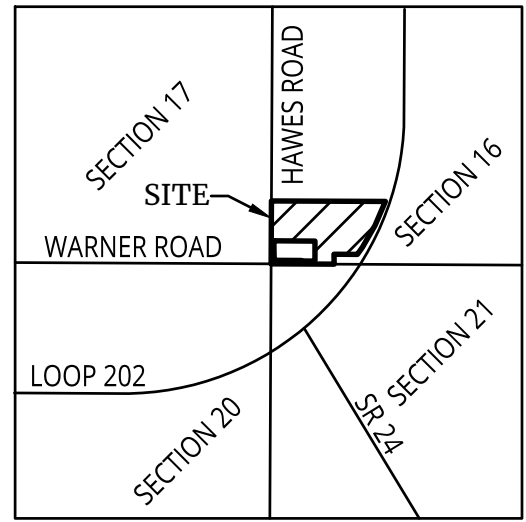
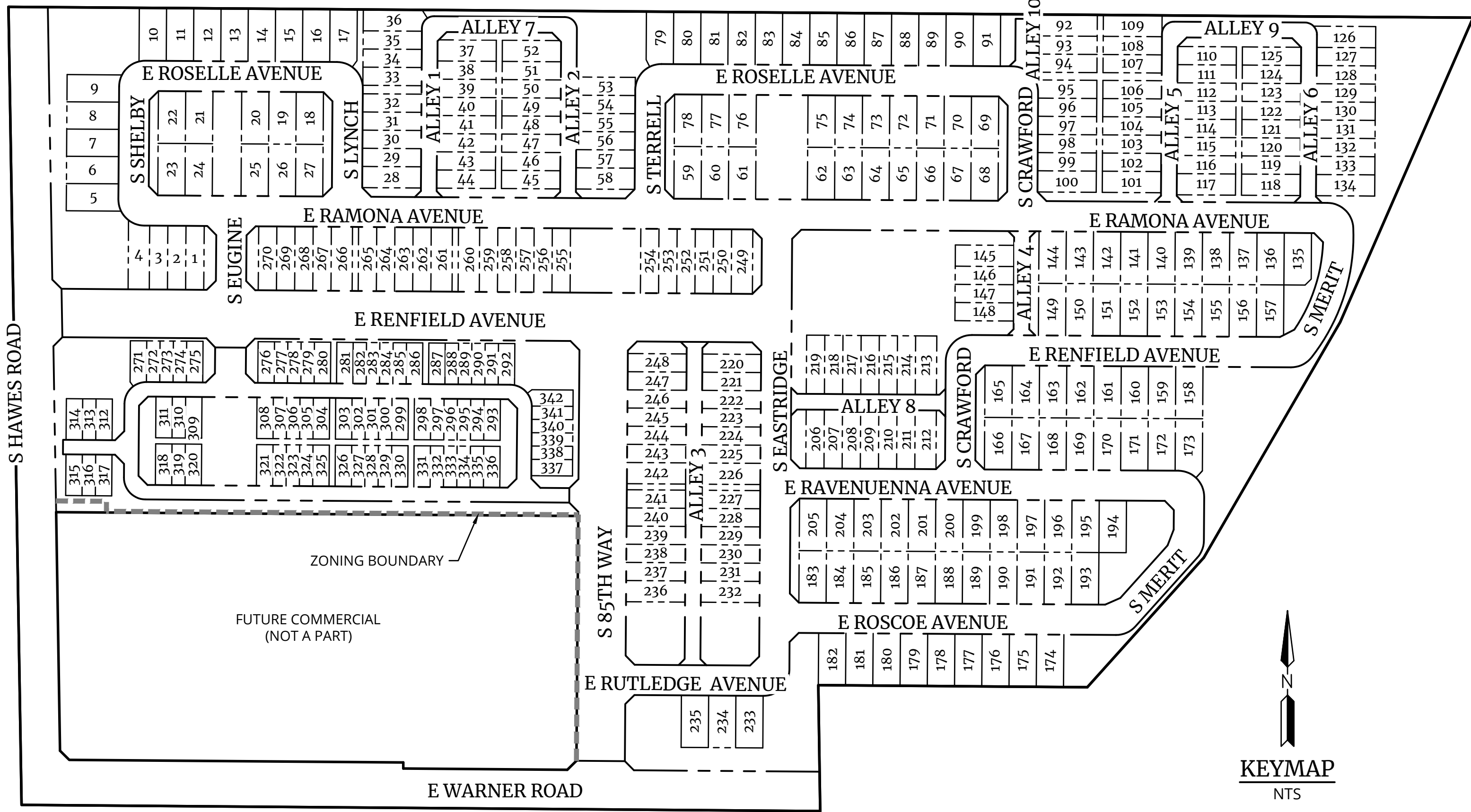


SPECIFIC PLAN FOR A SUBDIVISION

HAWES CROSSING – VILLAGE 5

8462 E WARNER ROAD
MESA, ARIZONA

A PORTION OF THE SOUTH WEST QUARTER OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 7 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



VICINITY MAP
NOT TO SCALE

ENGINEER

COLLIERS ENGINEERING & DESIGN
4742 N 24th STREET, SUITE #270
PHOENIX, AZ 85016
PH: (602) 490-0535
CONTACT: NGUYEN LAM, PE

OWNER/CLIENT

LENNAR ARIZONA, INC.
1665 W. ALAMEDA DR SUITE 130
TEMPE, AZ 85282
PH: 480.476.8441
CONTACT: HEATHER CHADWICK

LANDSCAPE ARCHITECT

RVI
4900 N. SCOTTSDALE ROAD SUITE 1200
SCOTTSDALE, ARIZONA 85251
PH: 480.994.0994
CONTACT: MIKE DEW

BASIS OF BEARING

BASIS OF BEARING IS N89°34'33"W ALONG THE NORTH
LINE OF THE NORTHEAST QUARTER OF SECTION 20,
TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND
SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

BENCHMARK

2012 CITY OF MESA BENCHMARKS
BRASS TAG NORTHWEST CORNER OF INTERSECTION
OF HAWES ROAD & ELLIOT ROAD IN HEADWALL
ELEVATION: 1377.52
DATUM: NAVD88

SHEET INDEX

SP01 SPECIFIC PLAN - COVER SHEET
SP02 - SP05 SPECIFIC PLAN - PLAN SHEET

SITE DATA - ZONING

TOTAL LOTS: 342
GROSS AREA: 60.9 AC
NET AREA: 48.7 AC
ZONING: RSL-2.5 PAD PAD & GC PAD PAD (%)
SINGLE FAMILY RESIDENTIAL AREA: 42.9 AC
COMMERCIAL AREA: 10.8 AC (60%)
TOWNHOME RESIDENTIAL AREA: 7.2 AC (40%)

SITE DATA - SINGLE FAMILY

TOTAL LOTS: 270
TYPICAL LOT SIZE: 30' X 97', 45' X 86'
MINIMUM LOT SIZE: 2,910 SQ. FT
MAXIMUM LOT SIZE: 4,034 SQ. FT
AVERAGE LOT SIZE: 3,440 SQ. FT
GROSS SINGLE FAMILY AREA: 42.9 AC
NET SINGLE FAMILY AREA: 41.5 AC
GROSS PARCEL DENSITY: 6.5 DU/AC
ZONING: RSL-2.5 PAD PAD
COMMON AREAS / OPEN SPACE: 8.2 AC

SITE DATA - TOWNHOMES

TOTAL LOTS: 72
TYPICAL LOT SIZE: 22' X 68'
MINIMUM LOT SIZE: 1,496 SQ. FT
MAXIMUM LOT SIZE: 1,912 SQ. FT
AVERAGE LOT SIZE: 1,640 SQ. FT
GROSS TOWNHOME AREA: 7.2 AC
NET TOWNHOME AREA: 6.8 AC
GROSS PARCEL DENSITY: 10.6 DU/AC
ZONING: GC PAD PAD
COMMON AREAS / OPEN SPACE: 1.8 AC



THE PROMPT PAY LAW WILL BE ALTERED FOR THIS CONTRACT
NOTICE OF EXTENDED PAYMENT PROVISION
THE CONSTRUCTION CONTRACT WILL ALLOW THE OWNER TO
MAKE PAYMENT WITHIN THIRTY (30) DAYS AFTER
CERTIFICATION AND APPROVAL OF BILLINGS.

