

## **ARCHITECTURAL DESIGN GUIDELINES**

---

These Architectural Design Guidelines are intended to serve interested lot developers, tenants, and their design teams with general design criteria for the project. These Guidelines shall be considered and implemented, and written approval issued by the City of Mesa. These Guidelines shall be used by the City of Mesa for projects submitted for Design Review Approval.

### **1.1 Architectural Design**

An overall architectural design theme will be specified for the development with the first phase of site development. The enclosed elevations present an attractive well-defined project using material and colors that present a unique modern solution and reflects the character of the current projects under construction across E. Ray Road, please refer to Exhibits 1-5. While these guidelines present a theme, the architectural standards for the development are intended to stimulate creative architectural solutions for each building. The goal of the architectural standards is to encourage a variety of architectural styles while prescribing certain elements and materials that will provide architectural identity and harmony throughout the development.

### **1.2 Architectural Character**

Architectural embellishments and detailing such as textural changes, piers, pilasters, offsets, recesses, and color combinations shall be encouraged to create interesting building facades that provide character to large buildings, provide identity to the building and building entrances, and create a sense of human scale and comfort. Please refer to Exhibits 6-8 for a collection of similar project illustrations that exemplify potential architectural enhancements.

### **1.3 Property Owners Association / CCR's**

The Owner may create a Property Owners Association (POA) that will enforce the covenants, conditions, and restrictions (CCR's) to be recorded with the Final Plat for the first phase of site development. The primary function of the HOA will be to manage and maintain the common area amenities associated with these two structures.

Owner/Developer shall initially maintain Common Areas within the Project and any improvements thereon. At such time as the POA is created, the Owner/Developer may transfer Common Area maintenance responsibilities to the POA, who shall perform such duties pursuant to the Project Covenants. All common area improvements installed with any phase of development may remain the responsibility of the POA. In addition, the POA may serve as the Architectural Design Committee (ADC) to establish pre-development design criteria for the Project's architecture and site improvements. The POA may discuss and review expectations for building architecture, site improvements, landscaping and screening requirements. The ADC will complete its initial review

of a project's preliminary design concepts prior to their application for Site Plan approval through the City of Mesa.

#### **1.4 Roof Mounted Mechanical Equipment**

All roof mounted mechanical equipment shall be screened from public view by building parapets. Roof mounted mechanical units shall be painted to match the roof/building color. Roof-mounted equipment screening shall be constructed as an encompassing monolithic unit, rather than as several individual screens (i.e., multiple equipment screens, or "hats," surrounding individual elements shall not be permitted). The height of the screening element shall equal or exceed the height of the structure's tallest piece of installed equipment.

#### **1.5 Building Material**

A wide variety of building materials may be used to create the architectural detailing referred to above. Exterior walls shall use a combination of materials and colors to create interesting building elevations that continue and enhance the theme of the project architecture. The front elevation shall be further defined by building offsets, recessed panels, glass curtain walls or storefronts as appropriate, change in color and materials, etc., or equivalent as approved by the City of Mesa during the Design Review approval process. All buildings located within this project shall be architecturally styled to achieve harmony and continuity of design. Building elevations shall be coordinated with regard to color, texture, materials, finishes, and form. All signage shall be integrated into the building design. Side and rear walls of buildings or structures shall be coordinated with the front walls and those publicly visible portions of the side walls.

#### **1.6 Color Coordination**

All exterior colors, materials, and finishes for the principal structure must incorporate "earth tones" to achieve design conformity. Accent features may incorporate other colors, materials, and finishes used to express unique design elements, corporate logos, and/or color.

#### **1.7 Loading Areas**

All loading areas and loading docks shall be screened from adjacent streets as follows:

- a. For distribution facilities, all truck loading or loading docks shall not face public streets. Distribution/warehouses shall screen street views from E. Ray Road by incorporating a combination of eight-foot (8') screen walls and tree massing spaced to effectively screen the truck court.

Outdoor storage yards for equipment and/or materials shall not be permitted unless such storage is an integral part of the primary operation, is visually screened, and located towards the rear half of the property. These storage areas must be screened from street view by an architectural feature of

the building or by a combination of a continuous block wall, minimum of six feet (6') in height and landscape buffer consisting of non-deciduous trees placed 25' oc.

