

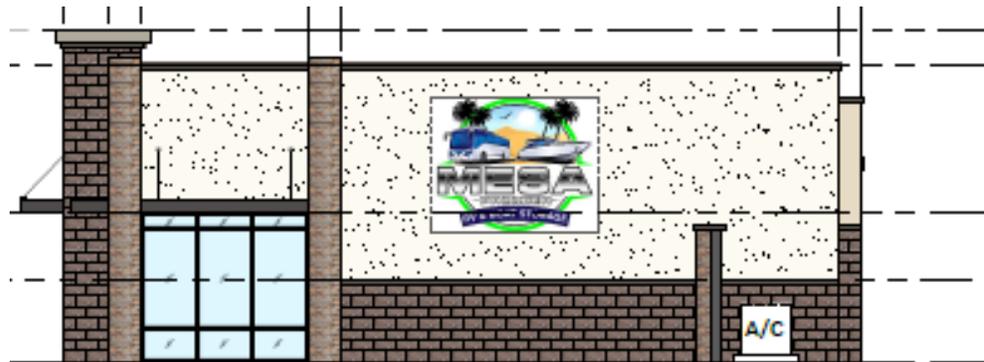


PLANNING & ZONING BOARD

September 14, 2022



ZON21-00080



Request

- Rezone, Site Plan Review, and Council Use Permit

Purpose

- To allow for the development of an RV and Boat Storage

Location

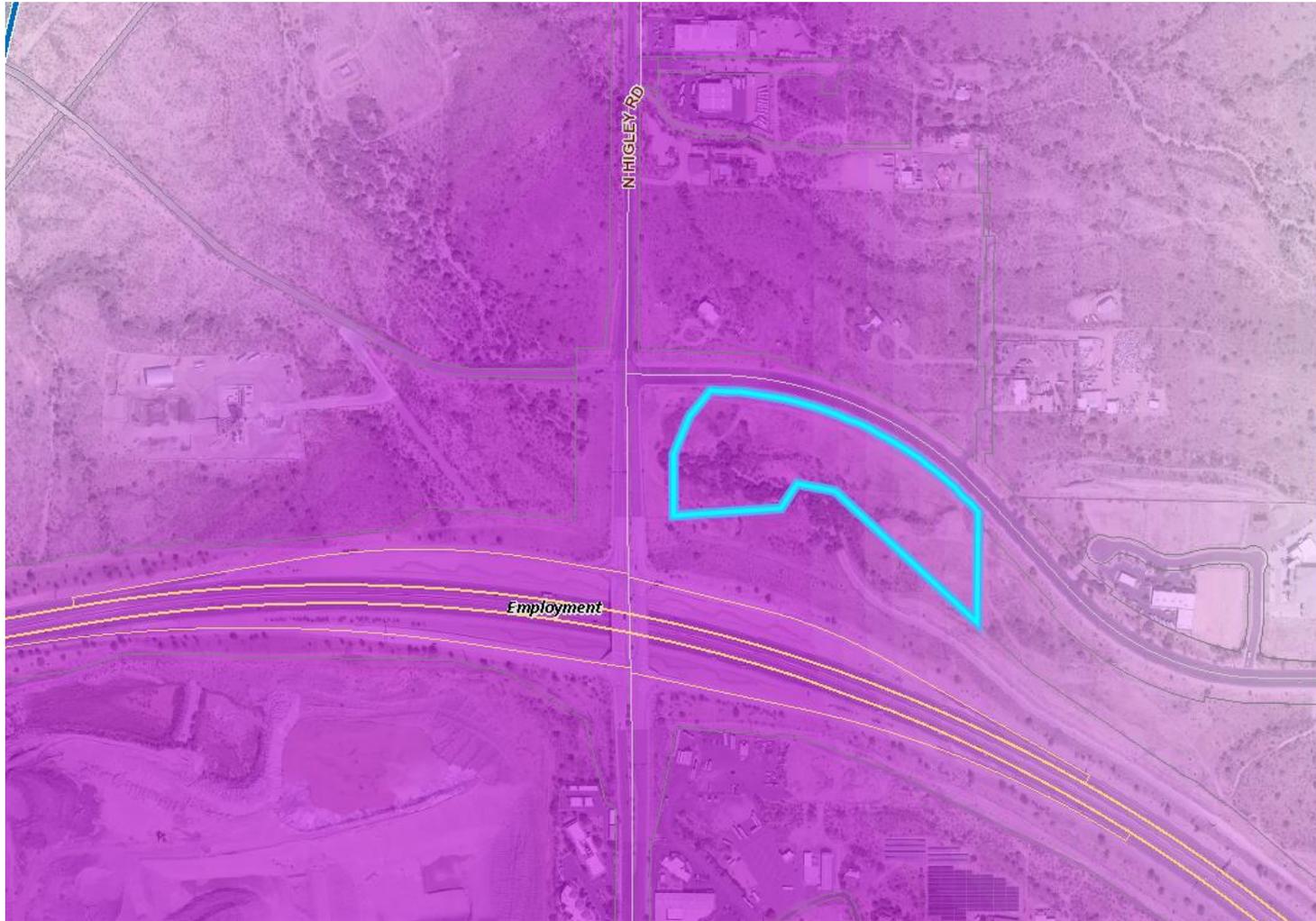
- South of Thomas Road
- East of Higley Road



