

Sossaman 202 Industrial Park

Mesa, Arizona

Final Citizen Participation Report

Case No. ZON21-00543

PAD Zoning and Site Plan Review

September 8, 2021

Overview:

The purpose of this Citizen Participation Final Report is to provide the City of Mesa staff with information regarding the efforts made by the Applicant to inform citizens and property owners concerning the Applicant's request to the City of Mesa for a PAD rezone for the property located at the SWC of Sossaman and Warner Roads in Mesa, AZ (APN 304-30-010E).

By providing opportunities for citizen participation, the Applicant ensured that those affected by this application had an adequate opportunity to learn about and comment on the proposed plan. The Applicant has provided neighborhood notice for the neighborhood meeting and public hearings.

Contact Information:

Those coordinating the Citizen Participation activities are as follows:

Reese L. Anderson
Pew & Lake, PLC.
1744 S. Val Vista Drive, Suite 217
Mesa, AZ 85204
(480)461-4670 (office)
(480)461-4676 (fax)
reese.anderson@pewandlake.com

Jon Gillespie
Pew & Lake, PLC.
1744 S. Val Vista Drive, Suite 217
Mesa, AZ 85204
(480)461-4670 (office)
(480)461-4676 (fax)
jon.gillespie@pewandlake.com

Actions Taken:

In order to provide effective citizen participation in conjunction with this application, the following actions were taken to provide opportunities for feedback from surrounding property owners and interested parties:

1. A neighborhood meeting was held virtually via ZOOM on July 27, 2021. There were no attendees at the neighborhood meeting (besides the applicant and development team).
2. The notification list for the neighborhood meeting included all property owners within 1000' of the subject property. Additionally, registered neighborhood contacts within 1-mile of the property were notified (the registered neighborhood contacts list was obtained from the City of Mesa).
3. In accordance with ARS § 9-462.04 (A) (4) and Mesa Zoning Ordinance Section 11-67-5, property owners within 500-feet of the property were notified of public hearings at least

14-days prior to any scheduled hearing. Additionally, registered neighborhood contacts within 1-mile of the property were notified (the registered neighborhood contacts list was obtained from the City of Mesa).

There were no concerns, issues or problems raised by citizens or interested parties.

Schedule:

Pre-Submittal Conference – March 4, 2021
Formal Application – June 7, 2021
2nd Submittal – July 12, 2021
Neighborhood Meeting – July 27, 2021
3rd Submittal – August 9, 2021
Design Review Work Session – *September 14, 2021*
Planning and Zoning Board Hearing – *September 22, 2021*
City Council Introduction – *TBD*
City Council Final Action – *TBD*

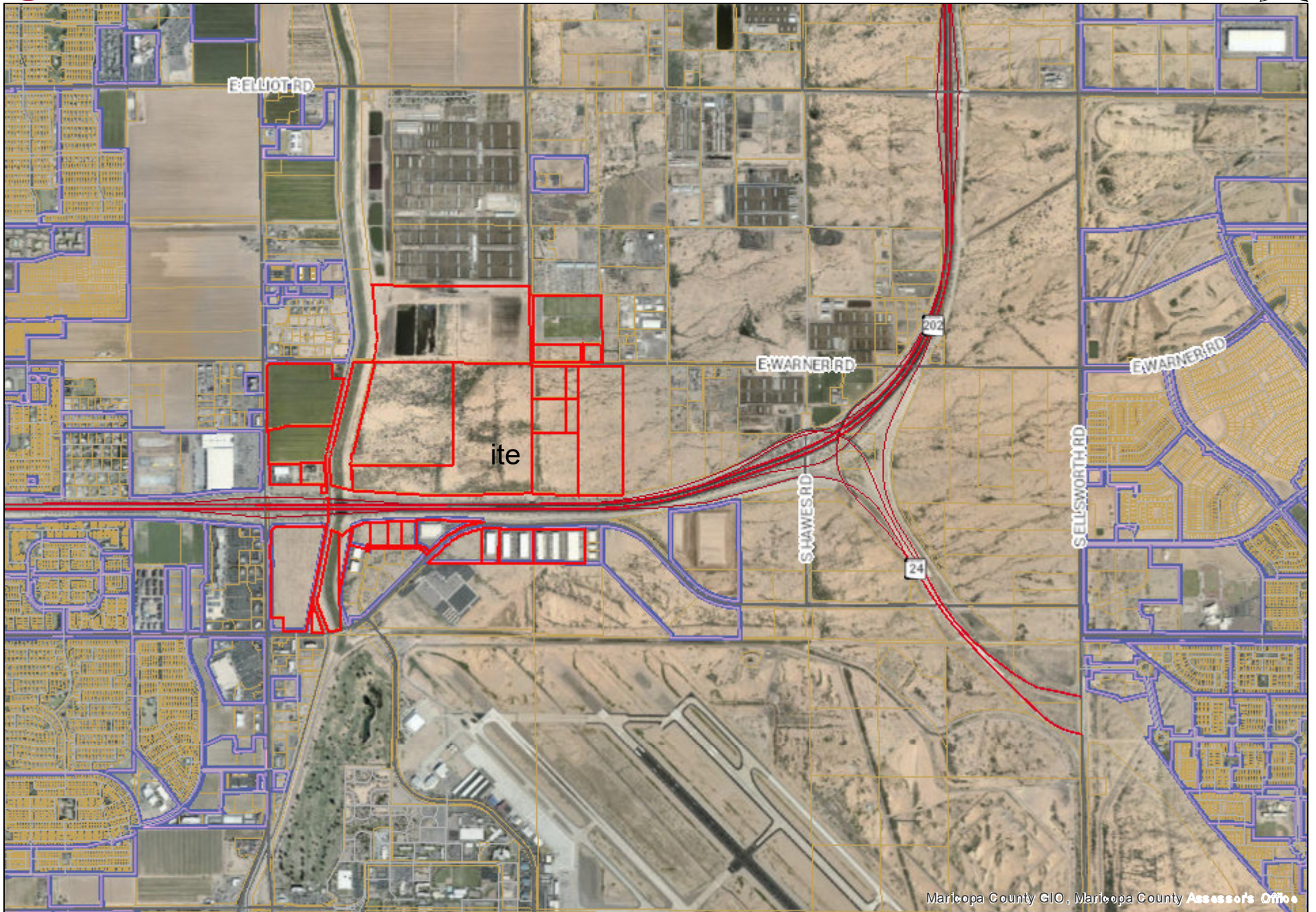
Attached Exhibits:

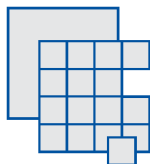
- A) List of property owners within 1000' feet of the subject property and registered neighborhood contacts within 1 mile of the property
- B) Notification map of surrounding property owners
- C) Notification letter for the Neighborhood Meeting
- D) Public Hearing (P&Z) Notification Materials
- E) Design Review (DRB) Notification Materials
- F) P&Z & DRB Notification Map of surrounding property owners
- G) List of property owners within 500 ft. of the subject property, Neighborhood Associations within 1 mile of the project, HOAs within ½ mile of the property, and all attendees at the neighborhood meeting
- H) Public Notice Sign Posting Affidavit

