



## **M e m o r a n d u m**

Date: 10/17/21

Project: Fiesta Rose Garden  
3905 D. University Dr., Mesa, AZ 85205

To: Sean Pesek  
City of Mesa

From: Young Kim  
Esquire Architecture & Planning

Re: Project Narrative / DIP request

Comments:

### **Project Narrative:**

This project consists of developing the existing vacant lot, approximately 44,649 s.f., for a new (12) 2-bed rm rentable units. There will be (3) 2-story buildings with (4) units each, (2) upper and (2) ground floor. Each unit is approximately 1200 s.f. with 100 s.f. or more of private open space. The ground floor units have (1) attached 1-car garage and the upper units have spacious deck which utilizes the space over the ground floor unit's garage. Each unit is designed to allow view out to the landscape area from the living/entertaining rooms but provide necessary privacy for the bedroom areas via usage of landscape and fenestrations. The project's goal is to provide inviting and comfortable living units to the community residents at affordable pricing.

### **DIP Request:**

We are requesting for your approval on the following items under the DIP program based on the following objectives as prescribed under Mesa Zoning Ordinance chapter 72:

1. The project total area is 1.025 acres and does not exceed 2.5 net acres.
2. The project has been in its current configuration for more than 10 years. See exhibit A.
3. Total area does not exceed 5 net acres and the site is assembled of 2 contiguous parcels.
4. The parcel is served by and has direct access to existing utility distribution facilities.
5. The parcel is located within a 1200 foot radius in which the total developable land area is not more than 25% vacant. See Exhibit B, C.
6. The parcel is located within a 1200 foot radius in which greater than 50% of the total numbers of lots or parcels have been developed 15 or more years ago. See Exhibit B, D.

	Condition	Section	Required	Request
1	Parking spaces along drive aisles connecting to street	MZO 11-32-4	50' setback	30' setback
2	Covered parking required 1/unit	EDSM	12	6
3	Building setback Front setback Side setback Rear setback	MZO 11-5-5	20' 30' each side 30'	9'-6" 9'-6", 30' 9'-6"
4	Landscape setback	MZO 11-33-3(B)(2) MZO 11-33-3(A)	15' 20'	9'-6" 9'-6"
5	Common open space within required front setback	MZO 11-5-5(A)(3)(f)	No	Yes
6	Min. separation between building	MZO 11-5-5	30'	19'-6"

7.A This proposed project is consistent with the City of Mesa General Plan. The Mesa 2040 General Plan strives to create a better Mesa by creating neighborhoods which are foundation of the communities where people want to live, work and play. These neighborhoods are in integral component to maintaining healthy, safe, and vibrant communities. And of the important backbone function of creating these neighborhoods is the necessity of providing housing for the people of this community.

Our project goal is to be a part of that endeavor by creating a healthy, safe and vibrant living environment and our proposed design delivers that goal by:

- a. Creating a large open space where residents can enjoy, relax separate and jointly gather as a group to enrich their lifestyle.
- b. Providing each unit that has been articulated in architectural elements in personable scale welcoming residents each day to a place they can call home.
- c. Providing parking layout which provides easy access for the residents and guests.
- d. Providing an easy access of in and out from the complex.

7.B The proposed development is not any more intense than the surrounding neighborhood but is commensurated with existing development.

As it is shown on the aerial below, our proposed project is very much comparable to the existing development located on 3716 E. University Dr.





- 7.C Our proposed development meets the intent of the Design Standards of the Zoning Ordinance. We are intentionally using architectural elements of a residential architecture to bring down the commercial size massing to a personable scale by:
- a. intruding hip roof elements to maintain familiarity of housing environment.
  - b. interrupting a long vertical façade with a physical break in the building to create visual interest.
  - c. Introducing window treatments such as planter shelf and projections over the window and door to enhance the building fenestration.
  - d. Utilizing patios and decks as accent elements to break down the large masses.
  - e. And using the front entrance piece as a focal point of the building architectural statement.

■ ■ ■ ■ ■ ■ ■



2021 Aerial photo



**2010 Aerial photo**



■ ■ ■ ■ ■ ■ ■ ■

## EXHIBIT B



**2021 Aerial @ 1200 ft buffer**



■ ■ ■ ■ ■ ■ ■ ■

## EXHIBIT C



 2021 Vacant Parcel



■ ■ ■ ■ ■ ■ ■ ■

## EXHIBIT D



**2006 Aerial @ 1200 ft. buffer**

project consultants

landscape architecture:

DESIGN ETHIC, LLC  
7525 EAST 6TH AVENUE  
SCOTTSDALE, ARIZONA 85251  
CONTACT: BRANDON PAUL  
PHONE: 480.225.7077  
EMAIL: bpaul@designethic.net

architecture:

ESQUIRE ARCHITECTURE & PLANNNG  
6501 EAST KING AVENUE  
SCOTTSDALE, ARIZONA 85254  
PROJECT CONTACT: YOUNG KIM  
PHONE: 602.818.1706  
EMAIL: esquireap@cox.net

engineering:

BABBIT SMITH ENGINEERING, LLC  
1140 EAST GREENWAY Suite #2  
MESA, ARIZONA 85203  
CONTACT: DARREN SMITH  
PHONE: 480.610.1341  
EMAIL: darren@babbitsmith.com

owner:

DANIEL & KATHY B  
THOMPSON FAMILY TRUST  
3905 EAST UNIVERSITY DRIVE  
MESA, ARIZONA 85205

site data:

ZONING:RM-4

SITE AREA:44,649 SF / 1.025 AC

sheet index

SHEET	TITLE
L.01	COVER SHEET & NOTES
L.02	PLANTING PLAN

city of mesa notes

ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IS IN CONFORMANCE WITH THE LOW WATER USE PLANT LIST PROVIDED BY THE ARIZONA DEPT. OF WATER RESOURCES.

ALL LANDSCAPING INSTALLED WITH THIS PROJECT SHALL BE MAINTAINED BY OWNER/OR LESSEE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. TREE HEIGHTS & CALIPERS WILL COMPLY WITH "ARIZONA NURSEY ASSOCIATION SPECIFICATIONS" FOR THAT TYPE & SIZE OF TREE.

ALL TREES AND SHRUBS LOCATED IN THE LINE-OF-SIGHT WILL BE MAINTAINED FOR A CLEAR AREA BETWEEN 3' TO 7' ALL BACKFLOW PREVENTERS 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE MATERIAL LOCATED WITHIN A 6' RADIUS OF OF THE BACKFLOW PREVENTER.

ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE MESH BASKET AND PAINTED GREEN.

landscape data

ZONING:RM-4

NET SITE AREA:44,649 SF / 1.025 AC

TOTAL R.O.W.:3,456 S.F.

TOTAL FRONTAGE:165 L.F.

TOTAL ON-SITE LANDSCAPE:19,967 S.F.

PERCENTAGE OF LANDSCAPE:44.7%

OVERALL:

TREES PROVIDED FOR ENTIRE SITE:48 TREES

36" BOX TREES REQUIRED:12 TREES

(25% OF TREES REQUIRED FOR ENTIRE SITE)

36" BOX TREES PROVIDED:12 TREES

STREET FRONTAGE 165 LINEAR FEET:

TREES REQUIRED:7

(1 PER 25' OF STREET FRONTAGE - 165/25= 7)

TREES PROVIDED:7

24" BOX TREES REQUIRED:4

(50% OF TREES REQUIRED)

24" BOX TREES PROVIDED:4

36" BOX TREES REQUIRED:2

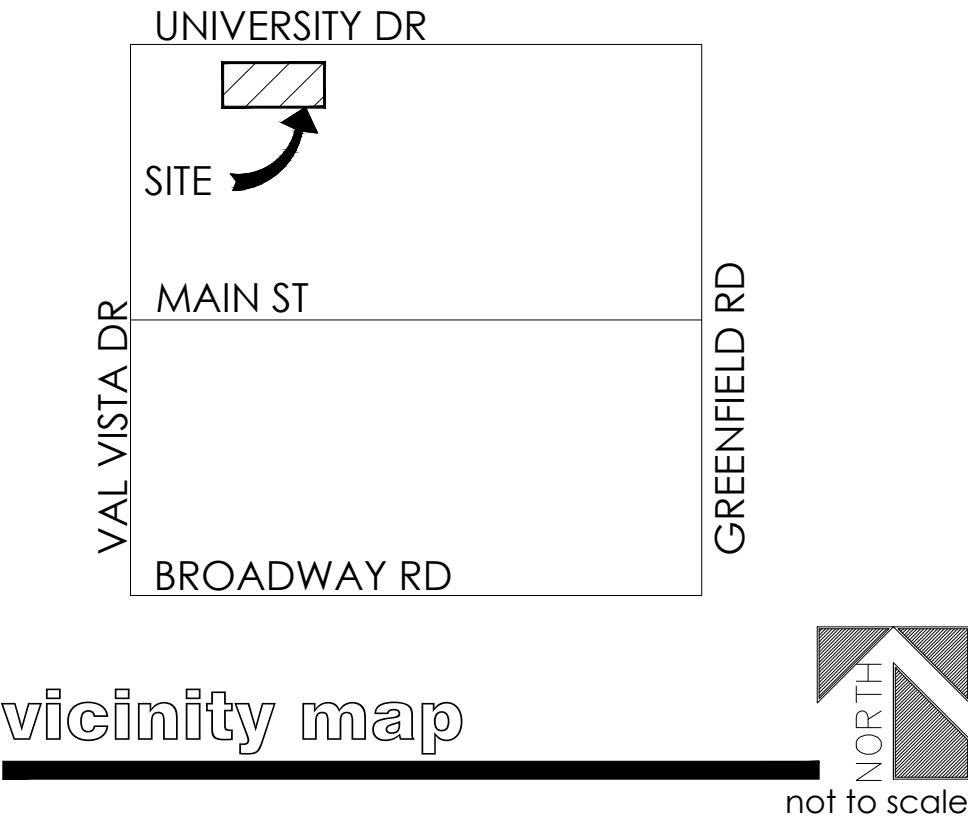
(25% OF TREES REQUIRED)