### **1.8 Refuse Collection Areas**

All outdoor refuse facilities shall be visually screened from streets and adjacent property. These refuse facilities shall have minimum six feet (6') high screen walls that use the same or similar material as the primary structure. Gates shall be a solid material designed to screen views and shall follow the project's design theme.

## **2. LANDSCAPE THEME**

A Master Landscape Theme has been designed for both the project's perimeter streetscape and typical conditions on-site. Proposed landscape standards for the project will equal or exceed the size and quantities of plant material referenced in the Mesa Zoning Ordinance. Details of the proposed landscape theme with layout, quantities, and sizes of plant material will be submitted for review and approval for each development when submitted for Site Plan Approval. The landscape plans and details in the PAD are conceptual only and may be modified as approved by the City. The goals for the project landscape include the following:

- Create an attractive low water landscape that presents a lush and distinctive landscape, enhancing the perimeter streetscape with the interior development parcels.
- Allow for the spacing and concentration of required quantities to create view corridors into the Property and at strategic locations based on the location's architectural features. Where public viewing needs to be screened, concentrate a mix of deciduous and non-deciduous
- Design hardscape features and site furniture that can blend with the proposed architecture in a meaningful and complementary manner.
- Design common area open spaces that enhance the entrance experience, yet extend that theme throughout the Project.
- Design the project landscape within the common area open spaces to make the pedestrian network highly visible and convenient with shade.
- Plant material selected for color, texture, scale, and seasonal flowering placed in a thematic pattern can reinforce the landscape theme throughout the project.

**2.1 Streetscape**

The 'streetscape' for this PAD and the Property is focused on the Ray Road frontage. A project identity sign/monument will be constructed at the main access drive to establish sense of place for users and guests and to provide direction for truck traffic. The building material and colors used for the monument will complement the project architecture for material selection and color. This monument will serve as a project identity feature and potentially list the other users within the Property. A new landscape will compliment this entry monument to frame its line of sight. This main entrance drive will provide the primary access leading users, employees, and guests into the various projects and interior access drives. Street trees will be spaced to accentuate the route. Landscaped areas along street frontages shall be contoured or berms placed to provide variations in grade, visual relief, parking lot screening.

In order to present a streetscape that is generally consistent in appearance throughout the development, plant material shall be selected from the Master Plant Schedule in quantities that may exceed the City's standard for quantity and size. Landscaped areas along street frontages shall be contoured or will incorporate berms to provide variations in grade, visual relief, and to screen parking areas. All on-site parking areas shall be screened from street view by a landscaped berm or decorative wall not less than three (3) feet in height. Loading bays shall also be screened by a combination of walls and tree massing. Individual development projects will use the Master Landscape Theme as the basis for design, but are encouraged to enhance solutions to highlight a unique development theme.

The size and quantities of plant material shall meet and exceed the landscape standards in Chapter 33 of the Mesa Zoning Ordinance and the Engineering Design Standards for public streets with minimum heights and caliper as recommended by the Arizona Nurseryman's Association (ANA). Details of the landscape theme and layout with quantities and sizes of plant material will be resolved with Design Review Approval. Site visibility shall be in accordance with the standards established by Chapter 30-14 of the zoning ordinance.

**2.2 MASTER PLANT SCHEDULE:****Trees:**

1. Desert Willow/ *Chilopsis Linearis* (species)
2. Palo Verde/ *Parkinsonia* (species)
3. Ironwood/ *Olneya Tesota*
4. Thornless Mesquite/ *Prosopis* (species)
5. Texas Mountain Laurel/ *Sophora Secundiflora*
6. Acacia – Willow, Sweet-Podless, Mulga, Palo Blanco/ *Acacia* (species)
7. Swan Hill Olive/ *Olea europaea* "Swan Hill"
8. Date Palm/ *Phoenix* (species)
9. Texas Ebony/ *Ebenopsis ebano*
10. Evergreen Elms/ *Ulmus* (species)
11. Pistachio/ *Pistacia* (species)
12. Heritage Oak/ *Quercus virginiana*