Site Photo



Looking southwest towards the site from Thomas Road



General Plan

Employment

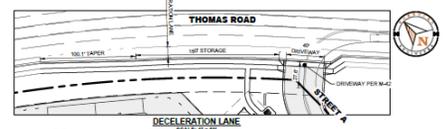
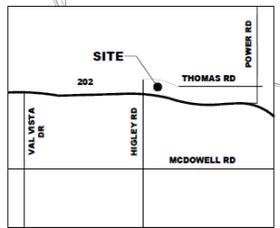
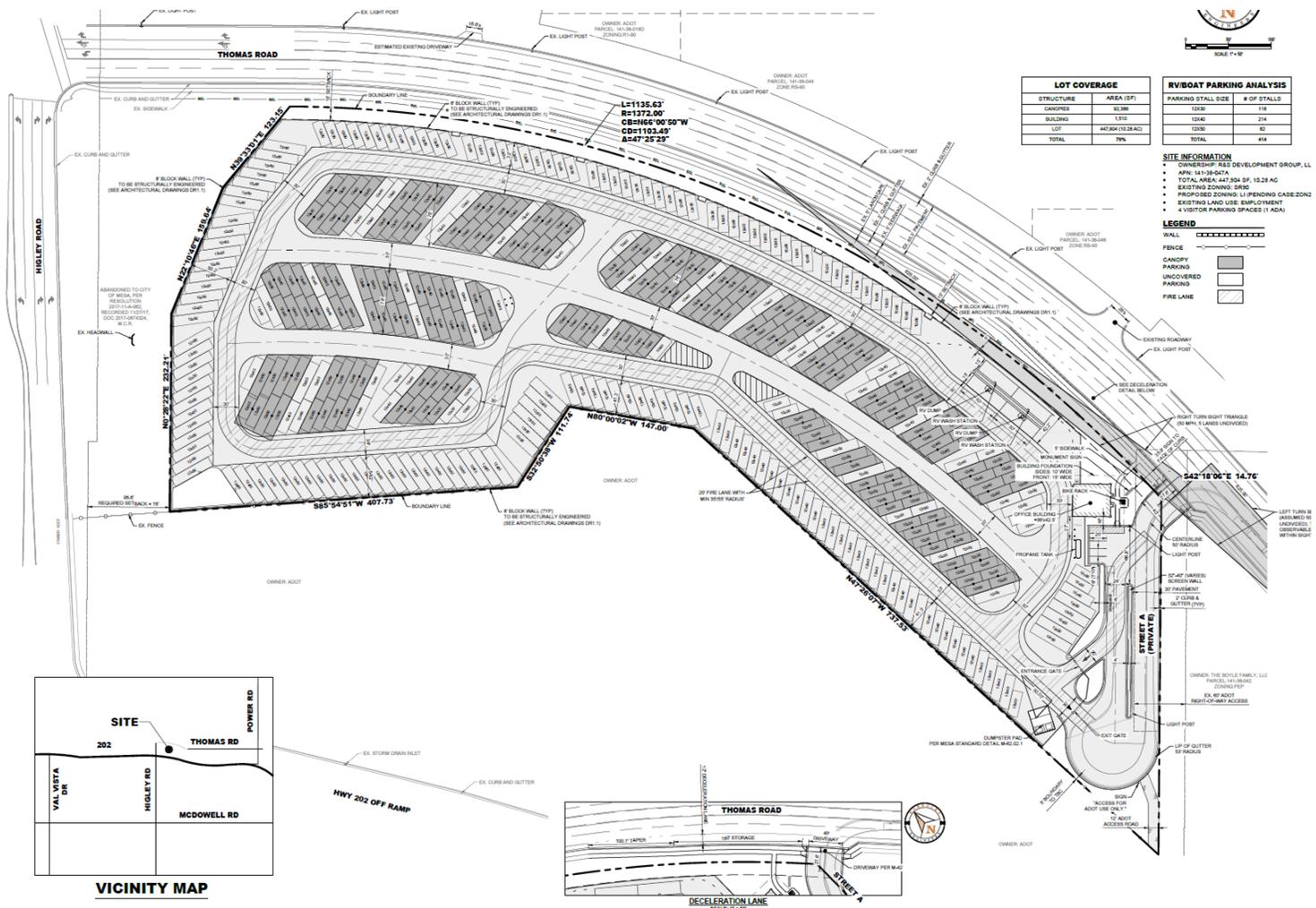
- Provide for a wide range of employment opportunities in high-quality settings.