ABBREVIATIONS

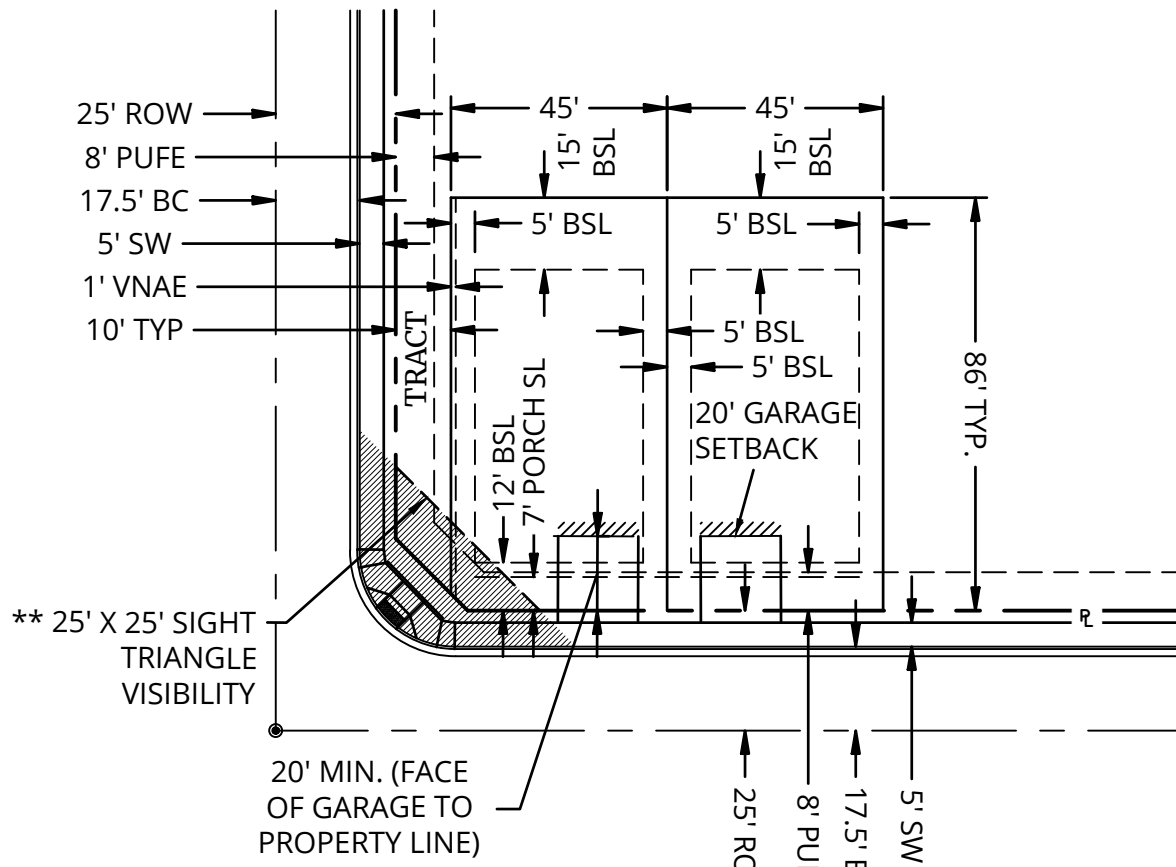
ABC	AGGREGATE BASE COURSE
AC	ASPHALTIC CEMENT OR CONCRETE
ADEQ	ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY
AHD	AHEAD SEWER STATION
AP	ANGLE POINT
BC	BACK OF CURB
BK	BACK SEWER STATION
BT	BOTTOM OF PIPE
BOT	BOTTOM OF BASIN
BSW	BOTTOM OF SCOUR WALL
BVCE	BEGIN VERTICAL CURVE ELEVATION
BVCS	BEGIN VERTICAL CURVE STATION
BRW	BOTTOM OF RETAINING WALL
BW	BOTTOM OF WALL AT FINISH GRADE
C	CONCRETE
COM	CITY OF MESA
C/L or CL	CENTERLINE
CB	CATCH BASIN
CF	CUBIC FEET
CR	CURB RETURN
DE	DRAINAGE EASEMENT
DG	DECOMPOSED GRANITE
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DTL	DETAIL
E	EAST OR EASTING
EA	EACH
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
FF	FINISH FLOOR
FG	FINISH GRADE
FM S	FORCE MAIN SEWER
FP	FINISH PAD
FT	FOOT OR FEET
G	GUTTER
GB	GRADE BREAK
HDPE	HIGH DENSITY POLYETHYLENE
HGL	HYDRAULIC GRADE LINE
HORIZ	HORIZONTAL
HP	HIGH POINT
HWE	HIGH WATER ELEVATION
INV	INVERT OR INVERSE
L.F.	LINEAR FEET
L.P.	LOW POINT
LS	LANDSCAPE
LT or L	LEFT
MAG	MARICOPA ASSOCIATION OF GOVERNMENTS
MH	MANHOLE
ML or M/L	MONUMENT LINE
MIN	MINIMUM
MUTE	MULTI-USE TRAIL EASEMENT
N	NORTH OR NORTHING
NTS	NOT TO SCALE
P	PAVEMENT
PC	POINT OF CURVE
PCC	POINT OF COMPOUND CURVE
PH	PHASE
PI	POINT OF INTERSECTION
PRC	POINT OF REVERSE CURVE
PT	POINT OF TANGENCY
PUFE	PUBLIC UTILITY AND FACILITY EASEMENT
PVC	POLYVINYL CHLORIDE
PVCC	POINT OF VERTICAL COMPOUND CURVE
PVI	POINT OF VERTICAL INTERSECTION
R/W	RIGHT OF WAY
RGRCP	RUBBER GASKET REINFORCED CONCRETE PIPE
RT or R	RIGHT
RW	RECLAIMED WATER
S	SOUTH, SLOPE OR SEWER LINE
SW	SIDEWALK
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SEC	SECTION
SHT	SHEET
SPEC	SPECIFICATIONS
STA	STATION
STD	STANDARD
SWE	SIDEWALK EASEMENT
TC	TOP OF CURB
TRANS	TRANSMISSION OR TRANSITION
TG	TOP OF FOOTING
TG	TOP OF GRATE
TL	TRUE LENGTH
TP	TOP OF PIPE
TRW	TOP OF RETAINING WALL
TS	TRUE SLOPE
TSW	TOP OF SCOUR WALL
TW	TOP OF WALL
TYP	TYPICAL
VC	VERTICAL CURVE
VERT	VERTICAL
VG	VALLEY GUTTER
VNAE	VEHICULAR NON ACCESS EASEMENT
VP	VOLUME PROVIDED
VR	VOLUME REQUIRED
W	WEST OR WATER LINE
WSE	WATER SURFACE ELEVATION
WL	WATERLINE

LEGEND

-----	ZONING BOUNDARY
-----	PARCEL BOUNDARY
-----	LOT LINE
-----	RIGHT OF WAY (TRACT)
-----	CENTER LINE
-----	PUBLIC UTILITY AND FACILITY EASEMENT
-----	SEWER EASEMENT (WIDTH PER PLANS)
-----	WATER EASEMENT (WIDTH PER PLANS)
-----	SIGHT VISIBILITY TRIANGLE (25'X25' SVT)
-----	8" W (UNLESS NOTED OTHERWISE)
-----	8" S (UNLESS NOTED OTHERWISE)
-----	8" SEWER WITH MANHOLES
-----	AND FLOW DIRECTION
-----	PROPOSED FIRE HYDRANT WITH WATER
-----	VALVE AND TEE
-----	GRADING RETAINING WALLS
-----	FENCE LINE
-----	ADA ACCESSIBLE RAMP
-----	ADA ACCESSIBLE
-----	MID-BLOCK RAMP
-----	RETENTION BASIN
-----	STORM DRAIN
-----	CATCH BASIN

22' x 68' TYPICAL TOWNHOME LOT DETAIL

N.T.S.

