



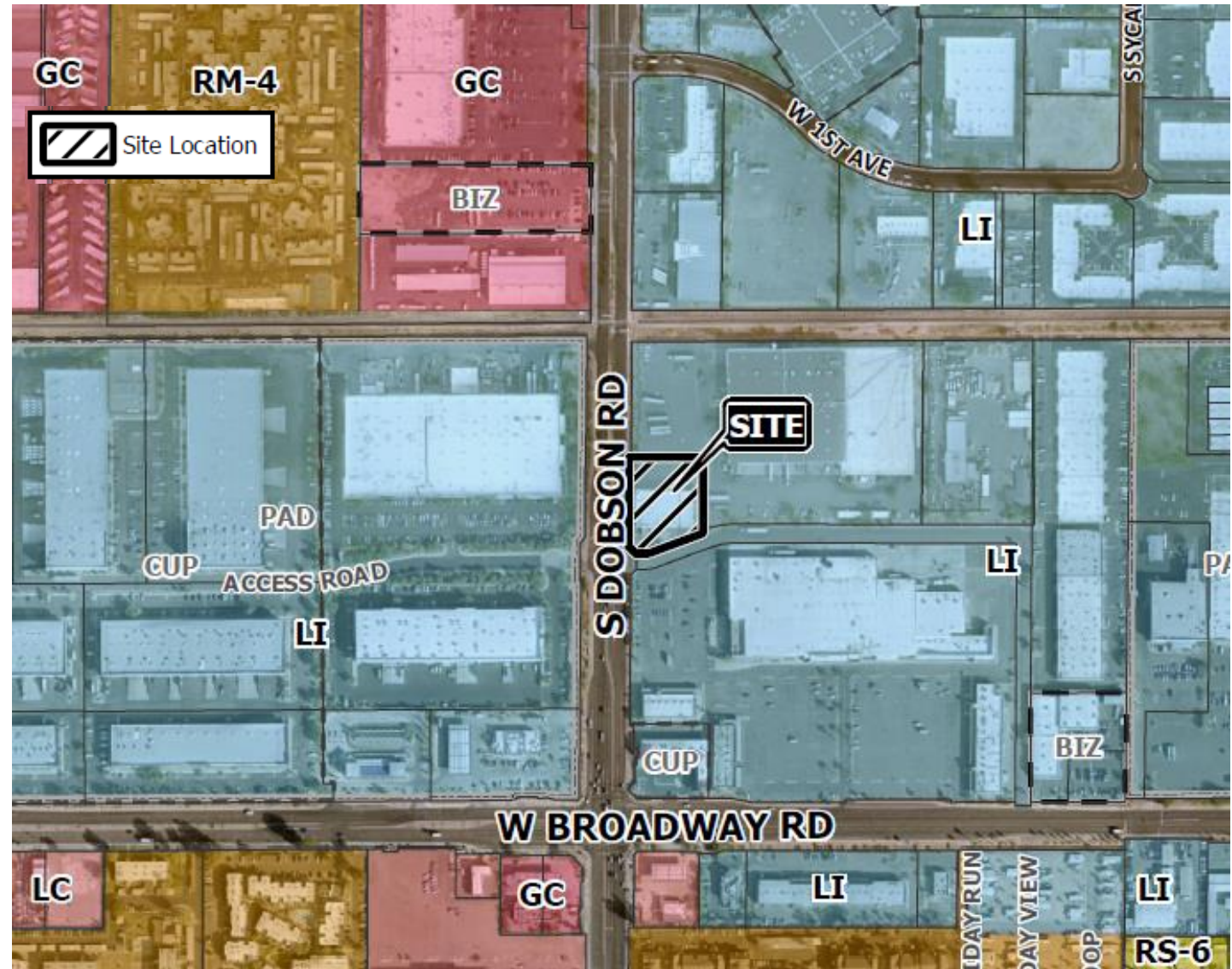
# BOARD OF ADJUSTMENT



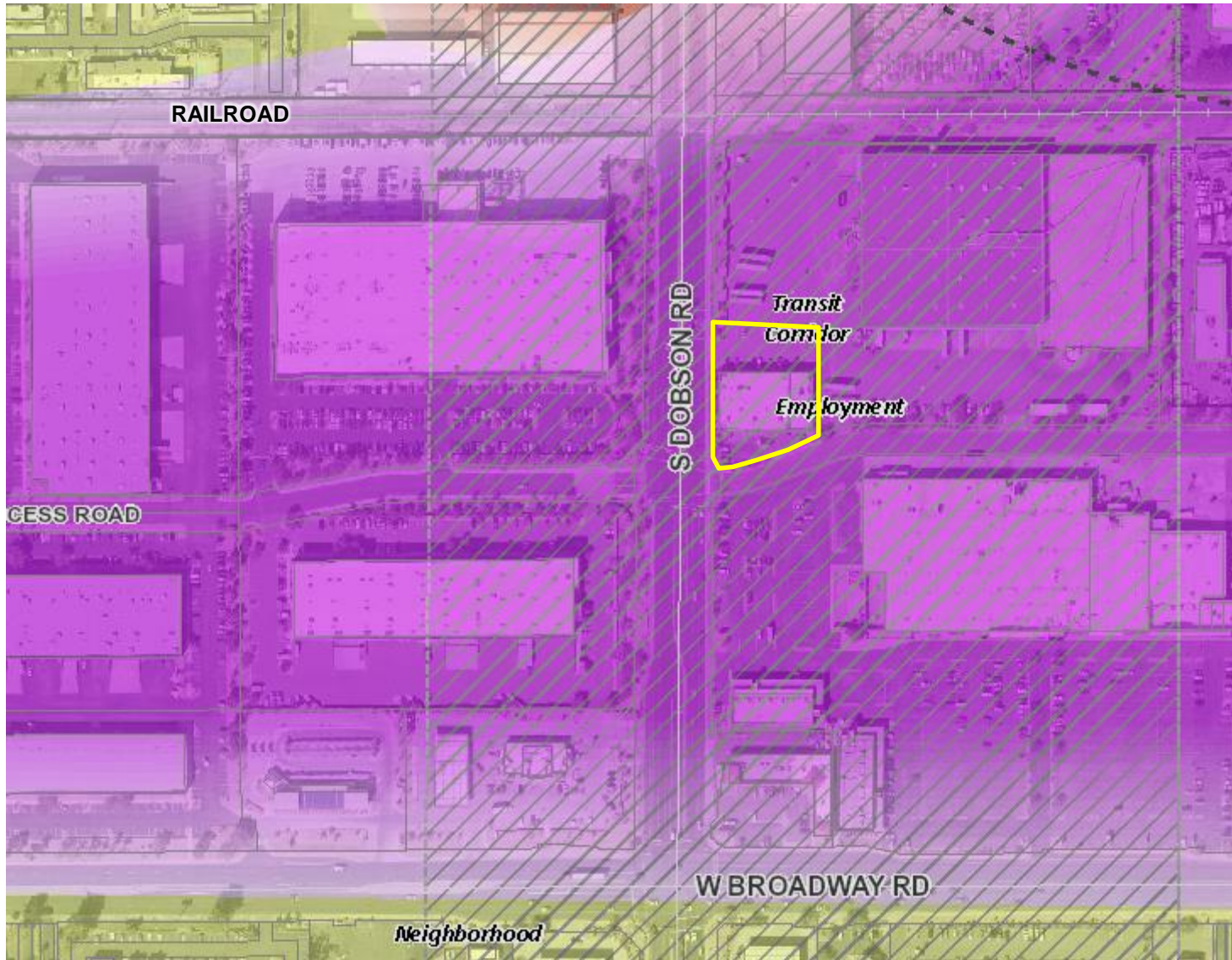
**BOA21-01021**

# Location

- 245 South Dobson Road
- North of Broadway Road
- East side of Dobson Road







# General Plan

## Employment/Transit Corridor

- Primarily employment type land uses
- May include secondary uses such as commercial and retail

