRM COLOR SELECTION.
- ⑩ CORRUGATED METAL PANEL -
PAINT BERRIDGE MEDIUM
BRONZE. BOLT TO 2X4 SUPPORTS
- ⑪ 8"x4"x16" CONCRETE MASONRY
UNIT. PRODUCT: TRENWYTH BY
ECHELON. COLOR: PEBBLE
BEACH.

[illegible]



- 1 GABION BASKET RETAINING WALL
- 2 BUILDING STONE/THIN VENEER
- 3 LANDSCAPE AREA WITH TOPDRESS
- 4 FINISH GRADE



IMAGE - ROCK PLACEMENT



PROPOSED GLASS LANDSCAPE ROCK



PROPOSED GABION BASKET ROCK



PROPOSED BUILDING STONE/THIN VENEER

1 GABION BASKET AND BERM LANDFORM

SCALE: 1/2" = 1'-0"

DWG.	JOB NO.:	DESIGN BY:	DRAWN BY:	CHECKED:	DATE:	NO.	DATE	BY	REVISION	PRELIMINARY NOT FOR CONSTRUCTION		
										MESA, ARIZONA		
LA-202	220136	EM	EM, PA	JK	11/01/2021					MARICOPA COUNTY		
SHEET	SKYBRIDGE WYNDHAM 821 NORTH 6TH STREET			HARDSCAPE DETAILS			MESA, ARIZONA					
OF												

901 East Madison Street
Phoenix, AZ 85014
P 602.254.9600
www.norris-design.com

NORRIS DESIGN
Planning | Landscape Architecture | Branding

DATE: Sep 07, 2021 FILE: J:\2020 Jobs\220136 - SkyBridge Wyndham\CAD Files\Sheets\Grading and Drainage Plan\01-220136-PGD-CV01.dwg

CITY OF MESA GENERAL NOTES

- ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- THE INFORMATION SHOWN ON DRAWINGS CONCERNING THE TYPE AND LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE ENGINEER OR THE ENGINEER'S AGENT. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND AND OVERHEAD UTILITIES.
 - CALL 602-263-1100 OR 811 FOR BLUE STAKE SERVICES.
 - CALL SALT RIVER POWER FOR POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT 602-236-8888.
 - CALL CITY OF MESA ELECTRICAL FOR POLE BRACING, ELECTRICAL SERVICE OR CONSTRUCTION SCHEDULING AT 480-644-2251 WITHIN CITY OF MESA ELECTRICAL SERVICE TERRITORY (DOWNTOWN MESA).
 - WHEN EXCAVATING IN OR ADJACENT TO A CITY PARK OR AQUATIC FACILITY THE CONTRACTOR SHALL CONTACT AQUATICS AND PARKS MAINTENANCE AT 480-644-3097 TO REQUEST ASSISTANCE IN LOCATING UNDERGROUND UTILITY FACILITIES.
 - WHEN EXCAVATING IN OR ADJACENT TO LANDSCAPING WITHIN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL CONTACT TRANSPORTATION FIELD OPERATIONS AT 480-644-3038 TO REQUEST ASSISTANCE IN LOCATING UNDERGROUND IRRIGATION FACILITIES.
- THE CITY OF MESA HAS ADOPTED THE CITY OF PHOENIX 2007 TRAFFIC BARRICADE MANUAL. COPIES ARE AVAILABLE AT 1101 EAST JEFFERSON STREET, PHOENIX, ARIZONA. TELEPHONE 602-262-6235 OR <http://phoenix.gov/streets/traffic/index.html>. CITY OF MESA HAS ISSUED A SUPPLEMENT TO THE PHOENIX TRAFFIC BARRICADE MANUAL. COPIES ARE AVAILABLE AT DEVELOPMENT SERVICES, 55 N. CENTER ST., MESA, ARIZONA. TELEPHONE 480-644-2160 OR BOTH MANUALS ARE AVAILABLE ONLINE AT: <http://www.mesaaz.gov/transportation/barricades.aspx>
- CONTRACTOR TO NOTIFY TRAFFIC OPERATIONS AT 480-644-3126 PRIOR TO SIGN REMOVAL AND WHEN READY TO PERMANENTLY RELOCATE SIGN.
- CONTRACTOR TO OBTAIN ANY PERMITS REQUIRED UNLESS OTHERWISE INDICATED, AND COORDINATE ALL IRRIGATION DRY-UPS, RELOCATIONS, AND REMOVALS BY OTHERS.
- CONTRACTOR SHALL POTHOLE EXISTING UTILITIES AHEAD OF CONSTRUCTION TO ALLOW FOR ANY NECESSARY ADJUSTMENTS IN GRADE LINE AND TO VERIFY PIPE MATERIALS FOR ORDERING THE APPROPRIATE TRANSITION AND TIE-IN FITTINGS THAT MAY BE REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL ABANDONED UTILITIES THAT INTERFERE WITH PROPOSED IMPROVEMENTS. THE CITY OF MESA UTILITIES DEPARTMENT LOCATING SECTION WILL ASSIST THE CONTRACTOR AS NEEDED, IN DETERMINING IF THE UTILITY (GAS, WATER, AND WASTEWATER ONLY) IS ABANDONED BY CALLING 480-644-4500.
- PRIOR TO START OF CONSTRUCTION ON PRIVATE PROPERTY (EASEMENTS), THE CONTRACTOR SHALL GIVE THE OWNER SUFFICIENT TIME (MINIMUM 48 HOURS) TO REMOVE ANY ITEMS IN CONFLICT WITH CONSTRUCTION. THE CONTRACTOR SHALL ARRANGE TO REMOVE AND REPLACE ALL OTHER CONFLICTS AS REQUIRED.
- THE CONTRACTOR SHALL COORDINATE WORK SCHEDULES TO PREVENT ANY CONFLICTING WORK CONDITIONS WITH THE CITY OF MESA UTILITY AND TRANSPORTATION CREWS.
- THE CONTRACTOR IS ADVISED THAT A DUST CONTROL PERMIT AND A DUST CONTROL PLAN MAY BE REQUIRED BY THE MARICOPA COUNTY AIR QUALITY DEPARTMENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THIS PERMIT, IF NECESSARY, AND COMPLY WITH ITS REQUIREMENTS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE A COPY OF THE DUST CONTROL PERMIT AND DUST CONTROL PLAN TO THE CITY FOR REVIEW.
- INSPECTIONS SHALL BE PROVIDED BY THE CITY OF MESA. THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTION DEPARTMENT AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION.
- THE JOB SITE SHALL BE CLEANED OF ANY DEBRIS OR SPOIL RESULTING FROM THIS PROJECT AT THE COMPLETION OF CONSTRUCTION.
- ALL EQUIPMENT AND MATERIALS NOT SHOWN OR SPECIFIED ON THE PLANS OR SPECIFICATIONS, BUT REQUIRED TO COMPLETE THIS PROJECT, SHALL BE SUPPLIED BY THE CONTRACTOR AS PART OF THIS CONTRACT WORK (NO ADDITIONAL COST TO THE CITY).
- WHEREVER PAVEMENT REPLACEMENT PER MESA STD DETAIL M-19.04 OR MAG STD DETAIL 200 IS REFERRED TO WITHIN THESE PLANS, BACKFILLING SHALL BE PER THE CITY OF MESA STREET TRENCH BACKFILLING AND PAVEMENT REPLACEMENT POLICY STATEMENT, REVISED SEPTEMBER 29, 1999.
- FOR PURPOSES OF PAVEMENT PER MAG STD DETAIL 200 OR MESA STD DETAIL M-19.04, INTERSECTIONS ARE DEFINED BY THE CURB RETURNS IN ALL DIRECTIONS.
- ANY SURVEY MARKERS DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND BY A REGISTERED LAND SURVEYOR AT NO ADDITIONAL COST TO THE CITY.
- ALL EXISTING PAVEMENT MARKINGS, SIGNS, AND SIGNAL EQUIPMENT THAT ARE NOT PART OF THIS PROJECT BUT NEED TO BE REMOVED, REPLACED, RELOCATED, OR REPAIRED BECAUSE OF CONTRACTOR'S WORK WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS ADVISED THAT DAMAGE TO ANY PUBLIC SERVICES OR SYSTEMS AS A RESULT OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AND INSPECTED BY THE CITY INSPECTOR. DEPENDING ON DAMAGES, ALL REPAIRS SHALL BE DONE WITHIN 24 HOURS. THE CONTRACTOR IS ADVISED THAT ANY COSTS RELATED TO REPAIR OR REPLACEMENT OF DAMAGED PUBLIC SERVICES OR SYSTEMS AS A RESULT OF CONTRACTOR'S NEGLIGENCE SHALL BE BORNE BY THE CONTRACTOR.

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PORTION OF THAT TRACT AS CONVEYED TO PHOENIX-MESA GATEWAY AIRPORT AUTHORITY BY DEED OF RECORD IN INSTRUMENT NUMBER 2012-0207529, MARICOPA COUNTY RECORDS (MCR) AND AS SHOWN ON THAT ALTANSP'S LAND TITLE SURVEY BY HUNTER ENGINEERING STAMPED AND SIGNED BY JERRY D. HEATH JR. ON 4/30/2018 LOCATED WITHIN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 32,TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA & SALT RIVER MERIDIAN,CITY OF MESA, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 32 (FND 1.5" IRON PIPE) FROM WHICH POINT THE SOUTH QUARTER CORNER THEREOF (2.5" AL CAP) BEARS S 89°29'18" E A DISTANCE OF 2637.95 FEET;

THENCE N 4°09'50" E A DISTANCE OF 1067.41 FEET TO A POINT ON THE EAST LINE OF A PUBLIC UTILITY AND FACILITY EASEMENT (PUFE) AS SHOWN ON THE MAP OF DEDICATION FOR VELOCITY WAY, SOUTH TAXIWAY CIRCLE AND SOUTH CARGO WAY RECORDED IN BOOK 733, PAGE 39, MARICOPA COUNTY RECORDS BEING THE WEST BOUNDARY LINE OF SAID ALTANSP'S LAND TITLE SURVEY THE POINT OF BEGINNING;

THENCE ACROSS SAID PHOENIX-MESA GATEWAY AIRPORT AUTHORITY TRACT THE REMAINING COURSES AND DISTANCES:

THENCE N 90°00'00" E A DISTANCE OF 575.15 FEET;
THENCE S 00°00'00" E A DISTANCE OF 298.56 FEET;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 15.00 FEET, THROUGH A CENTRAL ANGLE OF 90°00'00" AND HAVING AN ARC LENGTH OF 23.56 FEET;

THENCE N 90°00'00" W A DISTANCE OF 504.79 FEET;

THENCE N 45°00'00" W A DISTANCE OF 71.67 FEET TO A POINT ON SAID EAST PUFE LINE;

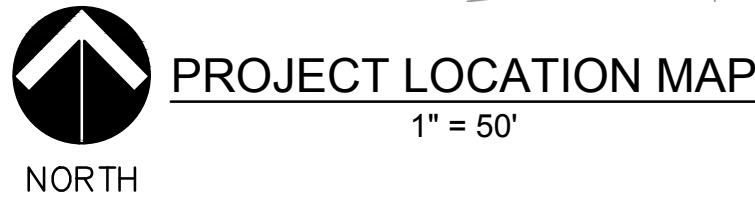
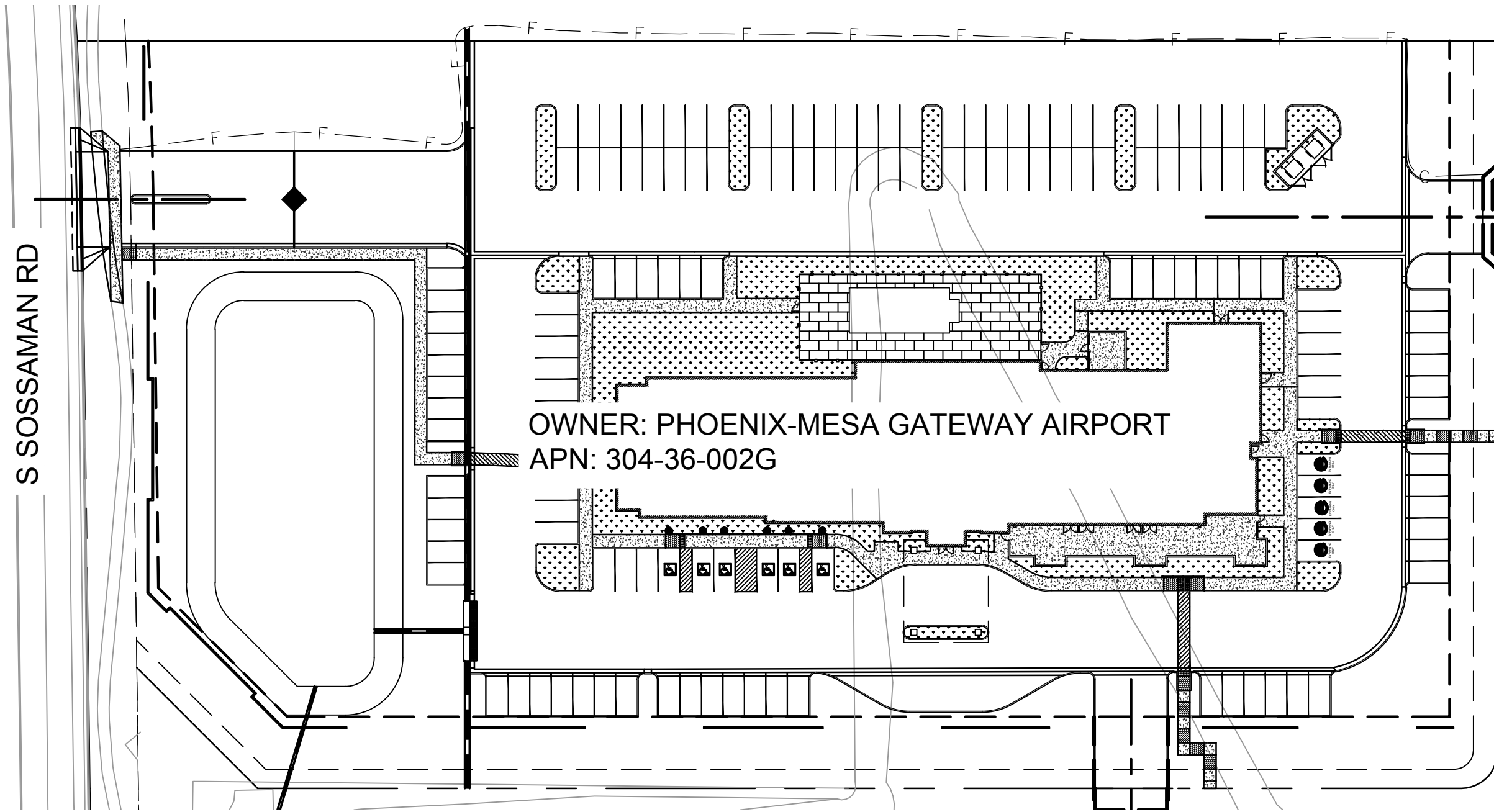
THENCE N 00°45'32" W, ALONG SAID EAST PUFE LINE, A DISTANCE OF 196.92 FEET AND THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT FROM WHICH POINT THE RADIUS POINT BEARS S 89°14'28" W;