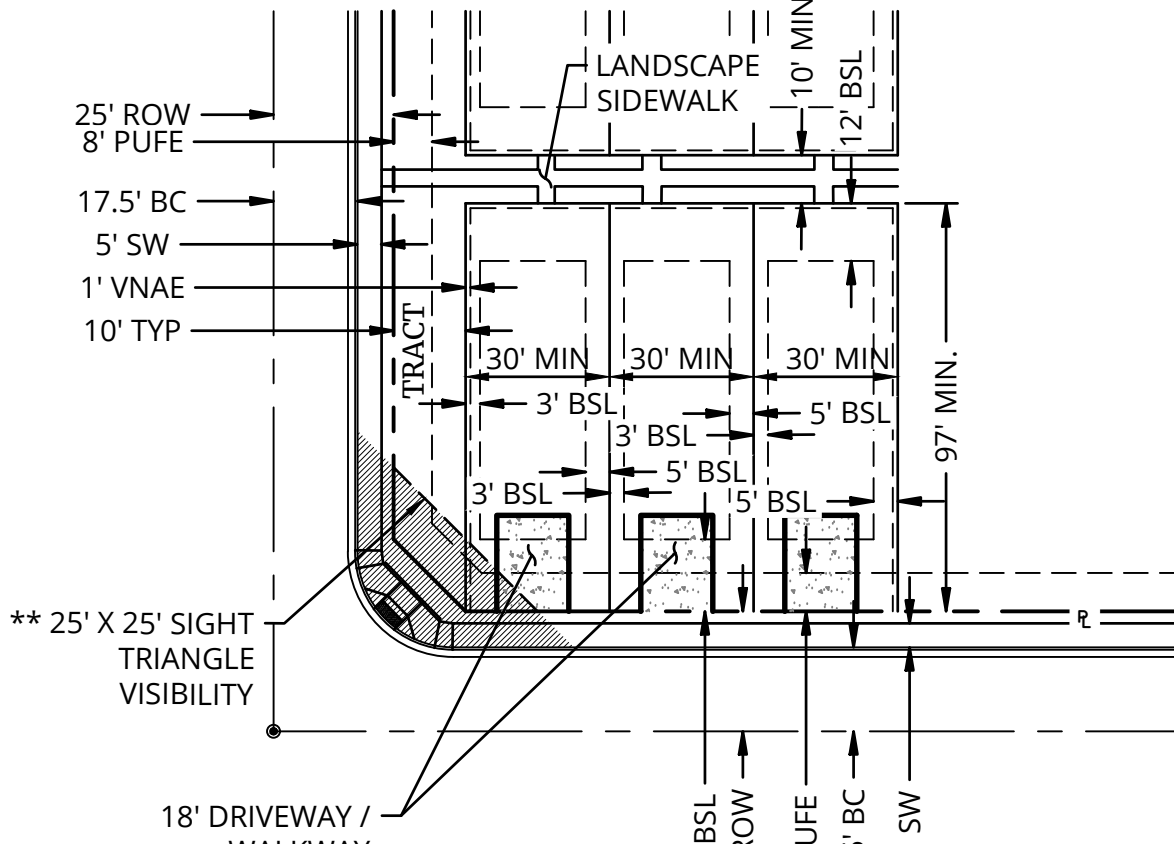


45' x 86' TYPICAL LOT DETAIL

N.T.S.

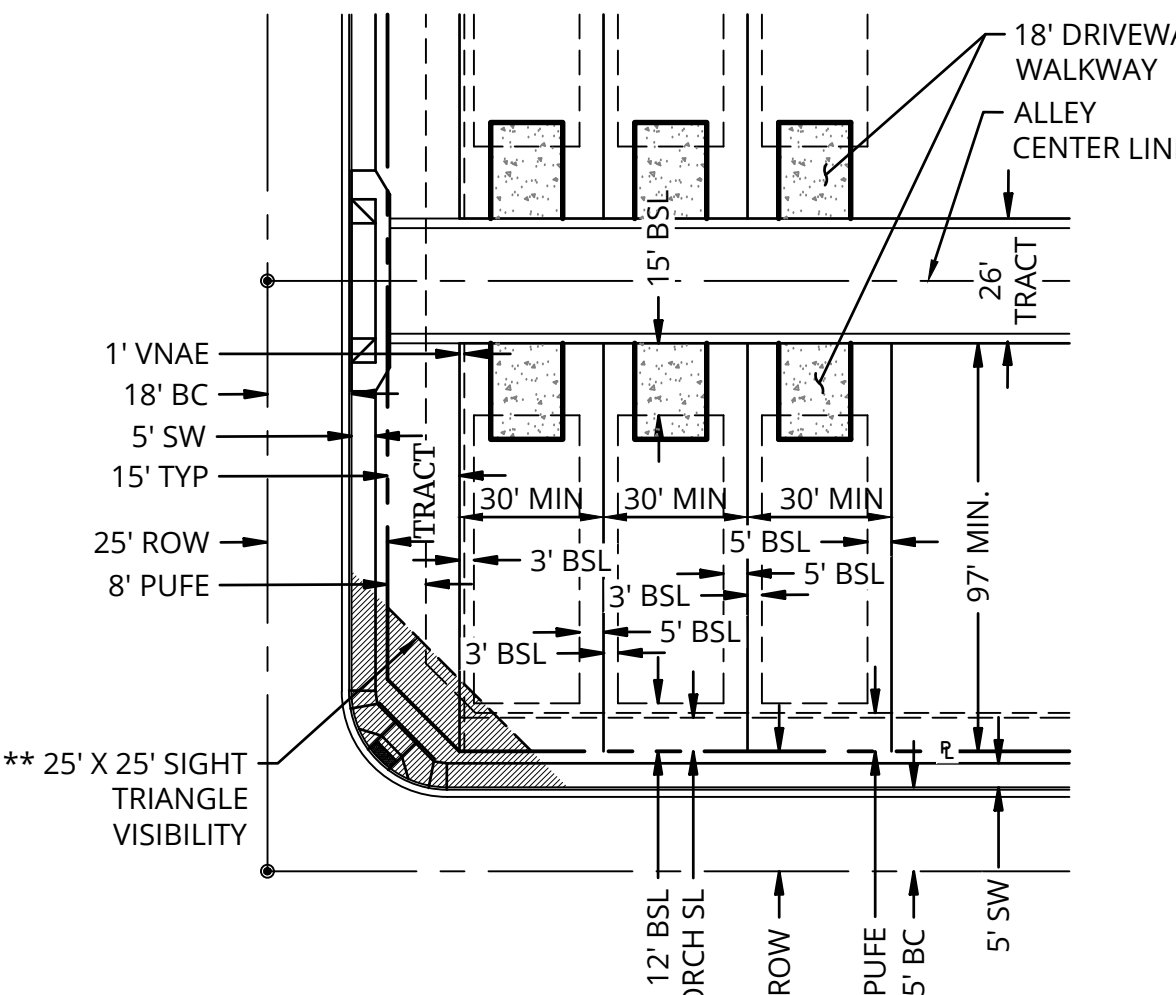
30' x 97' TYPICAL LOT DETAIL ALLEY LOADED 2-STORY FRONT INTERNAL

PER HAWES CROSSING ORDINANCE 5566
N.T.S.



30' x 97' TYPICAL LOT DETAIL ALLEY LOADED 2-STORY FRONT EXTERNAL

PER HAWES CROSSING ORDINANCE 5566
N.T.S.



