

SITE PLAN FOR GUADALUPE & POWER RETAIL

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 1 SOUTH, RANGE 7 EAST,
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

PARCEL NO. 1:

THAT PORTION OF THE SOUTH 10.00 ACRES OF LOT 7, OF SECTION 6, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION POINT OF THE NORTH LINE OF THE SOUTH 55.00 FEET OF SAID LOT 7 WITH THE EAST LINE OF THE WEST 55.00 FEET OF SAID LOT 7;

THENCE ALONG SAID NORTH LINE NORTH 89 DEGREES 52 MINUTES 20 SECONDS EAST 137.63 FEET;

THENCE NORTH 44 DEGREES 52 MINUTES 20 SECONDS EAST 134.35 FEET TO THE NORTH LINE OF THE SOUTH 150.00 FEET OF SAID LOT 7;

THENCE ALONG SAID NORTH LINE NORTH 89 DEGREES 52 MINUTES 20 SECONDS EAST 40.31 FEET TO THE EAST LINE OF THE WEST 330.00 FEET OF SAID LOT 7;

THENCE ALONG SAID EAST LINE NORTH 01 DEGREES 24 MINUTES 41 SECONDS WEST 158.30 FEET TO THE SOUTH LINE OF THE NORTH 50.00 FEET OF SAID SOUTH 10.00 ACRES OF SAID LOT 7;

THENCE ALONG SAID SOUTH LINE SOUTH 89 DEGREES 52 MINUTES 20 SECONDS WEST 275.07 FEET TO THE EAST LINE OF THE WEST 55.00 FEET OF SAID LOT 7;

THENCE ALONG SAID EAST LINE SOUTH 01 DEGREES 24 MINUTES 41 SECONDS EAST 253.32 FEET TO THE POINT OF BEGINNING;

EXCEPT ANY PORTION THEREOF LYING WITHIN THE FOLLOWING DESCRIBED PROPERTY:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF THE SOUTH 55.00 FEET OF SAID SECTION, WITH THE EAST LINE OF THE WEST 55.00 FEET OF SAID SECTION;

THENCE NORTH 01 DEGREES 24 MINUTES 41 SECONDS WEST ALONG SAID EAST LINE, A DISTANCE OF 303.34 FEET;

THENCE NORTH 89 DEGREES 52 MINUTES 20 SECONDS EAST, A DISTANCE OF 10.00 FEET TO A POINT IN A LINE PARALLEL WITH AND DISTANT EASTERLY 65.00 FEET, MEASURED AT RIGHT ANGLES, FROM THE WEST LINE OF SAID SECTION;

THENCE SOUTH 01 DEGREES 24 MINUTES 41 SECONDS EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 283.33 FEET TO POINT IN A LINE PARALLEL WITH AND DISTANT NORTHERLY 75.00 FEET, MEASURED AT RIGHT ANGLES, FROM THE SOUTH LINE OF SAID SECTION;

THENCE NORTH 89 DEGREES 52 MINUTES 20 SECONDS EAST A DISTANCE OF 190.51 FEET;

THENCE SOUTH 44 DEGREES 52 MINUTES 20 SECONDS WEST, A DISTANCE OF 28.28 FEET, TO A POINT ON THE NORTH LINE OF THE SOUTH 55.00 FEET OF SAID SECTION;

THENCE SOUTH 89 DEGREES 52 MINUTES 20 SECONDS WEST ALONG LAST SAID LINE A DISTANCE OF 180.06 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 2:

A PORTION OF THE SOUTH 10.00 ACRES OF LOT 7, OF SECTION 6, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE SOUTH 10.00 ACRES OF SAID LOT 7, WHICH BEARS NORTH 01 DEGREES 24 MINUTES 41 SECONDS WEST, 358.35 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 6;

THENCE ALONG THE NORTH LINE OF THE SOUTH 10.00 ACRES OF SAID LOT 7, SAID LINE BEING PARALLEL TO THE SOUTH LINE OF SAID LOT 7 NORTH 89 DEGREES 52 MINUTES 20 SECONDS EAST, 55.01 FEET TO THE EAST LINE OF THE WEST 55.00 FEET OF SAID LOT 7, SAID POINT BEING THE TRUE POINT OF BEGINNING;