Exhibit A: List of property owners within 1000' feet of the subject property and registered neighborhood contacts within 1 mile of the property

Owner	MAIL_ADDR1	MAIL_CITY	MAIL_STATE	MAIL_ZIP
7613 EAST RAY LLC	300 SPECTRUM CENTER DR UNIT 300	IRVINE	CA	92618
ALI ADVISOR INC	2999 N 44TH ST NO 100	PHOENIX	AZ	85018
ALI ADVISOR INC (PROB. DEED/LEGAL)	2999 N 44TH ST STE 100	PHOENIX	AZ	85018
BREEN CHILDREN 2012 IRREVOCABLE TRUST III	3 CHARTER OAK PL	HARTFORD	CT	6106
BV STRATEGIC MANAGEMENT LLC	8475 S EMERALD DR	TEMPE	AZ	85284
DREAM 11 LLC	1962 N HIGLEY RD	MESA	AZ	85205
FLOOD CONTROL DISTRICT OF MARICOPA COUNTY	2801 W DURANGO ST	PHOENIX	AZ	85009
GATEWAY BUSINESS PARK LLC	8901 E RAINTREE DR STE 140	SCOTTSDALE	AZ	85260
GATEWAY TECHNOLOGY COMMERCE CENTER LLC	660 NEWPORT CENTER DR STE 1300	NEWPORT BEACH	CA	92660
H-O AIRGATE LLC	5353 N 16TH ST STE 105	PHOENIX	AZ	85016
KCK INVESTMENTS LLC	4747 S POWER RD	MESA	AZ	85212
POWER 17 LLC	124 S 600 E	SALT LAKE CITY	UT	84102
POWER 202 MIXED-USE LLC	4650 E COTTON CENTER BLVD SUITE 200	PHOENIX	AZ	85040
POWER 40 LLC	124 S 600 E	SALT LAKE CITY	UT	84102
ROOSEVELT WATER CONS DIST 5239	PO BOX 100	HIGLEY	AZ	85236
RRCCN OWNERS ASSOCIATION	2999 N 44TH ST STE 500	PHOENIX	AZ	85018
SALT RIVER PROJECT AI & PD	PO BOX 52025	PHOENIX	AZ	85042-2025
STAG INDUSTRIAL HOLDINGS LLC	1 FEDERAL ST FL 23	BOSTON	MA	2110
STRUCTURES INVESTMENT LLC	2378 E GUADALUPE RD	GILBERT	AZ	85234
T GOLDEN FOUNDATION	1425 S HIGHLEY RD SUITE 106	GILBERT	AZ	85296
TALMAGE J LLC	3616 E TREMAINE CT	MESA	AZ	85234
THE DALE C MORRISON TRUST	11201 TATUM BLVD STE 330	PHOENIX	AZ	85028
TONTO CORP	2006 OLD HIGHWAY 395	FALLBROOK	CA	92028
WF GCC INDUSTRIAL LLC	3104 E CAMELBACK RD UNIT 957	PHOENIX	AZ	85018

Map





Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew
Certified Real Estate Specialist
Sean B. Lake
Reese L. Anderson

July 12, 2021

NOTICE OF NEIGHBORHOOD MEETING

Dear Neighbor:

Together with our client, Contour RE, we are pleased to invite you to a virtual neighborhood meeting to receive your comments regarding a proposed development on the approximately 112 acres located at the SWC of Sossaman Road and Warner Road in Mesa, Arizona (APN 304-30-010E). Our client is proposing to develop a master planned industrial business park development as shown on the attached site plan. Also attached to this letter are elevations which illustrate the buildings to be located within the development.

A virtual neighborhood meeting will be held at the time listed below to present and discuss the project and to answer any questions that you may have. To meet the social distancing standards during the COVID-19 pandemic, the neighborhood meeting will be held electronically via ZOOM.

Date:	July 27, 2021
Time:	6:00 p.m.
Place:	ZOOM Virtual Meeting

If you wish to participate in the neighborhood meeting, please call our office or send an email request to Jon Gillespie in our office at jon.gillespie@pewandlake.com no later than 5:00 p.m. on the day of the meeting and you will be provided with a convenient link and security code to access the meeting via the internet and/or telephone. The link to access the meeting is also available here: <https://us02web.zoom.us/j/89460231263?pwd=YWVHeUFiV0FHeDVGaDVTOTTh6NUZxZz09>.

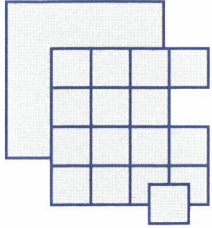
If you are unable to join us for the neighborhood meeting, either Jon or myself will be happy to discuss the proposed project with you via telephone or email.

At this time, no public hearing before the City of Mesa Planning & Zoning Board has been scheduled. When that meeting date is known, the property will be properly noticed, and those who attend the neighborhood meeting and provide their contact information will also be notified.

If you have any questions regarding this matter prior to this neighborhood meeting, please contact me or Jon Gillespie at our office at (480) 461-4670. You may also contact Ms. Cassidy Welch, Planner with the City of Mesa's Planning Division at (480) 644-2591.

Sincerely,

Reese L. Anderson
PEW & LAKE, PLC



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew
Certified Real Estate Specialist
Sean B. Lake
Reese L. Anderson

September 8, 2021

NOTICE OF PUBLIC HEARING

Dear Neighbor,

Pew & Lake, PLC, on behalf of our client Contour RE, has applied to the City of Mesa for the development of a master planned industrial business park development on the approximately 112 acres located at the southwest corner of Sossaman Road and Warner Road (APN 304-30-010E). The rezoning application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on September 22, 2021, in the City Council Chambers. The meeting will begin at 4:00 p.m. The case number assigned to this project is ZON21-00543.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan for the proposed development.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by calling **888-788-0099** or **877-853-5247 (toll free)** using meeting ID **530 123 2921** and following the prompts. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card at <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least 1 hour prior to the start of the meeting. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099** or **877-853-5247 (toll free)** using meeting ID **530 123 2921** and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Ms. Cassidy Welch of their Planning Division staff. She can be reached at 480-644-2591 or via email at Cassidy.Welch@mesaaz.gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

If you have any questions regarding this matter prior to the hearing, please contact myself or Jon Gillespie at my office via phone at 480-461-4670 or via email at reese.anderson@pewandlake.com or jon.gillespie@pewandlake.com.