**Shrubs:**

13. Desert Milkweed/ *Asclepias Subulata*
14. Fairy Duster/ *Calliandra* (species)
15. Cassia/ *Cassia* species
16. Little Leaf Cordia/ *Cordia Parvifolia*
17. Black Dalea/ *Dalea Frutescens*
18. Brittlebush/ *Encelia Farinosa*
19. Turpentine Bush/ *Ericameria Lacricifolia* 'Aguirre'
20. Desert Honeysuckle/ *Anisacanthus Thurberi*
21. Chuparosa/ *Justicia californica*
22. Mexican Honeysuckle/ *Justicia Spicigera*
23. Arabian Jasmine/ *Jasminum sambac*
24. Texas Sage/ *Leucophyllum* (species)
25. Penstemon/ *Penstemon* (species)
26. Jojoba/ *Simmondsia Chinensis*
27. Globemallow/ *Sphaeralcea* (species)
28. Goldeneye/ *Viguiera Parishii*
29. Hopseed Bush/ *Dodonaea Viscosa*
30. Eremophila/ *Eremophila* (species)
31. Candelilla/ *Euphorbia Antisyphilitca*
32. Hibiscus/ *Gossypium* (species)
33. Desert Lavender/ *Hyptis Emoryi*
34. Ruellia/ *Ruellia* (species)
35. Sage/ *Salvia* (species)
36. Tecoma/ *Tecoma* (species)

**Accents**

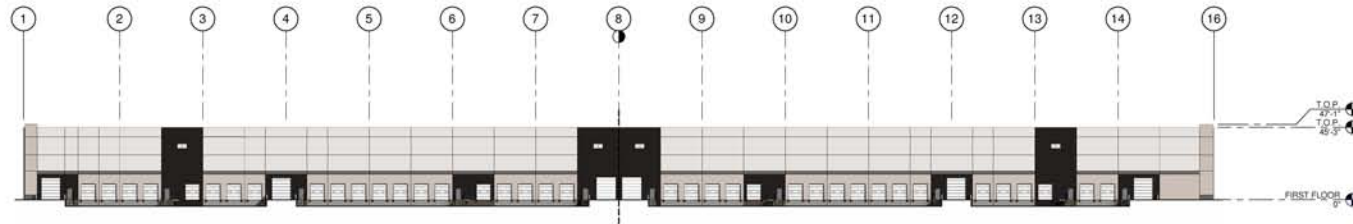
37. Agave/ *Agave* (species)
38. Saguaro/ *Carnegia Gigantea*
39. Desert Spoon/ *Dasyliirion Wheeleri*
40. Barrell Cactus/ *Ferocactus* (species)
41. Ocotillo/ *Fouqieria Splendens*
42. Yucca/ *Hesperaloe* (species)
43. Muhlenbergia/ *Muhlenbergia* (species)
44. Nolina/ *Nolina* (species)
45. Night Blooming/ *Cereus Peniocereus Greggii*
46. Aloe/ *Aloe* (species)
47. Cereus/ *Cereus* (species)
48. Golden Barrell Cactus/ *Enchinocactus Grusonii*
49. Gopher Plant/ *Euphorbia Rigida*
50. Totum Pole Cactus/ *Lophocereus* (species)
51. Slipper Plant/ *Pedilanthus Marcarpus*
52. Organ Pipe Cactus/ *Stenocereus Thrubei*

**Vines**

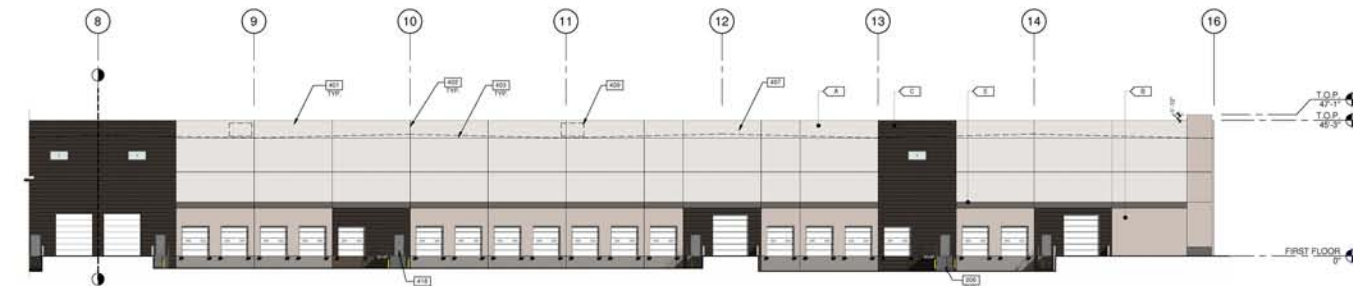
53. Purple Orchid Vine/ Mascangnia Lilacania
54. Trumpet Vine/ Podranea (species)
55. Creeper Vine/ Parthenocissus (species)
56. Fig Vine/ Ficus (species)
57. Bougainvilla/ Bougainvilla (species)