HAWES CROSSING – VILLAGE 5

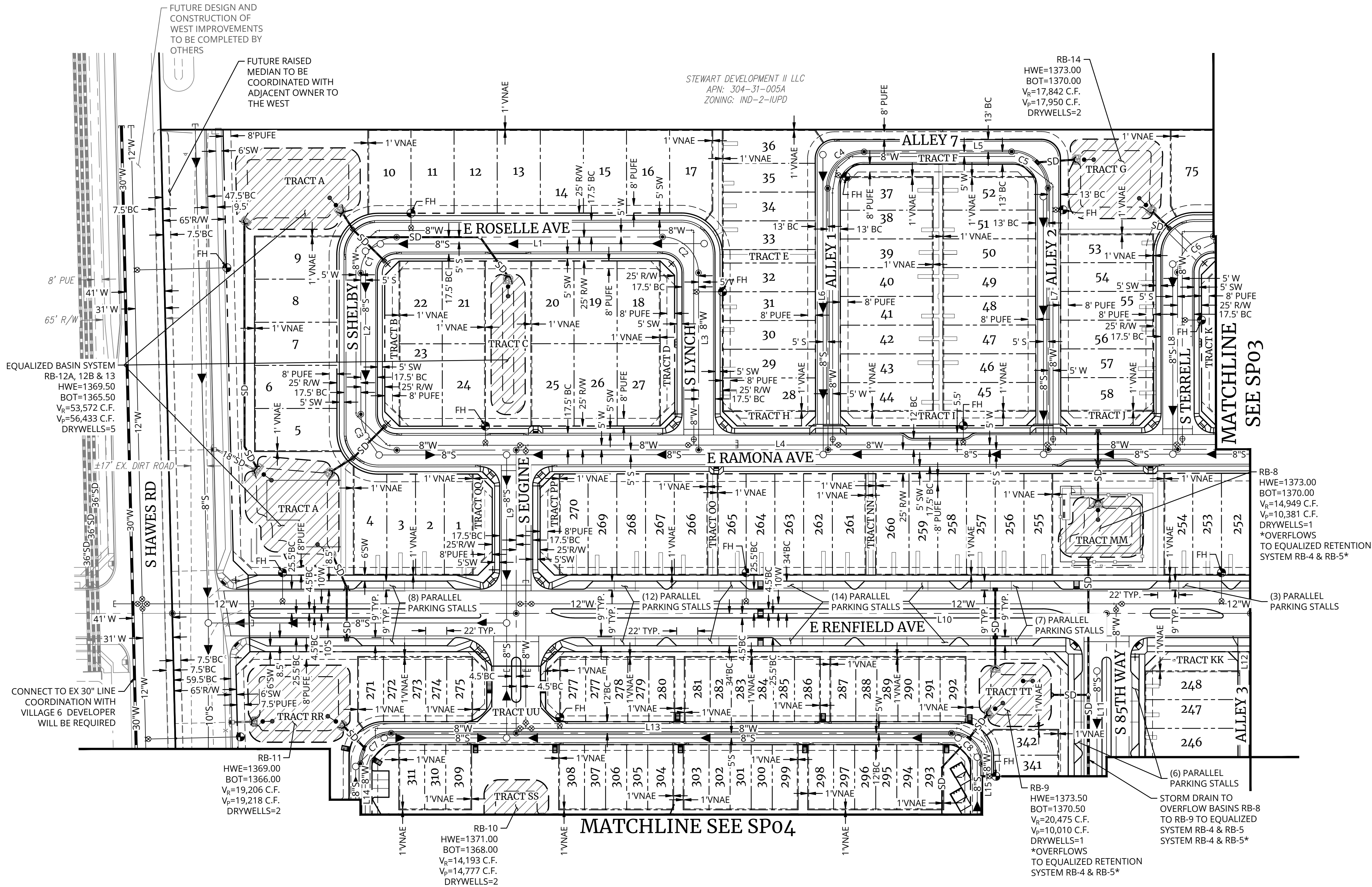
8462 E WARNER ROAD
MESA, ARIZONA

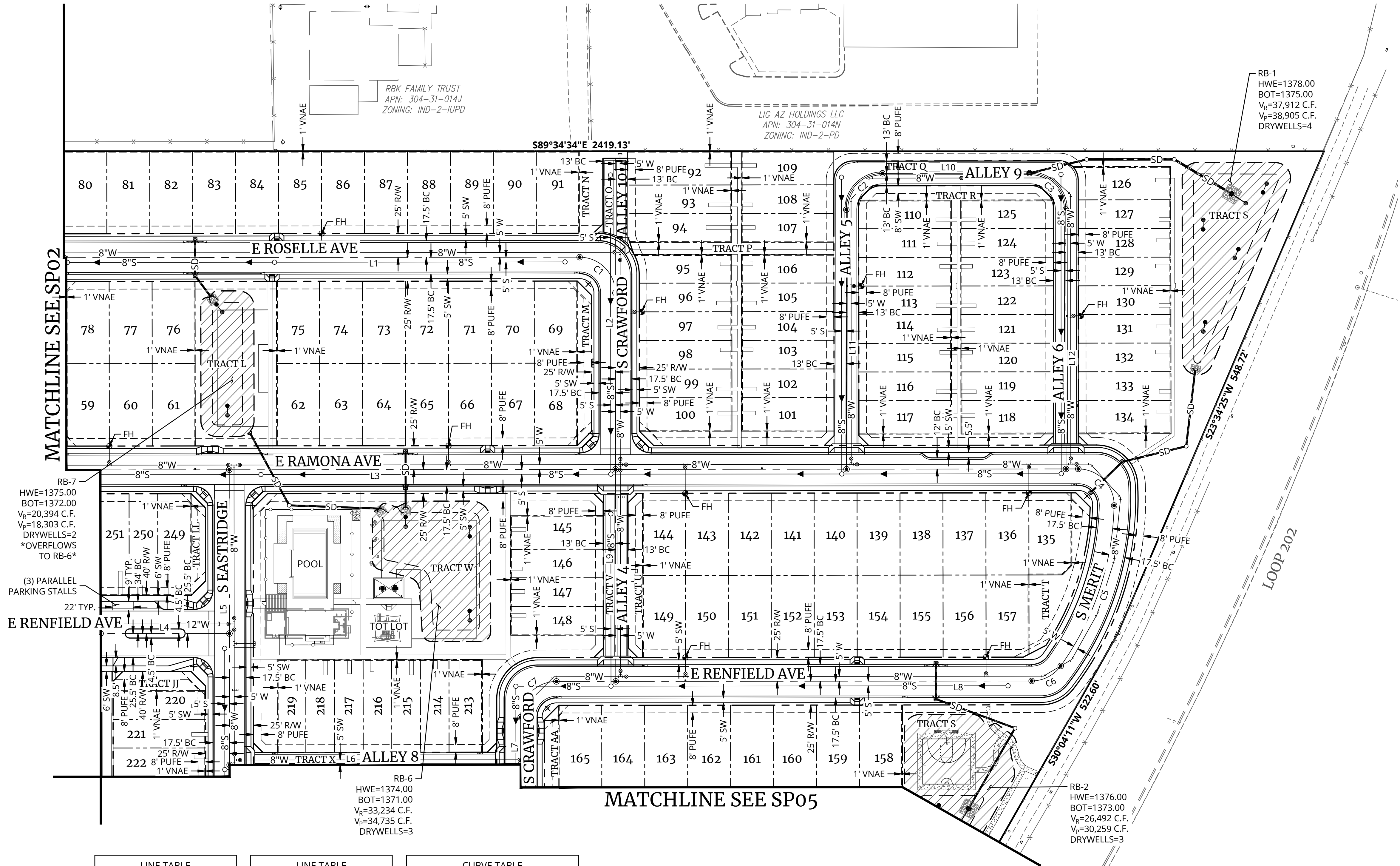
Colliers
Engineering
& Design



SPECIFIC PLAN – COVER SHEET

PROJ NO.:	1833