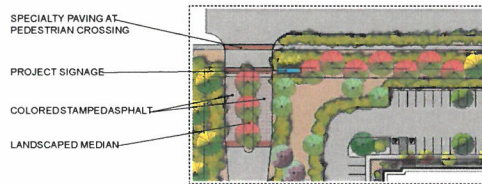
Sincerely,



Reese L. Anderson
PEW & LAKE, PLC

Enclosures

CONCEPTUAL LANDSCAPE PLAN



LANDSCAPE CALCULATIONS:

TREE REQUIREMENTS STREET FRONTAGE - 2,700 LINEAR FEET (LF):

QTY.	Required	% Provided
Total Trees	225	1 @ 2'
Total Shrubs	1,350	6 Per Tree

NOTE: Includes 202 Footings

TREE REQUIREMENTS PERIMETER (ADJACENT PROPERTY) - 4,150 LINEAR FEET:

QTY.	Required	% Provided
Total Trees	138	3 @ 100'
Total Shrubs	828	30 @ 100'

NOTE: 3 Trees and 30 shrubs per 100 LF

TREE REQUIREMENTS BUILDING FOUNDATION - 10,300 LINEAR FEET:

QTY.	Required	% Provided
Total Trees	257	1 @ 50'

NOTE: Includes trees within 30' offset

TREE REQUIREMENTS PARKING:

QTY.	Required	% Provided
Total Trees	230	1 tree per island, 1 tree per island
Total Shrubs	690	3 per tree

NOTE: Planting island every 8 spaces, with 1 tree and 3 shrubs

STREET FRONTAGE TREES BY SIZE / PERCENTAGE:

QTY.	Required	% Provided
Total Trees	225	
15 gal	57	25%
24" box	117	50%
36" box	56	25%

PERIMETER (ADJACENT PROPERTY) TREES BY SIZE / PERCENTAGE:

QTY.	Required	% Provided
Total Trees	138	
15 gal	69	50%
24" box	66	50%
36" box	-	-

FOUNDATION TREES BY SIZE / PERCENTAGE:

QTY.	Required	% Provided
Total Trees	257	
15 gal	-	-
24" box	231	90%
36" box	26	10%

PARKING TREES BY SIZE / PERCENTAGE:

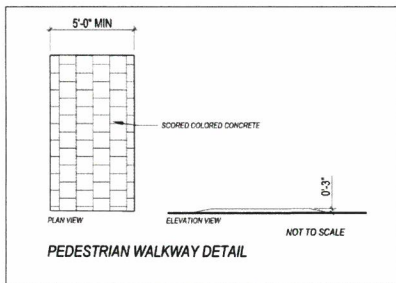
QTY.	Required	% Provided
Total Trees	230	
15 gal	-	-
24" box	207	90%
36" box	23	10%

AMOUNT OF COMMON OPEN SPACE CALCULATIONS:

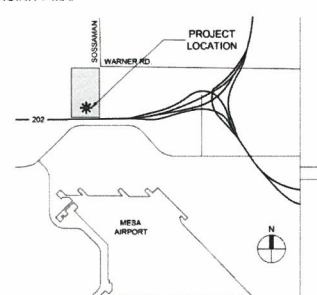
Non Retention: 50,000 SF
Retention: 457,565 SF
GFA: 1,381,819 SF

% Required: 1%
% Provided: 27.0%

MINIMUM OF 7,442 SQ FT (107 SQ FT PER 100 SQ FT OF GFA) IS 1,381,819 SF

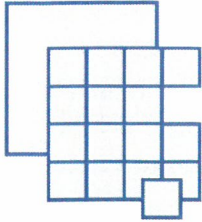


VICINITY MAP



PLANT MATERIAL SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	<i>Pithecha chinensis</i>	Red Flamingo	15 gal box
	<i>Rhod. Palm Pithecha</i>	Red Palm Pithecha	24" box
	<i>Canavalia maritima</i>	Mexican Bird of Paradise	15 gal
	<i>Chibcha borbonensis</i>	Chickasaw	15 gal box
	<i>Chibcha borbonensis</i>	Chickasaw	24" box
	<i>Chibcha borbonensis</i>	Chickasaw	36" box
	<i>Parkinsonia Flossless Hybrid</i>	Desert Mimosum Palm Verde	15 gal box
	<i>Desert Mimosum Palm Verde</i>	Desert Mimosum Palm Verde	24" box
	<i>Desert Mimosum Palm Verde</i>	Desert Mimosum Palm Verde	36" box
	<i>Quercus virginiana</i>	Live Oak	15 gal box
	<i>Quercus virginiana</i>	Live Oak	24" box
	<i>Quercus virginiana</i>	Live Oak	36" box
	<i>Fraxinus chinensis</i>	Thornless Chinese Elm	15 gal box
	<i>Fraxinus chinensis</i>	Thornless Chinese Elm	24" box
	<i>Fraxinus chinensis</i>	Thornless Chinese Elm	36" box
	<i>Ulmus Parviflorus</i>	European Elm	15 gal box
	<i>Ulmus Parviflorus</i>	European Elm	24" box
	<i>Ulmus Parviflorus</i>	European Elm	36" box
	<i>Boronia serrulata</i>	Texas Mountain Laurel	15 gal
CACTI, SHRUBS, AND ACCENTS:			
	<i>Albizia</i>	Yellow Blossom	5 gallon
	<i>Carex</i>	Yellow Blossom	5 gallon
	<i>Carex</i>	Yellow Blossom	5 gallon
	<i>Carex</i>	Yellow Blossom	5 gallon
	<i>Carex</i>	Yellow Blossom	5 gallon
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	<i>Carex</i>	Yellow Blossom	5 gallon
	<i>Carex</i>	Yellow Blossom	5 gallon
GROUNDCOVERS AND PERENNIALS:			
	<i>Anacardium occidentale</i>	Desert Caper	1 gallon
	<i>Anacardium occidentale</i>	Desert Caper	1 gallon
	<i>Anacardium occidentale</i>	Desert Caper	1 gallon
	<i>Anacardium occidentale</i>	Desert Caper	1 gallon
	<i>Anacardium occidentale</i>	Desert Caper	1 gallon
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	<i>Anacardium occidentale</i>	Desert Caper	1 gallon
	<i>Anacardium occidentale</i>	Desert Caper	1 gallon
	<i>Anacardium occidentale</i>	Desert Caper	1 gallon
	<i>Anacardium occidentale</i>	Desert Caper	1 gallon



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew

Certified Real Estate Specialist

Sean B. Lake

Reese L. Anderson

August 30, 2021

NOTICE OF PUBLIC MEETING DESIGN REVIEW BOARD

Meeting Date: Tuesday, September 14, 2021
Time: 4:30 p.m.
Location: Virtual and In-Person Meeting held at the City Council Chambers (lower level) 57 E. 1st Street, Mesa, AZ 85201 (see below online participation instructions)
Request: Review by the Design Review Board of a proposed master planned industrial business park development.
Address: Southwest corner of Sossaman Road and Warner Road (112± acres). (District 6)
Parcel Number: 304-30-010E
Case #: DRB21-00544
*Call Planning Division to verify date and time (480) 644-4273

Dear Neighbor:

Pew & Lake, PLC, on behalf of our client, Contour RE, is providing notice of its application to the City of Mesa for Design Review approval for a master planned industrial business park development on the approximately 112 acres located at the southwest corner of Sossaman Road and Warner Road. This letter is being sent to all neighboring property owners within 500 feet of the boundaries of the proposed development site as required by the Planning Division. You are invited to attend a work session of the Design Review Board at the date, time, and place above and provide any input you may have regarding this proposal. Enclosed with this letter are copies of the site plan and elevations.