THENCE CONTINUING NORTH 89 DEGREES 52 MINUTES 20 SECONDS EAST, 275.07 FEET TO THE EAST LINE OF THE WEST 330.00 FEET OF SAID LOT 7;

THENCE ALONG SAID EAST LINE SOUTH 01 DEGREES 24 MINUTES 41 SECONDS EAST, 50.01 FEET TO THE SOUTH LINE OF THE NORTH 50.00 FEET OF THE SOUTH 10.00 ACRES OF SAID LOT 7;

THENCE ALONG SAID SOUTH LINE, SOUTH 89 DEGREES 52 MINUTES 20 SECONDS WEST, 275.07 FEET TO THE EAST LINE OF THE WEST 55.00 FEET OF SAID LOT 7;

THENCE ALONG SAID EAST LINE NORTH 01 DEGREES 24 MINUTES 41 SECONDS WEST, 50.01 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT ANY PORTION THEREOF LYING WITHIN THE FOLLOWING DESCRIBED PROPERTY:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF THE SOUTH 55.00 FEET OF SAID SECTION, WITH THE EAST LINE OF THE WEST 55.00 FEET OF SAID SECTION;

THENCE NORTH 01 DEGREES 24 MINUTES 41 SECONDS WEST ALONG SAID EAST LINE, A DISTANCE OF 303.34 FEET;

THENCE NORTH 89 DEGREES 52 MINUTES 20 SECONDS EAST, A DISTANCE OF 10.00 FEET TO A POINT IN A LINE PARALLEL WITH AND DISTANT EASTERLY 65.00 FEET, MEASURED AT RIGHT ANGLES, FROM THE WEST LINE OF SAID SECTION;

THENCE SOUTH 01 DEGREES 24 MINUTES 41 SECONDS EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 283.33 FEET TO POINT IN A LINE PARALLEL WITH AND DISTANT NORTHERLY 75.00 FEET, MEASURED AT RIGHT ANGLES, FROM THE SOUTH LINE OF SAID SECTION;

THENCE NORTH 89 DEGREES 52 MINUTES 20 SECONDS EAST A DISTANCE OF 190.51 FEET;

THENCE SOUTH 44 DEGREES 52 MINUTES 20 SECONDS WEST, A DISTANCE OF 28.28 FEET, TO A POINT ON THE NORTH LINE OF THE SOUTH 55.00 FEET OF SAID SECTION;

THENCE SOUTH 89 DEGREES 52 MINUTES 20 SECONDS WEST ALONG LAST SAID LINE A DISTANCE OF 180.06 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION (CONTINUED)

PARCEL NO. 3:

A PORTION OF THE SOUTH 10.00 ACRES OF LOT 7, OF SECTION 6, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION POINT OF THE NORTH LINE OF THE SOUTH 55.00 FEET OF SAID LOT 7 WITH THE EAST LINE OF THE WEST 55.00 FEET OF SAID LOT 7;

THENCE ALONG SAID NORTH LINE NORTH 89 DEGREES 52 MINUTES 20 SECONDS EAST, 137.63 FEET TO THE TRUE POINT OF BEGINNING;

THENCE NORTH 44 DEGREES 52 MINUTES 20 SECONDS EAST, 134.35 FEET TO THE NORTH LINE OF THE SOUTH 150.00 FEET OF SAID LOT 7;

THENCE ALONG SAID NORTH LINE NORTH 89 DEGREES 52 MINUTES 20 SECONDS EAST, 40.31 FEET TO THE EAST LINE OF THE WEST 330.00 FEET OF SAID LOT 7;

THENCE ALONG SAID EAST LINE SOUTH 01 DEGREES 24 MINUTES 41 SECONDS EAST, 40.01 FEET TO THE NORTH LINE OF THE SOUTH 110.00 FEET OF SAID LOT 7;

THENCE ALONG SAID NORTH LINE SOUTH 89 DEGREES 52 MINUTES 20 SECONDS WEST, 30.78 FEET;

THENCE SOUTH 44 DEGREES 52 MINUTES 20 SECONDS WEST, 77.78 FEET TO THE NORTH LINE OF THE SOUTH 55.00 FEET OF SAID LOT 7;