THENCE ALONG SAID NON-TANGENT CURVE TO THE LEFT AND ALONG SAID EAST PUFE LINE HAVING A RADIUS OF 1811.00 FEET, THROUGH A CENTRAL ANGLE OF 02°05'20" AND HAVING AN ARC LENGTH OF 66.02 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 178,027.66 SQUARE FEET OR 4.0869 ACRES OF LAND, MORE OR LESS, INCLUDING ANY EASEMENTS OF RECORD. THE BASIS OF BEARING FOR THE ABOVE DESCRIPTIONS IS S 89°29'18" E FOR THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA & SALT RIVER MERIDIAN, CITY OF MESA, MARICOPA COUNTY, ARIZONA, AS SHOWN ON THE PLSS SUBDIVISION RECORD OF SURVEY-MARICOPA COUNTY GEODETIC DENSIFICATION AND CADASTRAL SURVEY RECORDED IN BOOK 609, PAGE 29, MARICOPA COUNTY RECORDS.

OWNER: ARIZONA BOARD OF REGENTS
APN: 304-50-003N

PRELIMINARY GRADING & DRAINAGE PLAN
SKYBRIDGE WYNDHAM
A PORTION OF SECTION 32, TOWNSHIP 1 SOUTH , RANGE 7 EAST OF THE
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



ENGINEER:

RITOCH-POWELL & ASSOCIATES
63 E MAIN ST, STE 502
MESA, AZ 85201
PHONE: 480-539-7497
ENGINEER: JOHN BISHOP, PM
EMAIL: JBISHOP@RPAENG.COM

DEVELOPER/OWNER:

MESA SKYBRIDGE, LLC
ATTN: WILL MOSELEY
2415 E CAMELBACK RD, STE 700
PHOENIX, ARIZONA 85016
PHONE: 602-508-3561
WILL.MOSELEY@SKYBRIDGEDEVELOPMENTS.COM

ARCHITECT:

REFLECT ARCHITECTURE LLC
ATTN: DEREK WIGGINS
2 WEST STREET GEORGE BLVD. #10
ST. GEORGE, UTAH 84770
PHONE: 435-525-1448
EMAIL: REFLECTARCHITECTURE@GMAIL.COM

SITE INFORMATION AND PROJECT DATA

ADDRESS:7722 E VELOCITY WAY, MESA, AZ 85212
ASSESSOR'S NUMBER(S): APN 304-36-002G
AREA: 193,021.43 SF (4.4312 ACRES)
ZONING: LI

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2	DT01	NOTES
3-4	PGD01-PGD02	PRELIMINARY GRADING AND DRAINAGE PLAN

LEGEND

	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	FLOW ARROW
	PROPOSED FINISHED GRADE ELEVATION
	EXISTING GROUND ELEVATION
	SAWCUT LINE
	PROPERTY LINE
	EASEMENT/BUILDING SETBACK LINE
	SECTION LINE
	RIGHT OF WAY
	EXISTING OVERHEAD ELECTRIC
	EXISTING FENCE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING STORM DRAIN
	EXISTING TELEPHONE SERVICE
	EXISTING GAS LINE
	PROPERTY CORNER
	EXISTING WATER METER
	EXISTING SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING PEDESTAL
	EXISTING POWER POLE
	EXISTING SIGN
	EXISTING OVERHEAD LIGHT

MCESD APPROVAL

DRAINAGE STATEMENT:

- PROJECT SITE LOCATED IN ZONE D.
- RETENTION PROVIDED IS FOR 100-YEAR, 2-HOUR EVENT.
- EXTREME STORM OUTFALLS THE SITE AT THE SOUTHWEST CORNER OF PROJECT SITE.

ESTIMATE EARTHWORK:

CUT = 2,282 CY
FILL = 8,279 CY
NET = 5,997 CY (FILL)

ABOVE NUMBERS DO NOT REFLECT SHRINK/SWELL, PRE-COMPACTION, OR LOSSES DUE TO OVER EXCAVATION.

FLOOD PLAIN CERTIFICATION

PER FEMA FLOOD INSURANCE RATE MAP NO. 04013C2770L, DATED OCTOBER 16, 2013, THE SUBJECT PROPERTY IS LOCATED IN ZONE D. ZONE D IS DESCRIBED AS: AREAS OF UNDETERMINED FLOOD HAZARD

RETENTION CALCULATIONS:

THIS SITE WILL PROVIDE STORM WATER RETENTION FOR THE 100-YEAR, 2-HOUR STORM EVENT.

RETENTION CALCULATION:

$$V_R = C \frac{P}{12} A$$
$$C_w = 0.79$$
$$P = 2.2"$$
$$A = 193,021.43 \text{ SF}$$
$$V_R = 27,790 \text{ CF} = 0.64 \text{ AC-FT}$$
$$V_p = 38,416 \text{ CF} = 0.88 \text{ AC-FT}$$

CITY OF MESA APPROVAL

SIGNATURE

DATE

SIGNATURE

DATE



REVISION

BY

DATE

NO.

OWNER: ARIZONA BOARD OF REGENTS
APN: 304-50-003N

PROJECT LOCATION MAP
1" = 50'

ENGINEER:
RITOCH-POWELL & ASSOCIATES
63 E MAIN ST, STE 502
MESA, AZ 85201
PHONE: 480-539-7497
ENGINEER: JOHN BISHOP, PM
EMAIL: JBISHOP@RPAENG.COM

DEVELOPER/OWNER:
MESA SKYBRIDGE, LLC
ATTN: WILL MOSELEY
2415 E CAMELBACK RD, STE 700
PHOENIX, ARIZONA 85016
PHONE: 602-508-3561
WILL.MOSELEY@SKYBRIDGEDEVELOPMENTS.COM

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CITY OF MESA APPROVAL

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PER FEMA FLOOD INSURANCE RATE MAP NO. 04013C2770L, DATED OCTOBER 16, 2013, THE SUBJECT PROPERTY IS LOCATED IN ZONE D. ZONE D IS DESCRIBED AS: AREAS OF UNDETERMINED FLOOD HAZARD

RETENTION CALCULATIONS:
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CITY OF MESA APPROVAL

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SIGNATURE DATE

REVISION

BY

DATE

NO.

OWNER: ARIZONA BOARD OF REGENTS
APN: 304-50-003N

PROJECT LOCATION MAP
1" = 50'

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ST. GEORGE, UTAH 84770
PHONE: 435-525-1448
EMAIL: REFLECTARCHITECTURE@GMAIL.COM

SITE INFORMATION AND PROJECT DATA
ADDRESS:7722 E VELOCITY WAY, MESA, AZ 85212
ASSESSOR'S NUMBER(S): APN 304-36-002G
AREA: 193,021.43 SF (4.4312 ACRES)
ZONING: LI

SHEET INDEX
SHEET NO. DWG NO. SHEET
1 CV01 COVER SHEET
2 DT01 NOTES
3-4 PGD01-PGD02 PRELIMINARY GRADING AND DRAINAGE PLAN

LEGEND
PROPOSED CONTOUR LINE
EXISTING CONTOUR LINE
FLOW ARROW
PROPOSED FINISHED GRADE ELEVATION
EXISTING GROUND ELEVATION
SAWCUT LINE
PROPERTY LINE
EASEMENT/BUILDING SETBACK LINE
SECTION LINE
RIGHT OF WAY
EXISTING OVERHEAD ELECTRIC
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EXISTING WATER LINE
EXISTING SEWER LINE
EXISTING UNDERGROUND ELECTRIC
EXISTING STORM DRAIN
EXISTING TELEPHONE SERVICE
EXISTING GAS LINE
PROPERTY CORNER
EXISTING WATER METER
EXISTING SEWER MANHOLE
EXISTING STORM DRAIN MANHOLE
EXISTING FIRE HYDRANT
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EXISTING PEDESTAL
EXISTING POWER POLE
EXISTING SIGN
EXISTING OVERHEAD LIGHT

MCESD APPROVAL

DRAINAGE STATEMENT:
A. PROJECT SITE LOCATED IN ZONE D.
B. RETENTION PROVIDED IS FOR 100-YEAR, 2-HOUR EVENT.
C. EXTREME STORM OUTFALLS THE SITE AT THE SOUTHWEST CORNER OF PROJECT SITE.

ESTIMATE EARTHWORK:
CUT = 2,282 CY
FILL = 8,279 CY
NET = 5,997 CY (FILL)
ABOVE NUMBERS DO NOT REFLECT SHRINK/SWELL, PRE-COMPACTION, OR LOSSES DUE TO OVER EXCAVATION.

FLOOD PLAIN CERTIFICATION
PER FEMA FLOOD INSURANCE RATE MAP NO. 04013C2770L, DATED OCTOBER 16, 2013, THE SUBJECT PROPERTY IS LOCATED IN ZONE D. ZONE D IS DESCRIBED AS: AREAS OF UNDETERMINED FLOOD HAZARD

RETENTION CALCULATIONS:
THIS SITE WILL PROVIDE STORM WATER RETENTION FOR THE 100-YEAR, 2-HOUR STORM EVENT.

RETENTION CALCULATION:
 $V_R = C \frac{P}{12} A$
 $C_w = 0.79$
 $P = 2.2"$
 $A = 193,021.43 \text{ SF}$
 $V_R = 27,790 \text{ CF} = 0.64 \text{ AC-FT}$
 $V_p = 38,416 \text{ CF} = 0.88 \text{ AC-FT}$

CITY OF MESA APPROVAL

SIGNATURE DATE

SIGNATURE DATE

REVISION

BY

DATE

NO.

OWNER: ARIZONA BOARD OF REGENTS
APN: 304-50-003N

PROJECT LOCATION MAP
1" = 50'

ENGINEER:
RITOCH-POWELL & ASSOCIATES
63 E MAIN ST, STE 502
MESA, AZ 85201
PHONE: 480-539-7497
ENGINEER: JOHN BISHOP, PM
EMAIL: JBISHOP@RPAENG.COM

DEVELOPER/OWNER:
MESA SKYBRIDGE, LLC
ATTN: WILL MOSELEY
2415 E CAMELBACK RD, STE 700
PHOENIX, ARIZONA 85016
PHONE: 602-508-3561
WILL.MOSELEY@SKYBRIDGEDEVELOPMENTS.COM

ARCHITECT:
REFLECT ARCHITECTURE LLC
ATTN: DEREK WIGGINS
2 WEST STREET GEORGE BLVD. #10
ST. GEORGE, UTAH 84770
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DATE: Sep 07, 2021 FILE: J:\2020 Jobs\220136 - SkyBridge Wyndham\CAD Files\Sheets\Grading and Drainage Plan\Preliminary Grading and Drainage Plan\02-220136-PSD-DT01.dwg

PAVING NOTES (CITY OF MESA)

1. CONTRACTOR SHALL COORDINATE ALL DRIVEWAY LOCATIONS WITH PRIVATE PROPERTY OWNERS AND THE CITY INSPECTOR.
2. FOR THE APPROVED LIST OF PAVING PRODUCTS SEE:
http://www.mesaaz.gov/engineering/approvedproductslist.aspx.
3. ALL GUTTER GRADES LESS THAN 0.0020 FT/FT SHALL BE STAKED ALONG THE ACTUAL GUTTER ALIGNMENT (NOT OFFSET) AND CHECKED BY CITY OF MESA INSPECTOR IMMEDIATELY PRIOR TO PLACEMENT OF CONCRETE.
4. ALL FRAMES, COVERS, VALVE BOXES, ETC. SHALL BE ADJUSTED BY THE CONTRACTOR TO FINISHED GRADE AFTER PLACEMENT OF ASPHALT CONCRETE SURFACE COURSE PER MAG STD DETAILS 270, 422, OR 391-1-C.