36" BOX TREES PROVIDED:3

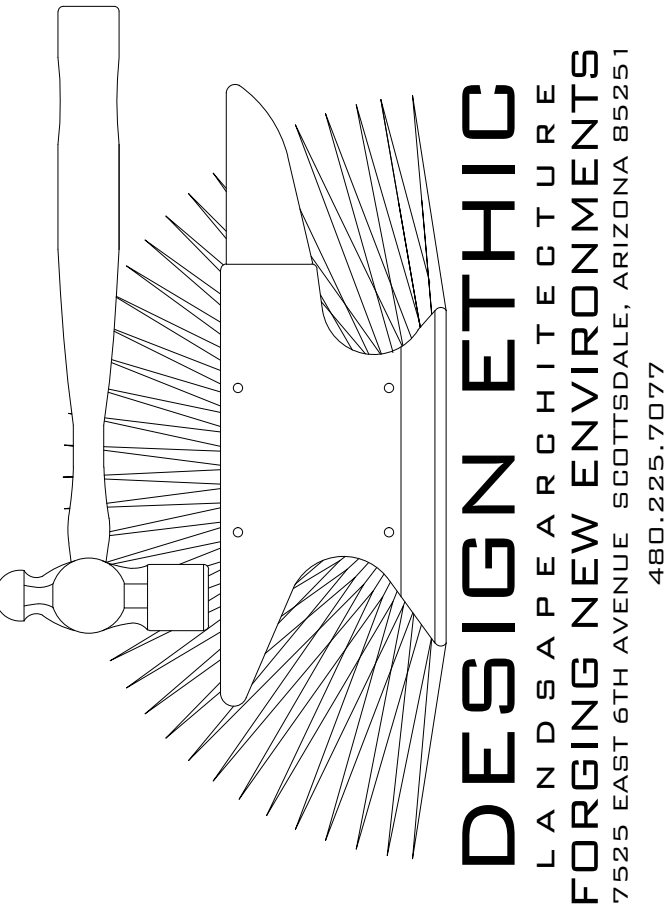
SHRUBS REQUIRED:42

(6 PER 25' OF STREET FRONTAGE)

SHRUBS PROVIDED:42



vicinity map



FIESTA ROSE GARDEN  
3800 EAST UNIVERSITY DRIVE  
MESA, ARIZONA 85209  
COVER SHEET & NOTES

PROJECT:

JOB NO:20-096

DATE:

DRAWN BY:B. PAUL

SUBMITTED:10.26.2021

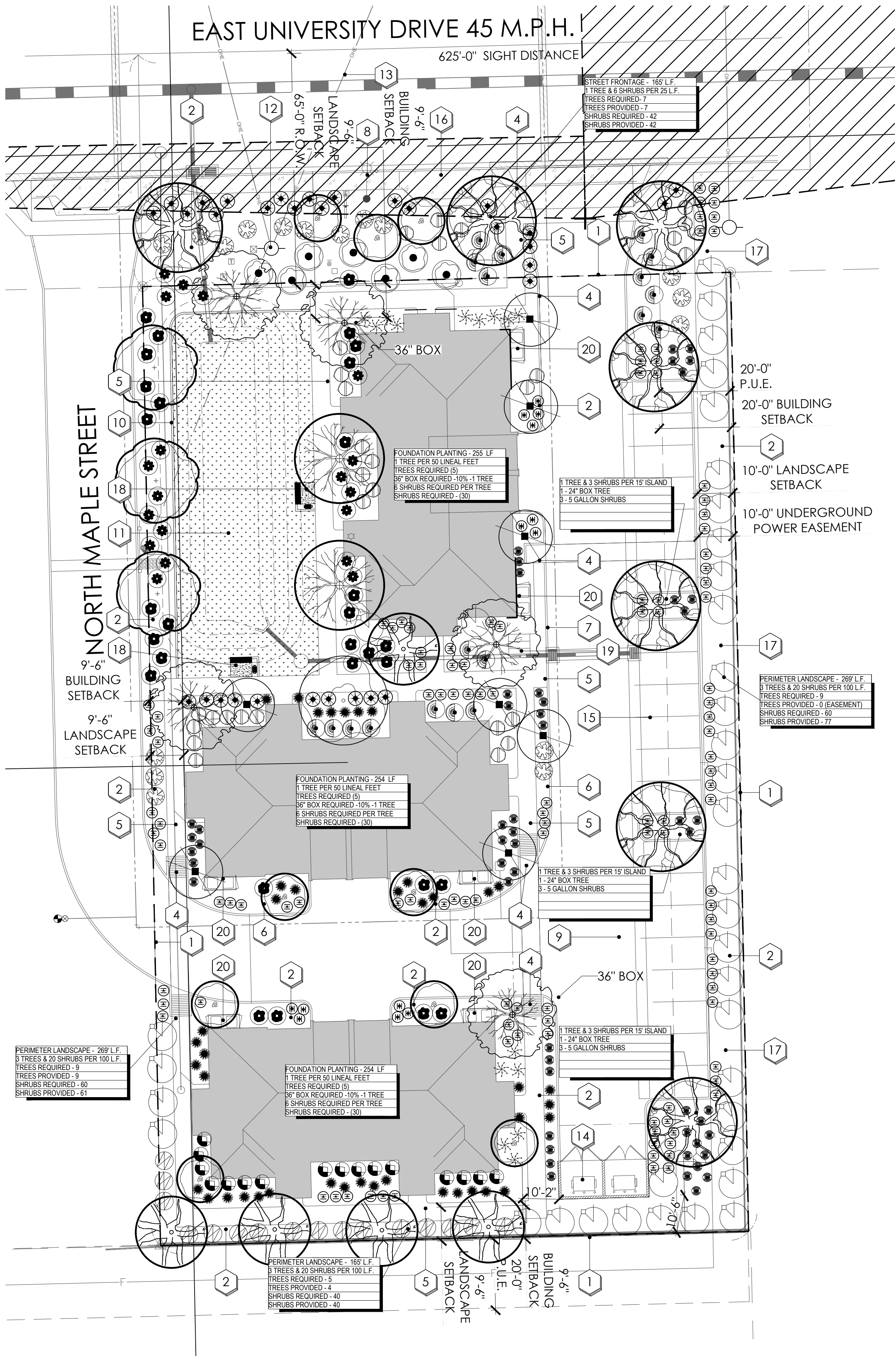
REVISED:

SHEET TITLE:

SHEET







### general landscape notes

1. CONTRACTOR TO VERIFY ALL QUANTITIES.
2. CONTRACTOR TO PROVIDE DECOMPOSED GRANITE SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL.
3. MAINTAIN 3' TO 5' TREE AND SHRUB CLEARANCE FROM WALLS.
4. MAINTAIN 1' TO 2' TREE AND SHRUB CLEARANCE FROM SIDEWALKS.
5. TREES ADJACENT TO PEDESTRIAN WALKWAYS SHOULD HAVE A MINIMUM CANOPY CLEARANCE OF 6'-8".
6. ALL MATURE TREES AND PALM CANOPIES MUST BE A MINIMUM OF 5' FROM ANY BUILDING WALLS OR BUILDING WINDOWS.

### planting key notes

1. PROPERTY LINE / RIGHT OF WAY LINE
2. DECOMPOSED GRANITE IN ALL PLANTING AREAS
3. SIGHT VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES
4. ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
5. 5'-0" WIDE CONCRETE SIDEWALK.
6. FIRE HYDRANT -3'-0" CLEAR OF ALL PLANT MATERIAL
7. CURB. SEE CIVIL ENG. PLANS.
8. SITE LIGHTING. SEE ARCH. PLANS.
9. DRAINAGE STRUCTURE. SEE CIVIL ENG. PLANS.
10. CONCRETE HEADER.
11. TURF AREA
12. EXISTING POWER POLE.
13. OVER HEAD ELECTRIC LINE(O.H.E.).
14. TRASH ENCLOSURE. SEE ARCHITECT'S SITE PLAN. TREE PLANTING SHOULD NOT TAKE PLACE WITHIN TEN (10) FEET OF THE BIN ENCLOSURE AND SHOULD BE SPACED SO AS NOT TO CREATE AN AERIAL OBSTRUCTION FOR THE BIN DUMPING AT THE FINAL FULL GROWTH DIMENSIONS.
15. COVERED PARKING. SEE ARCHITECT'S SITE PLAN.
16. EXISTING SIDEWALK.
17. 10'-0" SRP POWER EASEMENT. NO TREES PLANTINGS ARE ALLOWED WITHIN THE EASEMENT PER MCR -98-0249864. UNDERSTORY PLANTINGS MUST BE SRP'S APPROVED PLANT LIST.
18. CONCRETE PATIO ARE WITH CMU SEATWALL & BBQ. SEE DETAILS 'A' & 'B' ON SHEET L.02
19. BIKE PARKING. SEE ARCH. PLANS.
20. MECHANICAL EQUIPMENT. SEE ARCH. PLANS.