THENCE ALONG SAID NORTH LINE SOUTH 89 DEGREES 52 MINUTES 20 SECONDS WEST, 42.43 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT ANY PORTION THEREOF LYING WITHIN THE FOLLOWING DESCRIBED PROPERTY:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF THE SOUTH 55.00 FEET OF SAID SECTION, WITH THE EAST LINE OF THE WEST 55.00 FEET OF SAID SECTION;

THENCE NORTH 01 DEGREES 24 MINUTES 41 SECONDS WEST ALONG SAID EAST LINE, A DISTANCE OF 303.34 FEET;

THENCE NORTH 89 DEGREES 52 MINUTES 20 SECONDS EAST, A DISTANCE OF 10.00 FEET TO A POINT IN A LINE PARALLEL WITH AND DISTANT EASTERLY 65.00 FEET, MEASURED AT RIGHT ANGLES, FROM THE WEST LINE OF SAID SECTION;

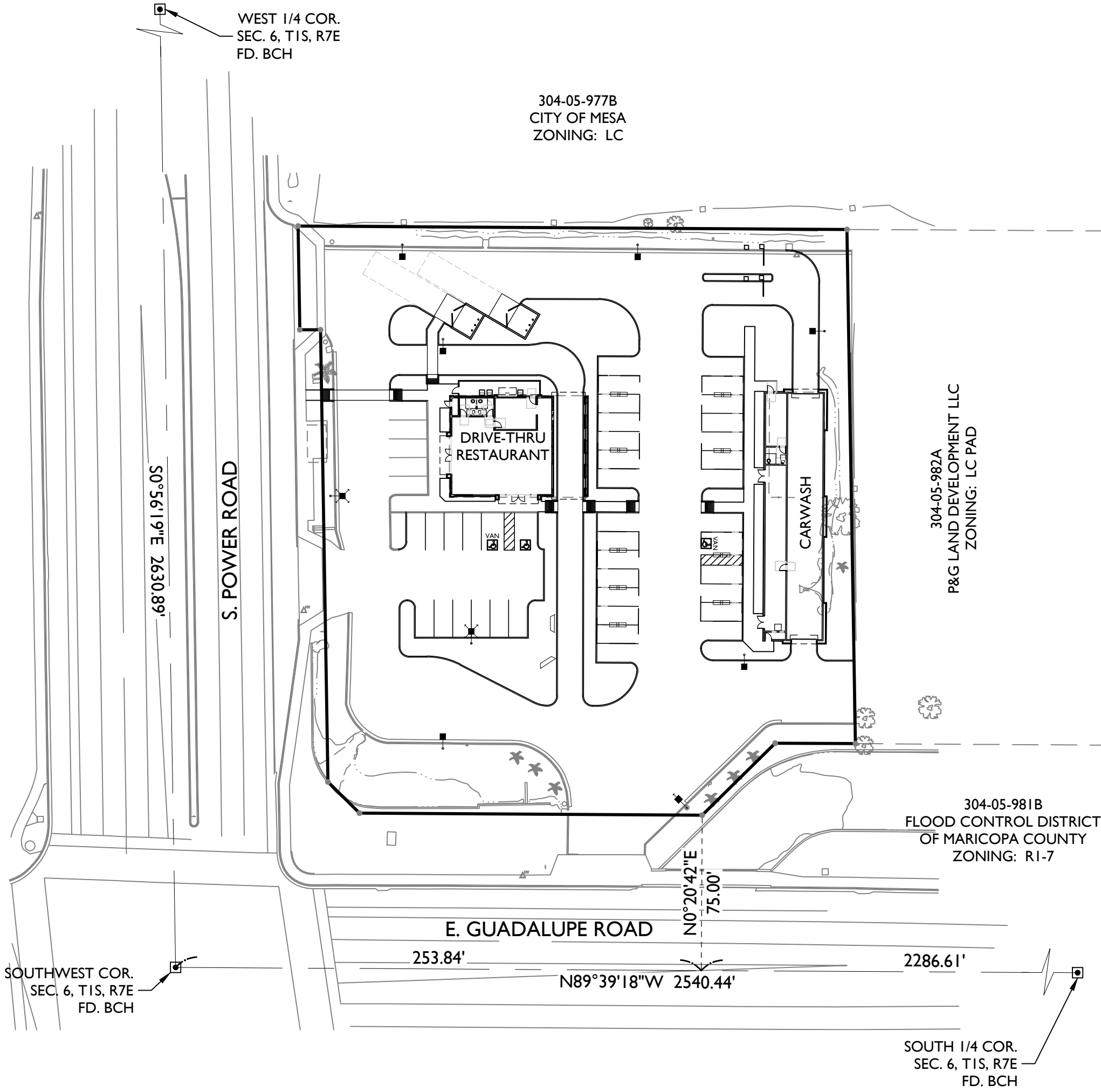
THENCE SOUTH 01 DEGREES 24 MINUTES 41 SECONDS EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 283.33 FEET TO POINT IN A LINE PARALLEL WITH AND DISTANT NORTHERLY 75.00 FEET, MEASURED AT RIGHT ANGLES, FROM THE SOUTH LINE OF SAID SECTION;