WATER, WASTEWATER, AND STORM DRAIN NOTES (CITY OF MESA)

1. MATERIALS AND INSTALLATION OF WATER AND SEWER MAINS, WATER METERS AND SERVICE LINE CONNECTIONS SHALL CONFORM TO CURRENT CITY DETAILS, MESA AMENDMENTS TO MAG SPECIFICATIOIS, AND THE APPROVED PRODUCTS LIST. SEE BELOW FOR APPROVED PRODUCT LISTS FOR WATER AND WASTEWATER.

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HTTPS://WWW.MESAAZ.GOV/HOME/SHOWDOCUMENT?ID=24019
2. IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE (A.A.C.) R18-4-213, ALL MATERIALS WHICH MAY COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NATIONAL SANITATION FOUNDATION (NSF) STANDARDS 60, 61, AND 372 AND SHALL BE LEAD-FREE AS DEFINED IN A.A.C. R18-5-504 AND R18-4-101.
3. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL NECESSARY FITTINGS AND ADAPTERS REQUIRED TO CONNECT DIFFERENT TYPES OF WATER MAIN MATERIALS.
4. PER MESA AMENDMENTS 610.4.2 ALL MINOR VERTICAL OR HORIZONTAL DEFLECTIONS SHALL BE BY PIPE JOINT DEFLECTION UNLESS OTHERWISE NOTED. PIPE JOINT DEFLECTION SHALL NOT EXCEED 3 DEGREES OR 2/3 OF PIPE MANUFACTURER'S RECOMMENDATIONS WHICHEVER IS LESS.
5. PER MAG AND MESA AMENDMENTS 610.11 ALL WATER LINE TESTS SHALL BE COMPLETED SO THAT NO EXISTING LINES, EXISTING VALVES, OR NEWLY INSTALLED VALVES WHICH ARE CONNECTED TO THE OPERATING WATER SYSTEM ARE INCLUDED IN THE TESTS. ALLOWABLE TIME FRAMES SHOULD FOLLOW MESA AMENDMENTS TO MAG AND MUST BE COORDINATED WITH THE CITY INSPECTOR. FOR A DAYTIME TIE-IN, THE CONTRACTOR SHALL COMPLETE ALL WORK NECESSARY TO RESTORE UTILITY SERVICE AND FULLY OPEN THE TIE-IN AREA TO TRAFFIC WITHIN THE TIME ALLOWED.
6. WATER LINE FLUSHING, PRESSURE TESTING, AND DISINFECTION SHALL BE COMPLETED PER MAG SPECIFICATION SECTION 611, MESA AMENDMENTS TO MAG SPECIFICATION SECTION 611, AND AWWA C651 (CURRENT VERSION).
7. SOURCE WATER UTILIZED FOR FILLING, FLUSHING AND TESTING SHALL BE OBTAINED FROM A HYDRANT METER ORDERED THROUGH PERMIT SERVICES AND SET BY CITY OF MESA WATER RESOURCES STAFF. IT IS PROHIBITED TO OPEN A VALVE TO THE EXISTING WATER SYSTEM TO FILL A NEWLY CONSTRUCTED OR REPAIRED PIPELINE AS OUTLINED IN THE MESA AMENDMENTS TO MAG SECTION 610.11 AND 611.
8. WATER METERS, METER BOXES, LIDS, ETC. IN CONFLICT WITH NEW CONSTRUCTION SHALL BE RELOCATED PER CITY OF MESA STANDARD DETAIL M-49 BY THE CONTRACTOR. THE RELOCATION SHALL INCLUDE ALL MATERIALS NECESSARY TO RECONNECT THE METER TO THE CITY DISTRIBUTION SYSTEM. SERVICE LINE EXTENSIONS, IF APPROVED IN WRITING BY MESA WATER RESOURCES DEPARTMENT, SHALL CONFORM TO MESA STANDARD DETAIL M-49. WHEN SERVICE LINE EXTENSIONS ARE APPROVED PER MESA STANDARD DETAIL M-49, SERVICE LINE COUPLINGS SHALL NOT BE PLACED UNDER ROADWAY SURFACES, CONCRETE GUTTERS, CURB AND GUTTER, OR CONCRETE DRIVEWAYS.
9. VALVES SHALL BE INSTALLED WITH VALVE BOX AND COVER PER MAG STD DETAILS 391-1,TYPE C WITH A DEEP-SKIRTED LID (4-INCHES MINIMUM) AS NOTED IN THE APPROVED PRODUCTS LIST.
10. ALL WATER LINE ABANDONMENT CUT AND PLUGS FOR ACTIVE LINES SHALL CONFORM TO THE FOLLOWING:

A. 12" AND SMALLER DIAMETER PER MESA STANDARD DETAIL M-50.

B. 16" DIAMETER PER M.A.G. STANDARD DETAIL 390, TYPE B.

C. GREATER THAN 16" DIAMETER, AS DESIGNED PER PLAN.
11. LIME-TREATED AGGREGATE BASE COURSE (ABC) MATERIAL, RECLAIMED CONCRETE MATERIAL (RCM), AND RECLAIMED ASPHALT PAVEMENT (RAP) MATERIALS ARE PROHIBITED FOR USE IN THE PIPE EMBEDMENT ZONE (BEDDING, HAUNCHING, INITIAL BACKFILL) FOR WATERLINE CONSTRUCTION PER MESA AMENDMENTS 601.4.2.
12. PER MESA AMENDMENTS 610.11, APPLICATIONS TO THE CITY OF MESA ENGINEERING INSPECTOR AND REVIEWED AND APPROVED BY THE WATER RESOURCE DEPARTMENT FOR WATER SYSTEM SHUTDOWN FOR THE PURPOSES OF CONSTRUCTION-RELATED ACTIVITIES SHALL BE MADE A MINIMUM OF FIVE (5) BUSINESS DAYS PRIOR TO THE SCHEDULED SHUTDOWN DATE. THE REQUEST SHALL INCLUDE PRIMARY AND SECONDARY VALVE NUMBERS, WHETHER A TEST SHUTDOWN IS REQUESTED, AND THE DATE AND DURATION OF THE REQUESTED SHUTDOWN. PER MAG 610.11, THE CITY OF MESA DOES NOT GUARANTEE A COMPLETE SHUTDOWN.
13. REQUIRED BACKFLOW PREVENTION ASSEMBLIES SHALL INCLUDE MANUFACTURERS AND MODELS DESIGNATED IN THE CURRENT "LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES" AS PUBLISHED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH, UNIVERSITY OF SOUTHERN CALIFORNIA.
14. BACKFLOW PREVENTION ASSEMBLIES SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA "LIST OF APPROVED INSPECTORS" PRIOR TO THE REQUEST FOR FINAL INSPECTION.
15. ALL WATER METERS ARE TO BE SUPPLIED BY THE CITY OF MESA. CHARGES FOR INSTALLING NEW SERVICES AND METERS WILL BE IN ACCORDANCE WITH THE CURRENT UTILITY SERVICE FEE SCHEDULE. METERS TWO INCHES OR LESS WILL BE DELIVERED AND INSTALLED BY CITY FORCES. METERS LARGER THAN TWO INCHES WILL BE DELIVERED BY THE CITY AND INSTALLED BY THE CONTRACTOR AND REQUIRE SCHEDULING AND INSPECTIONS WITH CITY FORCES. CONTACT THE DEVELOPMENT SERVICES DEPARTMENT AT 480-644-4273 FOR THE SPECIFIC PROCEDURE. SEE M-27.01 FOR MORE INFORMATION.
16. WHEN GROUTING OR CASTING CONCRETE AROUND PVC SEWER PIPE, SUCH AS AT MANHOLE OR VAULT PENETRATIONS, THE CONTRACTOR SHALL INSTALL WATER STOPS PER MESA AMENDMENTS TO MAG SPECIFICATION 625 AND MANUFACTURERS RECOMMENDATIONS.
17. SEWER BUILDING CONNECTION LATERALS SHALL BE INSTALLED PER MAG STANDARD DETAIL 440. LATERAL WYES SHALL BE INSTALLED AT NO GREATER THAN A 45 DEGREE ANGLE FROM HORIZONTAL. SEWER LATERAL SLOPES SHALL BE AS INDICATED ON MAG STANDARD DETAIL 440 AND IN NO CIRCUMSTANCE SHALL SEWER LATERAL SLOPES EXCEED 7/8" PER FOOT FOR 6" LATERALS AND 1-1/2" PER FOOT FOR 4" LATERALS. FITTINGS SHALL BE INSTALLED WITH NO ANGULAR JOINT DEFLECTION AND ALL CONNECTIONS SHALL BE GASKETED OR SEALED PER MAG SPECIFICATIONS.
18. SEWER MANHOLE BASES, BENCHES, SHELVES, AND CHANNELS SHALL BE CONSTRUCTED PER MAG STANDARD DETAIL 420. EACH INLET PIPE SHALL HAVE A DESIGNATED, FORMED CHANNEL AND BENCHING. THE DIMENSIONS OF CHANNELS, SHELF SLOPE, AND MINIMUM INLET PIPE ANGLES SHALL BE CONSTRUCTED PER MAG STANDARD DETAIL 420-3.
19. PER MESA DESIGN STANDARDS, SEWER MANHOLES SHALL BE CONSTRUCTED PER MAG STANDARD DETAILS 420-1, TYPE 'A' TOP; AND 423-2 EXCEPT THAT:

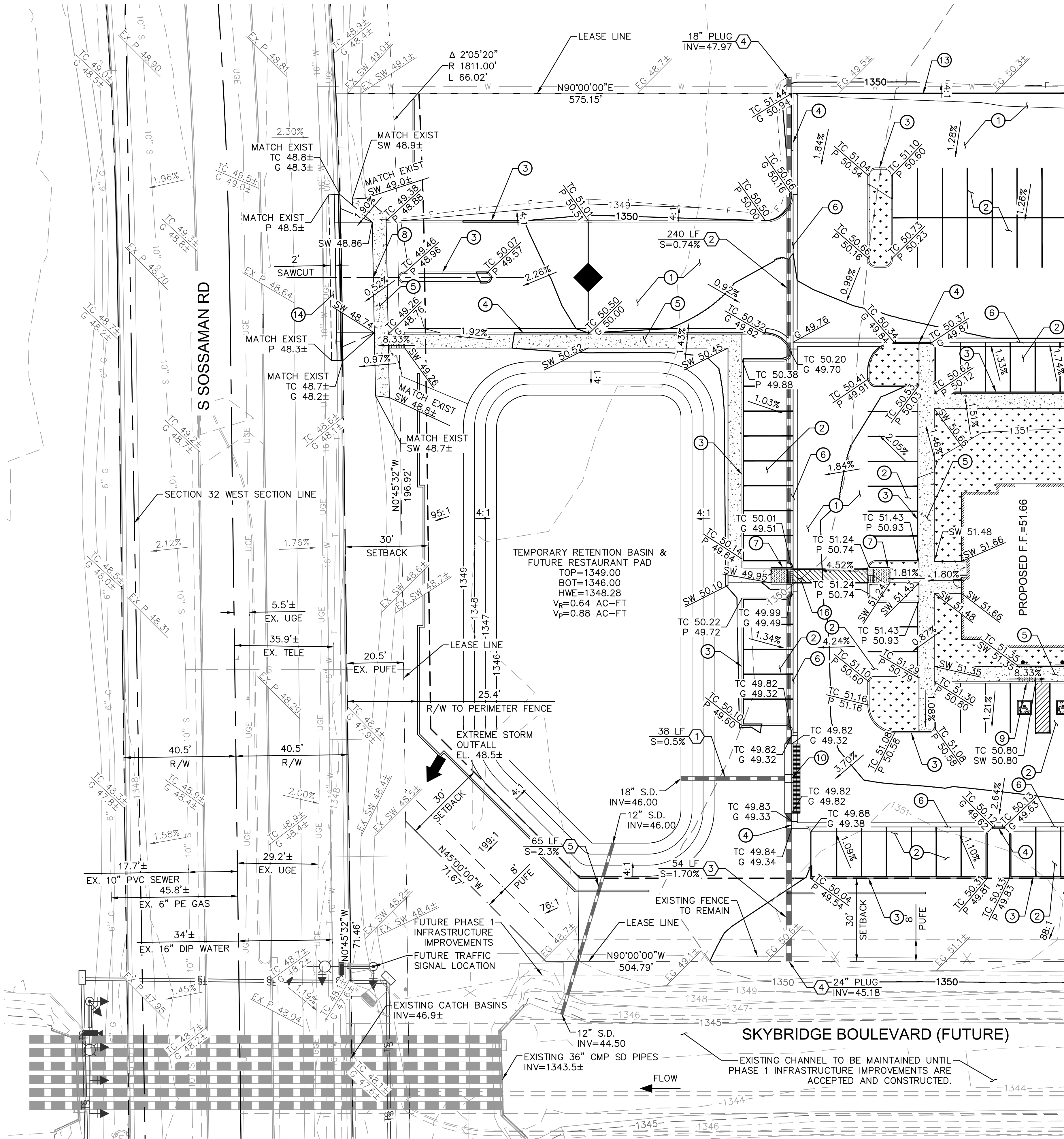
A. MANHOLE SHAFT DIAMETERS SHALL BE 5 FEET.