**Groundcover**

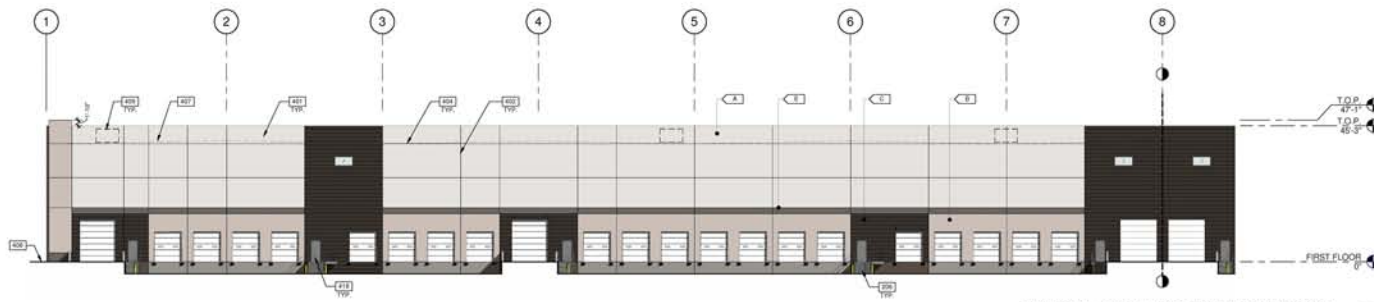
58. Desert Marigold/ Bailea Multiradiata
59. Blackfoot Daisy/ Melampodium Leucanthum
60. Trailing Indigo Bush/ Dalea Greggii
61. Desert Carpet Acacia/ Acacia Redolens (species)
62. Damianta/ Chrysactinia Mexicana
63. Outback Sunrise Emu/ Eremophila glabra 'Mingenew Gold
64. Natal Plum/ Carissa Grandiflora (species)
65. Trailing Rosemary/ Rosmarinus (species)
66. Bermuda Grass/ Cynodon (species)
67. Lantana/ Lantana (species)



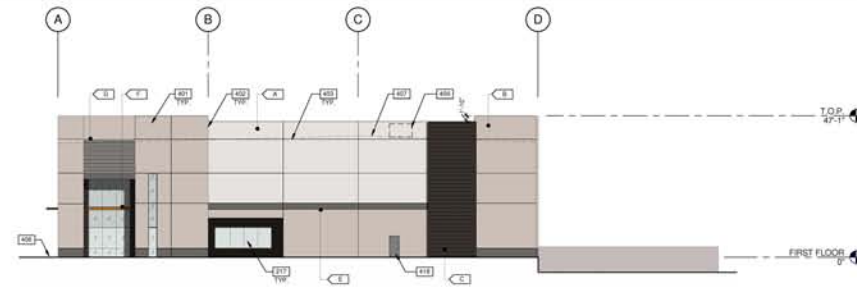
OVERALL EAST EXTERIOR ELEVATION 1



PARTIAL EAST EXTERIOR ELEVATION 2



PARTIAL EAST EXTERIOR ELEVATION 3



OVERALL SOUTH EXTERIOR ELEVATION 4

- NOTES:**
- 200 EXTERIOR STEEL STAIR, BOLTED TO TILT FRAME, GRADE RAISE WALL
  - 217 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS
  - 401 CONCRETE WALL, PAINTED
  - 402 CONCRETE WALL, JOINT
  - 403 1/2" W. REFRAL.
  - 404 CONCRETE FORM LINER
  - 405 FINISH GRADE, VARIES
  - 407 LINE OF ROOF BEYOND
  - 409 FULLY SCREENED MECHANICAL UNIT BEYOND
  - 419 METAL MAN DOOR, PAINTED

- LEGEND**
- GLASS:
- VISION GLASS
  - TEMPERED GLASS
  - SPANDREL GLASS
- ALL GLASS TO BE PPI AZURA GLAZING IN CLEAR ANODIZED STOREFRONT FRAME