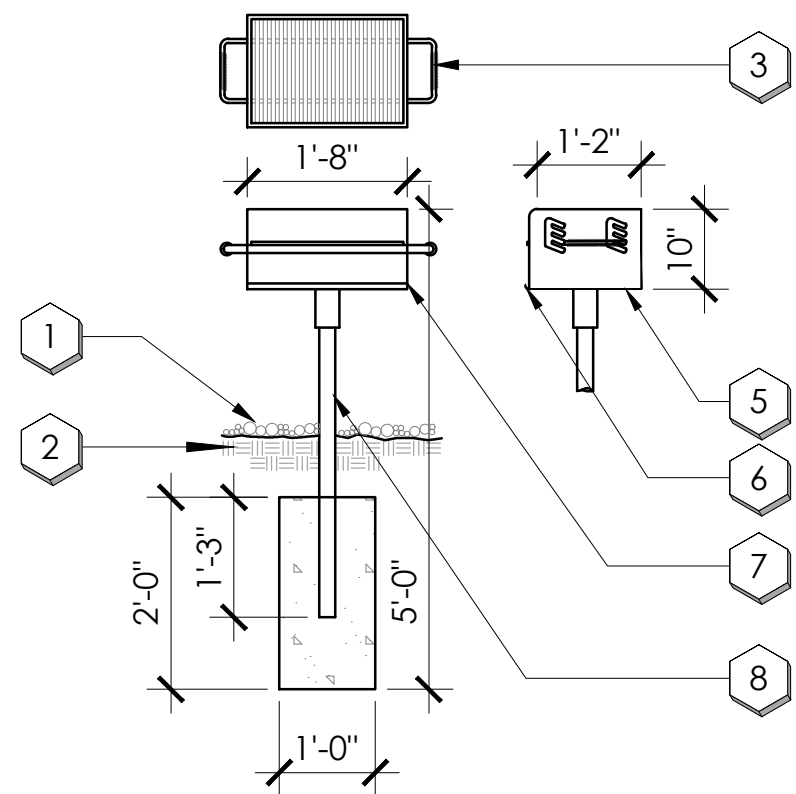
### city of mesa vegetation credit table

	CREDIT (S.F.)	QTY ON PLAN	TOTAL CREDIT (S.F.)
EVERGREEN TREE: (MIN. 25'-0" TALL AT MATURITY)	100	17	1,700
SHADE TREE:	50	14	700
ORNAMENTAL TREE:	25	9	225
LARGE SHRUB: (MIN. 8'-0" TALL AT MATURITY)	50	45	2,250
MEDIUM SHRUB: (4'-0" - 8'-0" TALL AT MATURITY)	25	170	4,250
SMALL SHRUB: (MAX. 4'-0" TALL AT MATURITY)	10	105	1,050
EVERGREEN GROUNDCOVER:	25	166	4,150
TOTAL VEGETATION CREDIT (S.F.)			14,325
TURF (S.F.)			4,009
TOTAL OPEN SPACE (S.F.)			19,967
VEGETATION COVERAGE (%)			91.8%

1. PIT RUN ROCK.
2. COMPACTED SUBGRADE.
3. SPRING HANDLE
4. 5/8" ROD HANDLE
5. CONT. WELD
6. 1" ASH LIP
7. ENTIRE UNIT 3/16" STEEL
8. 3.5" O.D. GALV. TUBE

NOTE: UNIT WILL BE KAY PARK GRILL #SB16-3.5 OR APPROVED EQUAL.

KAY PARK PEDESTAL GRILL #SB6135G



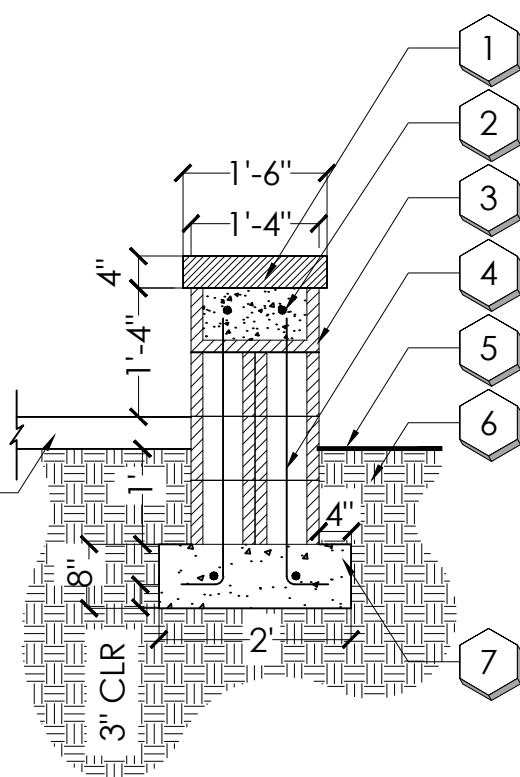
SCALE: 1/2" = 1'-0"

### plant legend

botanical name common name	emitters	size	qty	comments
<b>evergreen trees</b>				
PROSOPIS CHILENSIS 'THORNLESS' THORNLESS CHILEAN MESQUITE	(5 @ 1.0 GPH)	36" BOX	5	H., W., CAL., STAKE IN PLACE
QUERCUS VIRGINIANA SOUTHERN LIVE OAK	(5 @ 1.0 GPH)	24" BOX	3	H., W., CAL., STAKE IN PLACE
TIPUANA TIPU TIPU TREE	(5 @ 1.0 GPH)	36" BOX	2	H., W., CAL., STAKE IN PLACE
ULMUS PARVIFOLIA EVERGREEN ELM	(5 @ 1.0 GPH)	36" BOX 24" BOX	2 3	H., W., CAL., STAKE IN PLACE
<b>shade trees</b>				
CHILOPSIS LINEARIS 'LUCRETIA HAMILTON' DESERT WILLOW	(5 @ 1.0 GPH)	15 GAL.	8	H., W., CAL., STAKE IN PLACE
FRAXINUS VELUTINA 'RIO GRANDE' FAN-TEX ASH	(5 @ 1.0 GPH)	36" BOX	1	H., W., CAL., STAKE IN PLACE
PISTACIA X. RED PUSH RED PUSH PISTACHE	(5 @ 1.0 GPH)	24" BOX	5	H., W., CAL., STAKE IN PLACE
<b>ornamental trees</b>				
CAESALPINIA CACALACO 'SMOOTHIE' THORNLESS CASCALOTE	(5 @ 1.0 GPH)	15 GAL.	9	H., W., CAL., STAKE IN PLACE
<b>large shrubs</b>				
LEUCOPHYLLUM FRUTESCENS 'WHITE CLOUD' WHITE CLOUD SAGE	(1 @ 1.0 GPH)	5 GAL.	7	
TECOMA STANS VAR. AGUSTATA ARIZONA YELLOW BELLS	(1 @ 1.0 GPH)	5 GAL.	38	
<b>medium shrubs</b>				
BOUGAINVILLEA 'ROSENKA' ROSENKA BOUGAINVILLEA	(1 @ 1.0 GPH)	5 GAL.	16	
BOUGAINVILLEA X BUTTIANA 'ORANGE KING' 'ORANGE KING BOUGAINVILLEA	(1 @ 1.0 GPH)	5 GAL.	19	
DASYLIRION WHEELERI DESERT SPOON	(1 @ 1.0 GPH)	5 GAL.	17	
HESPERALOE FUNIFERA GIANT HESPERALOE	(1 @ 1.0 GPH)	5 GAL.	15	
HESPERALOE PARVIFLORA RED YUCCA	(1 @ 1.0 GPH)	5 GAL.	42	
LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO' RIO BRAVO TEXAS RANGER	(1 @ 1.0 GPH)	5 GAL.	30	
LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY' 'LYNN'S LEGACY' LEUCOPHYLLUM	(1 @ 1.0 GPH)	5 GAL.	19	
<b>small shrubs</b>				
EREMOPHILA SP. VALENTINE	(1 @ 1.0 GPH)	5 GAL.	16	
RUSSELLIA EUISETIFORMIS CORAL FOUNTAIN	(1 @ 1.0 GPH)	5 GAL.	54	
RUELLIA PENINSULARIS BAJA RUELLIA	(1 @ 1.0 GPH)	5 GAL.	31	
<b>groundcover</b>				
LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	(1 @ 1.0 GPH)	5 GAL.	119	
LANTANA 'NEW GOLD' NEW GOLD LANTANA	(1 @ 1.0 GPH)	5 GAL.	13	
SPHAGNETICOLA TRILOBATA YELLOW DOT	(1 @ 1.0 GPH)	5 GAL.	32	
TURF	HYBRID BERMUDA	SIZE	3,921 S.F.	COMMENTS
<b>inerts</b>				
1" MINUS DECOMPOSED GRANITE TABLE MESA BROWN	1"-MINUS	15,973 S.F.	2" MINIMUM IN ALL PLANTERS	
CONCRETE HEADER EXTRUDED CONCRETE	4" X 6"	140 L.F.		