## West Main Street Area Industrial Corridor

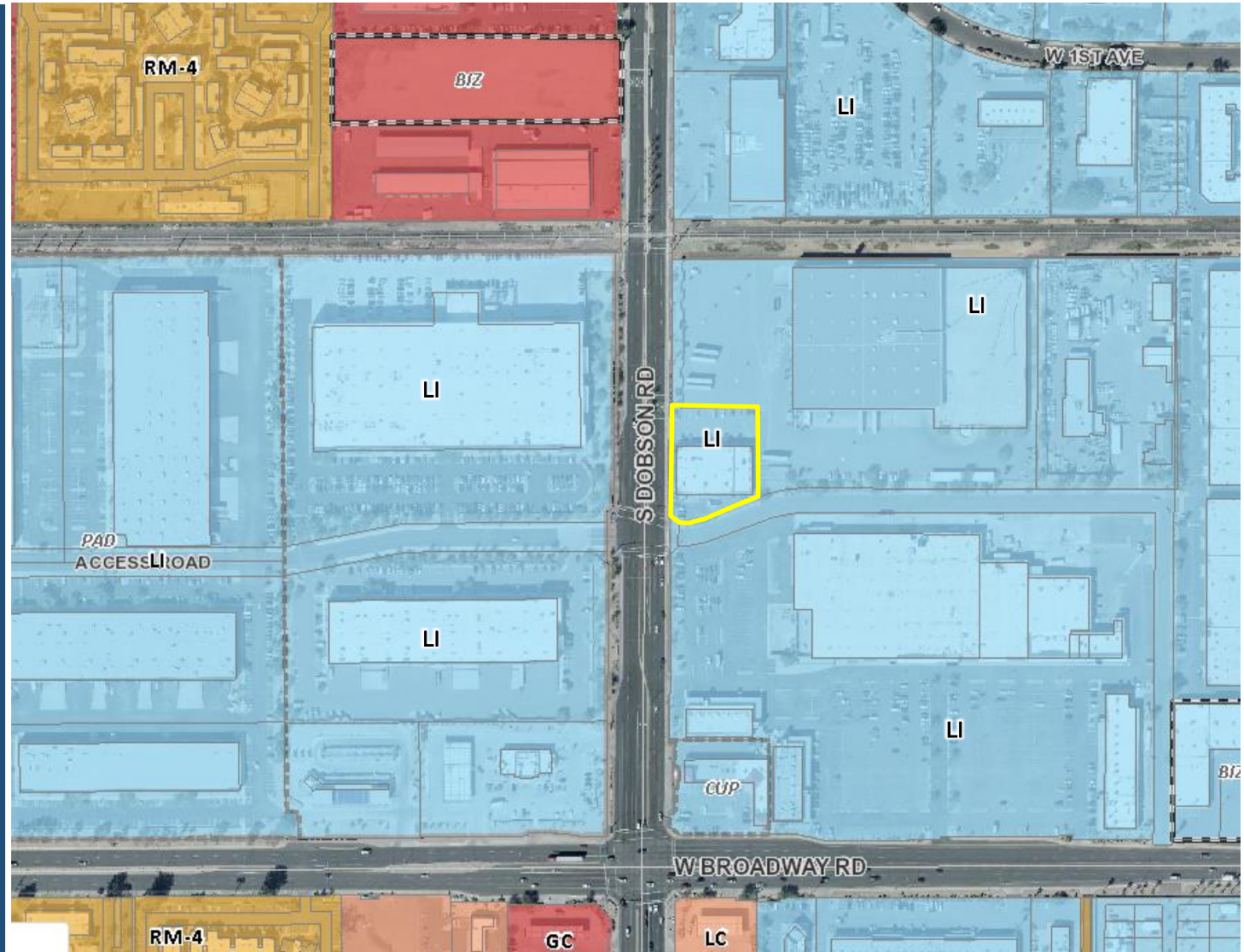
- Maintaining and developing employment areas



# Zoning

## Light Industrial (LI)

- Automobile/Vehicles Sales and Leasing is a permitted use
- Subject to additional development standards, MZO Section 11-31-5







## Request

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- SCIP

## Purpose

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- Allow deviations to development standards for a proposed automobile/vehicle sales and leasing use