THENCE NORTH 89 DEGREES 52 MINUTES 20 SECONDS EAST A DISTANCE OF 190.51 FEET;

THENCE SOUTH 44 DEGREES 52 MINUTES 20 SECONDS WEST, A DISTANCE OF 28.28 FEET, TO A POINT ON THE NORTH LINE OF THE SOUTH 55.00 FEET OF SAID SECTION;

THENCE SOUTH 89 DEGREES 52 MINUTES 20 SECONDS WEST ALONG LAST SAID LINE A DISTANCE OF 180.06 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION PER THE CHICAGO TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE WITH FILE NO. 63220330-063-KJJ-SVY, AMENDMENT NO. 5, AMENDMENT DATE: JUNE 3, 2022, HAVING AN EFFECTIVE DATE OF MAY 23, 2022.



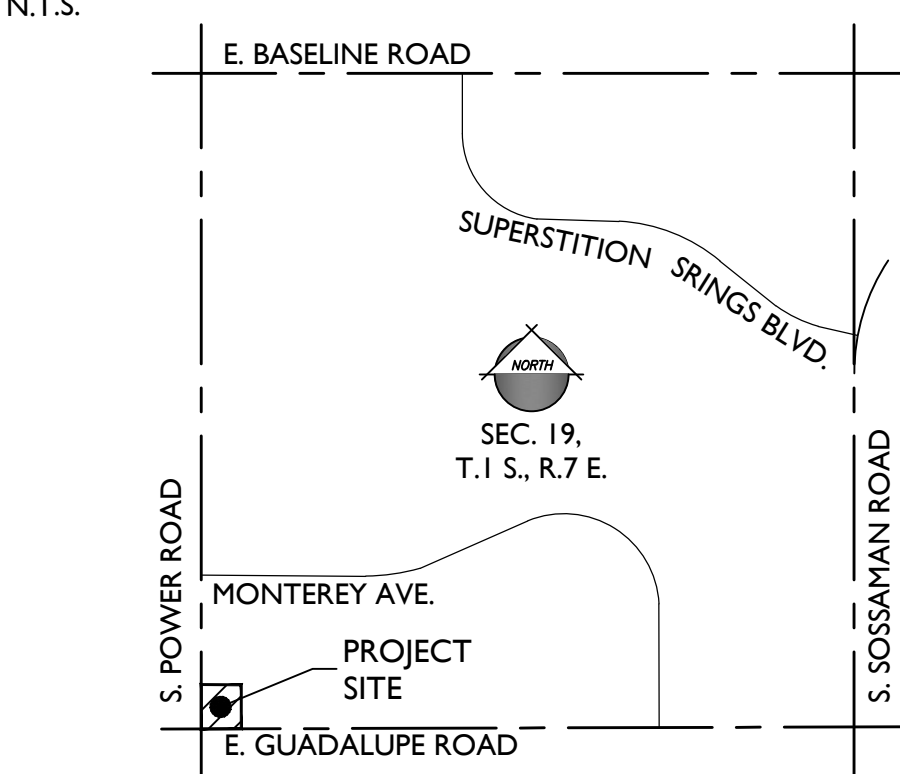
GROSS FLOOR AREA SUMMARY

DRIVE-THRU RESTAURANT	2,178 SF
CARWASH	3,184 SF
TOTAL GROSS BUILDING AREA	5,362 SF

PARKING SUMMARY

REQUIRED PARKING	
DRIVE-THRU REST.	22 SPACES (1 PER 100 SF OF INDOOR AREA)
CAR WASH	8 SPACES (1 PER 375 SF)
TOTAL	30 SPACES
PROVIDED PARKING (PHASE 1):	
ADA SPACES:	3 SPACES (2 VAN)
SURFACE SPACES:	42 SPACES
TOTAL SPACES:	45 SPACES
BICYCLE PARKING	
REQUIRED SPACES	4 SPACES
(1 PER 10 VEHICLE SPACES FOR 1ST 50 SPACES & 1 PER 20 VEHICLE SPACES FOR THE REMAINDER)	
PROVIDED SPACES	4 SPACES