1. 4" CMU CAP
2. #4 CONT. IN GROUTED BOND BEAM BLOCK
3. 8"X8"X16" CMU BLOCK
4. #4 @ 32" O.C. IN GROUTED CELLS
5. FINISH GRADE
6. COMPACTED SUBGRADE
7. #4 CONT. IN 2800 P.S.I. CONC. FOOTING
8. FINISH GRADE (ADJACENT CONC. IF APPLICABLE)

CMU SEATWALL



#### NOTES:

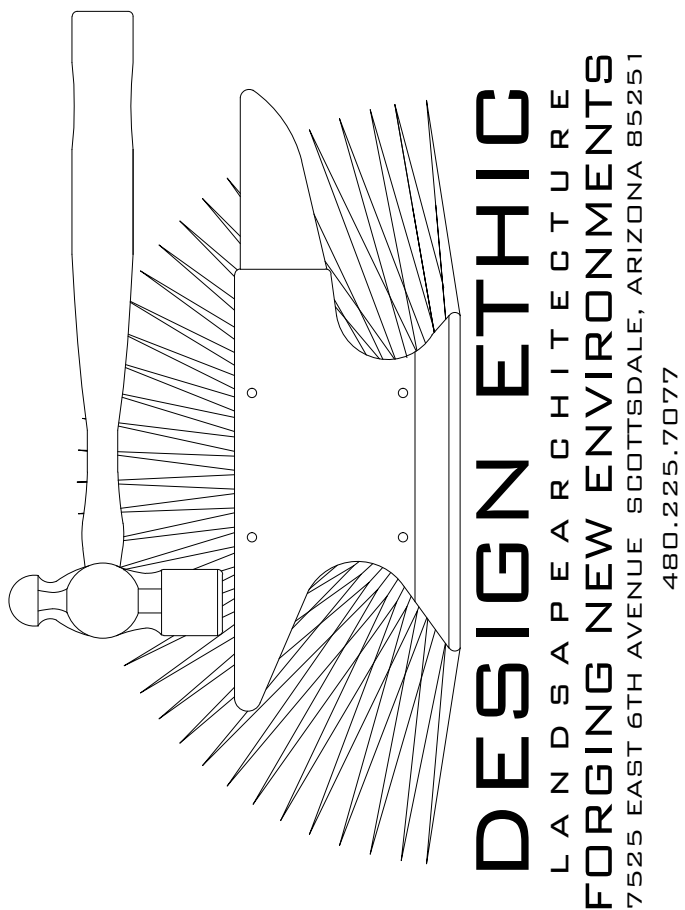
1. GROUT SOLID ALL CELLS BELOW GRADE. CONTRACTOR TO STEP FOOTING WHERE APPROPRIATE.
2. OWNER TO SELECT PAINT COLOR. PAINT COLOR.

PROJECT:

JOB NO: 20-096  
DATE:  
DRAWN BY: B. PAUL  
SUBMITTED: 10.26.2021  
REVISED:

SHEET

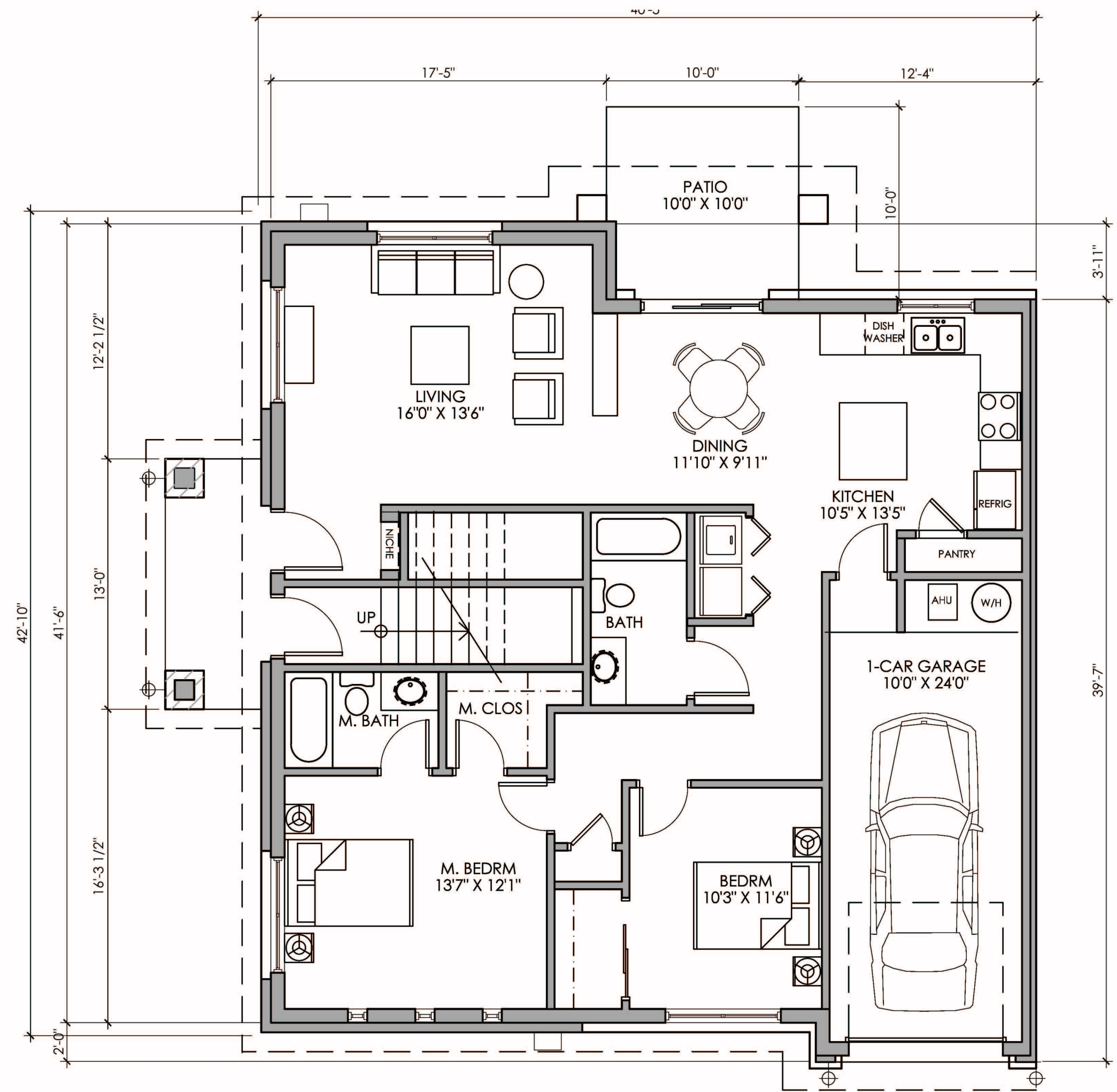
L.02 of L.02



0' 20' 40' 60'

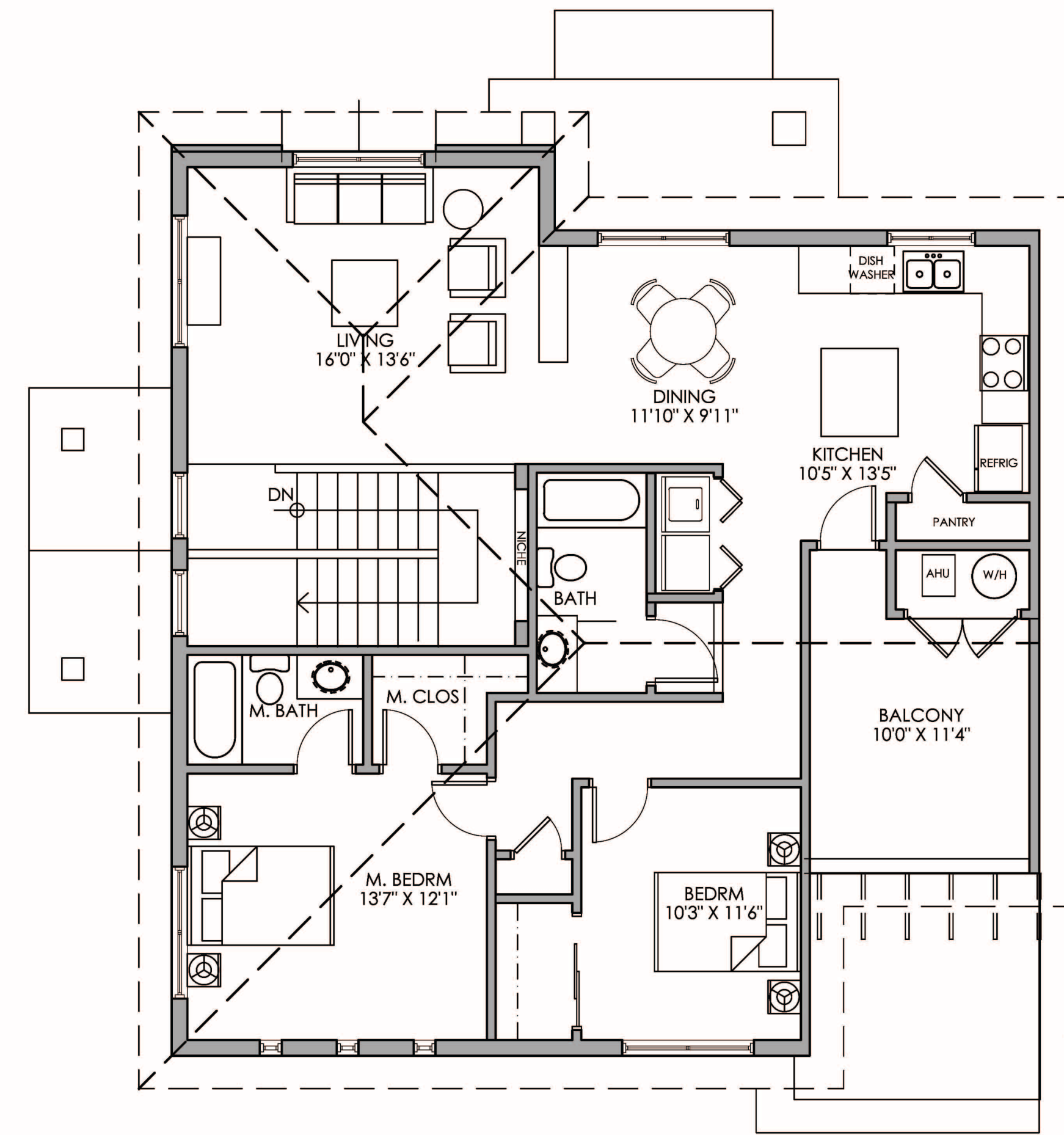
SCALE: 1" = 20'-0"