The Design Review Board reviews building design, landscape plans, parking layout and site layout. The Design Review Board does not review or discuss the actual use of the land (such as gas station, apartments or office building). Those issues are typically addressed by the Planning and Zoning Board, City Council or other public input processes.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be listened to by calling **888-788-0099** or **877-853-5247 (toll free)** using meeting **ID 530 123 2921** and following the prompts. The meeting may also be watched via a video conferencing platform at the following link: <https://mesa11.zoom.us/j/5301232921>.

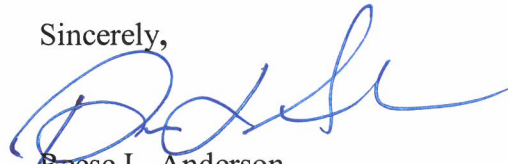
If you want to provide a written comment or speak telephonically at the meeting, **at least 1 hour prior to the start of the meeting, please submit an online comment card** at the following link:

<https://www.mesaaz.gov/government/advisory-boards-committees/board-of-adjustment/online-meeting-comment-card>.

If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call the same number: **888-788-0099** or **877-853-5247 (toll free)** using meeting **ID 530 123 2921** and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak. For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

If you have any questions regarding this proposal, please contact our office at 480-461-4670. The City of Mesa has assigned this case to Cassidy Welch, a member of the Planning Division staff. She can be reached at 480-644-2591 or at Cassidy.Welch@mesaaz.gov should you have any questions regarding the public meeting process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

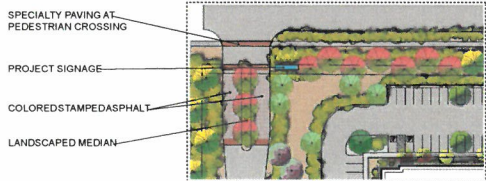


Reese L. Anderson
PEW & LAKE, PLC

Enclosures

CONCEPTUAL LANDSCAPE PLAN

PLANT MATERIAL SCHEDULE



LANDSCAPE CALCULATIONS:

TREE REQUIREMENTS STREET FRONTAGE - 2,700 LINEAR FEET (LF)

QTY	Required	% Provided
Total Trees	225	1 @ 2"
Total Shrubs	1,300	6 Per Tree

NOTE: Includes 202 Foliage

TREE REQUIREMENTS PERIMETER (ADJACENT PROPERTY) - 4,100 LINEAR FEET

QTY	Required	% Provided
Total Trees	138	3 @ 120'
Total Shrubs	820	20 @ 100'

NOTE: 3 Trees and 20 shrubs per 100 LF

TREE REQUIREMENTS BUILDING FOUNDATION - 10,300 LINEAR FEET

QTY	Required	% Provided
Total Trees	257	1 @ 50'

NOTE: Includes trees within 30' buffer

TREE REQUIREMENTS PARKING

QTY	Required	% Provided
Total Trees	230	1 tree per island 1 tree per island
Total Shrubs	690	3 per tree 3 per tree

NOTE: Planting island every 8 spaces, with 1 tree and 3 shrubs

STREET FRONTAGE TREES BY SIZE / PERCENTAGE

QTY	% Required	% Provided
Total Trees	225	
15 gal	57	25%
24" bar	112	50%
36" bar	56	25%

PERIMETER (ADJACENT PROPERTY) TREES BY SIZE / PERCENTAGE

QTY	% Required	% Provided
Total Trees	138	
15 gal	69	50%
24" bar	69	50%
36" bar		

FOUNDATION TREES BY SIZE / PERCENTAGE

QTY	% Required	% Provided
Total Trees	257	
15 gal		
24" bar	231	90%
36" bar	26	10%

PARKING TREES BY SIZE / PERCENTAGE

QTY	% Required	% Provided
Total Trees	230	
15 gal		
24" bar	207	90%
36" bar	23	10%

AMOUNT OF COMMON OPEN SPACE CALCULATIONS:

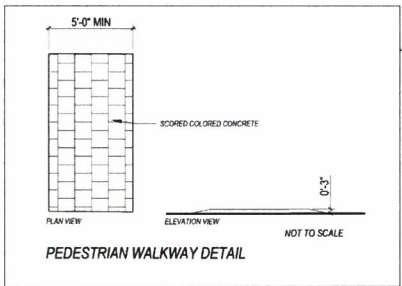
Non Retention	50,000 SF
Retention	492,500 SF
GFA	1,881,878 SF

