

REQUIRED NUMBER OF PLANTS (TREES & SHRUBS) BY STREET TYPE (TABLE 11-33-3.A.4)			
Street Type	Minimum Required	Existing	New
Arterial Street (110—130'): 200' LF	1 Tree & 6 Shrubs / 25 LF Total Required: 8 Trees/48 Shrubs	6 Trees 18 Shrubs	2 - 36" box trees 12 - (5) gallons shrubs 16 - (1) gallon shrubs
Public Local Streets (< 60'): 111' LF	1 Tree & 4 Shrubs / 25 LF Total Required: 5 Trees/20 Shrubs	4 Trees 10 Shrubs	1 - 36" box trees 5 - (5) gallons shrubs 5 - (1) gallon shrubs
FOUNDATION BASE LANDSCAPE			
Actual	Minimum Required	Existing	New
136 LF	A minimum (1) tree / 50 LF Total Required: 3 Trees	NA	3 - 36" box trees 9 - (5) gallons shrubs 27 - (1) gallon shrubs

Minimum Size. Minimum size of plant materials shall be as follows:

a. Trees.

i. A minimum of 25 percent of the total required trees shall be 36-inch or larger box trees.

ii. A minimum of 50 percent of the total required trees shall be 24-inch box trees.

iii. No trees shall be smaller than 15-gallon size.

iv. When located in front of buildings that could contain commercial signage, install trees that branch at sufficient height to allow people to see the signage beyond the tree.

b. Shrubs.

i. A minimum of 50 percent of the total required shrubs shall be 5-gallon size or larger.

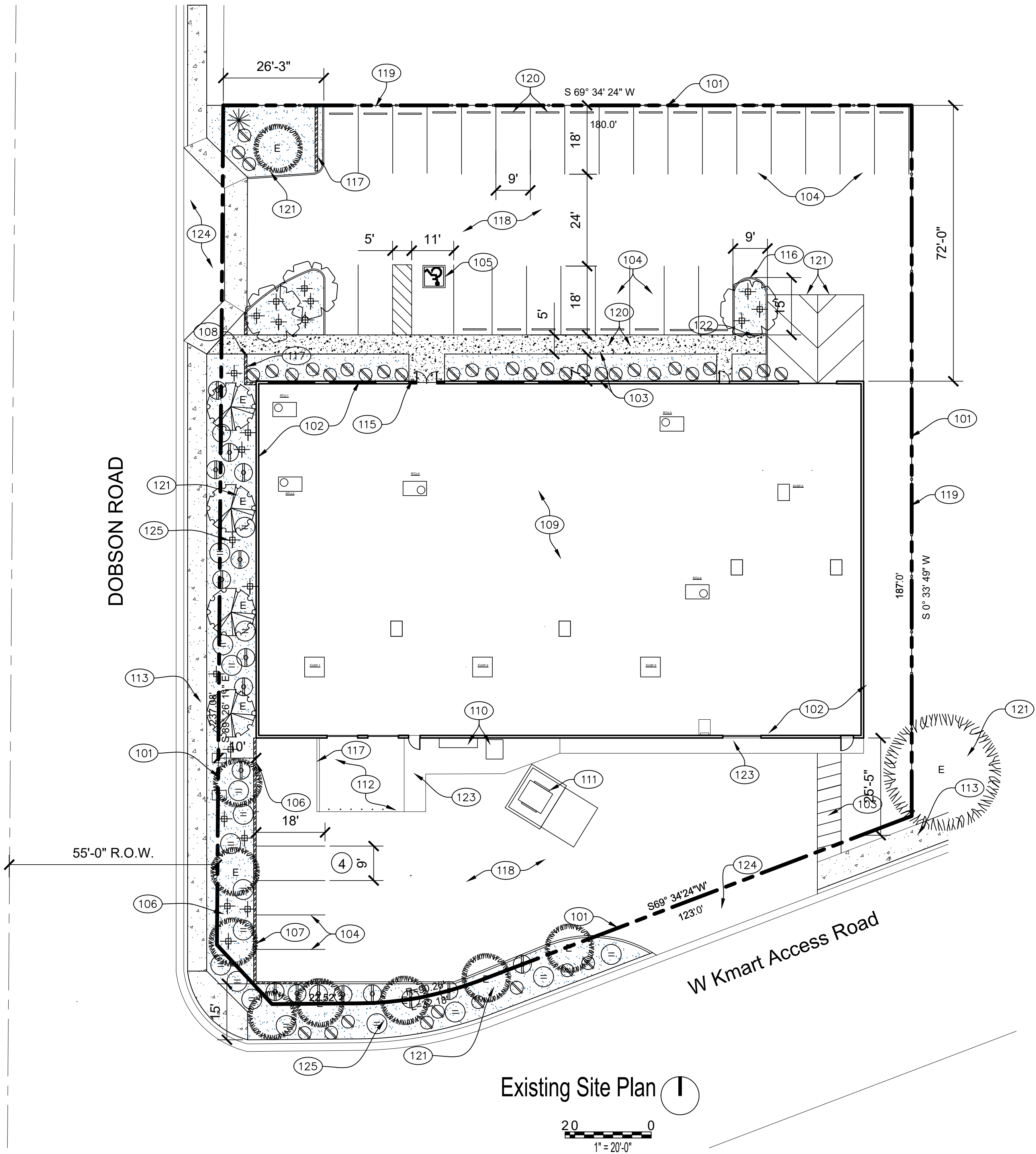
ii. No shrubs shall be less than one (1)-gallon size.