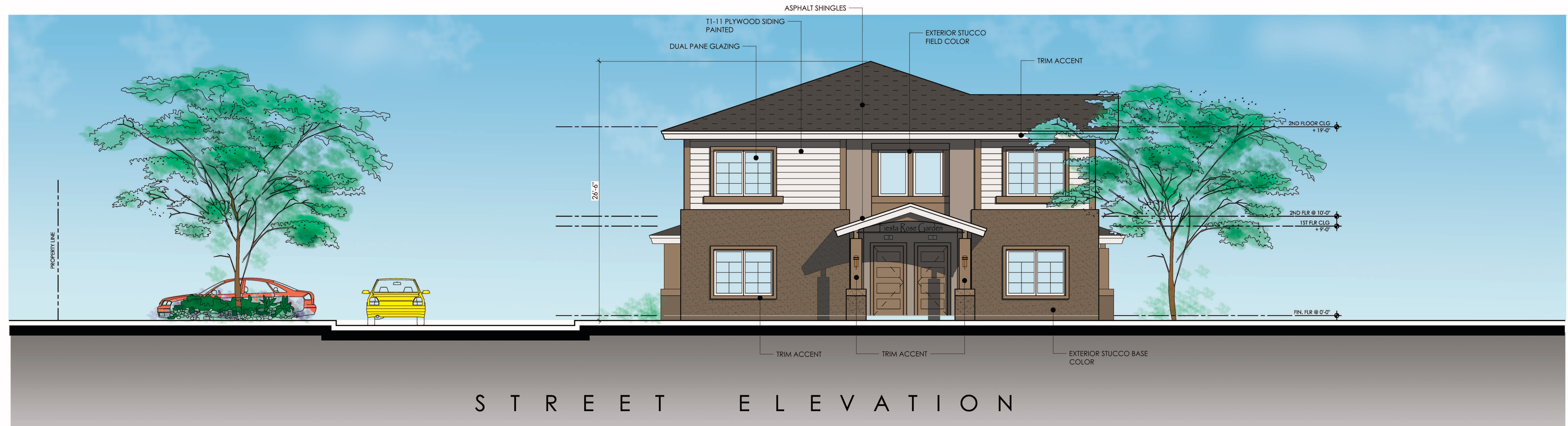
AREA CALC.:  
 1ST FLR GROSS: 1563 S.F.  
 (-) 1ST FLOR GARAGE: 259 S.F.  
 (-) 1ST STAIR: 100 S.F.  
 TOTAL RENTABLE: 1204 S.F.  
 1ST FLOR PAITO: 100 S.F.

GROUND LEVEL UNIT PLAN



AREA CALC.:  
 2ND FLR GROSS: 1457 S.F.  
 (-) 2ND FLR DECK: 132 S.F.  
 (-) 1ST STAIR: 124 S.F.  
 TOTAL RENTABLE: 1204 S.F.

UPPER LEVEL UNIT PLAN



STERLING CM

GENERAL CONTRACTORS  
 480.436.7714

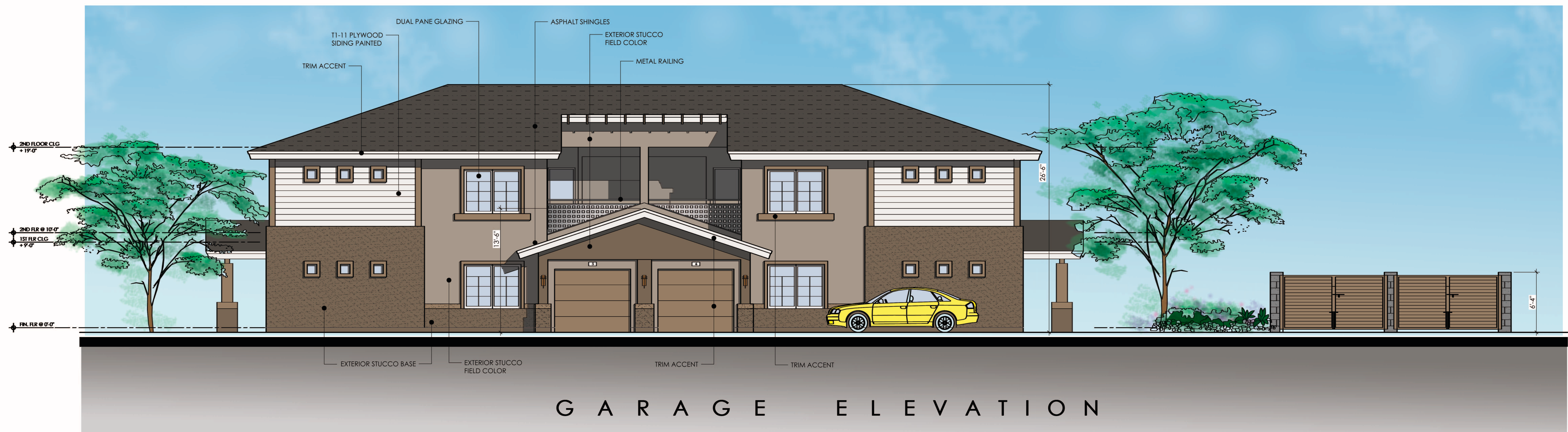
FIESTA ROSE GARDEN

ST-3  
 SCALE: 3/16' = 1'-0"  
 08.01.21

Esquire

ARCHITECTURE & PLANNING  
 602.818.1706





STERLING CM

GENERAL CONTRACTORS  
480.436.7714

FIESTA ROSE GARDEN

SK-4

SCALE: 3/16" = 1'-0"  
08.01.21

*Esquire*

ARCHITECTURE & PLANNING  
602.818.1706



# **Citizen Participation Plan for Fiesta Rose Garden Town Homes**

**Date:** August 16, 2021

**Purpose:** The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, schools and businesses in the vicinity of the site of an application for the Fiesta Rose Garden Town Homes. This site is located at 3905 E University Dr and is an application for a Development Incentive Permit (DIP). This plan will ensure that those affected by this application will have an opportunity to learn about and comment on the proposal.

**Contact:**

Garrett Blackwell  
1660 N Rosemont,  
Ste 103  
Mesa, Az 85205  
(480) 436-7714

email: [fiestrosegarden@gmail.com](mailto:fiestrosegarden@gmail.com)

**Pre-submittal Meeting:** The pre-application meeting with City of Mesa planning staff was held on April 6, 2021. Staff reviewed the application and recommended that adjacent residents, Mesa School District and nearby registered neighborhoods be contacted.

**Action Plan:** In order to provide effective citizen participation in conjunction with their application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have.

1. A contact list will be developed for citizens and agencies in this area including:
  - All registered neighborhood associations within 1000 feet of the project.
  - Homeowners Associations within 1000 feet of the project.
  - Property owners within 1,000 feet from site, but may include more
2. All persons listed on the contact list will receive a letter inviting them to a neighborhood meeting to be held on Tuesday September 7, 2021 at 5:00pm at 1660 N Rosemont, Ste 103, Mesa, Az 85205.
3. Presentation will be made to the contact list about the project at the neighborhood meeting.

[All materials such as sign-in lists, comments, and petitions received are copied to the City of Mesa]

**Schedule:** Pre-submittal meeting – April 6, 2021

Application Submittal – August 16, 2021

Neighborhood meeting – September 9, 2021

Submittal of Citizen Participation Report and Notification materials – November 1, 2021

Planning and Zoning Board Hearing – November 17, 2021



## Citizen Participation Report for Fiesta Rose Garden Case # BOA21-00787

Date of Report: November 09, 2021

Overview: This report provides results of the implementation of the Citizen Participation Plan for Fiesta Rose Garden. This site is located at 3905 E University Dr, East of the southeast corner of Val Vista and University Streets and is an application for a DIP on the property to allow 3 multi-family dwellings. This report provides evidence that citizens, neighbors, public agencies and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application. Comments, sign-in lists, petitions, letters, summary sheets, and other materials are attached.

### Contact:

Garrett Blackwell  
1660 E Rosemont, Ste 103  
Mesa, Az 85205  
(480) 797-7155, [garrett@sterling-cm.com](mailto:garrett@sterling-cm.com)

Neighborhood Meetings: The following are Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal [sign in lists and other feedback are attached];

1. 09/07/2021 – Sterling CM office @ 1660 N Rosemont, Ste 103 at 5 P .M. to 6 P .M. - 4 citizens in attendance.
2. 09/09/2021 - Sterling CM office @ 1660 N Rosemont, Ste 103 at 5 P .M. to 6 P .M. - 0 citizens in attendance.