% Required: 1%

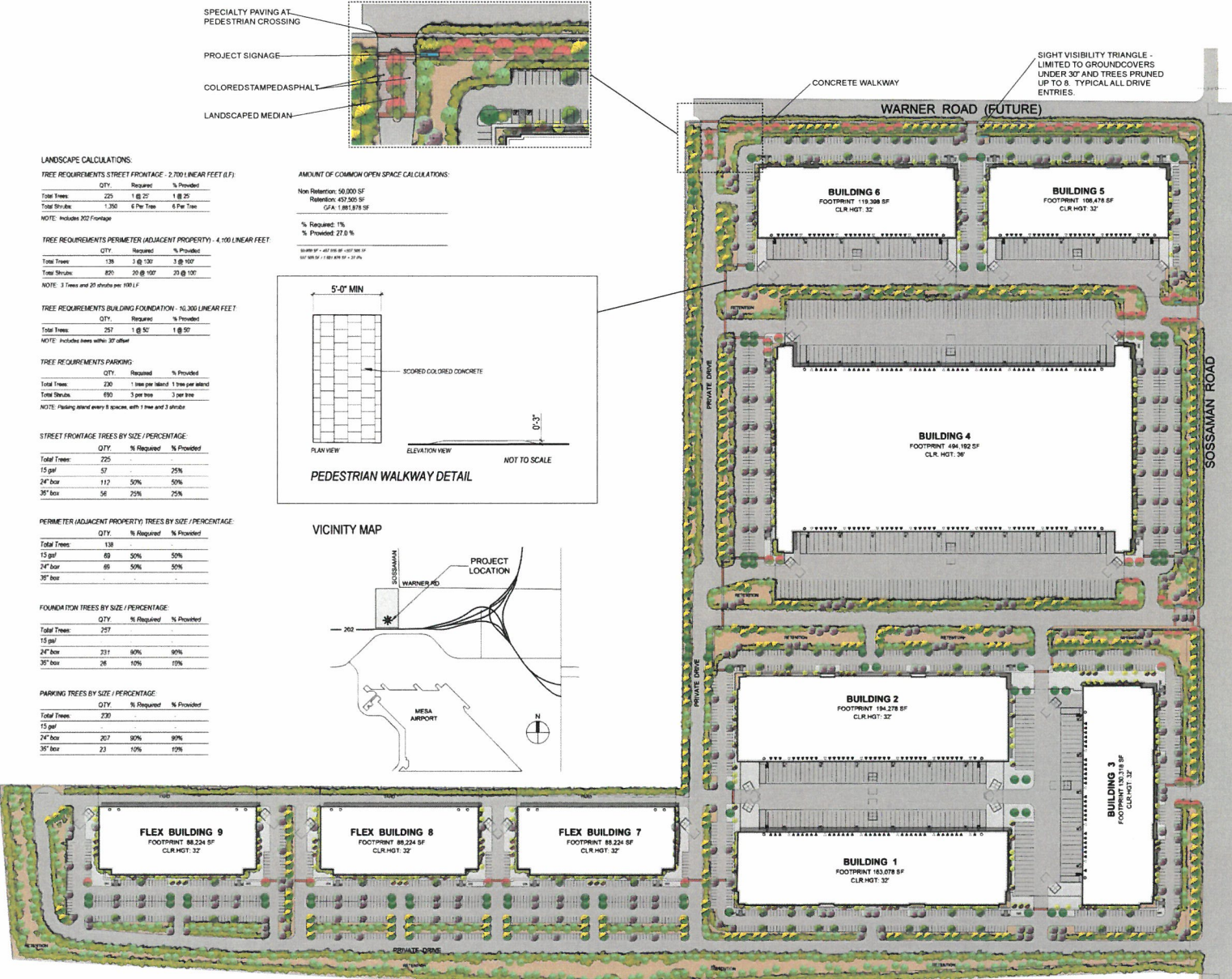
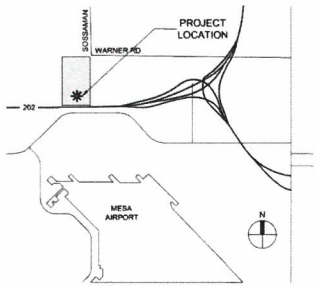
% Provided: 27.0%

50,000 SF / 1,881,878 SF = 2.7%

492,500 SF / 1,881,878 SF = 27.0%



VICINITY MAP



SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
	<i>Patheca chamea</i>	Red Palm	15 gal box
	<i>Rajl Palm</i>	Red Palm	24" bar
	<i>Rajl Palm</i>	Red Palm	36" bar
	<i>Casiphanes minor</i>	Mexican Bird of Paradise	15 gal
	<i>Chilibe Santalensis</i>	Chilibe	15 gal box
	<i>Chilibe</i>	Chilibe	24" bar
	<i>Chilibe</i>	Chilibe	36" bar
	<i>Palmrose Thomasia</i>	Desert Museum Palo Verde	15 gal box
	<i>Thomasia</i>	Desert Museum Palo Verde	24" bar
	<i>Thomasia</i>	Desert Museum Palo Verde	36" bar
	<i>Chionoxanthus</i>	Low Clab	15 gal box
	<i>Low Clab</i>	Low Clab	24" bar
	<i>Low Clab</i>	Low Clab	36" bar
	<i>Prosopis chilianensis</i>	Thornless Chilian Mesquite	15 gal box
	<i>Thornless Chilian Mesquite</i>	Thornless Chilian Mesquite	24" bar
	<i>Thornless Chilian Mesquite</i>	Thornless Chilian Mesquite	36" bar
	<i>Ulmus Parviflora</i>	Evergreen Elm	15 gal box
	<i>Evergreen Elm</i>	Evergreen Elm	24" bar
	<i>Evergreen Elm</i>	Evergreen Elm	36" bar
	<i>Sophora secundiflora</i>	Texas Mountain Laurel	15 gal
CACTI, SHRUBS, AND ACCENTS			
	<i>Abies Borealis</i>	Abies - Yellow Bloom	5 gallon
	<i>Abies</i>	Abies - Yellow Bloom	5 gallon
	<i>Carnegiea gigantea</i>	Saguaro	8' Spacer
	<i>Diospyros elaeagnifolia</i>	Desert Spoon	5 gallon
	<i>Desert Spoon</i>	Desert Spoon	5 gallon
	<i>Desert Spoon</i>	Desert Spoon	5 gallon
	<i>Eurohymelea myrsinifolia</i>	Halo Bush	5 gallon
	<i>Vanillina Elm Bush</i>	Vanillina Elm Bush	5 gallon
	<i>Fouquieria splendens</i>	Fouquieria splendens	8' H
	<i>Opuntia echinocarpa</i>	Ocotillo	5 gallon
	<i>Ocotillo</i>	Ocotillo	5 gallon
	<i>Ocotillo</i>	Ocotillo	5 gallon
	<i>Leucophyllum frutescens</i>	Medison Honeycreeper	5 gallon
	<i>Leucophyllum frutescens</i>	Medison Honeycreeper	5 gallon
	<i>Green Cloud Ficus Sage</i>	Green Cloud Ficus Sage	5 gallon
	<i>Muhlenbergia capillaris 'Rugel Alter'</i>	Muhlenbergia capillaris 'Rugel Alter'	5 gallon
	<i>Rugel Alter</i>	Rugel Alter	5 gallon
	<i>Queen's Wrath Vine</i>	Queen's Wrath Vine	5 gallon
	<i>Antigon leptopus</i>	Antigon leptopus	5 gallon
	<i>Ruellia americana</i>	Ruellia americana	5 gallon
	<i>Ruellia americana</i>	Ruellia americana	5 gallon
	<i>Sawtooth Chionoxanthus</i>	Sawtooth Chionoxanthus	8 gallon
	<i>Johbe</i>	Johbe	5 gallon
	<i>Tacoma hybrid 'Orange Jubilee'</i>	Tacoma hybrid 'Orange Jubilee'	5 gallon
	<i>Orange Jello</i>	Orange Jello	5 gallon
	<i>Asplenium adnigrum</i>	Asplenium adnigrum	5 gallon
	<i>Desert Milkweed</i>	Desert Milkweed	5 gallon
	<i>Agave Americana 'Margaret'</i>	Agave Americana 'Margaret'	5 gallon
	<i>Variegated American Century Plant</i>	Variegated American Century Plant	5 gallon
	<i>Newman shrub 'Patio Dwarf'</i>	Newman shrub 'Patio Dwarf'	5 gallon
	<i>Potted Red Chionoxanthus</i>	Potted Red Chionoxanthus	5 gallon
	<i>Boulevard gracilis</i>	Boulevard gracilis	5 gallon
	<i>Blue Gramin</i>	Blue Gramin	5 gallon
	<i>Hesperaloe parviflora</i>	Hesperaloe parviflora	5 gallon
	<i>Carr's Hesperaloe</i>	Carr's Hesperaloe	5 gallon
	<i>Carr's Hesperaloe</i>	Carr's Hesperaloe	5 gallon
	<i>Yellow Bird of Paradise</i>	Yellow Bird of Paradise	5 gallon
GROUNDCOVERS AND PERENNIALS:			
	<i>Anemone multifida</i>	Desert Carpet Anemone	1 gallon
	<i>Desert Carpet Anemone</i>	Desert Carpet Anemone	1 gallon
	<i>Daisy fringed</i>	Fringed Daisy	1 gallon
	<i>Fringed Daisy</i>	Fringed Daisy	1 gallon
	<i>Hymenocallis acutiloba</i>	Hymenocallis acutiloba	1 gallon
	<i>Angella Daisy</i>	Angella Daisy	1 gallon
	<i>Lantana New Gold</i>	Lantana New Gold	1 gallon
	<i>New Gold Lantana</i>	New Gold Lantana	1 gallon
	<i>Penstemon multifidus</i>	Penstemon multifidus	1 gallon
	<i>Fringed Penstemon</i>	Fringed Penstemon	1 gallon
	<i>Cottonwood vine 'Little John'</i>	Cottonwood vine 'Little John'	1 gallon
	<i>Little John Bottle Bush</i>	Little John Bottle Bush	1 gallon
ROCK & CH:			
	<i>1 1/2" Screened 'Banksia Fe Slide'</i>	1 1/2" Screened 'Banksia Fe Slide'	
	<i>2" chips in all landscape areas</i>	2" chips in all landscape areas	