Plant Palette*

Symbol	Botanical / Common Name	Caliper Size	Size	Qty.	Remark
	<i>Prosopis velutina</i> / Velvet mesquite				Existing
	<i>Parkinsonia</i> x ' <i>Desert Museum</i> ' / palo verde hybria	4" caliper	36" Box	3	Dbl Stake
	<i>Acacia stenophylla</i> / shoestring acacia	3" caliper	36" Box	3	Dbl Stake
* "E" Denotes Existing Trees					
	<i>Carissa macrocarpa</i> 'Tomlinson' / natal plum		5 gallon	18	-
	<i>Fouquieria splendens</i> / ocotillo				Existing
	<i>Hesperaloe parviflora</i> / red yucca				Existing
	<i>Leucophyllum frutescens</i> / texas sage		5 gallon	18	-
	<i>Lantana camara</i> 'New Gold' / new gold lantana		1 gallon	27	-

Surface Select
D.G. (Decomposed Granite) (3/4" 'minus') to 2" min. depth
Color -- Madison Gold or approved to equal to match (ex.) desert

Landscape Coverage: 5003 sf or 12.6%



City of Mesa General Requirements

A. Landscaped areas including required landscaped vegetation areas shall be maintained free from encroachment by any use, structure, vehicle, or feature not a part of the landscaping design.

1. Where turf abuts decomposed granite or similar inorganic landscape material, provide a hardscape edging material or strip.

B. Ground Cover. Required ground cover may be of two (2) types:

1. Vegetative ground cover consisting of living plant materials characterized by general horizontal, and limited vertical growth, generally not exceeding eighteen inches (18") in height.

2. Inert ground cover consisting of gravel, decomposed granite, crushed rock, bark, mulch or other similar materials.

C. Active Play Areas. No trees shall be required in active play areas. Shade shall be added at the edge of active play areas.

D. Irrigation Systems. Required irrigation systems shall be underground automatic watering systems, unless the area is served by functioning flood irrigation or a sustainable design alternative. Permanent above ground irrigation systems may be used so long as they are maintained and part of the overall landscape design.