B. MANHOLE RINGS AND COVERS SHALL HAVE 30-INCH DIAMETERS.

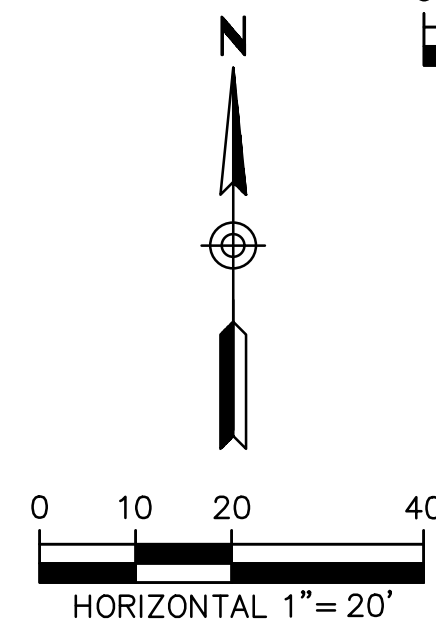
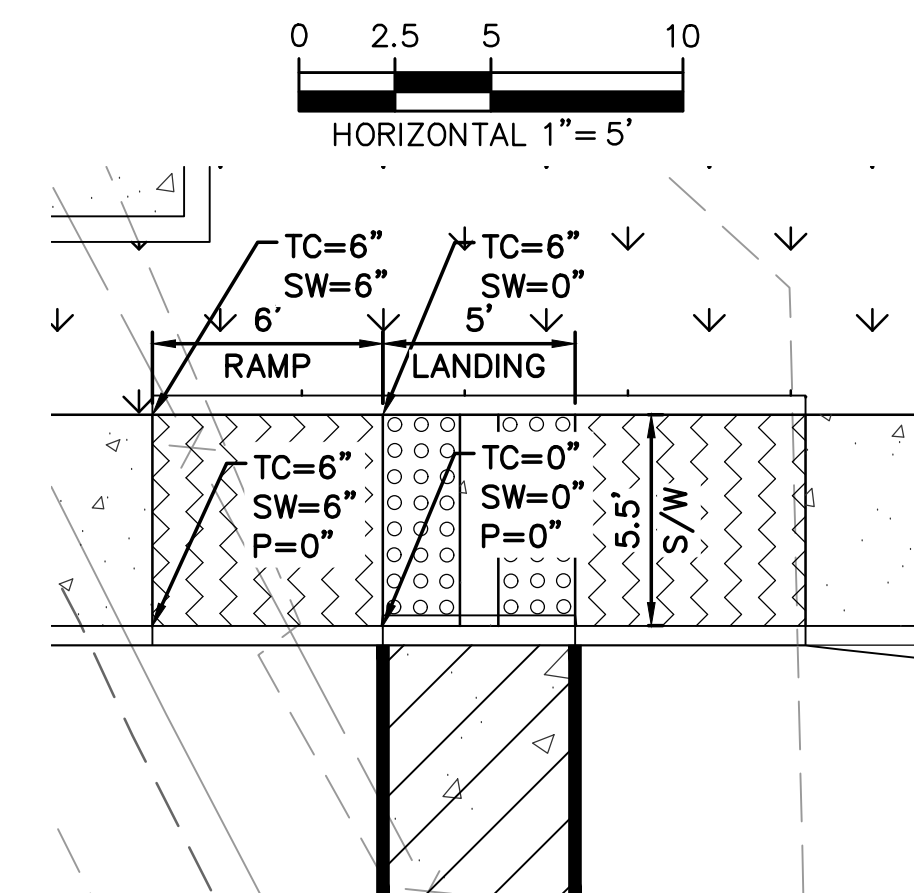
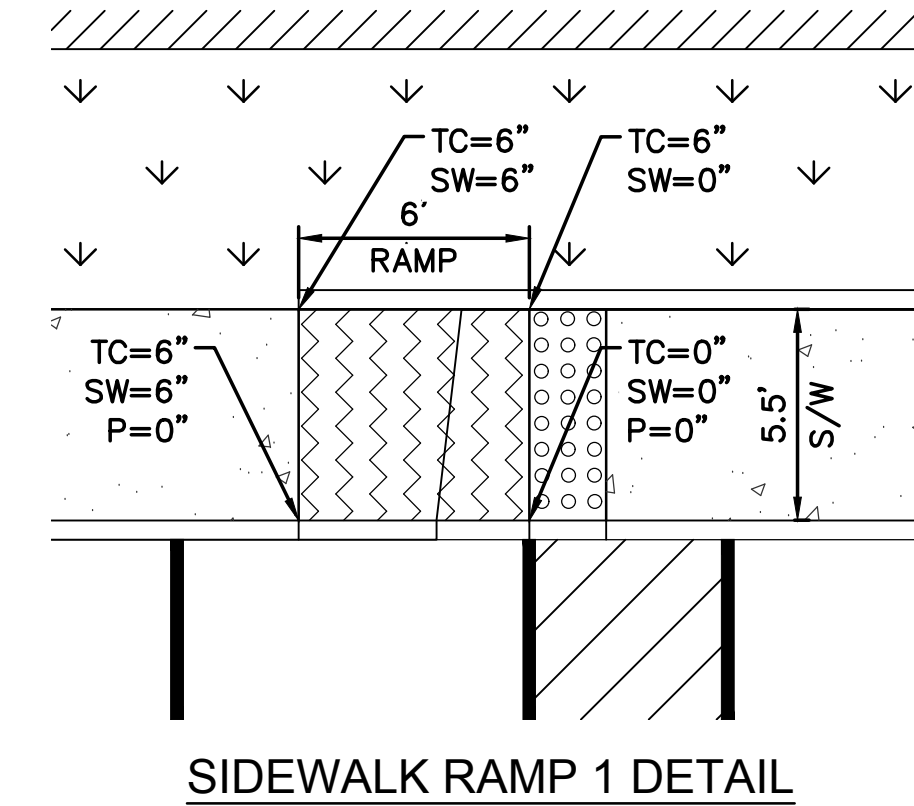
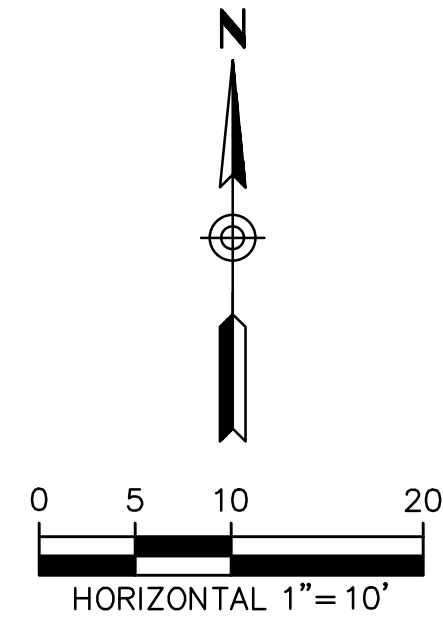
C. STEPS SHALL NOT BE INCLUDED.



DWG.		JOB NO.:		220136		REVISION	
DT01		DESIGN BY:		DN			
SHEET		DRAWN BY:		DN			
2		CHECKED:		JC			
OF		DATE:		9/7/2021			
SKYBRIDGE WYNDHAM				NOTES			
MARICOPA COUNTY				MESA, ARIZONA			
PRELIMINARY NOT FOR CONSTRUCTION						RITOCH-POWELL & Associates 602-263-1177 www.rtochpowell.com	



MATCH LINE - SEE SHEET 4



NOTE: TEMPORARY RETENTION BASIN IMPROVEMENTS TO BE REMOVED WHEN PHASE 1 INFRASTRUCTURE IMPROVEMENTS ARE CONSTRUCTED. RETENTION BASIN WILL BE REPLACED WITH A FUTURE RESTAURANT PAD ONCE PHASE 1 INFRASTRUCTURE IMPROVEMENTS ARE ACCEPTED AND CONSTRUCTED.

THE TEMPORARY 18" STORM DRAIN PIPE INTO THE TEMPORARY BASIN WILL BE REMOVED AND THE CATCH BASIN WALL PLUGGED AND THE 24" STORM DRAIN PIPE TO THE SOUTH WILL CONTINUE AS PART OF THE PHASE 1 INFRASTRUCTURE IMPROVEMENTS.

THE TEMPORARY 12" STORM DRAIN PIPE FROM THE TEMPORARY BASIN INTO THE EXISTING CHANNEL WILL BE REMOVED WHEN PHASE 1 INFRASTRUCTURE IMPROVEMENTS ARE CONSTRUCTED.

- NOTES:
- IN ACCORDANCE WITH THE CITY OF MESA ENGINEERING AND DESIGN STANDARDS CHAPTER 604.3, 705.4 & 705.5 APPLICANT WILL BE REQUIRED TO PLACE ALL NEW ELECTRIC AND/OR COMMUNICATION SERVICES, MODIFICATIONS OR UPGRADES UNDERGROUND.
 - ALL EXISTING OVERHEAD UTILITIES, TWELVE KILOVOLT (12KV) OR LESS WITHIN PUBLIC RIGHT-OF-WAY ADJACENT TO DEVELOPING PROPERTIES, SHALL BE RELOCATED UNDERGROUND. THIS REQUIREMENT SHALL APPLY TO ALL UTILITIES INCLUDING ELECTRIC DISTRIBUTION LINES, ELECTRIC SERVICE LINES, TELEPHONE CABLES AND LINES, AND LINES USED FOR OTHER COMMUNICATION SYSTEMS SUCH AS CABLE-TRANSMITTED TELEVISION. THE UNDERGROUND INSTALLATION SHALL COMPLY WITH ALL UTILITY COMPANY'S REQUIREMENTS.

CATCH BASIN DETAIL

PAVING NOTES			
NO.	DESCRIPTION	QTY	UNITS
1	3" AC ON 6" ABC	2,022	SY
2	2.5" AC ON 5" ABC	993	SY
3	SINGLE CURB PER MAG STD DTL 222, TYPE 'A'	837	LF
4	VERTICAL CURB & GUTTER PER MAG STD DTL 220-1, TYPE 'A'	169	LF
5	5' WIDE CONCRETE SIDEWALK PER MAG STL DTL 230	2,895	SF
6	MODIFIED 3' WIDE VALLEY GUTTER PER MAG STD DTL 240	1,068	SF
7	SIDEWALK RAMP PER COM STD DTL M-44.05, TYPE 'D'	2	EA
8	40' WIDE DRIVEWAY PER COM STD DTL M-42	1	EA
9	SIDEWALK RAMP PER DETAIL 1 ON SHEET 3	1	EA
10	CATCH BASIN PER MAG STD DTL 533-1 W/ TWO 10' WINGS	1	EA
13	ASPHALT PAVEMENT EDGE PER MAG STD DTL 201, TYPE 'A'	80	LF
14	SAWCUT, REMOVE AND REPLACE EXISTING ASPHALT PAVEMENT, PER COM STD DTL M-19.04.1, TYPE 'A'	14	SY
16	STAMPED CONCRETE (6" THICK)	14	SY