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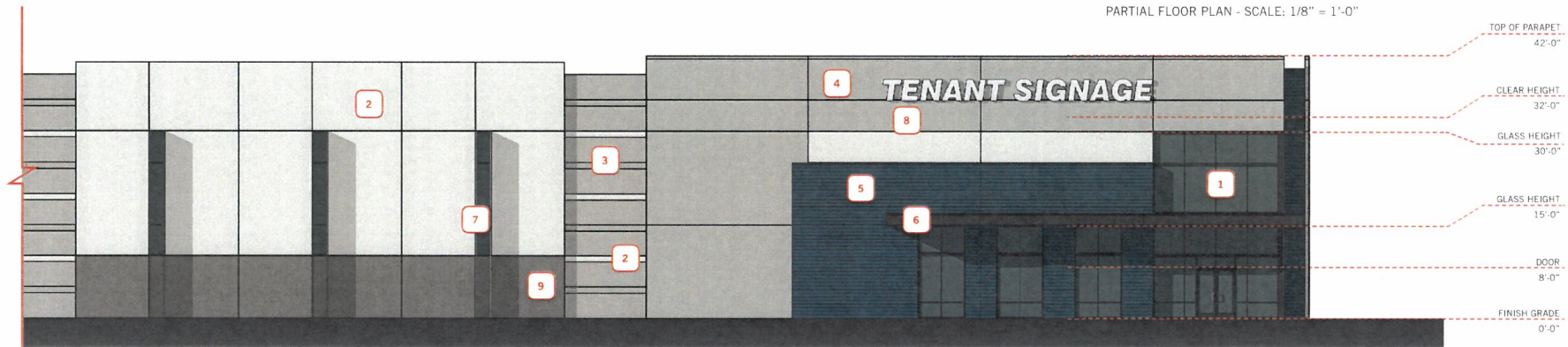
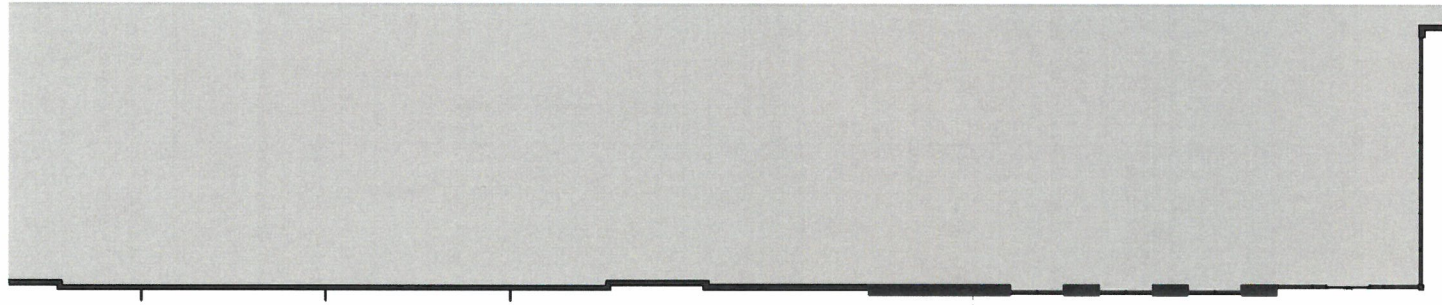
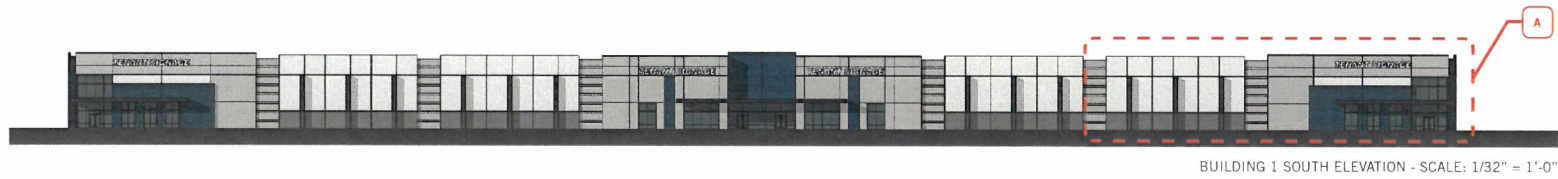


BUILDING 2 CORNER RENDERING
 SOSSAMAN 202 INDUSTRIAL PARK
 MESA, ARIZONA - PHX21-0009-00

WARE MALCOMB

05.28.2021

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A: PARTIAL SOUTH ELEVATION - SCALE: 1/8" = 1'-0"