E. Maintenance of Landscaping

1. The Master Developer shall maintain landscape materials and landscaped areas in accordance with a landscape plan.

2. An irrigation system shall be provided to all landscaped areas containing living plant materials, unless the vegetation can survive without such a system or a daily watering routine is committed to by the Master Developer.

3. Landscaping must be designed and maintained so as not to create a hazard by blocking the view of bicyclists, pedestrians and drivers at points of potential conflict.

F. Installation of Landscaping. Landscaping shall be installed with adequate precautions to insure survival, as shown on the development plan or landscape plan for a particular site, prior to the issuance of a Certificate of G. Occupancy for the building or use.

ROW. Landscaping of adjacent undeveloped ROW is required in addition to the minimum on-site requirements. The minimum landscaping shall be:

1. Trees. Trees shall be provided at a density of one (1) tree per 2,300 square feet of total area.

2. Ground Plain or Understory. Areas located on adjacent undeveloped ROW must be either vegetation or hardscape. If vegetation, the area shall be covered by ground cover vegetation, flowers or shrubs at a density of one (1) plant per every fifty (50) square feet and areas of vegetation may be clustered.

H. Landscaping installation shall be in substantial conformance with the plans. Significant alteration in the design or installation without appropriate plan amendment approval is subject to the withholding of final inspection approval.

I. Curbing. Where wheel stops are required to prevent vehicular intrusion, a curb, wheel stop, vertical element (such as bollards, pots, or other street furniture) or bumper guard shall be installed.

J. Parking. When a parking space abuts a landscape island, median, planting areas or planter, provide a curb, wheel stop, vertical element (such as bollards, pots, or other street furniture) or bumper guard shall be installed.

K. Artificial options may be allowed as appropriate alternative to groundcover during the DUP and Site Plan processes.

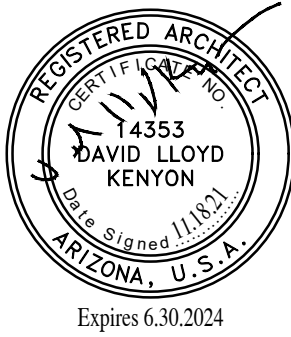
Site Plan Keynotes

- 101 Property Line.
102 Existing Building Footprint.
103 Remove exiting pavement and concrete. Replace with a new 4" concrete on 4" ABC access to Public-way meet all ADA requirements.
104 Remove existing parking space striping and stripe as shown.
105 New ADA parking per standards.
- 106 Remove existing pavement and walls add new landscaping. (see landscaping plans for more information)
107 Add new 3'-0", 8" CMU screen wall. (match existing wall color and finishes.
108 Remove exiting CMU wall for access.
109 Existing Roof, no changes or new equipment.
110 Existing Electrical SES panel.
- 111 Existing Trash Area.
112 Loading un-used Dock Ramp with 3" diameter ballads added.
113 Existing curb and public sidewalk.
114 Existing pavement striping access to public way.
115 Knox Box on the building exterior near the main entrance, on the doors right side. The height of the box shall be no lower than five feet and no higher than six feet. The key box shall be of an approved type listed in accordance with UL 1037.
- 116 New Landscape Island. (see landscaping plans for more information)
117 Existing 3'-0" CMU screen wall.
118 Existing Pavement to remain.
119 Existing chain link fence to remain.
120 4" concrete bumper, reuse exiting.
121 Existing Trees.
122 New 4" concrete curbing.
123 Existing concrete walkway.
124 Existing Entry Drive.
125 Existing Landscape Area with existing trees, Re-landscape area. (see landscaping plans for more information)

City of Mesa Approval Stamp

Kenyon Architectural Studio

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AUTO TRANSFER CENTER

Substantial Conformance Permit

245 S DOBSON RD MESA 85202

Date: 04 November 2021
Drawn by: MAT
Checked by: dlk

Scale: As Noted

SCIP | PMT21-07835

PR3.1

Landscape
Mesa Board of Adjustment

Job# 2108.07