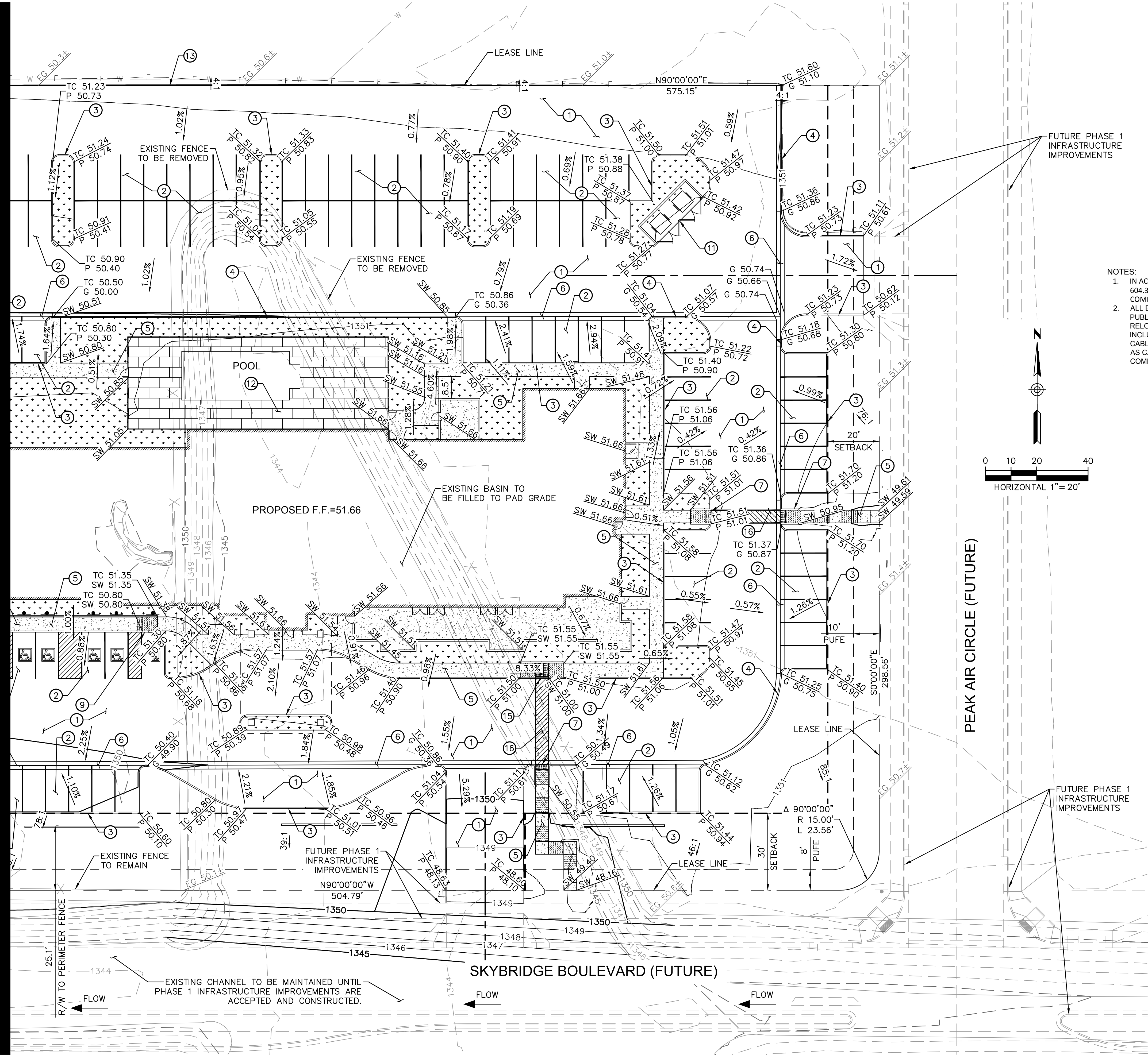
STORM DRAIN NOTES			
NO.	DESCRIPTION	QTY	UNITS
1	INSTALL TEMPORARY 18" PVC STORM DRAIN PIPE	38	LF
2	INSTALL 18" RCP STORM DRAIN PIPE	253	LF
3	INSTALL 24" RCP STORM DRAIN PIPE W/ TEMPORARY PLUGS	66	LF
4	INSTALL TEMPORARY PLUG, SIZE PER PLAN	2	EA
5	INSTALL TEMPORARY 12" PVC STORM DRAIN PIPE	65	LF



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DWG: PGD01		SHEET 3		OF 4		MESA, ARIZONA			
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MATCH LINE - SEE SHEET 3

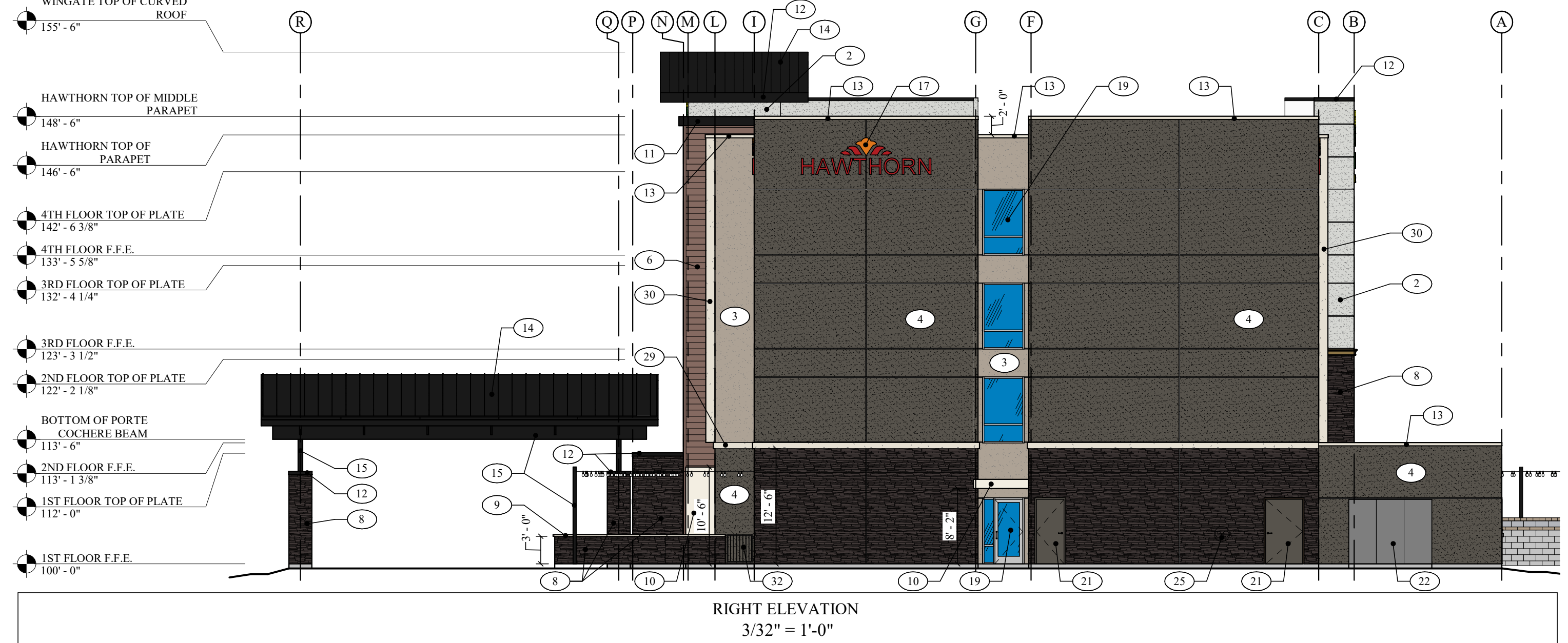
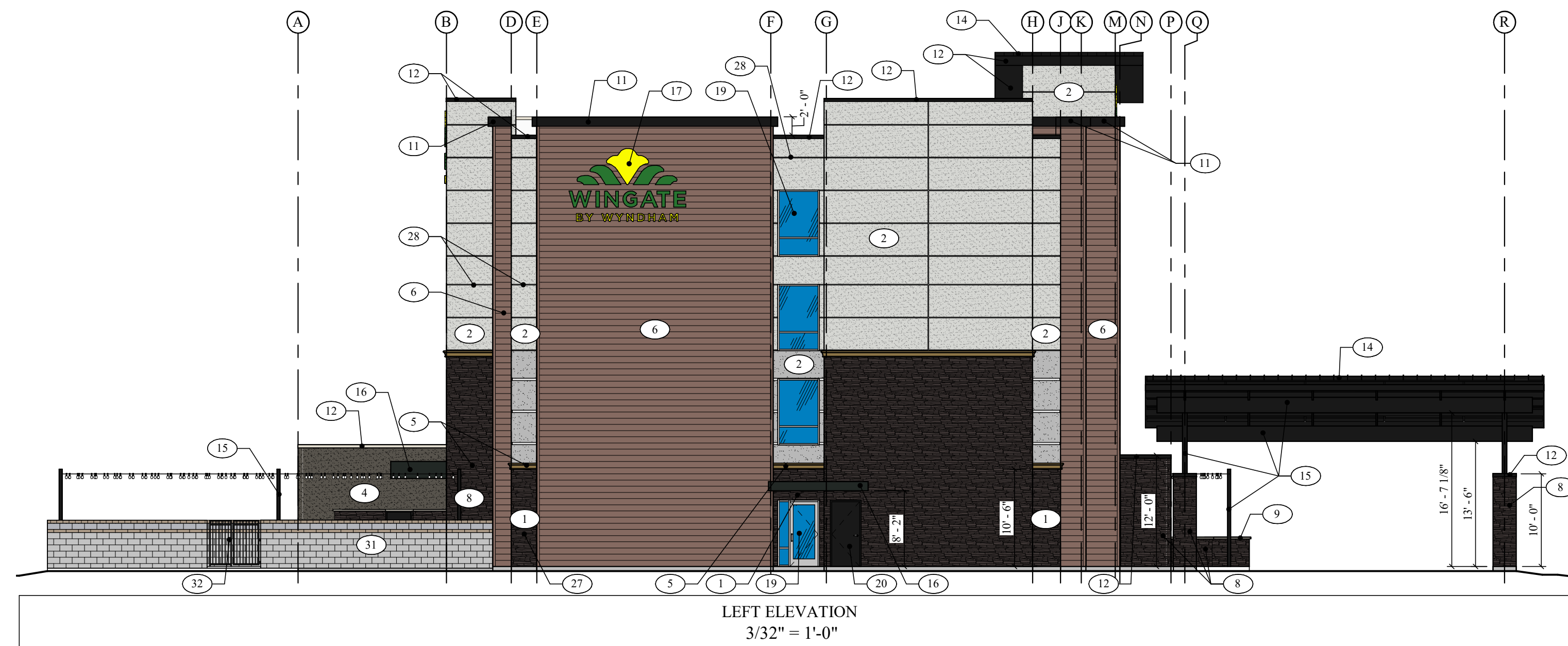


- NOTES:
- IN ACCORDANCE WITH THE CITY OF MESA ENGINEERING AND DESIGN STANDARDS CHAPTER 604.3, 705.4 & 705.5 APPLICANT WILL BE REQUIRED TO PLACE ALL NEW ELECTRIC AND/OR COMMUNICATION SERVICES, MODIFICATIONS OR UPGRADES UNDERGROUND.
 - ALL EXISTING OVERHEAD UTILITIES, TWELVE KILOVOLT (12KV) OR LESS WITHIN PUBLIC RIGHT-OF-WAY ADJACENT TO DEVELOPING PROPERTIES, SHALL BE RELOCATED UNDERGROUND. THIS REQUIREMENT SHALL APPLY TO ALL UTILITIES INCLUDING ELECTRIC DISTRIBUTION LINES, ELECTRIC SERVICE LINES, TELEPHONE CABLES AND LINES, AND LINES USED FOR OTHER COMMUNICATION SYSTEMS SUCH AS CABLE-TRANSMITTED TELEVISION. THE UNDERGROUND INSTALLATION SHALL COMPLY WITH ALL UTILITY COMPANY'S REQUIREMENTS.

PAVING NOTES			
NO.	DESCRIPTION	QTY	UNITS
①	3" AC ON 6" ABC	3,623	SY
②	2.5" AC ON 5" ABC	1,667	SY
③	SINGLE CURB PER MAG STD DTL 222, TYPE 'A'	1,537	LF
④	VERTICAL CURB & GUTTER PER MAG STD DTL 220-1, TYPE 'A'	220	LF
⑤	5' WIDE CONCRETE SIDEWALK PER MAG STL DTL 230	4,054	SF
⑥	MODIFIED 3' WIDE VALLEY GUTTER PER MAG STD DTL 240	1,572	SF
⑦	SIDEWALK RAMP PER COM STD DTL M-44.05, TYPE 'D'	3	EA
⑨	SIDEWALK RAMP PER DETAIL 1 ON SHEET 3	1	EA
⑪	DOUBLE-WIDE BIN ENCLOSURE PER COM DTL 62.02.1	1	EA
⑫	POOL DECK, REFER TO LANDSCAPE PLANS FOR DETAILS	2,769	SF
⑬	ASPHALT PAVEMENT EDGE PER MAG STD DTL 201, TYPE 'A'	301	LF
⑮	SIDEWALK RAMP PER DETAIL 2 ON SHEET 3	1	EA
⑯	STAMPED CONCRETE (6" THICK)	32	SY



JOB NO.: 220136		DESIGN BY: DN	DRAWN BY: DN	CHECKED: JC	DATE: 9/7/2021
DWG: PGD02		SHEET 4 OF 4			
SKYBRIDGE WYNDHAM PRELIMINARY GRADING AND DRAINAGE PLAN					MARICOPA COUNTY
PRELIMINARY NOT FOR CONSTRUCTION					MESA, ARIZONA
RITOCH-POWELL & Associates 602-263-1177 www.ritchpowell.com					REVISION
					BY
					DATE
					NO.