### Correspondence and Telephone Calls:

1. 1st letters mailed or hand delivered to Neighborhoods on August 16, 2021 (see attached example of letter mailed)

### Results:

#### 1 . Summary of concerns, issues and problems:

- The only concern that was related to project was that the neighborhood to the South has a court for activities near the common wall between the two developments and that they tend to have events in the evening. It was more of a concern they wanted the new development to be aware of.

#### 2. How concerns issues and problems were addressed:

- There wasn't really anyway to address this. It was more informative on their part



STREET ELEVATION

# Fiesta Rose Garden

## Planning & Zoning Hearing

11/28/2021

Dear Neighbor,

We have applied for a Development Incentive Permit (DIP), for the property located at 3905 E University Rd. This request is for development of three (4 unit) complexes. The case number assigned to this project is ZON21-00788

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan, and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 480-436-7714 or e-mail me at [fiestarosegarden@gmail.com](mailto:fiestarosegarden@gmail.com)

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on December 15, 2021 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at [Mesa11.com/live](http://Mesa11.com/live) or [www.youtube.com/user/cityofmesa11/live](http://www.youtube.com/user/cityofmesa11/live), or listen to by calling **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and follow the prompts, prior to the start of the meeting.** If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> **at least 1 hour prior to the start of the meeting.** If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting.** You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to staff planner Sean Pesek . He can be reached at 480-644-6716 or [sean.pesek@mesaaz.gov](mailto:sean.pesek@mesaaz.gov), should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

City of Mesa – Planning Division, P. O. Box 1466, Mesa, AZ 85211-1466, 480-644-2385

PROJECT DATA

1. PROJECT ADDRESS: 3905 UNIVERSITY DR.

2. PROJECT DESCRIPTION: A NEW GROUND-LEVEL BUILDING FOR 12 STUDENT RESIDENTIAL UNITS.

3. LOT AREA: 10,000 S.F.

4. LOT DIMENSIONS: 100' X 100'

5. SETBACKS: 25' FRONT, 25' SIDE, 25' REAR

6. ZONING: RS-1

7. PROJECTED COST: \$1,200,000

8. PROJECTED REVENUE: \$1,500,000

9. PROJECTED PROFIT: \$300,000

10. PROJECTED IRR: 15%

11. PROJECTED PAYBACK PERIOD: 5.3 YEARS

12. PROJECTED NET PRESENT VALUE: \$150,000

13. PROJECTED IRR WITH TAX: 12.5%

14. PROJECTED PAYBACK PERIOD WITH TAX: 6.2 YEARS

15. PROJECTED NET PRESENT VALUE WITH TAX: \$100,000

16. PROJECTED IRR WITH TAX AND INFLATION: 10.5%

17. PROJECTED PAYBACK PERIOD WITH TAX AND INFLATION: 7.1 YEARS

18. PROJECTED NET PRESENT VALUE WITH TAX AND INFLATION: \$50,000

19. PROJECTED IRR WITH TAX AND INFLATION: 8.5%

20. PROJECTED PAYBACK PERIOD WITH TAX AND INFLATION: 8.5 YEARS

21. PROJECTED NET PRESENT VALUE WITH TAX AND INFLATION: \$0

22. PROJECTED IRR WITH TAX AND INFLATION: 6.5%

23. PROJECTED PAYBACK PERIOD WITH TAX AND INFLATION: 10.5 YEARS

24. PROJECTED NET PRESENT VALUE WITH TAX AND INFLATION: -\$50,000

25. PROJECTED IRR WITH TAX AND INFLATION: 4.5%

26. PROJECTED PAYBACK PERIOD WITH TAX AND INFLATION: 13.5 YEARS

27. PROJECTED NET PRESENT VALUE WITH TAX AND INFLATION: -\$100,000

28. PROJECTED IRR WITH TAX AND INFLATION: 2.5%

29. PROJECTED PAYBACK PERIOD WITH TAX AND INFLATION: 17.5 YEARS

30. PROJECTED NET PRESENT VALUE WITH TAX AND INFLATION: -\$150,000

SITE PLAN NOTES

1. EXISTING STREET LIGHTS TO REMAIN.

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DEVELOPMENT INCENTIVE PROGRAM

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VICINITY MAP

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UNIVERSITY DRIVE

PROPERTY LINE 165.04'

PROPERTY LINE 268.99'

PROPERTY LINE 165'

UNIT 1

UNIT 2

UNIT 5

UNIT 6

UNIT 9

UNIT 10

LEGEND

PROPERTY LINE

EXISTENCE LINE

BUILDING SETBACK LINE

LANDSCAPE SETBACK LINE

EXISTING TO BE REMOVED

PRELIMINARY

SCALE 1"=100'

SCALE 1"=100'

FIESTA ROSE GARDEN

3905 UNIVERSITY DR.

MESA, ARIZONA 85205

PLANNING REVIEW

DATE: 08-23-2023

BY: [Signature]

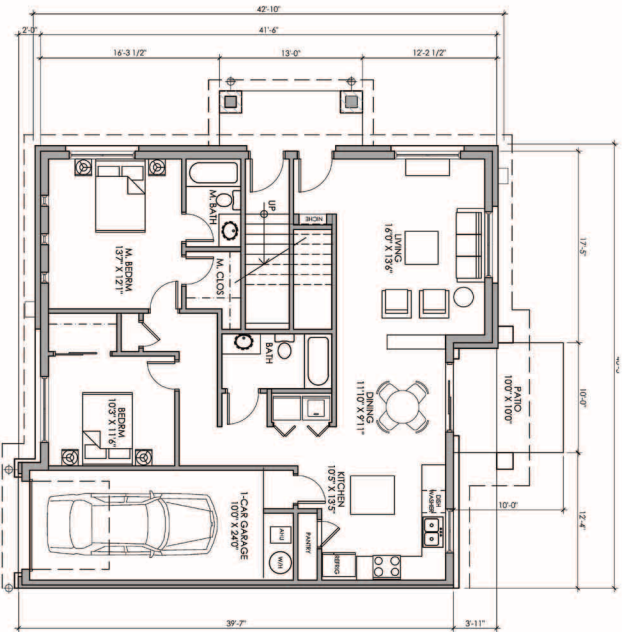
REVISIONS:

1. 08-23-2023

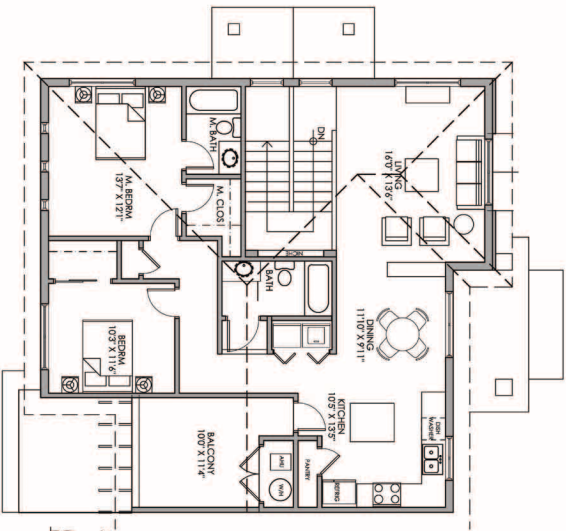
2. 08-23-2023

3. 08-23-2023

ST-0



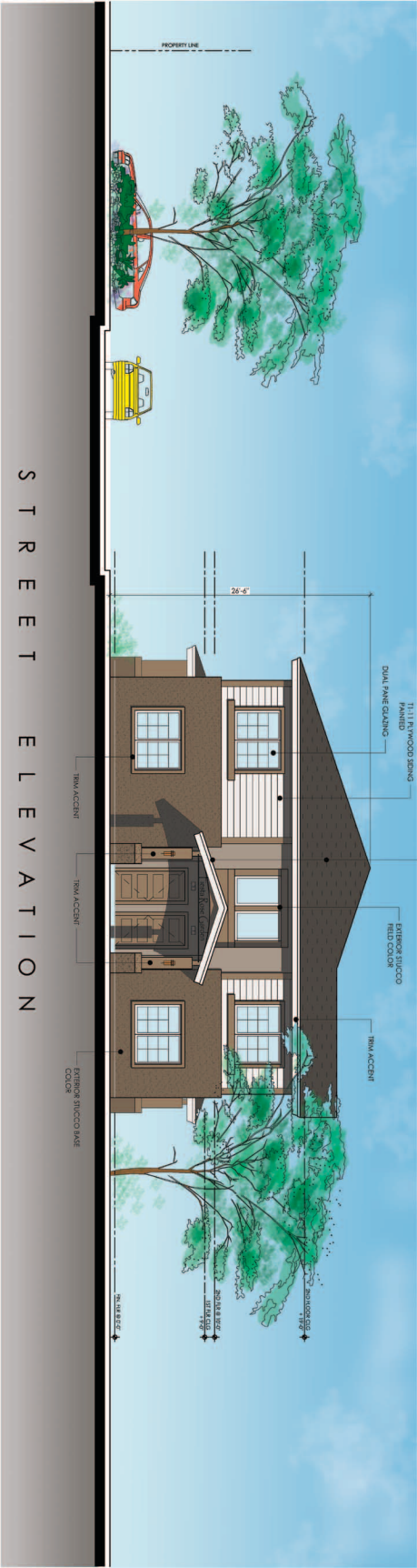
AREA CALC:  
1ST FR GROSS: 1563 S.F.  
1ST FLOOR GARAGE: 239 S.F.  
1ST FLOOR DECK: 100 S.F.  
TOTAL RENTABLE: 1204 S.F.  
1ST FLOOR PATIO: 100 S.F.