VICINITY MAP



PROJECT TEAM

DEVELOPER: 4445 E. HOLMES AVENUE, SUITE 107 MESA, AZ 85206 TEL: (602)-770-9955 CONTACT: RAY JOHNSON wrj3@hotmail.com	PLANNER, CIVIL ENGINEER AND LANDSCAPE ARCHITECT: EPS GROUP, INC. 1130 N ALMA SCHOOL ROAD, SUITE 120 MESA, AZ 85201 TEL: (480)-503-2250 CONTACT: TOM SNYDER, RLA tom.snyder@epsgroupinc.com
ATTORNEY: PEW & LAKE, PLC 1744 S. VAL VISTA DRIVE, SUITE 217 MESA, AZ 85204 TEL: (480)-461-4670 CONTACT: SEAN LAKE sean.lake@pewandlake.com	ARCHITECT: ADAPTIVE ARCHITECTS 1630 S. STAPLEY DRIVE, SUITE 229 MESA, AZ 85204 TEL: (480)-655-0633 CONTACT: VINCE DI BELLA, AIA, CSI vince@adaptivearchitectsinc.com

PROJECT DATA

A.P.N.:	304-05-981C, 981D, 982E, 982G
EXISTING GENERAL PLAN:	NEIGHBORHOOD
EXISTING ZONING:	LIMITED COMMERCIAL (LC)
GROSS AREA:	2.54 ACRES (110,617 SF)
NET AREA:	1.62 ACRES (70,654 SF)
GROSS BUILDING AREA:	5,362 SF
BUILDING COVERAGE:	7.6% OF NET AREA
LOT COVERAGE:	73.3% OF NET AREA

TYPE OF CONSTRUCTION:	TYPE V-B
CAR WASH	TYPE V-B
DRIVE-THRU RESTAURANT	TYPE V-B

OCCUPANCY GROUPS:	B
CAR WASH	B
DRIVE-THRU RESTAURANT	B

UTILITIES AND SERVICES

WATER	CITY OF MESA
SEWER	CITY OF MESA
ELECTRIC	SALT RIVER PROJECT
TELEPHONE	CENTURY LINK / COX
CABLE TV	CENTURY LINK / COX
FIRE	CITY OF MESA
POLICE	CITY OF MESA
NATURAL GAS	CITY OF MESA

BASIS OF BEARING

THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 1 SOUTH, RANGE 7 EAST, G&SRM, BETWEEN THE SOUTHWEST CORNER OF SECTION 6 AT THE INTERSECTION OF GUADALUPE ROAD AND POWER ROAD, MARKED BY A BRASS CAP IN HANDHOLE, AND THE SOUTH 1/4 OF SECTION 6, MARKED BY A BRASS CAP IN HANDHOLE, EAST OF THE 72ND STREET, THE BEARING OF WHICH IS:

SOUTH 89 DEGREES 39 MINUTES 18 SECONDS EAST

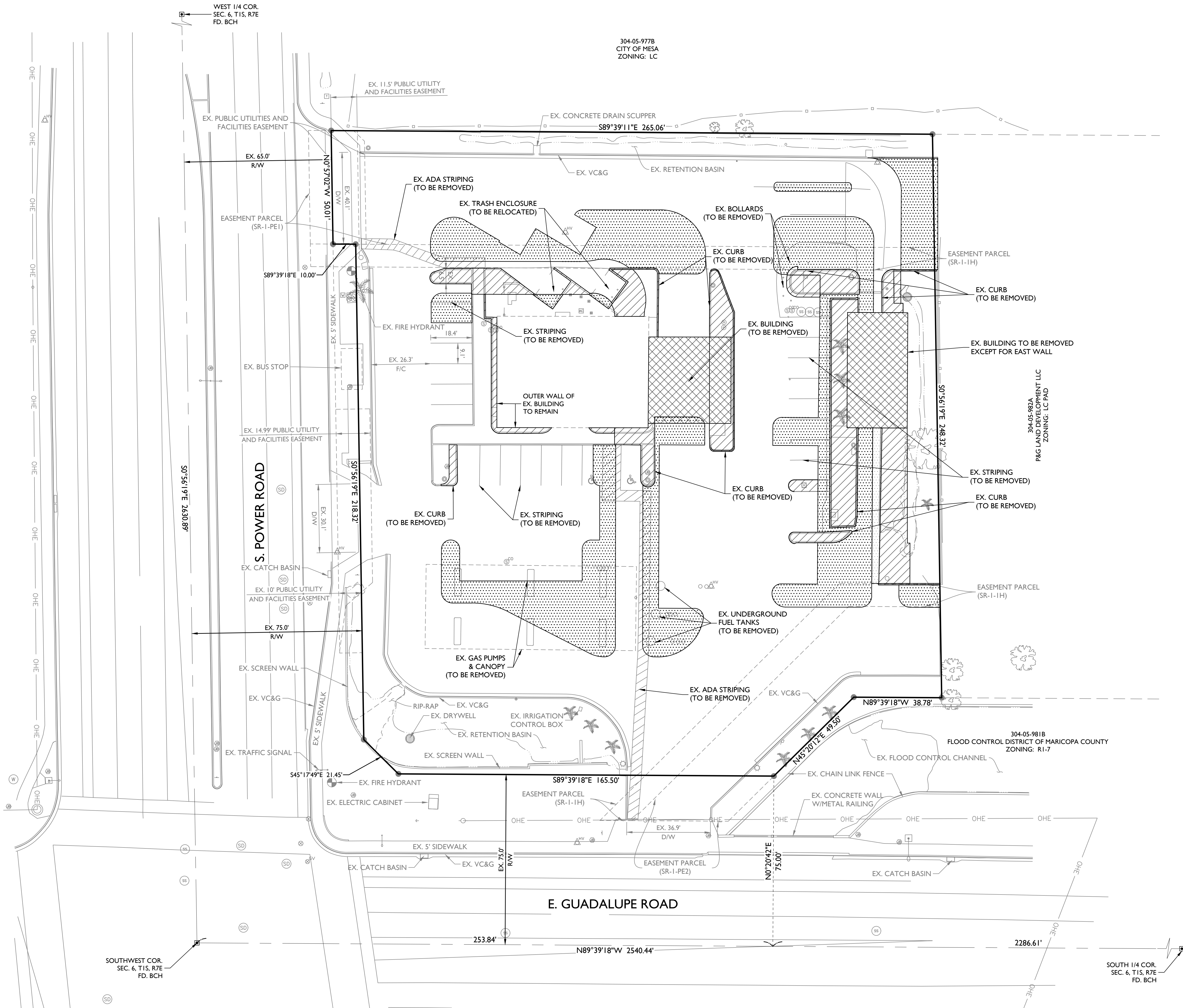
SHEET INDEX

SHEET 1	SP01	COVERSHEET
SHEET 2	SP02	DEMOLITION PLAN
SHEET 3	SP03	SITE PLAN

22-0519 - Guadalupe & Power Retail

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jjuarez



LEGEND

- FD FOUND
BCH BRASS CAP IN HAND HOLE
S/W SIDEWALK
F/C FACE OF CURB
EX. EXISTING
L/S LANDSCAPE
L.S.L. LANDSCAPE SETBACK LINE
B.S.L. BUILDING SETBACK LINE
TYP. TYPICAL
R/W RIGHT OF WAY
VC&G VERTICAL CURB AND GUTTER