EXTERIOR FINISH SCHEDULE

1	CEMENTITIOUS STUCCO SYSTEM W/ ACRYLIC COAT INSTALLED PER ESR-1194 COLOR: PPG1009-4 GRAY STONE	6	COMPOSITE SIDING (W/ 4" MIN. TRIMS) HARDIE PLANK, SMOOTH 9.25"/8" LAP SIDING COLOR: ACCORN BROWN	11	PAINTED STEEL PARAPET CAP & CEMENTITIOUS STUCCO SYSTEM W/ ACRYLIC COAT STUCCO INSTALLED PER ESR-1194. SEE DETAIL 2/A300 TRIM & STUCCO COLOR: SW 6258 TRICORN BLACK	16	ALUMINUM COMPOSITE PANEL REYNOLBOND: RB120PE-3-MM COLOR: BLACK	22	ELECTRICAL MAIN DISTRIBUTION PANEL	29	CEMENTITIOUS STUCCO SYSTEM W/ ACRYLIC COAT STYROTRIM: FLAT - 2"x8" COLOR: SW 7010 DUCK WHITE
2	CEMENTITIOUS STUCCO SYSTEM W/ ACRYLIC COAT INSTALLED PER ESR-1194 COLOR: PPG1009-2 TORNADO	7	METAL PANEL AEP, FLEX SERIES 1.2FX10-12 COLOR: REGAL WHITE	12	PAINTED STEEL PARAPET CAP SEE DETAIL 1/A300	17	BUILDING SIGNAGE W/ POWER, SEPARATE SIGN PERMIT REQUIRED BY CITY PRIOR TO INSTALLATION	23	LAMBS TONGUE ROOF DRAIN DISCHARGE COLOR: BRASS	30	CEMENTITIOUS STUCCO SYSTEM W/ ACRYLIC COAT COLOR: SW 7010 DUCK WHITE
3	CEMENTITIOUS STUCCO SYSTEM W/ ACRYLIC COAT INSTALLED PER ESR-1194 COLOR: SW 7031 MEGA GREIGE	8	ADHERED STONE VENEER CORONADO STONE	13	PAINTED STEEL PARAPET CAP SEE DETAIL 1/A300	18	WINDOW & DOOR SYSTEM TRACO: NX-6400 COLOR: CLEAR ANODIZED	24	FIRE DEPARTMENT CONNECTION, PROVIDE ALARM AND BELLS AS REQUIRED BY FIRE MARSHALL	31	BLOCK SCREEN WALL PER LANDSCAPING PLANS
4	CEMENTITIOUS STUCCO SYSTEM W/ ACRYLIC COAT INSTALLED PER ESR-1194 COLOR: SW 7645 THUNDER GRAY	9	HONEY LEDGE - ROCKY MOUNTAIN RUNDLE WALL CAP	14	STANDING SEAM METAL ROOFING MBCI - CURVED BATTENLOK	19	WINDOW & DOOR SYSTEM 4.5"x2" FRAMES, CENTERED GLASS W/ THERMAL BREAKS COLOR: CLEAR ANODIZED	25	NATURAL GAS METER, VERIFY LOCATION & INSTALLATION W/ LOCAL GAS JURISDICTION AUTHORITY	32	POWDER COATED STEEL FENCING COLOR: SW 6258 TRICORN BLACK
5	CEMENTITIOUS STUCCO SYSTEM W/ ACRYLIC COAT INSTALLED PER ESR-1194 COLOR: SW 7700 OLDE WORLD GOLD	10	12"x18" FLAGSTONE - LOMPOC ALUMINUM COMPOSITE PANEL REYNOLBOND: RB120PE-3-MM FRISCO WHITE	15	POWDER COATED STRUCTURE STEEL COLOR: SW 6258 TRICORN BLACK	20	PAINTED HOLLOW METAL DOOR COLOR: SW 6258 TRICORN BLACK	26	3"x1" STUCCO RELIEF CONTROL JOINT, COLOR TO MATCH SURROUNDING STUCCO		
						21	PAINTED HOLLOW METAL DOOR COLOR: SW 7645 THUNDER GRAY	27	3/4" STUCCO CONTROL JOINT CLARKDIETRICH: 4075-50 (OR EQUAL W/ APPROVAL)		

Reflect Architecture, LLC.
2 West St. George Boulevard, Suite #10
St. George, Utah 84770
Derek Wiggins,
Registered Architect
reflectarchitecture@gmail.com
435-525-1448



November 29th, 2021

CITIZEN PARTICIPATION PLAN REZONE, CONDITIONAL USE PERMIT & SITE PLAN APPROVAL

<u>Meeting Date:</u>	December 15 th , 2021
<u>Time:</u>	4:00 PM
<u>Location:</u>	City Council Chambers (lower level) 57 East First Street Mesa, Arizona 85201
<u>Request:</u>	Rezone, Conditional Use Permit & Site Plan Review for the proposed project for Wingate-Hawthorn
<u>Project Address:</u>	Situated on the corner of Sossaman and East Velocity Way, Mesa, Arizona 85212
<u>Project Parcel:</u>	APN 304-36-002G
<u>Project Case:</u>	ZON21-00588
<u>Project Description:</u>	Wingate-Hawthorn Dual Brand Hotel to be developed by Skybridge Arizona. 4 Stories, 129 rooms.

Overview:

Situated on the corner of Sossaman and East Velocity Way, Mesa, Arizona 85212, assessors' number: APN 304-36-002G. Lot size is 178,027.66 sq. ft. or 4.0869 Acres and zoned LI (Light Industrial). Hotel Use is permitted per the City of Mesa ordinances. General planning is indicated as "specialty." Immediately west is S. Sossaman Road which runs roughly north and south to and from the Phoenix-Mesa Gateway Airport. Adjacent properties are zoned LI except to the west across Sossaman Road which is zoned PS (Public and Semi-Public). All adjacent properties are currently vacant.

Affected Parties:

The affected parties within 1,000 feet of the proposed site are as follows:

1. Phoenix-Mesa Gateway Airport Authority
600 S. Power Rd. Bldg. 41
Mesa, AZ 85206

2. United States of America
10 Campus Blvd.
Newton Square, PA 19073
3. Unites States of America
3707 N. 7th St.
Phoenix, AZ 85017
4. Williams Gateway Airport
5835 S. Sossaman Rd.
Mesa, AZ 85212
5. TCA Development LC
1745 E. Knox Rd.
Tempe, AZ 85284
6. Germann Investments No 1
175 E. Knox Rd.
Tempe, AZ 85284

Notification Method to Affected Parties:

Affected parties will be provided with a Citizen Participation Notification mailing.

Progress Status to Affected Parties:

Affected parties will be notified with a Public Hearing Notifications mailing.

Discussion Opportunity for Affected Parties:

Mailings will provide methods to contact the Owners/Representatives of the Wingate-Hawthorn for Skybridge Arizona. Phone, email and or mailing addresses will be provided.

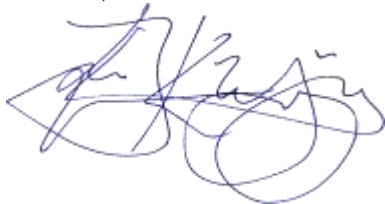
CPP Application Schedule:

Notification & Public hearing notification letters will be sent the week of November 29th, 2021 and post marked prior to December 1st, 2021

Informing the Community Development Department:

The Community Development Department will be provided with a summary the week of December 15th, 2021 to indicate if any affected parties have brought forth any concerns and to provide actual dates for mailings.

Thanks,



Derek Wiggins
Architect
Reflect Architecture LLC

Reflect Architecture, LLC.
2 West St. George Boulevard, Suite #10
St. George, Utah 84770
Derek Wiggins,
Registered Architect
reflectarchitecture@gmail.com
435-525-1448



November 30th, 2021

Dear Neighbor,

We have submitted an application to the Mesa Planning Division for a new Wingate-Hawthorn Dual Brand hotel. The hotel will be four stories with approximately 129 rooms.

This letter is being sent to all property owners within 1000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan, exterior renderings and building elevations of the proposed development.

Design Review Board approval for the October 12th, 2021 work session was received on November 16th, 2021 from the Mesa City Planning Division.

This application has been scheduled for consideration by the Mesa Planning and Zoning Board on December 15th, 2021, meeting held in the City Council Chambers located at 57 East First Street. A notification letter informing you about the meeting will or has been sent. You are invited to attend this meeting and provide any input you may have regarding this proposal.

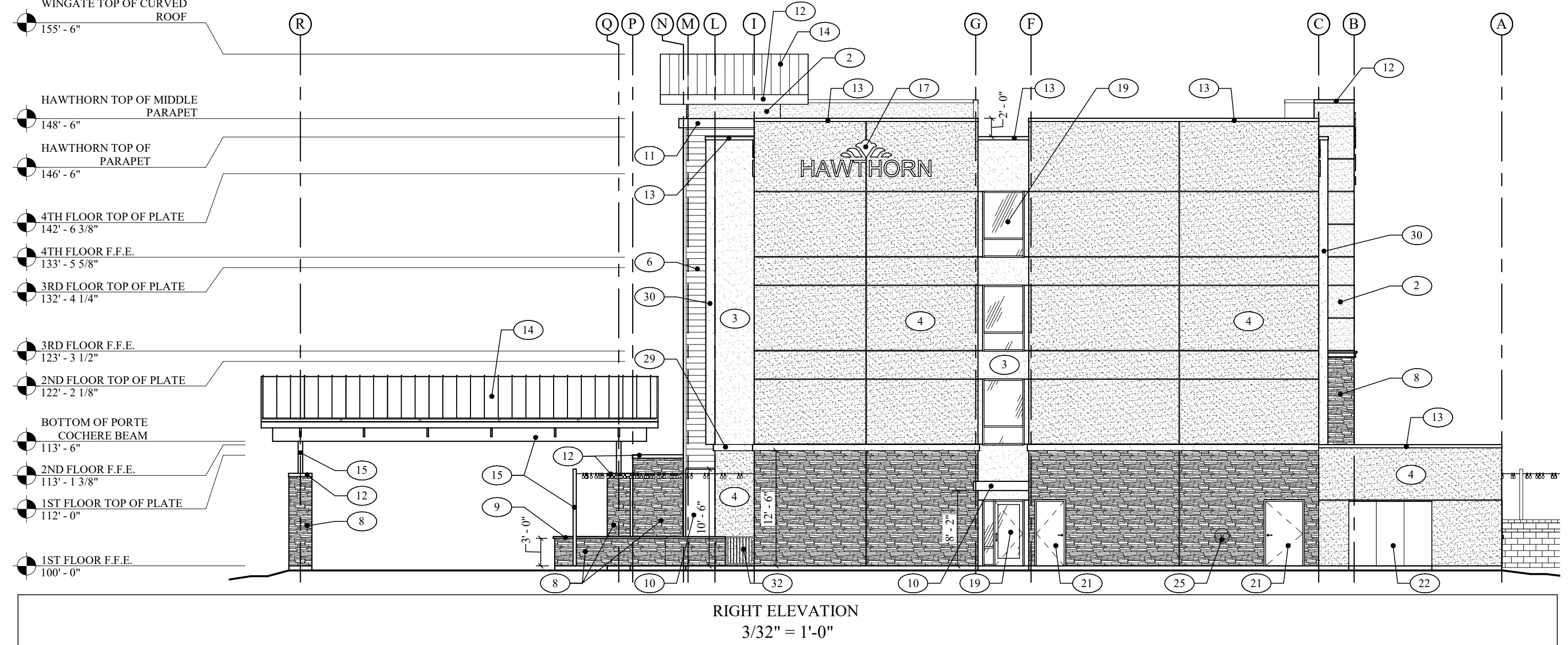
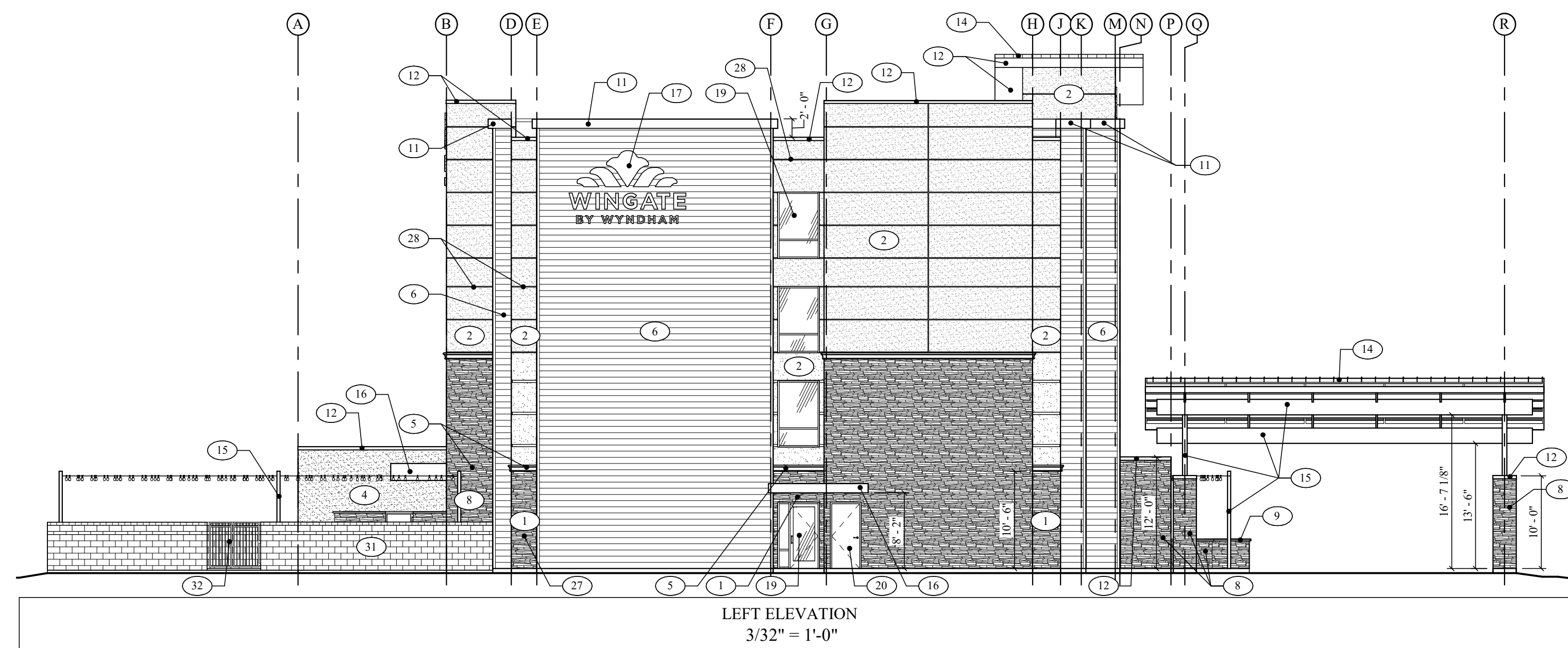
If you have any questions regarding this proposal, please call me at 435-525-1448. The City of Mesa has assigned this case to Sean Pesek of their Planning Division Staff. He can be reached at 480-644-6716 should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner

Thanks,

Derek Wiggins
Architect
Reflect Architecture LLC



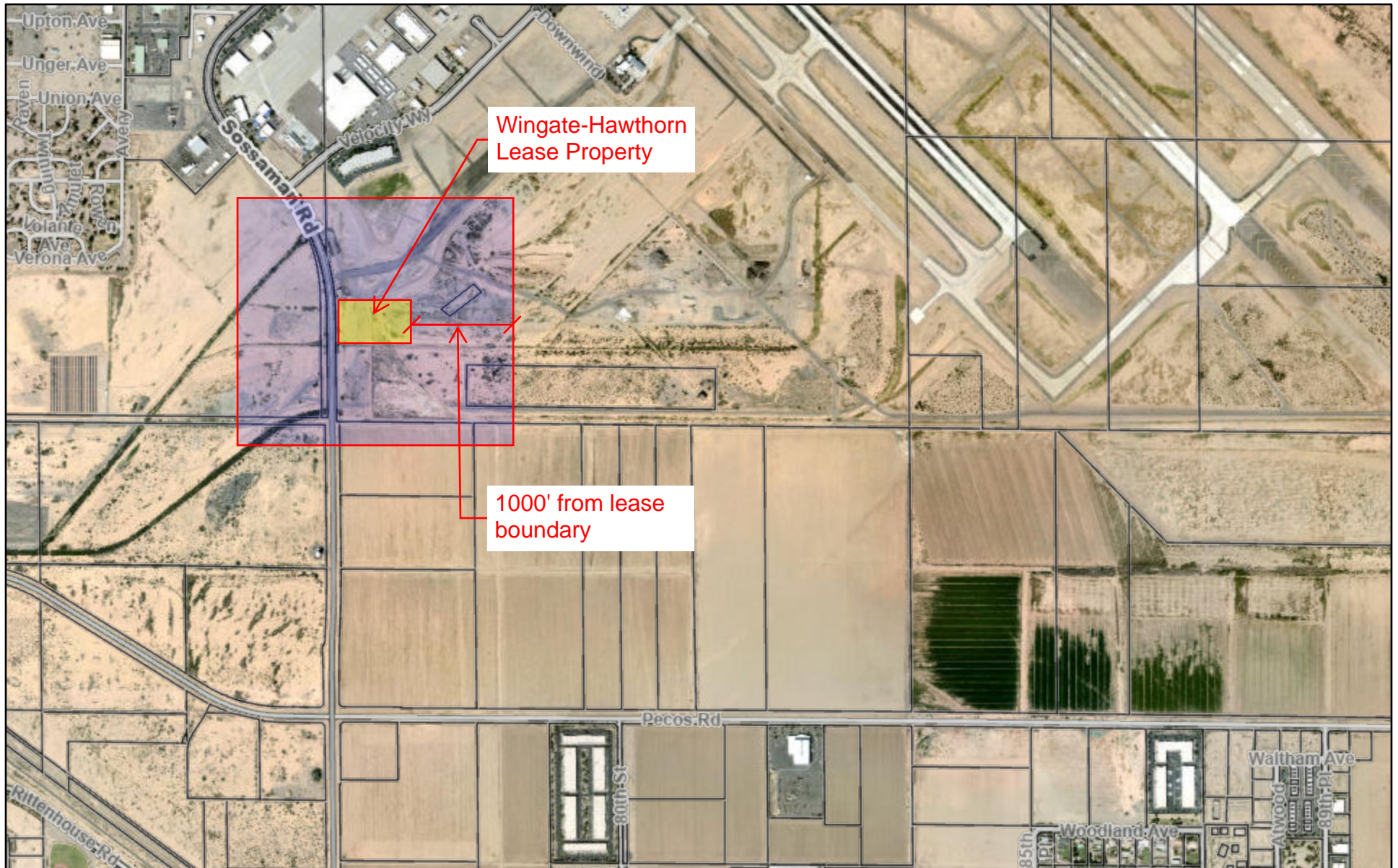
SITE/BUILDING ANALYSIS	
CODES	2018 IBC, IMC, IPC, IFGC, IECC, 2017 NEC, 2009 ANSI ANS1 117.1 & AMENDMENTS SET FORTH BY THE STATE OF UTAH & ST. GEORGE CITY
ADDRESS	6700 BLOCK OF SOUTH SOSSAMAN ROAD
PARCEL	APN-304-36-002G
ZONING	LI (LIGHT INDUSTRIAL), LOCATED IN BONUS INTENSITY ZONE (BIZ)
OCCUPANCY TYPE	R-1 & A-3 (SEPARATED MIXED USE)
CONSTRUCTION TYPE	V-A, COMBUSTIBLE EXTERIOR & INTERIOR WALLS,
STORIES	4
R-1 ALLOWABLE STORIES (S)	4
HEIGHT	+/- 56'-0"
R-1 ALLOWABLE HEIGHT (S)	70 FEET (40 FEET PER ZONE, 60 FEET REQUESTED)
AREAS	1ST FLOOR: 18,320 SQ. FT 2ND FLOOR: 17,422 SQ. FT 3RD FLOOR: 17,422 SQ. FT 4TH FLOOR: 17,422 SQ. FT 36,000 SQ. FT
ALLOWABLE AREA PER FLOOR (SM)	
FIRE SPRINKLER	NFPA 13 FIRE SPRINKLER SYSTEM
LOT SIZE	4,431.2 ACRES, 193,021 SQ. FT.
PARKING/DRIVE/SIDEWALK COVERAGE	120,331 SQ. FT. (63%)
BUILDING FOOTPRINT COVERAGE	18,320 SQ. FT. (9%)
LANDSCAPING COVERAGE PROVIDED	54,370 SQ. FT. (28%)
LANDSCAPING COVERAGE REQUIRED	34,744 SQ. FT. (18%)
PARKING PROVIDED	149 STALLS (6 ACCESSIBLE)
PARKING REQUIRED	149 STALLS (5 ACCESSIBLE) 0.75 PER GUESTROOM (REDUCED FOR AIRPORT HOTEL) = 129x0.85 = 110 STALLS 1 PER 100 SQ. FT. FUTURE RESTAURANT - DINING, 3,700/100 = 37 STALLS 1 PER 500 SQ. FT. FUTURE RESTAURANT - KITCHEN, 1,000/500 = 2 STALLS



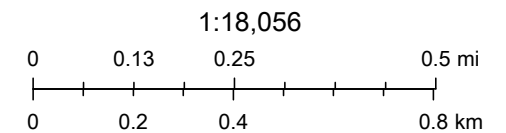
EXTERIOR FINISH SCHEDULE

1	CEMENTITIOUS STUCCO SYSTEM W/ ACRYLIC COAT INSTALLED PER ESR-1194 COLOR: PPG1009-4 GRAY STONE	6	COMPOSITE SIDING (W/ 4" MIN. TRIMS) HARDIEPLANK, SMOOTH 9.25"/8" LAP SIDING COLOR: ACCORN BROWN	11	PAINTED STEEL PARAPET CAP & CEMENTITIOUS STUCCO SYSTEM W/ ACRYLIC COAT STUCCO INSTALLED PER ESR-1194. SEE DETAIL 2/A300 TRIM & STUCCO COLOR: SW 6258 TRICORN BLACK	16	ALUMINUM COMPOSITE PANEL REYNOLBOND: RB120PE-3-MM DEEP BLACK	21	ELECTRICAL MAIN DISTRIBUTION PANEL LAMB'S TONGUE ROOF DRAIN DISCHARGE COLOR: BRASS	26	CEMENTITIOUS STUCCO SYSTEM W/ ACRYLIC COAT STYROTRIM: FLAT - 2"x8" COLOR: SW 7010 DUCK WHITE
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3	CEMENTITIOUS STUCCO SYSTEM W/ ACRYLIC COAT INSTALLED PER ESR-1194 COLOR: SW 7031 MEGA GREIGE	8	ADHERED STONE VENEER CORONADO STONE HONEY LEDGE - ROCKY MOUNTAIN RUNDLE	13	PAINTED STEEL PARAPET CAP SEE DETAIL 1/A300 COLOR: SW 7010 DUCK WHITE	18	WINDOW & DOOR SYSTEM TRACO: NX-6400 COLOR: CLEAR ANODIZED	23	CEMENTITIOUS STUCCO SYSTEM W/ ACRYLIC COAT OVER 1/8" (2x6 FRAMED) WING WALL	31	BLOCK SCREEN WALL PER LANDSCAPING PLANS
4	CEMENTITIOUS STUCCO SYSTEM W/ ACRYLIC COAT INSTALLED PER ESR-1194 COLOR: SW 7645 THUNDER GRAY	9	WALL CAP CORONADO STONE 12"x18" FLAGSTONE - LOMPOC	14	STANDING SEAM METAL ROOFING MBCT-CURVED BATTENLOK COLOR: BLACK	19	WINDOW & DOOR SYSTEM 4.5"x2" FRAMES, CENTERED GLASS W/ THERMAL BREAKS COLOR: CLEAR ANODIZED	24	NATURAL GAS METER, VERIFY LOCATION & INSTALLATION W/ LOCAL GAS JURISDICTION AUTHORITY	32	POWDER COATED STEEL FENCING COLOR: SW 6258 TRICORN BLACK
5	CEMENTITIOUS STUCCO SYSTEM W/ ACRYLIC COAT STYROTRIM: SILL3512 - 5"x8" COLOR: SW 7700 OLDE WORLD GOLD	10	ALUMINUM COMPOSITE PANEL REYNOLBOND: RB120PE-3-MM FRISCO WHITE	15	POWDER COATED STRUCTURE STEEL COLOR: SW 6258 TRICORN BLACK	20	PAINTED HOLLOW METAL DOOR COLOR: SW 6258 TRICORN BLACK	25	3"x1" STUCCO RELIEF CONTROL JOINT, COLOR TO MATCH SURROUNDING STUCCO		
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Planning and Development Department Map



September 24, 2021



Owner	Mail Adress	Mail City	Mail State	Mail ZIP
Phoenix-Mesa Gateway Airport Authority	600 S. Power Rd. Bldg. 41	Mesa	AZ	85206
United States of America	10 Campus Blvd.	Newton Square	PA	19073
Unites States of America	3707 N. 7th St.	Phoenix	AZ	85017
Williams Gateway Airport	5835 S. Sossaman Rd.	Mesa	AZ	85212
TCA Development LC	1745 E. Knox Rd.	Tempe	AZ	85284
Germann Investments No 1	175 E. Knox Rd.	Tempe	AZ	85284

Reflect Architecture, LLC.
2 West St. George Boulevard, Suite #10
St. George, Utah 84770
Derek Wiggins,
Registered Architect
reflectarchitecture@gmail.com
435-525-1448



November 30th, 2021

CITIZEN PARTICIPATION REPORT: ZON21-00588

Project Information:

Project Address: Situated on the corner of Sossaman and East Velocity Way, Mesa, Arizona 85212
Project Parcel: APN 304-36-002G
Project Case: ZON21-00588
Project Description: Wingate-Hawthorn Dual Brand Hotel to be developed by Skybridge Arizona. 4 Stories, 129 rooms.