Zoning

- Proposed rezone from RS-90 to Light Industrial with a Planned Area Development Overlay (LI-PAD)
- Permitted in the LI district with a Council Use Permit



Site Plan

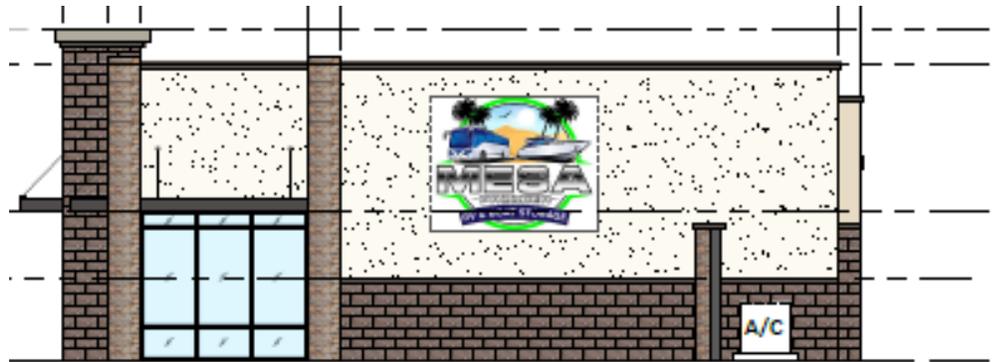


PAD Modifications

PAD Standard	Existing	Proposed
<u>Fences and Freestanding Walls</u> – <i>MZO Section 11-30-4(B)</i> Maximum Height -Front yards and required street side yards (north, south, and west property lines)	3.5-foot-tall	8-foot-tall
<u>Outdoor Storage</u> – <i>MZO Section 11-30-7(B)</i> -Setback	A setback shall be provided for material stored outdoors at a ratio of 1:1 from all lot lines equal to the total height of the material above the required 8-foot screen wall	No setback from lot lines is required for boats and RVs stored outdoors.
<u>Landscape Yards</u> – <i>MZO Table 11-7-3</i> -Front facing and street facing sides adjacent to a freeway (south property line)	30 feet	5 feet