# Site Photo



View of existing building from Dobson Road



# Site Photo



Views of existing building from the south



# Requested SCIP

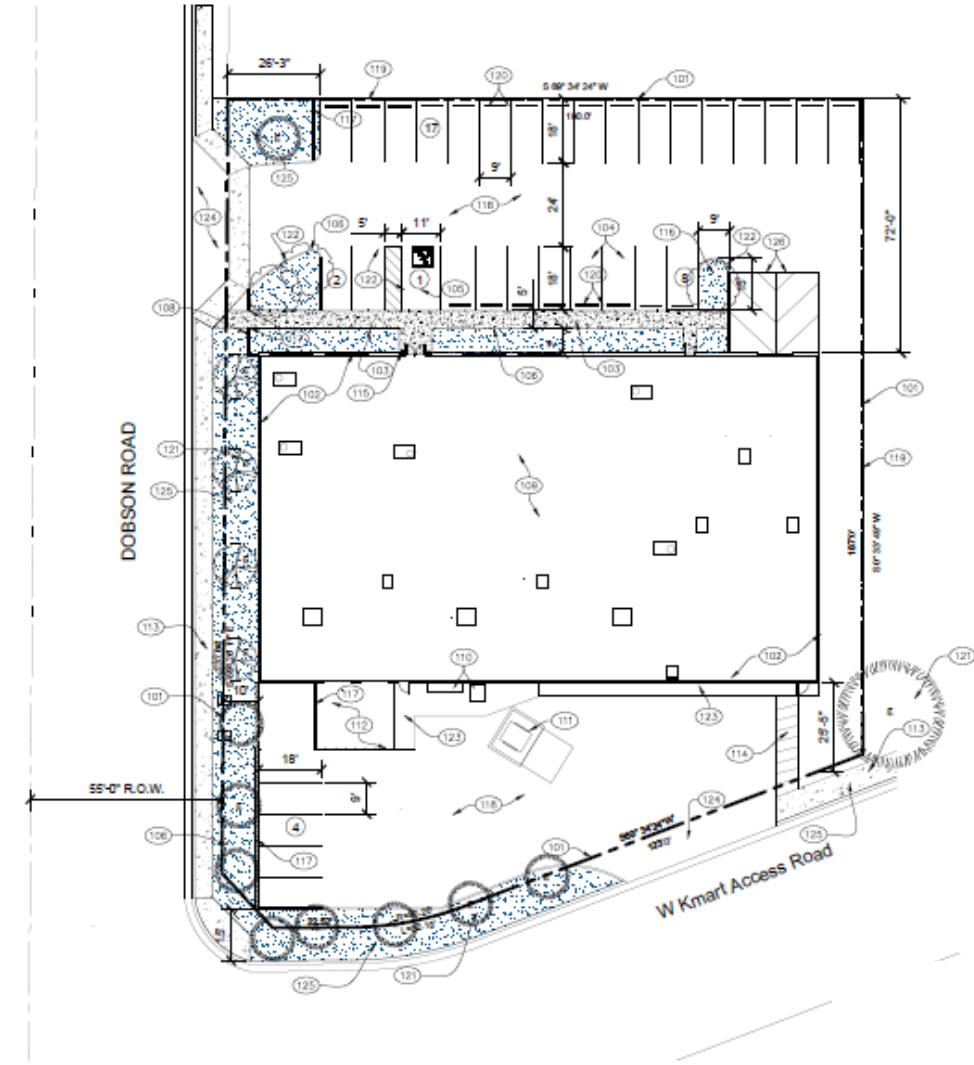
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- Reduced landscape yards along the north, east and south property lines
- Reduced landscape material along the north, east and south property lines
- Reduced number of parking lot landscape islands