DATE:	OCT 2025
SCALE:	N.T.S.
DRAWN:	MC
DESIGNED:	NS
APPROVED:	NL
DWG. NO.	SP01
SHT.	01 OF 05

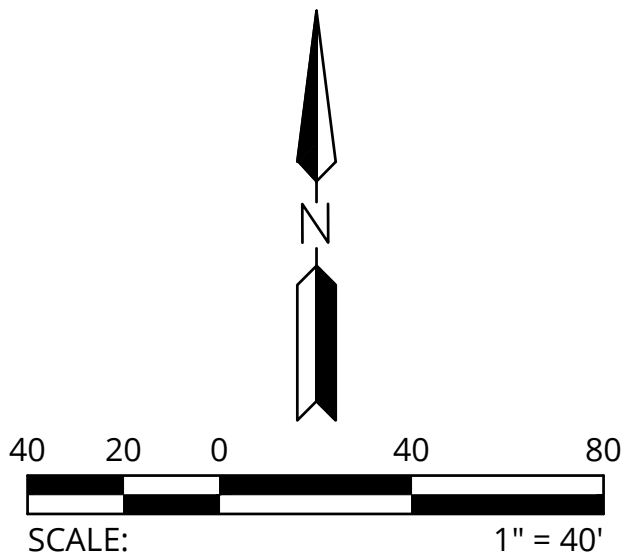
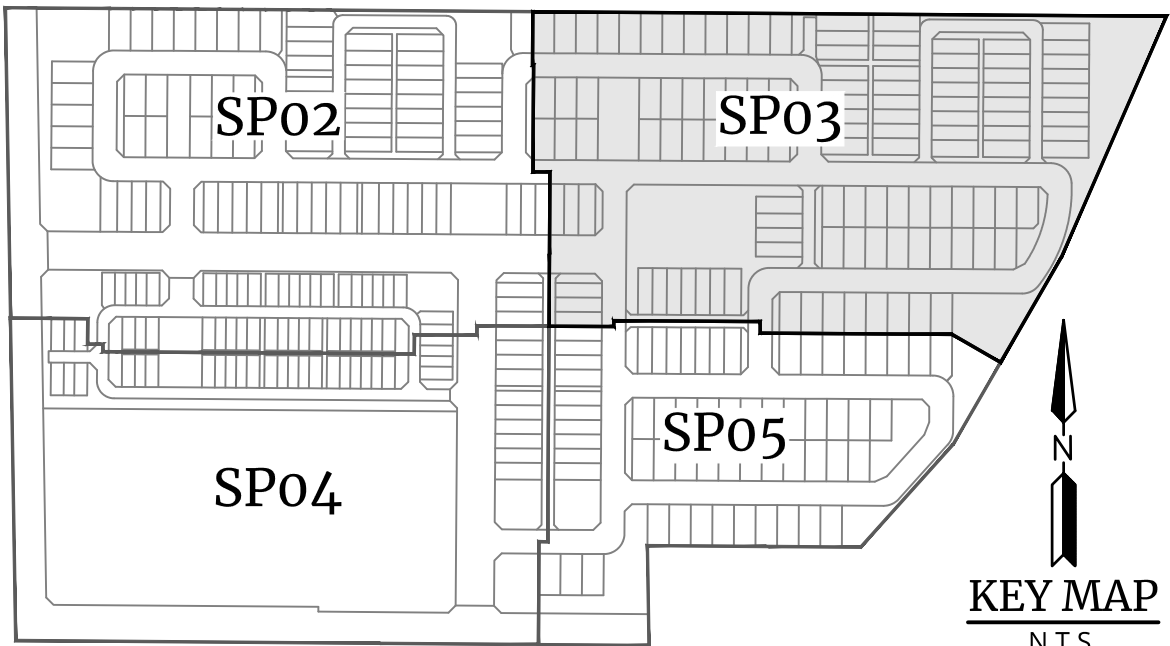
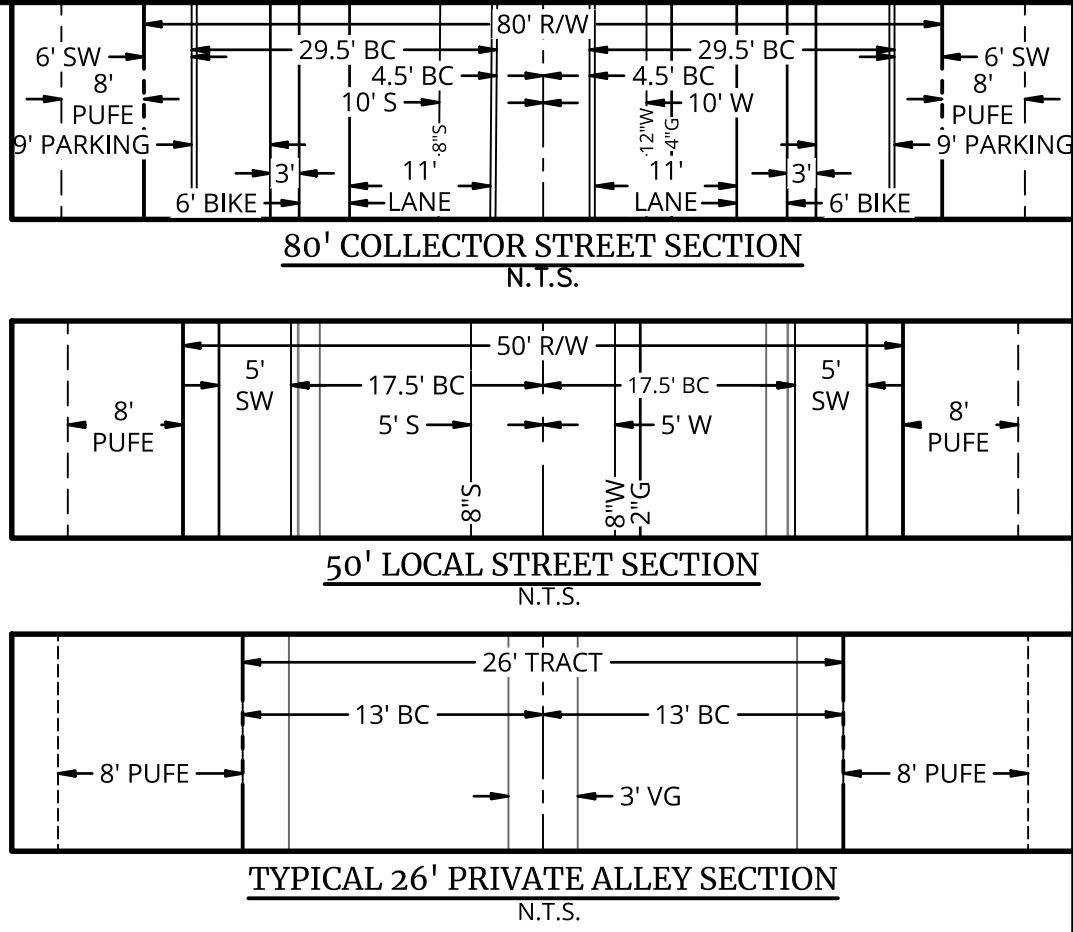