- COLOR LEGEND**
- COLORS:
- FINISHES & 1/2" WIDE PAINT COLOR MATCH UP FULL HEIGHT OF BUILDING FOR OVERSIGHT DETAIL REVIEW.
- A BASE COLOR: DUNK EDWARDS CRYSTAL HAZE D6019
  - B SECONDARY COLOR: DUNK EDWARDS PLATINUM STONE D6015
  - C ACCENT COLOR: DUNK EDWARDS EMPRESSO MATCH-TO-OFFER
  - D ACCENT COLOR: DUNK EDWARDS COAL SHINE D6719
  - E ACCENT COLOR: DUNK EDWARDS BLACK POOL D6913
  - F CANOPY: DUNK EDWARDS SHEET POTATOES DESIG

**WARE MALCOMB**  
Leading design for Commercial Real Estate

Architecture  
Interior Design  
Engineering  
2025 N. Camelback Rd., Suite 100  
Phoenix, AZ 85016  
P: 480.542.2200



**THE LANDING 202**  
EAST RAY ROAD  
GATEWAY MESA, AZ 85212

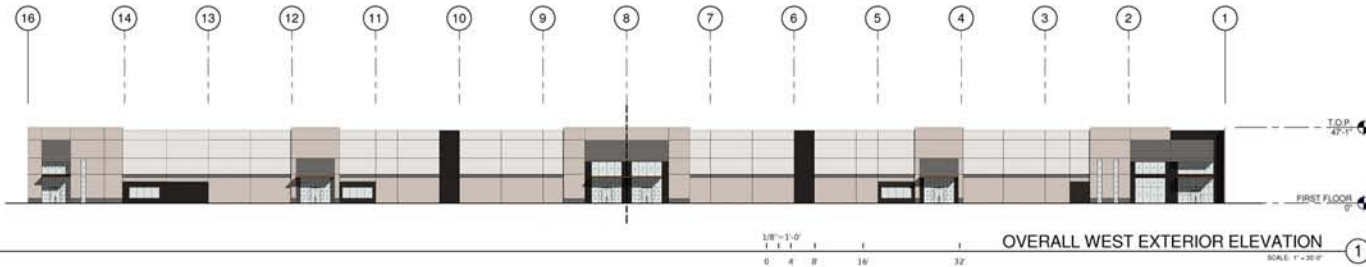
EXTERIOR ELEVATIONS

DATE	DESCRIPTION	REVISION
03/13/2023	ISSUE FOR PERMITS	

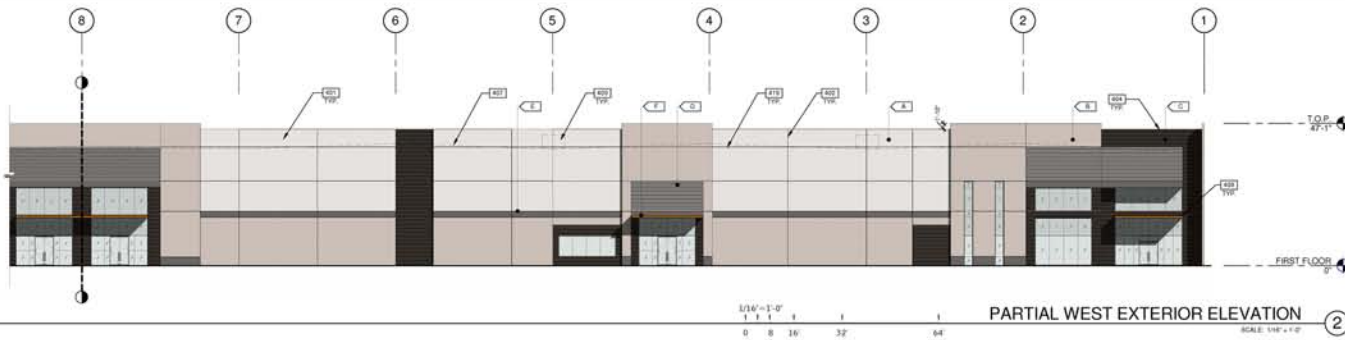
DATE: 03/13/2023  
DRAWN BY: HJE  
JOB NO.: PHN23-013-05