# Site Plan

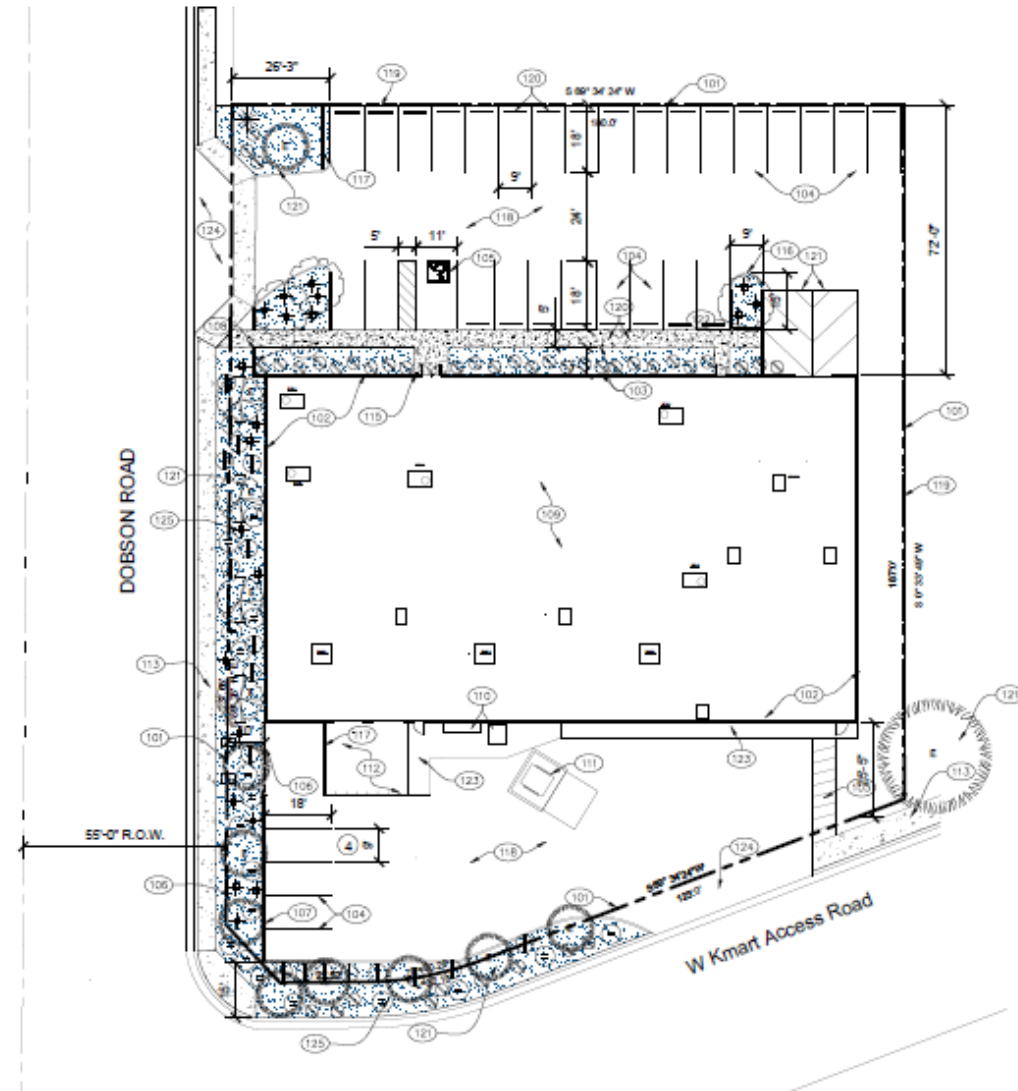
- New landscape island on south side of Dobson Road access
- New landscape island at east end of parking spaces adjacent to the north elevation
- Increased foundation base landscape area along the north elevation
- New five-foot-wide sidewalk along the north elevation connects to Dobson Road sidewalk





# Landscape Plan

- New landscape material in new landscape islands adjacent to the north elevation
- New landscaping material in foundation base along north elevation



# Approval Criteria

## Section 11-73-3

- |   |   |
|---|---|
| ✓ | Significant alterations to the site would need to occur to bring the site into full conformance with current MZO development standards. |
| ✓ | Full compliance would discourage redevelopment of the site  |
| ✓ | No new non-conforming conditions will be created with the remodel of the office building  |
| ✓ | Proposed request is compatible with, and not detrimental to, adjacent properties or neighborhood  |



# Summary

## Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Meets criteria outlined in Chapter 73 of the Mesa Zoning Ordinance

## Staff Recommendation

Approval with Conditions



**BOA21-01021**

December 1, 2021