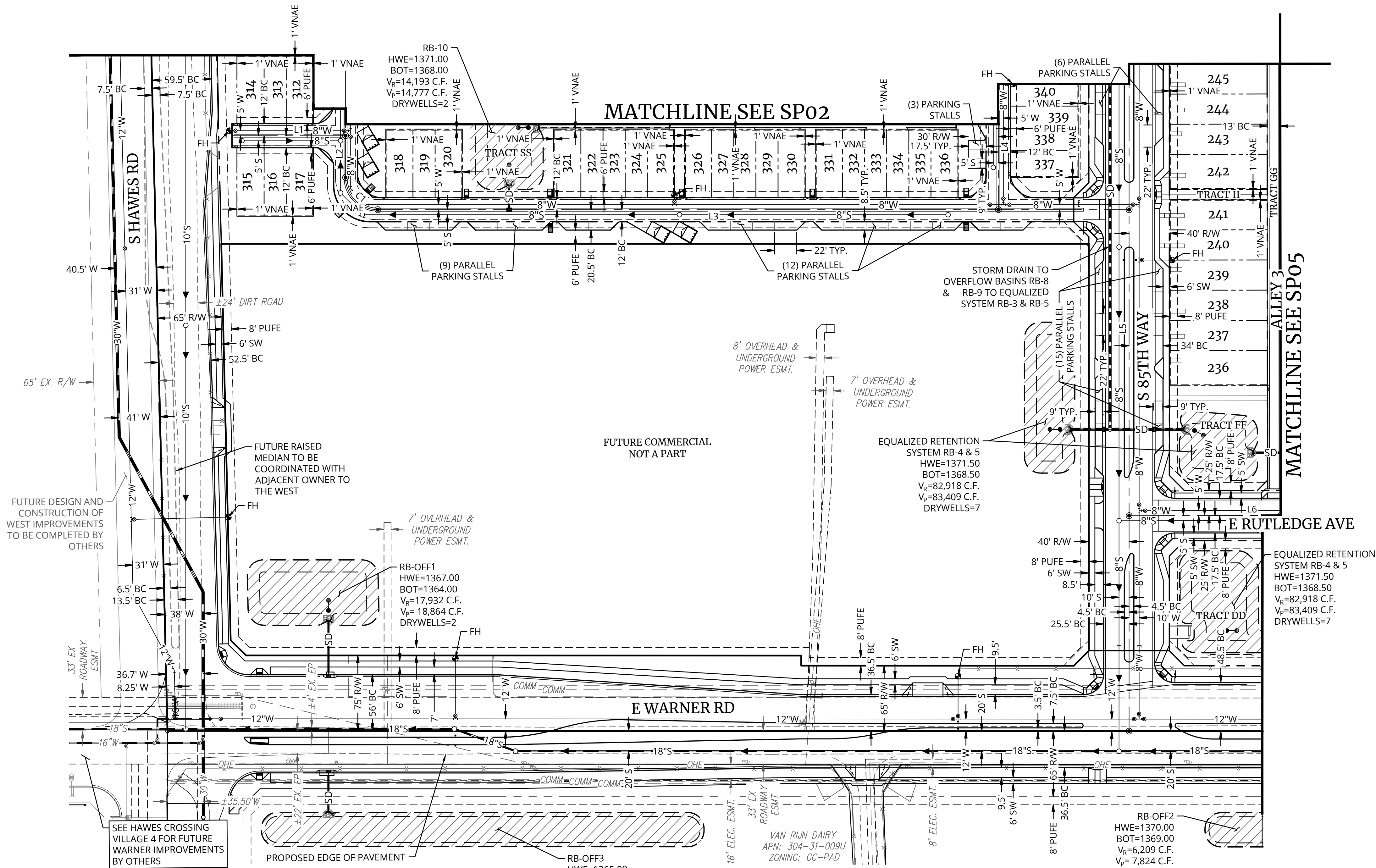
LINE TABLE		
NO.	DIRECTION	LENGTH
L1	S89°38'01"E	540.39'
L2	S00°21'59"W	325.76'
L3	S89°38'01"E	1915.25'
L4	N89°34'34"W	1260.27'
L5	N00°21'59"E	732.82'
L6	N89°38'01"W	305.00'
L7	S00°21'59"W	184.50'

LINE TABLE		
NO.	DIRECTION	LENGTH
L8	S89°38'01"E	497.92'
L9	N00°21'59"E	222.00'
L10	N89°38'01"W	154.00'
L11	S00°21'59"W	271.76'
L12	N00°21'59"E	271.76'

CURVE TABLE			
NO.	RADIUS	DELTA	LENGTH
C1	37.50'	90°00'00"	58.90'
C2	38.00'	90°00'00"	59.69'
C3	38.00'	90°00'00"	59.69'
C4	37.50'	91°18'20"	59.76'
C5	300.00'	34°20'28"	179.81'
C6	37.50'	54°21'10"	35.57'
C7	37.50'	90°00'00"	58.90'



REV:		4742 N 24th Street, Suite 270 PHOENIX, AZ 85016 P: 602.490.0535 / F: 602.368.2436 www.colliersengineering.com	
Colliers		Engineering & Design	
REGISTERED PROFESSIONAL ENGINEER 38783 NGUYEN LAM SINCE 10/23/25 AZ 00000000		Formerly HILGART WILSON	
HAWES CROSSING - VILLAGE 5		8462 E WARNER ROAD MESA, ARIZONA	
SPECIFIC PLAN - PLAN SHEET		DWG. NO. SP03	
PROJ NO.: 1833		SHT. 03 OF 05	
DATE: OCT 2025			
SCALE: 1"=60'			
DRAWN: MC			
DESIGNED: NS			
APPROVED: NL			

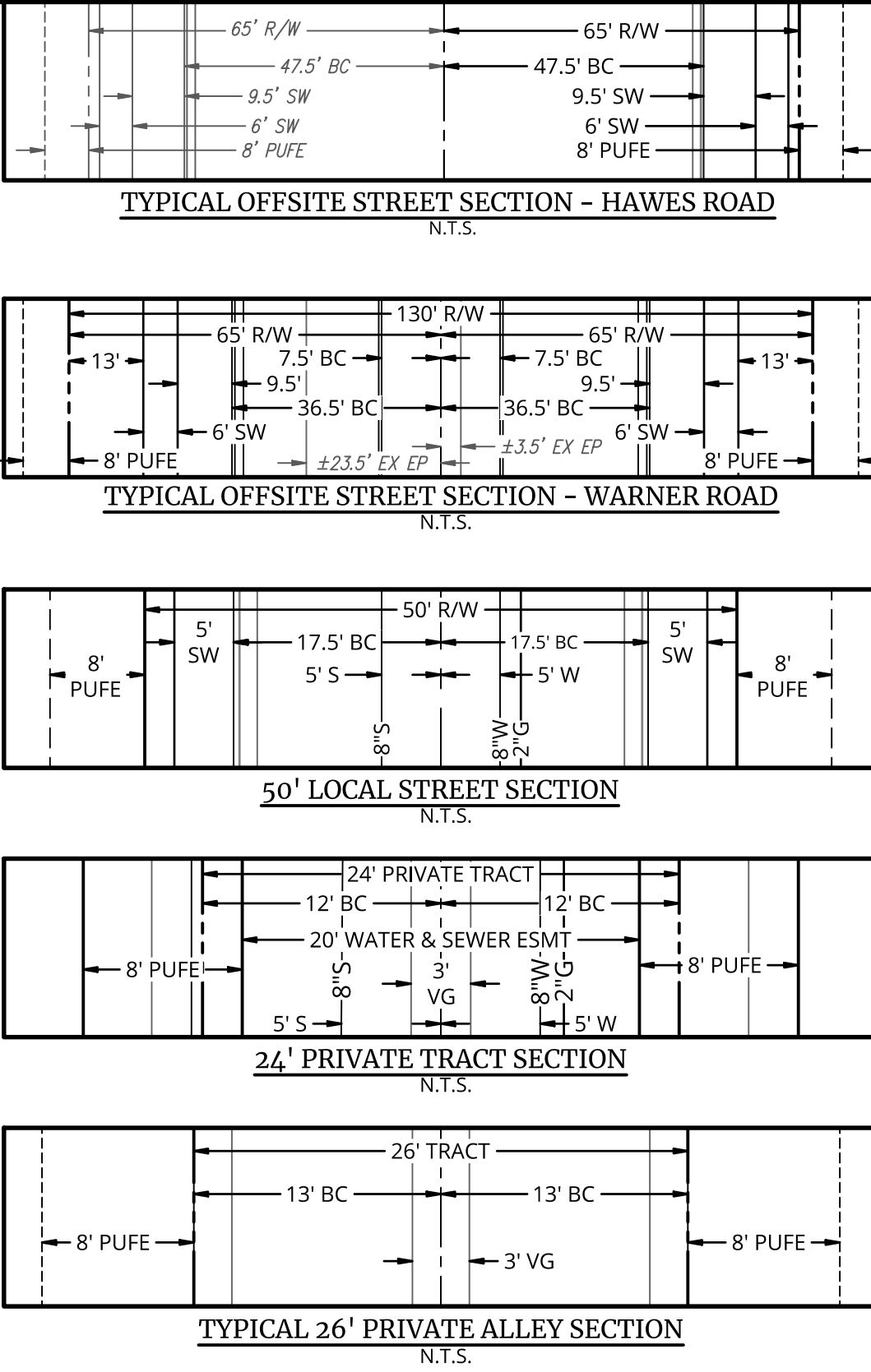
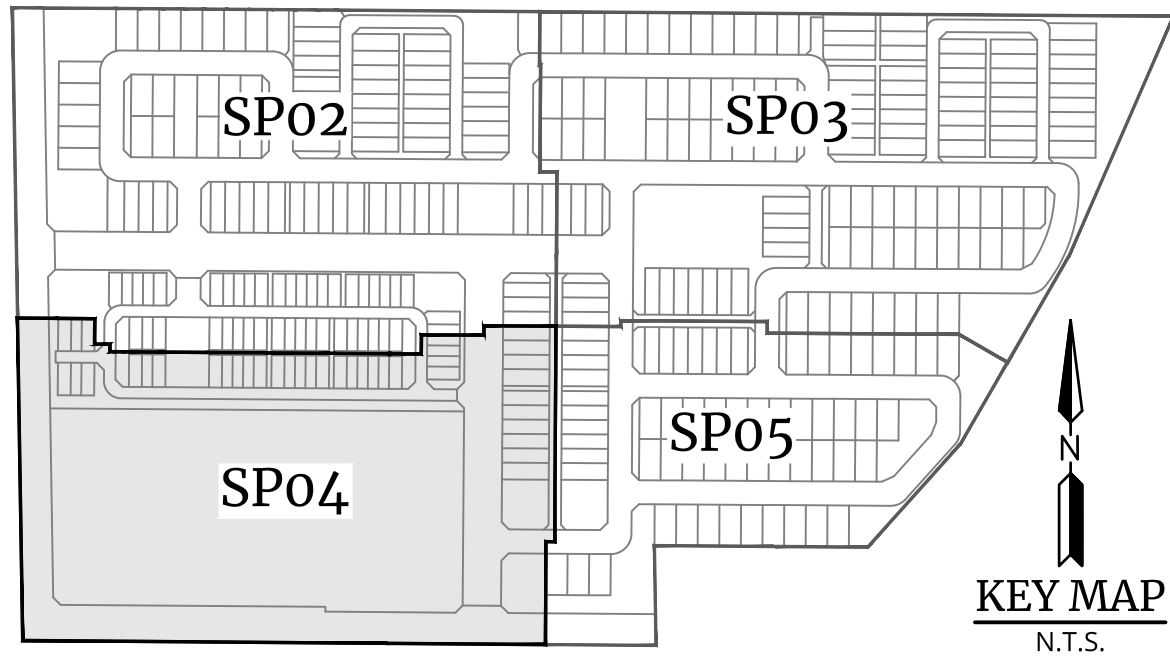