SHEET  
**A4.1**

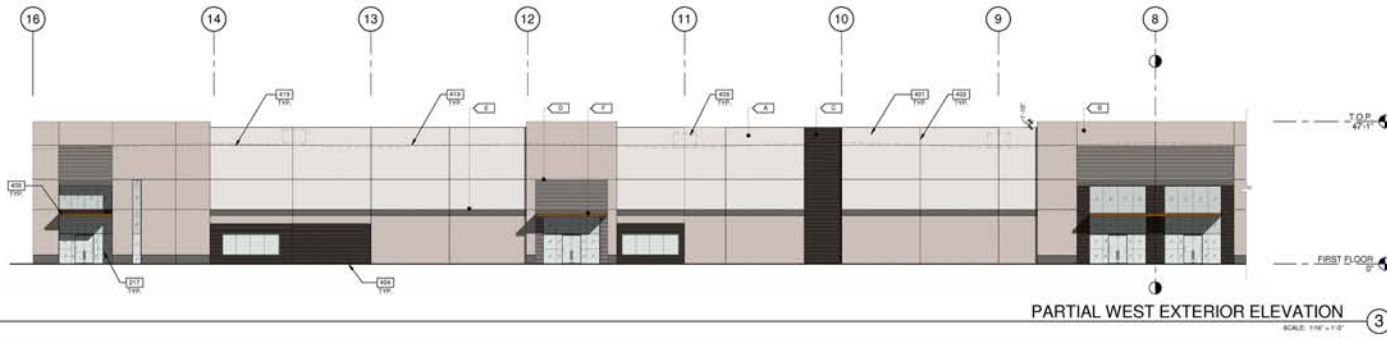
Exhibit 1



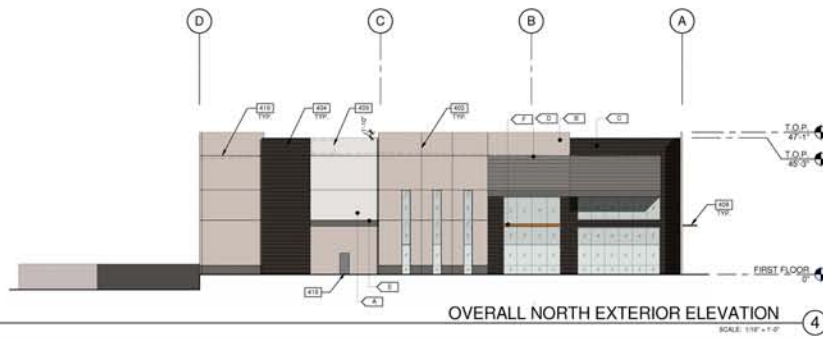
OVERALL WEST EXTERIOR ELEVATION ①



PARTIAL WEST EXTERIOR ELEVATION ②



PARTIAL WEST EXTERIOR ELEVATION ③



OVERALL NORTH EXTERIOR ELEVATION ④

**NOTES:**

- 217 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS
- 401 CONCRETE WALL, PAINTED
- 402 CONCRETE WALL JOINT
- 404 CONCRETE FORM LINE
- 407 LINE OF ROOF BEYOND
- 408 METAL CANOPY - PAINTED
- 409 FULLY SCREENED MECHANICAL UNIT BEYOND
- 415 METAL MAIN DOOR, PAINTED
- 419 5/4" METAL

**LEGEND**

- GLASS:**
- VISION GLASS
  - TEMPERED GLASS
  - SPANDEL GLASS
- ALL GLASS TO BE PPG AZURA GLAZING IN CLEAR ANODIZED STOREFRONT FRAME

**COLOR LEGEND**

- COLORS:**  
 PROVIDE 6" WIDE PAINT COLOR MOOD UP FULL HEIGHT OF BUILDING FOR DIMENSIONALITY REVIEW.
- BASE COLOR: DUAN EDWARDS CRYSTAL HAZE D2619
  - SECONDARY COLOR: DUAN EDWARDS FLINTSTONE D2611
  - ACCENT COLOR: DUAN EDWARDS ESPRESSO MACCHATO D2618
  - ACCENT COLOR: DUAN EDWARDS COAL MINER D2612
  - ACCENT COLOR: DUAN EDWARDS BLACK POOL D2615
  - CANOPY: DUAN EDWARDS SWEET POTATOES D2611