AREA CALC:  
2ND FR GROSS: 1457 S.F.  
2ND FR DECK: 122 S.F.  
1ST STAIR: 124 S.F.  
TOTAL RENTABLE: 1204 S.F.

GROUND LEVEL UNIT PLAN

UPPER LEVEL UNIT PLAN



STERLING CM

FIESTA ROSE GARDEN

ST-3

GENERAL CONTRACTORS

SCALE: 3/16" = 1'-0"

08.01.21

ARCHITECTURE & PLANNING

602.818.1706

Enquire



# FIESTA ROSE GARDEN

SK-4

## 08.01.21

**ARCHITECTURE & PLANNING**  
602.818.1706

September 7, 2021

# Fiesta Rose Garden Town Homes

## Citizen Participation Plan Meeting – Sign In

Name/ Signature

Email/ Phone Number

Sharon Campanale

Nancy Cramer

Kathy Williams

campys1952@cox.net

neb553@yahoo.com

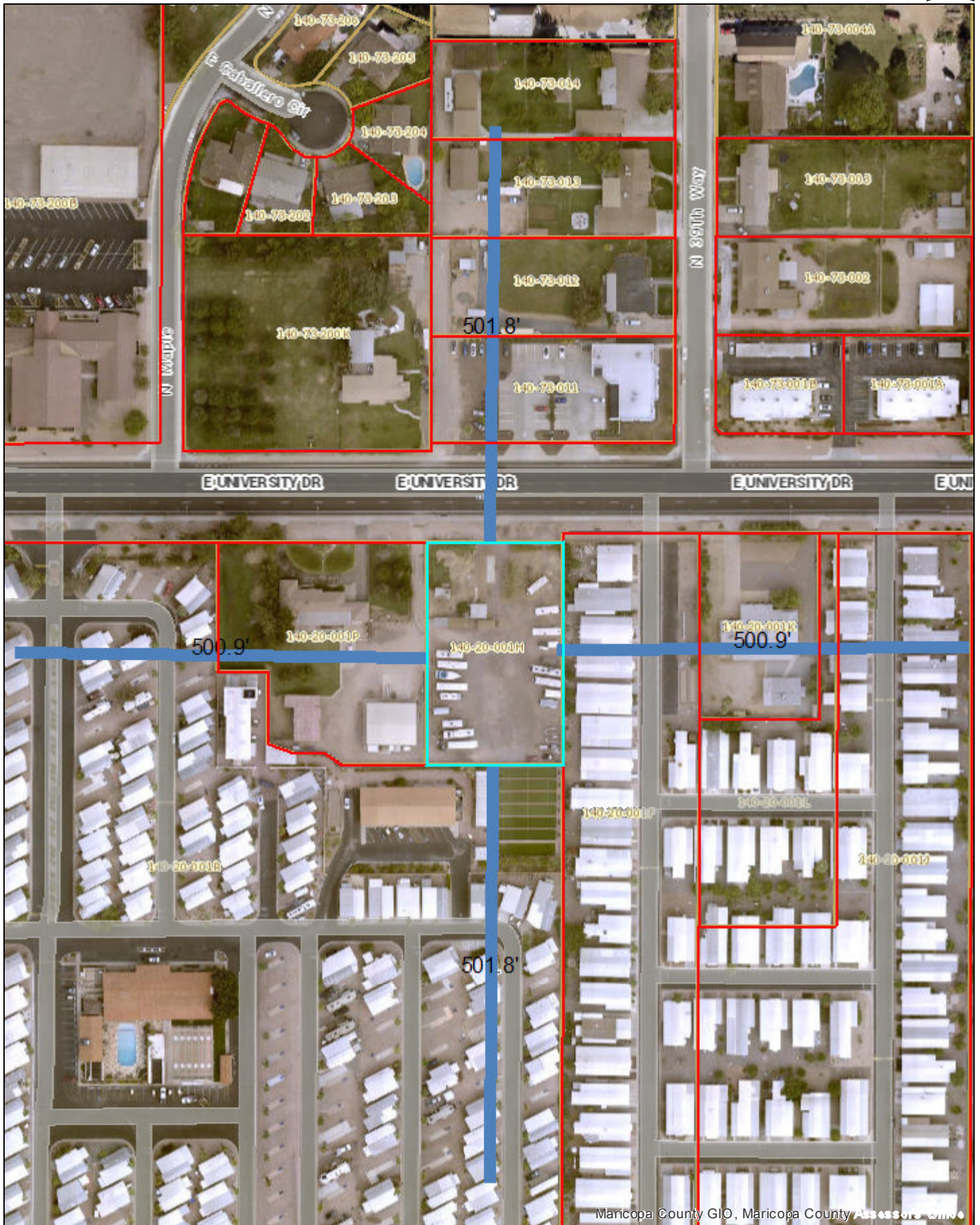
Kathyw\_29az@yahoo.com

Sept 9, 2021





# Map



CURRENT RESIDENT  
3811 E UNIVERSITY DR #001  
MESA, AZ 85205

CURRENT RESIDENT  
3811 E UNIVERSITY DR #136  
MESA, AZ 85205

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4065 E UNIVERSITY DR #524  
MESA, AZ 85205

CURRENT RESIDENT  
4065 E UNIVERSITY DR #525  
MESA, AZ 85205

CURRENT RESIDENT  
4065 E UNIVERSITY DR #526  
MESA, AZ 85205

CURRENT RESIDENT  
4065 E UNIVERSITY DR #527  
MESA, AZ 85205

CURRENT RESIDENT  
4065 E UNIVERSITY DR #528  
MESA, AZ 85205

CURRENT RESIDENT  
4065 E UNIVERSITY DR #529  
MESA, AZ 85205

CURRENT RESIDENT  
4065 E UNIVERSITY DR #530  
MESA, AZ 85205

CURRENT RESIDENT  
425 N 39<sup>TH</sup> WAY  
MESA, AZ 85205

CURRENT RESIDENT  
426 N 39<sup>TH</sup> WAY  
MESA, AZ 85205

CURRENT RESIDENT  
437 N 39<sup>TH</sup> WAY  
MESA, AZ 85205

CURRENT RESIDENT  
438 N 39<sup>TH</sup> WAY  
MESA, AZ 85205

CURRENT RESIDENT  
450 N 39<sup>TH</sup> WAY  
MESA, AZ 85205

CURRENT RESIDENT  
455 N 39<sup>TH</sup> WAY  
MESA, AZ 85205

CURRENT RESIDENT  
462 N 39<sup>TH</sup> WAY  
MESA, AZ 85205

CURRENT RESIDENT  
3810 E UNIVERSITY DR  
MESA, AZ 85205

CURRENT RESIDENT  
3855 E UNIVERSITY DR  
MESA, AZ 85205

CURRENT RESIDENT  
3860 E UNIVERSITY DR  
MESA, AZ 85205

CURRENT RESIDENT  
3930 E UNIVERSITY DR  
MESA, AZ 85205

CURRENT RESIDENT  
3939 E UNIVERSITY DR  
MESA, AZ 85205

CURRENT RESIDENT  
3940 E UNIVERSITY DR  
MESA, AZ 85205

CURRENT RESIDENT  
3960 E UNIVERSITY DR  
MESA, AZ 85205

CURRENT RESIDENT  
3843 E CABALLERO CIR  
MESA, AZ 85205

CURRENT RESIDENT  
3851 E CABALLERO CIR  
MESA, AZ 85205

CURRENT RESIDENT  
3857 E CABALLERO CIR  
MESA, AZ 85205

CURRENT RESIDENT  
3861 E CABALLERO CIR  
MESA, AZ 85205

FIESTA RVR LLC  
385 CLINTON ST  
COSTA MESA, CA 92626

CIP CITRUS GARDENS OWNER LLC  
1001 PENNSYLVANIA AVE NW  
WASHINGTON DC, WA 20004

CITY OF MESA PLANNING  
ATTENTION: SEAN PESEK  
P O BOX 1466 MAIL STOP 9953  
MESA, AZ 85211

City of Mesa Planning Division


# AFFIDAVIT OF PUBLIC POSTING

To be submitted to the Planning Division by December 15, 2021

Date: 11/30/21

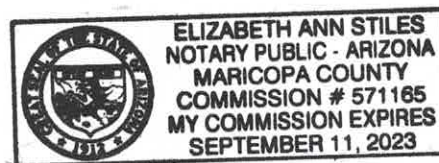
I, Garret Blackwell, being the owner or authorized applicant for the zoning case below, do hereby affirm that I have posted the property related to **Case #ZON21-00788** on the 30<sup>th</sup> day of November, 2021. At least one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

**SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.**

Applicant's/Representative's signature: 

SUBSCRIBED AND SWORN before me this 30 day of Nov., 2021.