KEYNOTES

- | | | | | |
|--|--|---|---|--|
| <p>1 BLACK ANODIZED ALUMINUM STOREFRONT SYSTEM W/ HIGH PERFORMANCE INSULATED GLAZING</p> <p>2 CONCRETE TILT - UP PANEL WITH REVEALS AS SHOWN, PAINTED: SHERWIN WILLIAMS: SNOWBOUND - SW 7004</p> | <p>3 CONCRETE TILT - UP PANEL WITH REVEALS AS SHOWN, PAINTED: SHERWIN WILLIAMS: MINDFUL GRAY - SW 7016</p> <p>4 CONCRETE TILT - UP PANEL WITH REVEALS AS SHOWN, PAINTED: SHERWIN WILLIAMS: ARGOS - SW 7065</p> | <p>5 CONCRETE FORMLINER - UP PANEL WITH REVEALS AS SHOWN, PAINTED: SHERWIN WILLIAMS: INDIGO BATIK - SW 7602</p> <p>6 CHANNEL BEAM CANOPY TO MATCH STOREFRONT MULLIONS</p> | <p>7 METAL FIN SHADE DETAIL (INSIDE FACE), TO MATCH SHERWIN WILLIAMS: INDIGO BATIK - SW 7602, OUTSIDE FACE TO MATCH CITYSCAPE - SW 7067</p> <p>8 TENANT SIGNAGE</p> | <p>9 CONCRETE TILT - UP PANEL WITH REVEALS AS SHOWN, PAINTED: SHERWIN WILLIAMS: GAUNTLET GRAY - SW 7019</p> <p>10 DRIVE IN DOORS, DOCK DOORS AND MAN DOORS TO MATCH: SHERWIN WILLIAMS: CITYSCAPE - SW 7067</p> |
|--|--|---|---|--|



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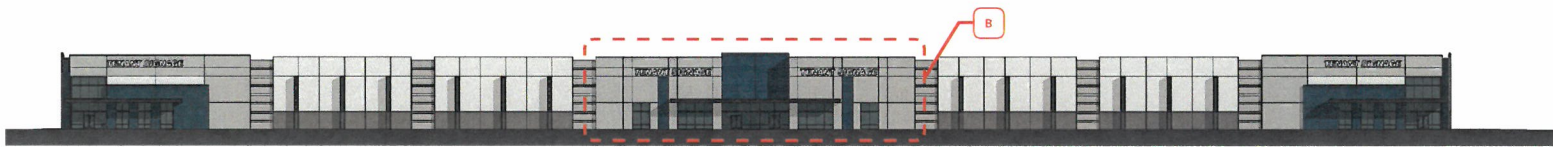


BUILDING 1: SOUTH ELEVATION
 SOSSAMAN 202 INDUSTRIAL PARK
 MESA, ARIZONA - PHX21-0009-00

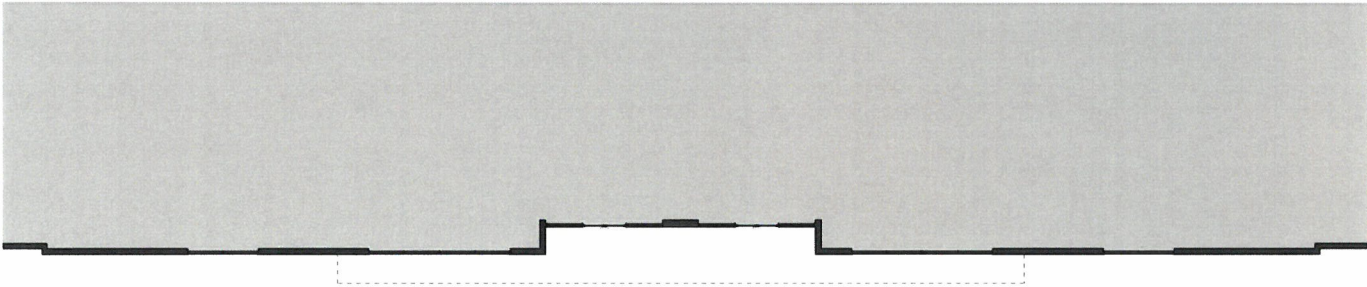
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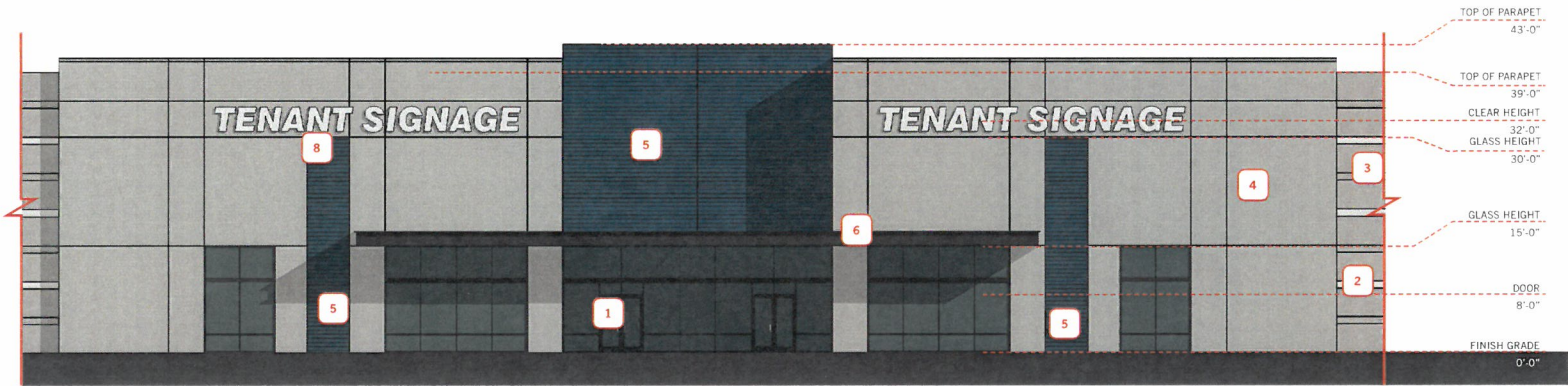
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BUILDING 2 NORTH ELEVATION - SCALE: 1/32" = 1'-0"



PARTIAL FLOOR PLAN - SCALE: 1/8" = 1'-0"



B: BUILDING 2 - PARTIAL NORTH ELEVATION - SCALE: 1/8" = 1'-0"

KEYNOTES

- 1 BLACK ANODIZED ALUMINUM STOREFRONT SYSTEM W/ HIGH PERFORMANCE INSULATED GLAZING
- 2 CONCRETE TILT - UP PANEL WITH REVEALS AS SHOWN, PAINTED: SHERWIN WILLIAMS: SNOWBOUND - SW 7004
- 3 CONCRETE TILT - UP PANEL WITH REVEALS AS SHOWN, PAINTED: SHERWIN WILLIAMS: MINDFUL GRAY - SW 7016
- 4 CONCRETE TILT - UP PANEL WITH REVEALS AS SHOWN, PAINTED: SHERWIN WILLIAMS: ARGOS - SW 7065
- 5 CONCRETE FORMLINER - UP PANEL WITH REVEALS AS SHOWN, PAINTED: SHERWIN WILLIAMS: INDIGO BATIK - SW 7602
- 6 CHANNEL BEAM CANOPY TO MATCH STOREFRONT MULLIONS
- 7 METAL FIN SHADE DETAIL (INSIDE FACE), TO MATCH SHERWIN WILLIAMS: INDIGO BATIK - SW 7602, OUTSIDE FACE TO MATCH CITYSCAPE - SW 7067
- 8 TENANT SIGNAGE
- 9 CONCRETE TILT - UP PANEL WITH REVEALS AS SHOWN, PAINTED: SHERWIN WILLIAMS: GAUNTLET GRAY - SW 7019
- 10 DRIVE IN DOORS, DOCK DOORS AND MAN DOORS TO MATCH: SHERWIN WILLIAMS: CITYSCAPE - SW 7067