**WARE MALCOMB**  
 Leading Design for Commercial Real Estate

Architecture  
 Planning  
 Graphics  
 Civil Engineering  
 Electrical Engineering  
 Mechanical Engineering  
 Structural Engineering  
 Surveying  
 1411 North 12th  
 Phoenix, AZ 85018  
 P: 602.733.2000  
 F: 602.733.2001  
 W: www.waremalcomb.com



**THE LANDING 202**  
 EAST RAY ROAD  
 GATEWAY MESA, AZ 85212

**EXTERIOR ELEVATIONS**

NO.	DESCRIPTION	DATE
1	Overall West Exterior Elevation	11/15/2017
2	Partial West Exterior Elevation	11/15/2017
3	Partial West Exterior Elevation	11/15/2017
4	Overall North Exterior Elevation	11/15/2017

DATE: 11/15/2017  
 DRAWN BY: H.S.  
 CHECKED BY: E.27107  
 JOB NO.: PHOES0119.00

SHEET  
**A42**



**WARE, MALCOLM**  
 Leading Design for Commercial Real Estate

Architecture  
 Engineering  
 2025 E Camelback Rd, Suite 100  
 Phoenix, AZ 85016  
 P: 480.407.2800



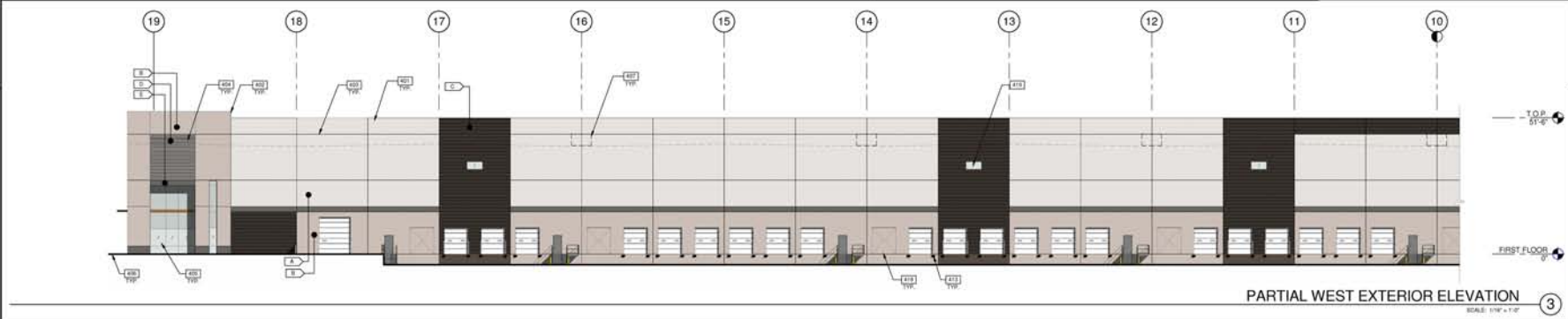
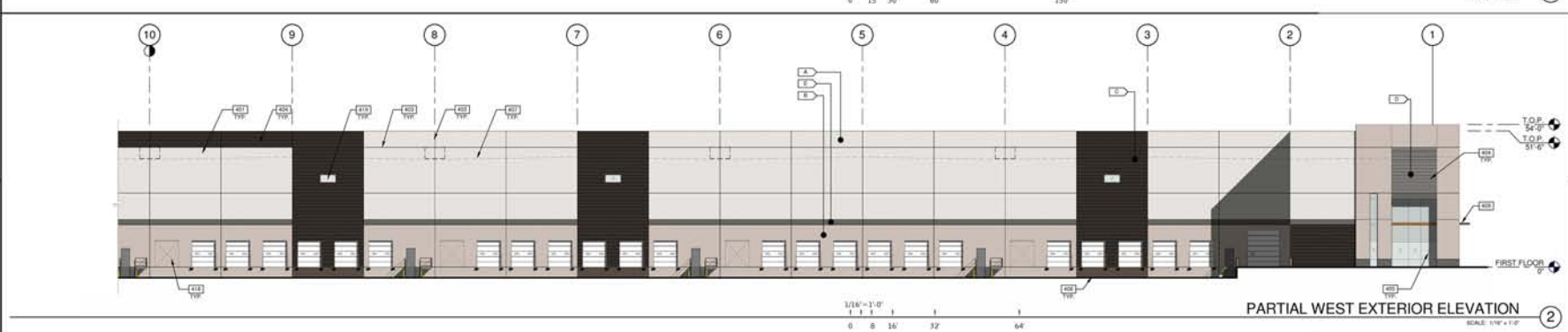
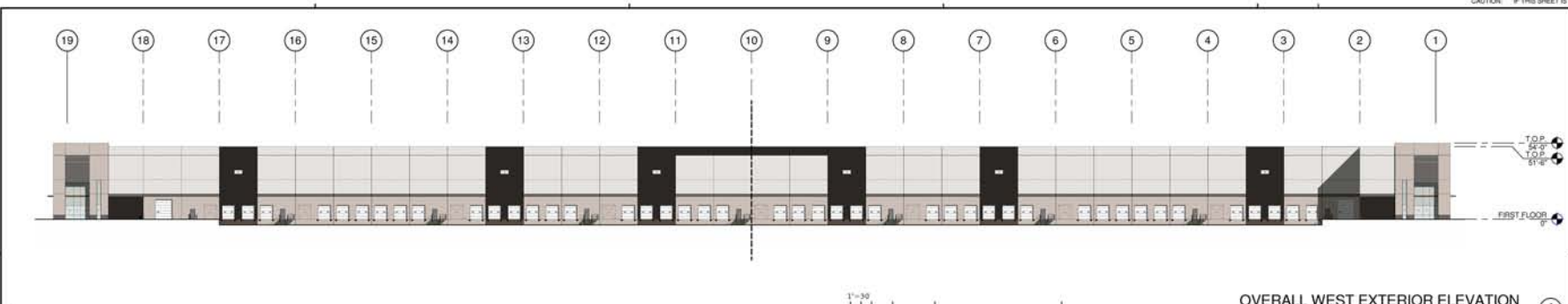
**THE LANDING 202**  
 EAST RAY ROAD  
 GATEWAY MESA, AZ 85212