Overview & Report:

This report provides results of the implementation of the Citizen Participation Plan for the Wingate-Hawthorn Dual Brand Hotel. This report provides evidence that citizens, neighbors, public agencies and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application. Comments, sign-in lists, petitions, letters, summary sheets, and other materials are attached

As per the Citizen Participation Plan the previously listed six affected parties were sent notification letters via mail. To date **none** of the affected parties have reached out, it is also anticipated that none will reach out due to the nature of the project and its surrounding neighbors.

Thanks,

Derek Wiggins
Architect
Reflect Architecture LLC

Reflect Architecture, LLC.
2 West St. George Boulevard, Suite #10
St. George, Utah 84770
Derek Wiggins,
Registered Architect
reflectarchitecture@gmail.com
435-525-1448



November 22nd, 2021

NOTICE OF PUBLIC MEETING
REZONE, CONDITIONAL USE PERMIT & SITE PLAN
APPROVAL

Meeting Date: December 15th, 2021*
Time: 4:00 PM*
Location: City Council Chambers (lower level)
57 East First Street
Mesa, Arizona 85201
Request: Rezone, Conditional Use Permit & Site Plan review for the proposed project for Wingate-Hawthorn.
Project Address: Situated on the corner of Sossaman and East Velocity Way, Mesa, Arizona 85212
Project Parcel: APN 304-36-002G
Project Case: ZON21-00588
Project Description: Wingate-Hawthorn Dual Brand Hotel to be developed by Skybridge Arizona. 4 Stories, 129 rooms.

* Call Planning Division to verify date and time 480-644-4273

Dear Neighbor:

We have applied for rezone, conditional use permit and site plan approval for the property located at Situated on the corner of Sossaman and East Velocity Way, Mesa, Arizona 85212. This request is for development of Wingate-Hawthorn Dual Brand Hotel to be developed by Skybridge Arizona. 4 Stories, 129 rooms. The case number assigned to this project is ZON21-00588.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 435-525-1448 or e-mail me at reflectarchitecture@gmail.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on December 15th, 2021 in the City Council Chambers located at 57 East First

Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts. If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least 1 hour prior to the start of the meeting. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Sean Pesek of their Planning Division staff. He/she can be reached at 480-644-6716 or sean.pesek@mesaaz.gov should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

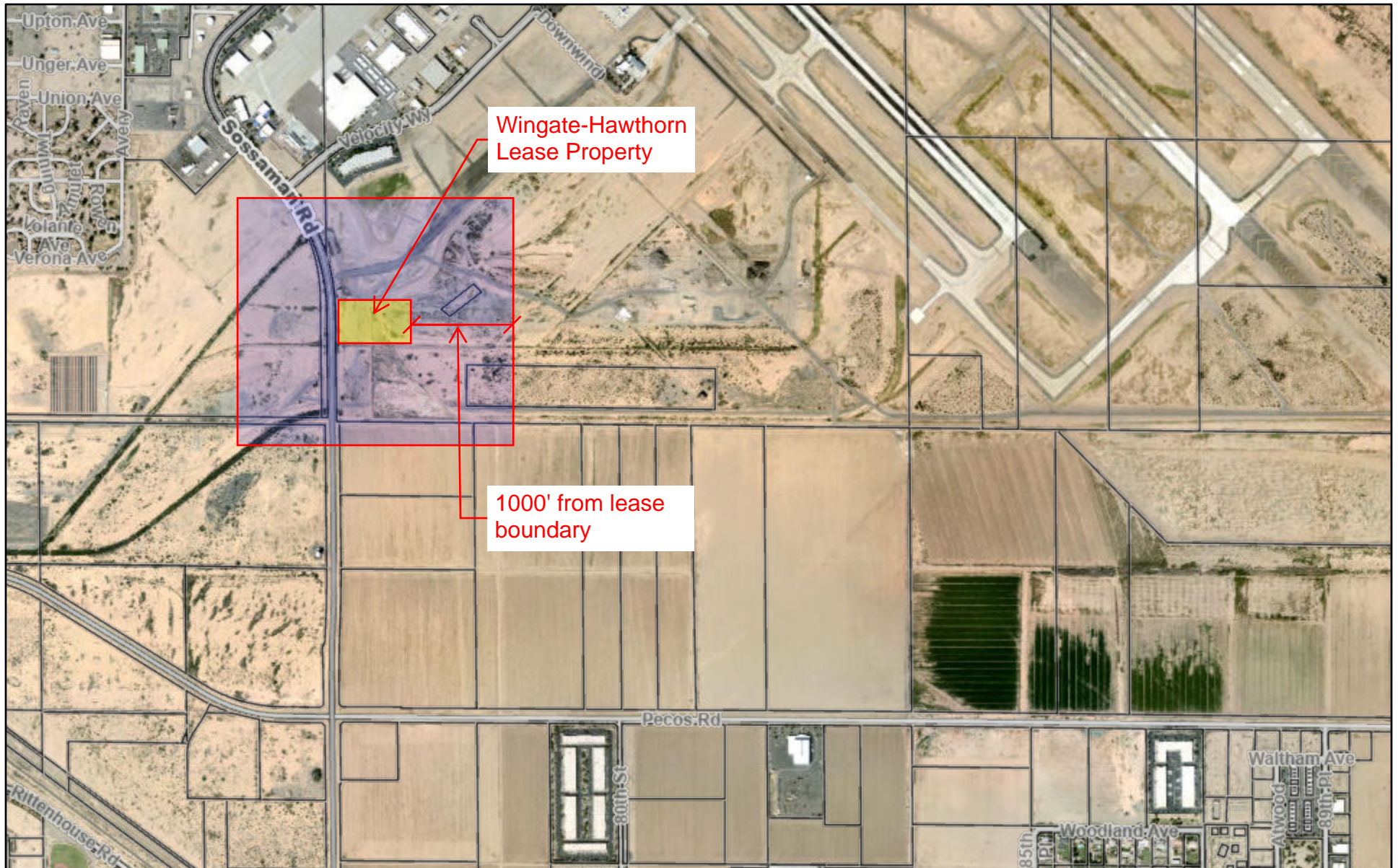
Thanks,



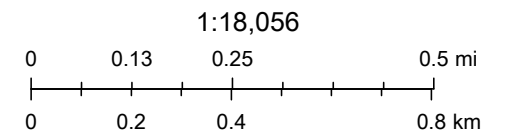
Derek Wiggins
Architect
Reflect Architecture LLC

Enclosures as indicated

Planning and Development Department Map



September 24, 2021



Owner	Mail Adress	Mail City	Mail State	Mail ZIP
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Germann Investments No 1	175 E. Knox Rd.	Tempe	AZ	85284

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

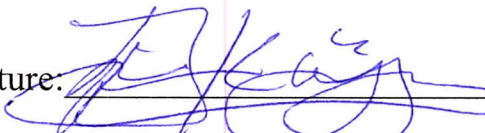
To be submitted to the Planning Division by December 15, 2021

Date: 12/1/2021

I, Derek Wiggins, being the owner or authorized applicant for the zoning case below, do hereby affirm that I have posted the property related to Case #ZON21-00588 on the 1st day of December, 2021. At least one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant's/Representative's signature: _____



SUBSCRIBED AND SWORN before me this 1st day of Dec., 2021.

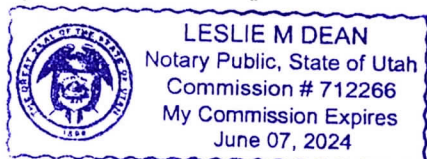
STATE OF UTAH)
) ss.
County of Washington)

On this 1st day of DECEMBER, 2021, before me, the undersigned Notary Public, personally appeared Derek R. Wiggins, who acknowledged that this document was executed for the purposes therein contained.



Notary Public

My Commission Expires:



Case Number: ZON21-00588

Project Name: Wingate-Hawthorn





When recorded, return to:

City of Mesa

**AIRCRAFT OPERATION, SOUND AND AVIGATION EASEMENT
AND RELEASE FOR PHOENIX-MESA GATEWAY AIRPORT**

WHEREAS, _____ company, hereinafter called "Owner," is the owner of that certain parcel of land situated in the City of Mesa, Maricopa County, Arizona, consisting of approximately _____ acres, legally described on the attached Exhibit A, and incorporated by reference herein, which is hereinafter referred to as the "**Land**," and which the Owner desires to develop as a hotel which will include non-residential uses.

WHEREAS, the Owner is aware that the Land lies in an area that is subject to aircraft overflights and operations for aircraft utilizing airspace in connection with "Phoenix-Mesa Gateway Airport" (formerly known as Williams Air Force Base), which is hereinafter referred to as the "**Airport**."

WHEREAS, the Owner recognizes that all airspace is governed by the U.S. Code, and the U.S. Government has exclusive sovereignty of airspace in the United States. Owner is willing to develop such Land as a mixed-use community subject to the sovereign authority of the U.S. Government subject to the plans and policies developed by the Federal Aviation Administration ("**FAA**") for use of the navigable airspace including the right of flight and other airspace uses over the Land and all effects flowing therefrom.

NOW THEREFORE, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby fully acknowledged, Owner and its heirs, administrators, executors, occupants, users, developers, successors and assigns (collectively referred to herein as "**Owner**"), does hereby give and grant to the Airport, the Phoenix-Mesa Gateway Airport Authority (the "**Authority**") and the City of Mesa, a municipal corporation, and its respective administrators, successors and assigns ("City") and Aircraft users of the Airport and Airport facilities ("**Aircraft Users**"), a perpetual, nonexclusive easement for all avigation purposes and uses over and across the Land in connection with flights, airspace usage, passage, operations, testing, development of Aircraft (the term "**Aircraft**" shall include any device that is used or intended to be used for flight in the air or space, existing or future, that is regulated by the FAA), and other related uses and flight or airspace activities, in, to, over, across and through all navigable airspace above the surface of the

Owner's Land in such flight patterns, routes, uses, the above purposes and altitudes that are in conformance with FAA regulations and to an infinite height above such Owner's Land, which easement shall include, but not be limited to, the right of flight of all Aircraft above, across and over the Land in such flight patterns, routes, uses, the foregoing purposes and altitudes that are in conformance with FAA regulations, together with its related inconvenience, smoke, attendant sound and noise, vibrations, fumes, dust, fuel, gas and lubricant particles, and dripping and all other effects that may be caused by the operation of Aircraft including for the purposes and uses described above and also landing at, or taking off from, or operating in relation to, on, from or around the Airport. The Owner does further release and discharge the City, the Authority, the Airport, Aircraft Users, The Boeing Company, a Delaware corporation, and its affiliates ("**Boeing**"), and other third party beneficiaries (as described below) of and from any liability for any and all claims for damages of any kind to persons or property that may arise now or at any time in the future over or in connection with the Owner's Land above, in, to, over and through all navigable air space above Owner's Land, and on and to the surface of the Land and on and to all structures now existing or hereafter constructed on the Land, or any portion of the Land, whether such damage shall originate from smoke, noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of Aircraft landing at, or taking off from, or operating at or around the Airport.

This easement is granted for the above purpose and uses for the passage of all Aircraft, specifically including but not limited to military and developmental and test aircraft, present or future, by whomever owned or operated on, from, around or to the Airport and any other airport or air facility which is or may be located at or near the site of said Airport, including any future change or increase in the boundaries of the Airport or air facility(ies), the volume or nature of operation of the Airport or air facility(ies), or noise or pattern of air traffic thereof; and these Aircraft Users, Boeing, Aircraft owners, operators, and users are and shall be third party beneficiaries of this Easement and the rights granted.

Owner shall give notice of this Easement to invitees, occupants, and tenants (collectively referred to herein as "Property Users") of the Land, or any portion thereof, and the Property Users, to the fullest extent permitted by law, are bound by the terms of this Easement.

This instrument does not release the owners and operators of Aircraft from liability for damage or injury to person or property caused by falling Aircraft or falling physical objects from such Aircraft, except as stated herein with respect to inconvenience, smoke, attendant sound and noise, vibrations, fumes, dust, fuel and lubricant particles. This Aircraft Operation, Sound and Avigation Easement and Release shall be binding upon said Owner and successors in interest to the Land, and any part thereof, and it is further agreed that this instrument shall be a covenant running with the Land and shall be recorded in the office of the County Recorder of Maricopa County,

Arizona and other counties as applicable. This Easement may not be amended, terminated or retracted without the prior written consent of City, Owner, and Boeing.

[Signatures appear on following page]

EXECUTED this ____ of ____, 202_.

OWNER:

By _____

Name _____

Its _____

STATE OF ARIZONA)
) ss.
County of Maricopa)

The foregoing instrument was acknowledged before me this ____ day of ____, 202_, by _____, the _____ of _____ corporation or limited liability company, in his/her capacity as _____ of and on behalf of said entity.

Notary Public

My commission expires:

THE BOEING COMPANY, a
Delaware corporation

By _____

Name _____

Its _____

STATE OF ARIZONA)
) ss.
County of Maricopa)

The foregoing instrument was acknowledged before me this ____ day of _____, 202_,
by _____, the _____ of The Boeing Company, a Delaware
corporation, in his/her capacity as _____ of and on behalf of such
corporation.

Notary Public

My commission expires:

Exhibit A

Legal Description