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BUILDING 2: NORTH ELEVATION
 SOSSAMAN 202 INDUSTRIAL PARK
 MESA, ARIZONA - PHX21-0009-00

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05.28.2021

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500' Prop Owner Map

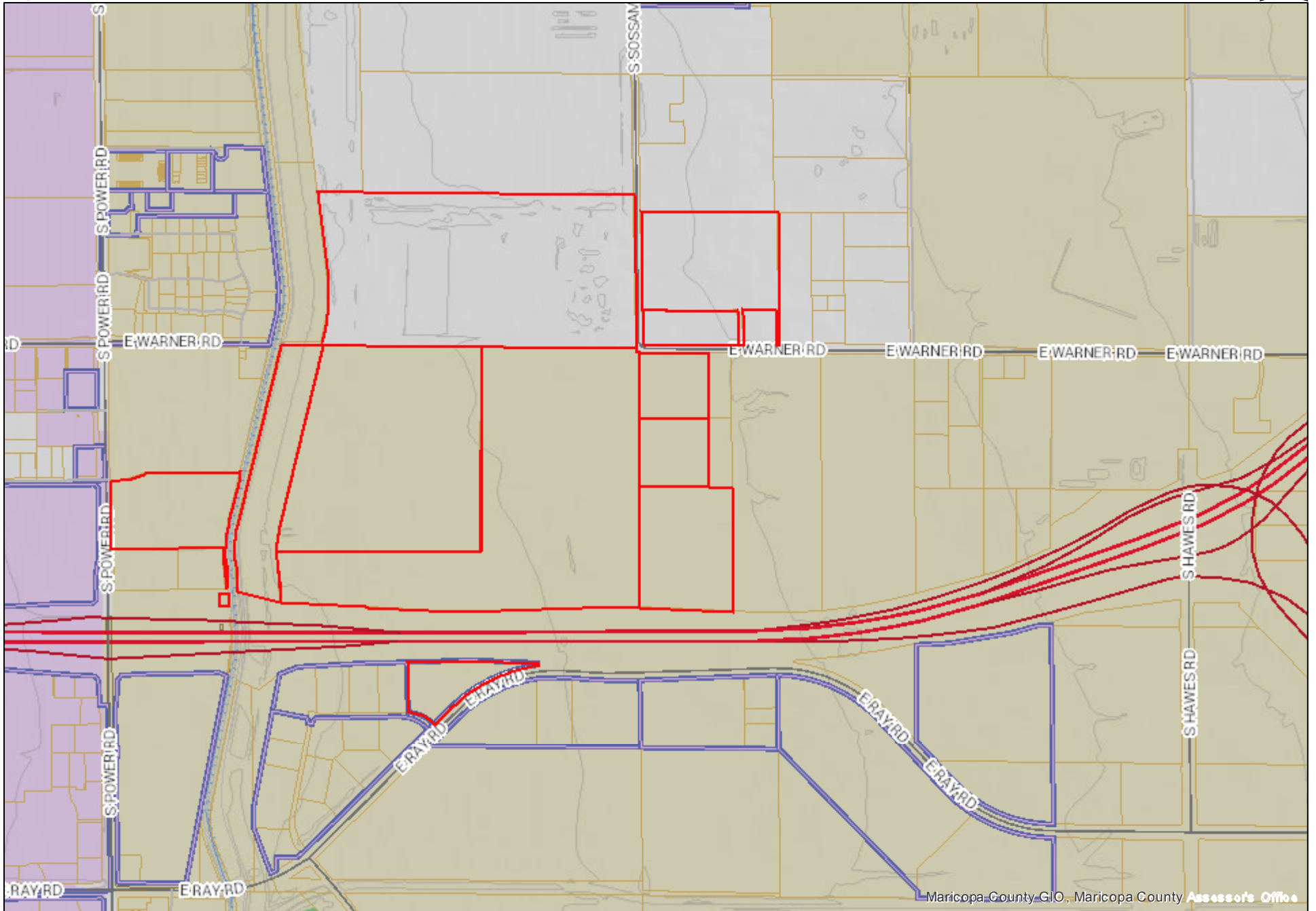


Exhibit G: List of property owners within 500 ft. of the subject property, Neighborhood Associations within 1 mile of the project, HOAs within ½ mile of the property, and all attendees at the neighborhood meeting

Owner	MAIL_ADDR1	MAIL_CITY	MAIL_STATE	MAIL_ZIP
ALI ADVISOR INC (PROB. DEED/LEGAL)	2999 N 44TH ST STE 100	PHOENIX	AZ	85018
BREEN CHILDREN 2012 IRREVOCABLE TRUST III	3 CHARTER OAK PL	HARTFORD	CT	6106
DREAM 11 LLC	1962 N HIGLEY RD	MESA	AZ	85205
ROOSEVELT WATER CONS DIST 5239	PO BOX 100	HIGLEY	AZ	85236
STRUCTURES INVESTMENT LLC	2378 E GUADALUPE RD	GILBERT	AZ	85234
T GOLDEN FOUNDATION	1425 S HIGHLEY RD SUITE 106	GILBERT	AZ	85296
TALMAGE J LLC	3616 E TREMAINE CT	MESA	AZ	85234
THE DALE C MORRISON TRUST	11201 TATUM BLVD STE 330	PHOENIX	AZ	85028
TONTO CORP	2006 OLD HIGHWAY 395	FALLBROOK	CA	92028



CITY OF MESA
PUBLIC NOTICE
ZONING HEARING

PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

TIME: 4:00 PM DATE: September 22, 2021
CASE: ZON21-00543

REQUEST: Rezone from LI and AG to LI-PAD;
and Site Plan Review. This request will allow for
the development of an industrial business park.

APPLICANT: Reese Anderson, Pew & Lake PLC
PHONE: 480-461-4670

Planning Division 480-644-2385

Posting date: 9/08/2021

9/8/21 06:32:43

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

To be submitted to the Planning Division by _____, 2021

Date: September 8th, 2021

I, Maria Hitt, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to ZON21-00543 (case number), on the 8th day of September, 2021. The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant's/Representative's signature: Maria Hitt

SUBSCRIBED AND SWORN before me this 8th day of September, 2021

Mary Beth Conrad
Notary Public