LINE TABLE		
NO.	DIRECTION	LENGTH
L1	S89°34'34\"E	113.00'
L2	N00°25'26\"E	106.00'
L3	N89°34'34\"W	746.81'
L4	S00°25'26\"W	138.00'
L5	S00°25'26\"W	813.36'
L6	S89°38'01\"E	248.14'

CURVE TABLE			
NO.	RADIUS	DELTA	LENGTH
C1	32.00'	90°00'00\"	50.27'

RB-OFF3
HWE=1365.00
BOT=1364.00
V_B=12,624 C.F.
V_P= 12,924 C.F.
*BASIN WILL DEWATER VIA
NATURAL INFILTRATION*

RB-OFF2
HWE=1370.00
BOT=1369.00
V_B=6,209 C.F.
V_P= 7,824 C.F.
*BASIN WILL DEWATER VIA
NATURAL INFILTRATION*



COLLIERS ENGINEERING & DESIGN, INC.
38783 NGUYEN LAM
REGISTERED PROFESSIONAL ENGINEER
STATE OF ARIZONA
10-03-25

Engineering & Design

HAWES CROSSING - VILLAGE 5
8462 E WARNER ROAD
MESA, ARIZONA

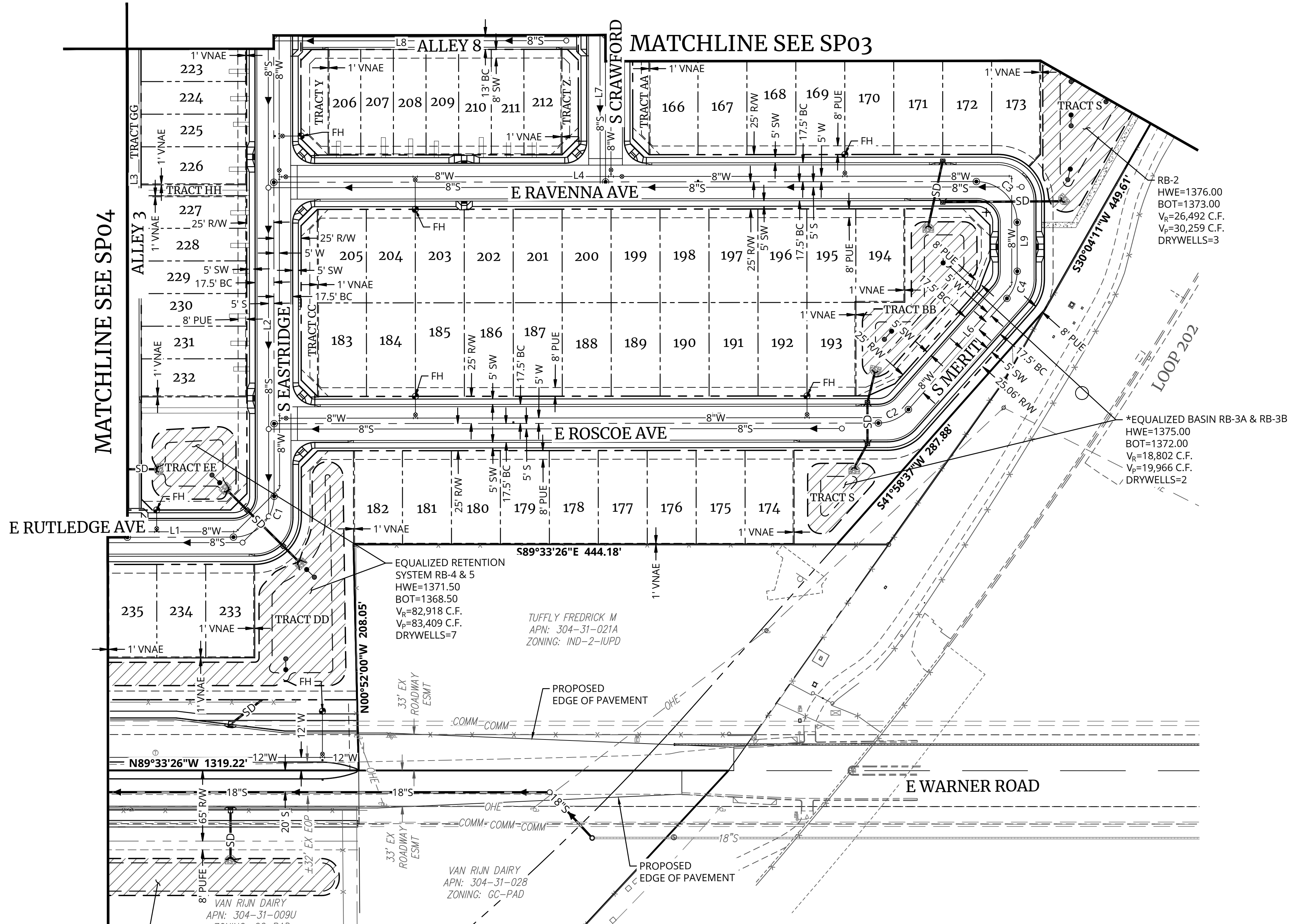
PROJ NO.: 1833
DATE: OCT 2025
SCALE: 1\"=60'
DRAWN: MC
DESIGNED: NS
APPROVED: NL