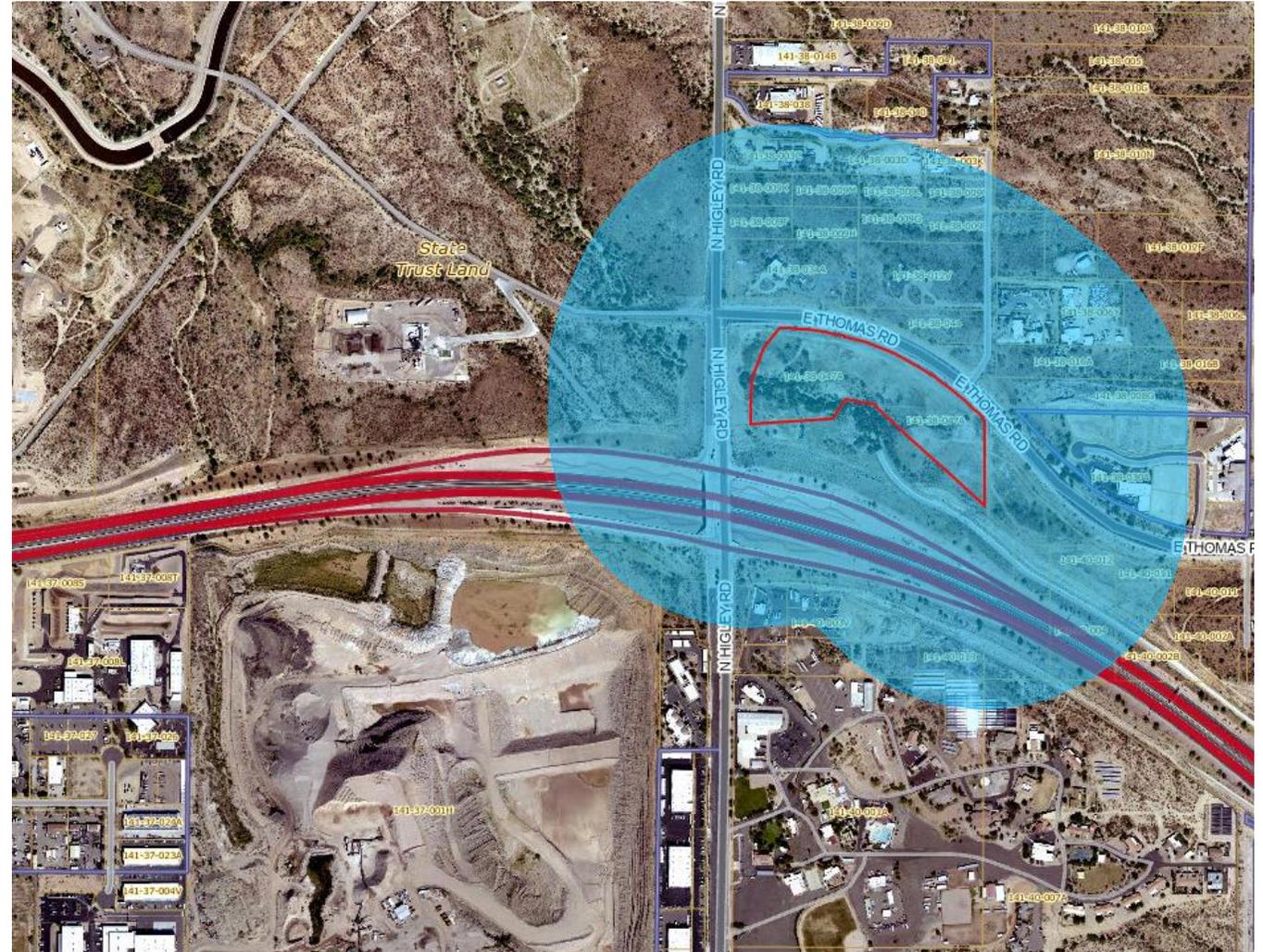
Design Review

- September 13, 2022
- Minor Comments



Citizen Participation

- Letter mailed to property owners within 1,000 feet, HOAs and registered neighborhoods within 1-mile



Summary

Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Complies with review criteria in Chapter 22 of the MZO for a PAD overlay
- ✓ Meets the review criteria for Site Plan Review outlined in Section 11-69-5 of the MZO

Staff Recommendation

Approval with Conditions



PLANNING & ZONING BOARD

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