BOUNDARY LINE

SECTION LINE

SETBACK LINE

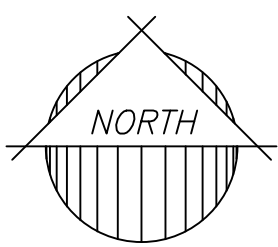
EXISTING CURB

EXISTING EASEMENT LINE

ELECTRIC OVERHEAD

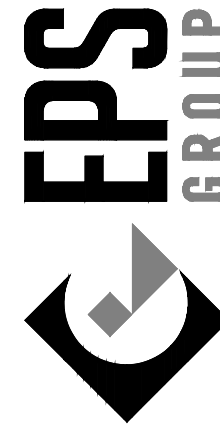
EXISTING PARCEL LINE

- FIRE HYDRANT
SANITARY SEWER MANHOLE
STORM DRAIN MANHOLE
DRAINAGE
WATER VALVE
WATER METER
BACK FLOW PREVENTER
UTILITY POLE
DOWN GUY
TELEPHONE PEDESTAL
LIGHT POLE
JUNCTION BOX
STREET LIGHT
SIGN
POST/BOLLARD
FENCE POST
TELEPHONE PEDESTAL
AIR RELEASE VALVE
HANDICAPPED PARKING SPACE
SEWER CLEANOUT
GATE
GAS VALVE
MAIL BOX
AIR CONDITIONING UNIT
TRAFFIC MAST
SIGNAL MAST
HANDICAP PARKING
EXISTING CONCRETE PAVEMENT TO BE REMOVED
EXISTING LANDSCAPE PLANTER & CURBING TO BE REMOVED
EXISTING BUILDING TO BE REMOVED



20 0 20 40
scale: 1" = 20' feet

1130 N Alma School Road
Suite 120
Mesa, AZ 85201
T:480.503.2250 | F:480.503.2258
www.epsgroupinc.com



Guadalupe & Power Retail

8810 E Guadalupe Road
Mesa, Arizona

Demolition Plan

Project:

Revisions:

NOVEMBER 14, 2022 - 1ST SUBMITTAL
FEBRUARY 27, 2022 - 2ND SUBMITTAL
APRIL 17, 2023 - 3RD SUBMITTAL



Designer: DCH
Drawn by: DCH

Preliminary
Not For
Construction
Or
Recording

Job No.
22-0519

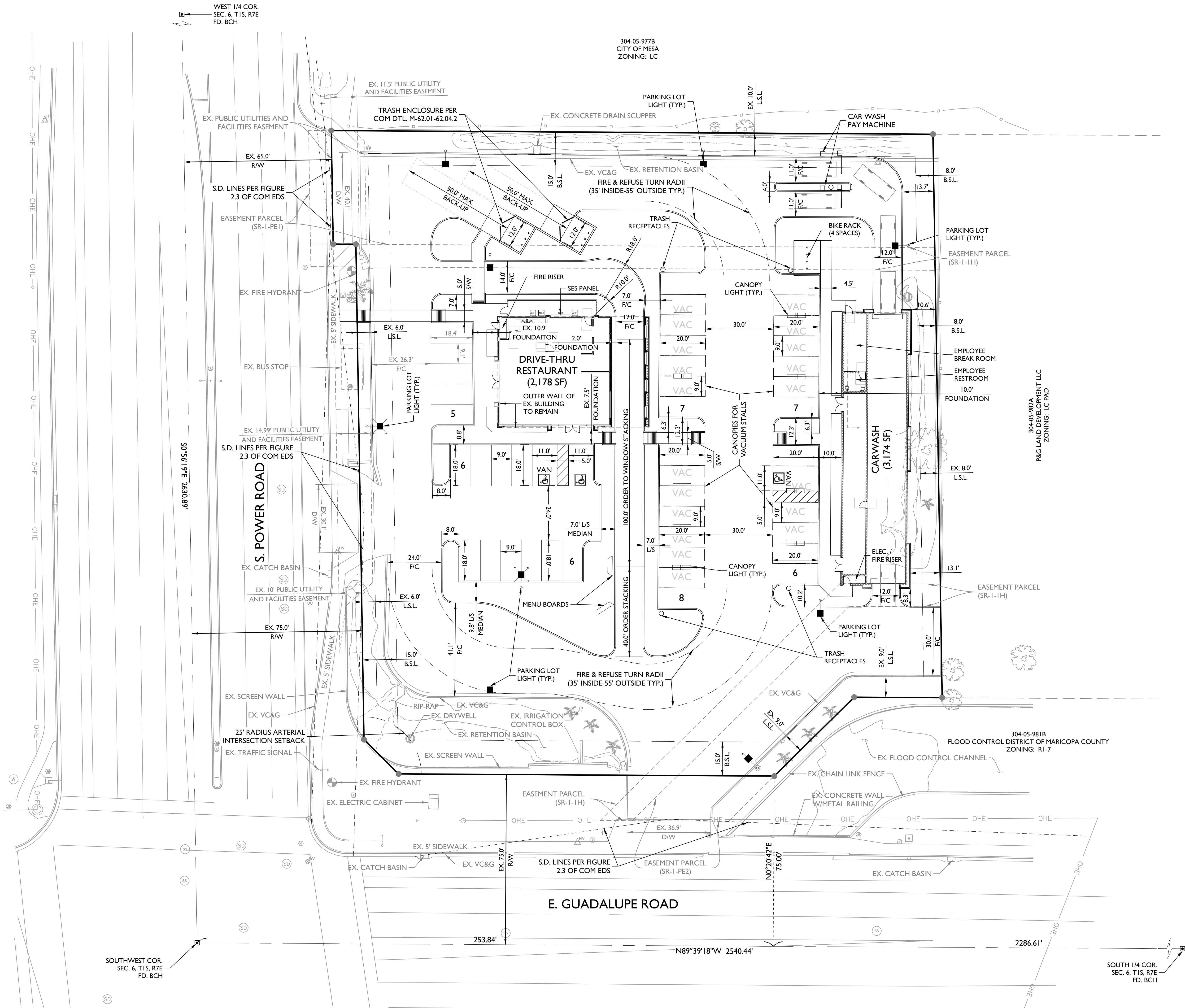
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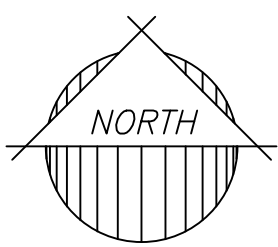
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jjuares