  
Notary Public



Case Number: ZON21-00788

Project Name: Fiesta Rose Garden







When recorded, return to:

City of Mesa  
Real Estate Department  
20 East Main Street  
Mesa, Arizona 85201

**AIRCRAFT OPERATION, SOUND AND AVIGATION EASEMENT  
AND RELEASE FOR FALCON FIELD AIRPORT AND FLIGHT OPERATIONS AT  
THE BOEING COMPANY FACILITY**

WHEREAS \_\_\_\_\_, an Arizona limited liability company ("**Owner**") is the owner of that certain parcel of land situated in the City of Mesa, Maricopa County, Arizona, consisting of approximately \_\_\_\_ acres, legally described on the attached Exhibit A, and incorporated by reference herein, (the "**Land**") and which the Owner desires to develop the Land for a residential community under the name of \_\_\_\_\_.

WHEREAS, the Owner is aware that the Land lies in an area that is subject to aircraft flight patterns overflights and operations for aircraft utilizing airspace in connection with "Falcon Field Airport," generally located at 4800 E. Falcon Drive, Mesa, AZ 85215 ("**Airport**") and also in connection with "Boeing Flight Operations," located at 5000 E. McDowell Road, Mesa, AZ 85215, as legally described on the attached Exhibit B-1 and depicted on Exhibit B-2, which are incorporated by reference herein ("**Boeing Field**").

WHEREAS, the Owner recognizes that all airspace is governed by the U.S. Code, and the U.S. Government has exclusive sovereignty of airspace in the United States. Owner is willing to develop such Land subject to the sovereign authority of the U.S. Government subject to the plans and policies developed by the Federal Aviation Administration ("**FAA**") for use of the navigable airspace including the right of flight and other airspace uses over the Land and all effects flowing therefrom.

NOW THEREFORE, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby fully acknowledged, Owner and its heirs, administrators, executors, occupants, users, developers, successors and assigns (collectively, "**Owner**"), does hereby give and grant to the Airport, the City of Mesa, a municipal corporation, and its respective administrators, successors and assigns (collectively, "**City**"), Boeing Field, The Boeing Company, a Delaware corporation, and its affiliates, successors and assigns (collectively, "**Boeing**"), and Aircraft users of the Airport, Airport facilities, Boeing Field, and Boeing Field facilities a perpetual, nonexclusive and appurtenant easement that runs with and benefits the land and owners of the land hereby benefited (the "**Easement**") for all avigation purposes and uses over and across the Land in connection with flights, flight patterns and paths, airspace usage, passage, operations, testing, development of Aircraft (the term "**Aircraft**" shall include any device that is used or intended to be used for flight or passage in the air or space, existing or future), and other related uses and flight or airspace activities, in, to, over, across and through all navigable airspace above the surface of the Owner's

Land in such flights, flight patterns and paths, routes, uses, and all other Aircraft uses for all of the foregoing purposes and at altitudes that are in conformance with FAA regulations and to an infinite height above such Owner's Land, which Easement shall include, but not be limited to, the right of flight of all Aircraft above, across and over the Land in such flights, flight patterns and paths, routes, and all other Aircraft uses, provided all the foregoing purposes and altitudes are in conformance with FAA regulations, together with all related inconvenience, smoke, attendant sound and noise, vibrations, fumes, dust, fuel, gas and lubricant particles, and dripping and all other effects that may be caused by the operation of Aircraft including for the purposes and uses described above and also landing at, or taking off from, touching down and departing, or operating in relation to, on, from or around the Airport and Boeing Field (the foregoing are collectively call **"Airport Operations"**).

Owner, to the fullest extent permitted by law, does further waive, release and discharge the City, Airport, Aircraft Users, Boeing, Boeing Field, and the third party beneficiaries (as described below) of and from any and all claims, causes of action, and liabilities including claims for losses or damages of any kind to persons or property that may arise now or at any time in the future from Aircraft Operations (which includes, but is not limited to, take offs, landings, flights, testing, airspace usage and passage) from, at, or around the Airport or Boeing Field and/or over or in connection with the Owner's Land above, in, to, over and through all navigable air space above Owner's Land, and on and to the surface of the Land and on and to all structures, improvements and personal property now existing or hereafter located or constructed on the Land, or any portion of the Land, whether such loss or damage shall originate from smoke, noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by any type of Aircraft Operations (which includes, but is not limited to, take offs, landings, flights, testing, airspace usage and passage); provided that such claim, cause of action or liability does not solely and exclusively arise out of either a failure to comply with an applicable FAA regulation for that flight or an expressed requirement made by the Falcon Field Airport Tower for that flight; and if either such failure occurs, this waiver, release and discharge shall not apply as to the owner of, or person or entity responsible for, that Aircraft; provided further that the foregoing waiver, release and discharge shall not apply as to liability for damage or injury to person or property caused by falling Aircraft or falling physical objects from such Aircraft, except the foregoing waiver, release and discharge does apply for inconvenience, smoke, attendant sound and noise, vibrations, fumes, dust, fuel and lubricant particles.

This Easement is granted for the above purposes and uses for the passage of all Aircraft, specifically including but not limited to military and developmental and test aircraft, present or future, by whomever owned or operated on, from, around or to the Airport and/or Boeing Field and any other airport or air facility which is or may be located at or near the site of the Airport and Boeing Field, including any future change, increase, or expansion in the boundaries of the Airport, Boeing Field, or their air facilities, including any expansion or address or location change to new areas for which there is no legal description attached hereto, the volume or nature of Airport Operations of the Airport, Boeing Field, or noise or patterns or timing of air traffic thereof.

Aircraft Users, Aircraft owners, operators, and other third party users of the Airport and Boeing Field are expressly intended to be third party beneficiaries of this Easement and are expressly granted all the same rights and benefits in this Easement and the release and discharge of and from any claims, causes of action and liabilities for any and all losses or damages as set

forth in this Easement.

Owner Desert Vista 100, LLC, an Arizona limited liability company (and any successor owner that is a developer of unimproved lots), prior to the initial sale of residential lots, shall give notice of this Easement by: (i) disclosing this Easement in the Subdivision Public Report filed with the Arizona Department of Real Estate; (ii) recording this Easement in Maricopa County Recorder's Office; and (iii) providing disclosure in compliance with Mesa City Code 11-19-5(C), which requirements include: (x) disclosure on the final subdivision plat, (y) notice to all prospective buyers at the sales offices, and (z) signage at the sales office notifying prospective buyers. Owners that are owners of improved residential lots, *i.e.*, not a developer, ("**Homeowners**") shall provide notice of this Easement to their successors, users, occupants, and tenants (collectively, "**Property Users**") of the Land, or any portion thereof; provided that the foregoing notice requirements in this paragraph are not intended to and do not require the Homeowner to provide any additional notice as part of a sale of an improved residential lot to a subsequent Homeowner other than the customary and usual information provided as part of a closing such as a title report.

The Property Users, to the fullest extent permitted by law, are bound by the terms of this Easement.

This Aircraft Operation, Sound and Avigation Easement and Release shall be binding upon Owner, Property Users and successors in interest to the Land, and any part thereof, and it is further agreed that this Easement shall be a covenant running with the Land and shall be recorded in the office of the County Recorder of Maricopa County, Arizona. Provided further, the release and discharge provisions in this Easement, to the extent permitted by law, are binding upon the Property Users of the Land.

This Easement may not be amended, modified, terminated or retracted without the prior written consent of City, Owner, and Boeing. Additionally, the unenforceability or invalidity of one or more provisions in this Easement shall not have an effect on any other provision in this Easement.

*[Signatures appear on following pages]*

EXECUTED this \_\_\_\_\_ of \_\_\_\_\_, 202\_.

OWNER:

\_\_\_\_\_,  
an Arizona limited liability company

By \_\_\_\_\_

Name \_\_\_\_\_

Its \_\_\_\_\_

STATE OF ARIZONA        )  
                                      ) ss.  
County of Maricopa        )

The foregoing Easement was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 202\_, by  
\_\_\_\_\_, the \_\_\_\_\_ of \_\_\_\_\_, an Arizona limited  
liability company, in his/her capacity as \_\_\_\_\_ of and on behalf of Owner.

\_\_\_\_\_  
Notary Public

My commission expires:

CITY OF MESA, ARIZONA,  
an Arizona municipal corporation

By\_\_\_\_\_

Name\_\_\_\_\_

Its\_\_\_\_\_

STATE OF ARIZONA        )  
                                      ) ss.  
County of Maricopa        )

The foregoing Easement was acknowledged before me this\_\_\_\_\_day of\_\_\_\_\_, 202\_, by  
\_\_\_\_\_, the\_\_\_\_\_of the City of Mesa, Arizona, an Arizona municipal  
corporation who acknowledged that he signed the foregoing instrument on behalf of City.

\_\_\_\_\_  
Notary Public

My commission expires:



THE BOEING COMPANY,  
a Delaware corporation

By\_\_\_\_\_

Name\_\_\_\_\_

Its\_\_\_\_\_

STATE OF ARIZONA       )  
                                      ) ss.  
County of Maricopa       )

The foregoing Easement was acknowledged before me this\_\_\_\_\_day of\_\_\_\_\_, 202\_, by  
\_\_\_\_\_, the\_\_\_\_\_of The Boeing Company, a Delaware corporation, in  
his/her capacity as\_\_\_\_\_of and on behalf of The Boeing Company.

\_\_\_\_\_  
Notary Public

My commission expires:

**Exhibit A**  
**Legal Description of the Land**  
**(appears on the following pages)**

**EXHIBIT B-1**  
**Legal Description of Boeing Field**  
**(appears on the following pages)**

**EXHIBIT B-2**  
**Depiction of Boeing Field**  
**(appears on the following page)**