DWG. NO.
SP04
SHT. 04 OF 05

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Formerly
HILGART WILSON

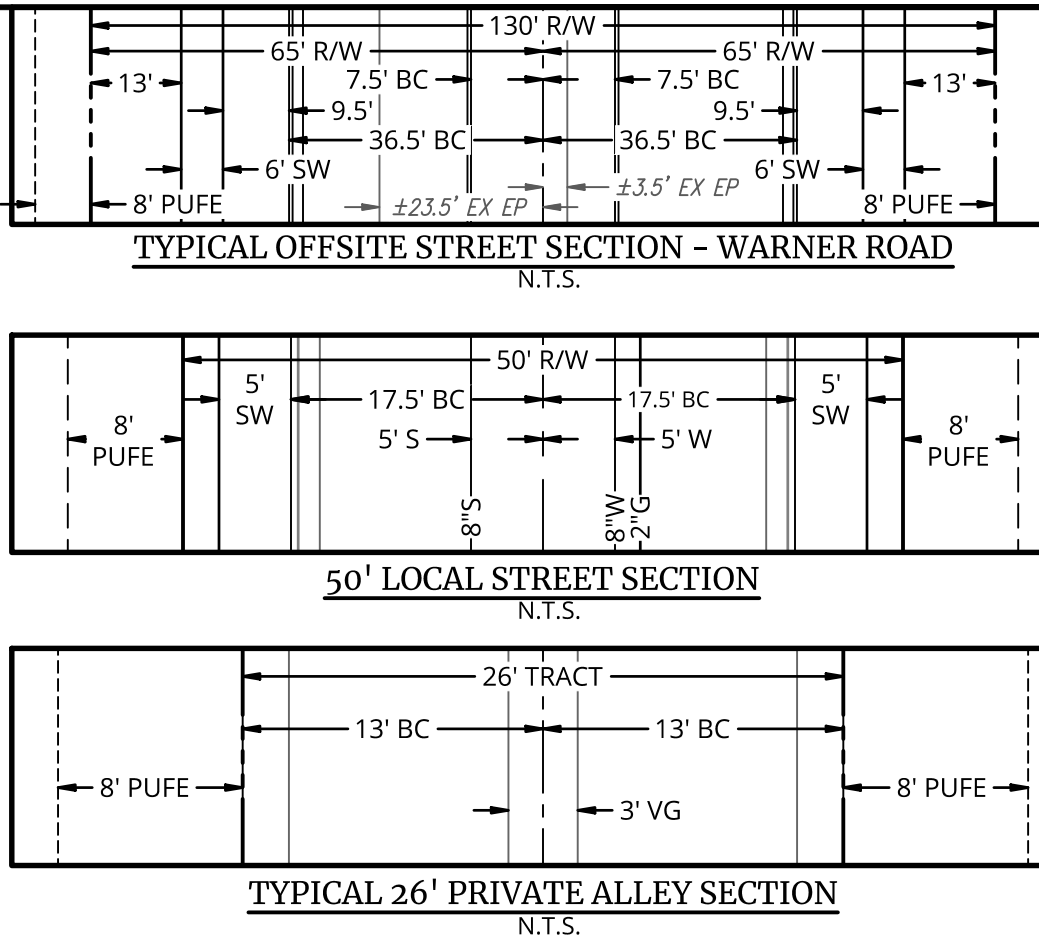
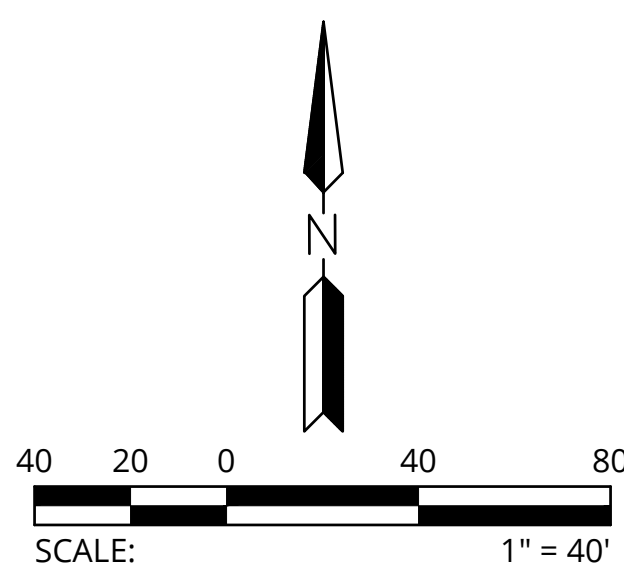
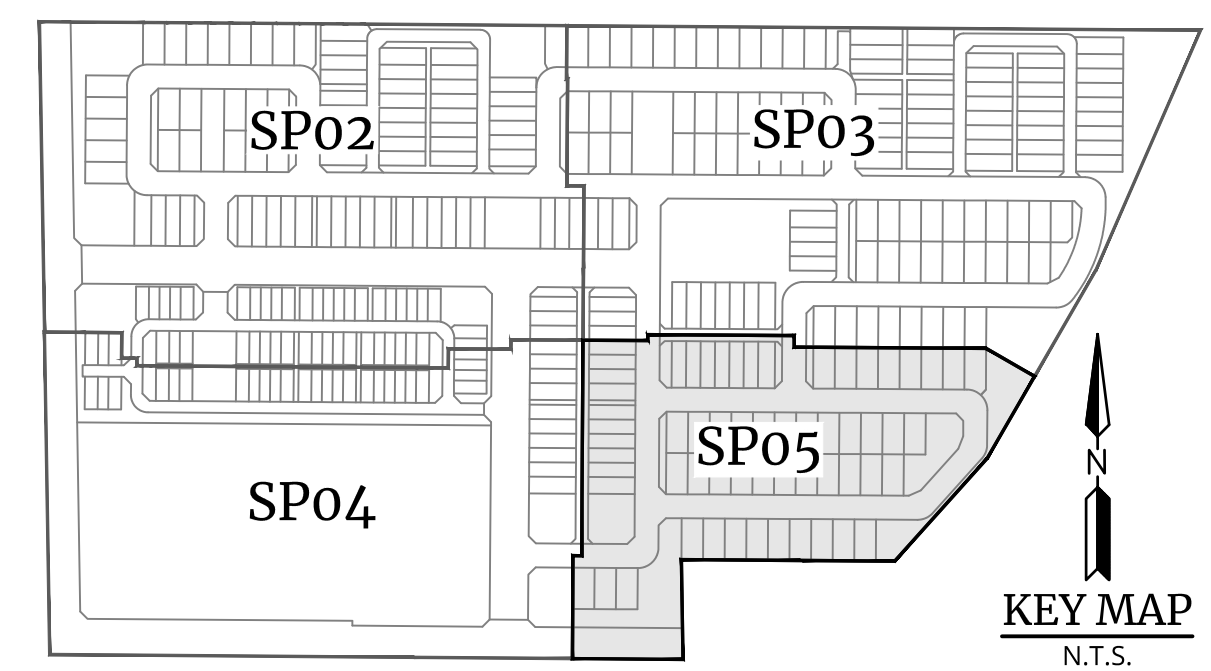
U:\1800\1833\ENGR_Village 5\PLANS\SPECIFIC\1833 - V5 - SP04.dwg 10/3/2025 1:26 PM



EQUALIZED RETENTION SYSTEM RB-4 & 5
HWE=1371.50
BOT=1368.50
V₆=82,918 C.F.
V₆=83,409 C.F.
DRYWELLS=7

LINE TABLE		
NO.	DIRECTION	LENGTH
L1	S89°38'01"E	248.14'
L2	N00°21'59"E	732.82'
L3	S00°21'59"W	599.01'
L4	N89°38'01"W	645.84'
L5	S89°38'01"E	555.52'
L6	N41°58'37"E	136.57'
L7	N00°21'59"E	184.50'
L8	N89°38'01"W	305.00'
L9	S00°21'59"W	45.06'

CURVE TABLE			
NO.	RADIUS	DELTA	LENGTH
C1	37.50'	90°00'00"	58.90'
C2	36.54'	49°01'56"	31.27'
C3	37.50'	90°00'00"	58.90'
C4	37.50'	41°36'38"	27.23'



PROJ NO.: 1833
DATE: OCT 2025
SCALE: 1"=60'
DRAWN: MC
DESIGNED: NS
APPROVED: NL

DWG. NO.
SP05
SHT. 05 OF 05

Engineering & Design
Colliers

HAWES CROSSING - VILLAGE 5
8462 E WARNER ROAD
MESA, ARIZONA

SPECIFIC PLAN - PLAN SHEET

Engineering & Design
Colliers

REGISTERED PROFESSIONAL ENGINEER
38783
NGUYEN LAM
STATE OF ARIZONA
[Signature]

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