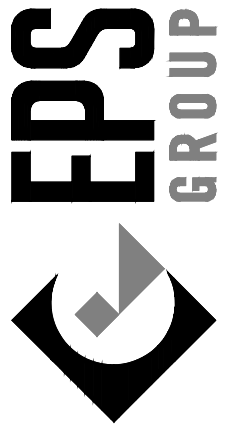


LEGEND

- | | |
|--------|--------------------------|
| FD | FOUND |
| BCH | BRASS CAP IN HAND HOLE |
| S/W | SIDEWALK |
| F/C | FACE OF CURB |
| EX. | EXISTING |
| L/S | LANDSCAPE |
| L.S.L. | LANDSCAPE SETBACK LINE |
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| TYP. | TYPICAL |
| R/W | RIGHT OF WAY |
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| VAC. | VACUUM STALL |
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| | SETBACK LINE |
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| | EXISTING CURB |
| <hr/> | |
| | EXISTING EASEMENT LINE |
| <hr/> | |
| | PROPOSED CURB |
| <hr/> | |
| | ELECTRIC OVERHEAD |
| OHE | OHE |
| <hr/> | |
| | EXISTING PARCEL LINE |
| <hr/> | |
-
- | | |
|--|---------------------------|
| | FIRE HYDRANT |
| | SANITARY SEWER MANHOLE |
| | STORM DRAIN MANHOLE |
| | DRYWELL |
| | WATER VALVE |
| | WATER METER |
| | BACK FLOW PREVENTER |
| | UTILITY POLE |
| | DOWN GUY |
| | TELEPHONE PEDESTAL |
| | LIGHT POLE |
| | JUNCTION BOX |
| | STREET LIGHT |
| | SIGN |
| | POST/BOLLARD |
| | FENCE POST |
| | TELEPHONE PEDESTAL |
| | AIR RELEASE VALVE |
| | HANDICAPPED PARKING SPACE |
| | SEWER CLEANOUT |
| | GATE |
| | GAS VALVE |
| | MAIL BOX |
| | AIR CONDITIONING UNIT |
| | TRAFFIC MAST SIGNAL MAST |
| | HANDICAP PARKING |



1130 N Alma School Road
Suite 120
Mesa, AZ 85201
T:480.503.2250 | F:480.503.2258
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Guadalupe & Power Retail
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Mesa, Arizona

Site Plan

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NOVEMBER 14, 2022 - 1ST SUBMITTAL
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SPO3

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