EXTERIOR ELEVATIONS

DATE	BY	REVISION
10/20/23	ELB	ISSUE FOR PERMITS

P:RM E:ENY  
 DRAWN BY: H.B.  
 JOB NO.: PWB23113-00

SHEET  
**A4.3**



**LEGEND**

- GLASS**
- VISION GLASS
  - TEMPERED GLASS
  - SPANDELS GLASS

ALL GLASS TO BE VITRO AZURA GLAZING IN CLEAR ANODIZED STOREFRONT FRAME

**COLOR LEGEND**

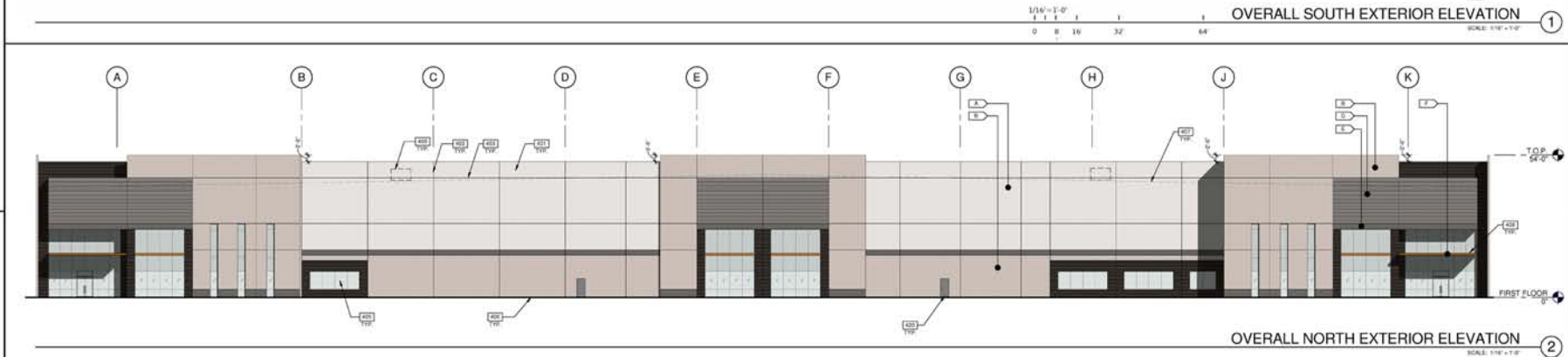
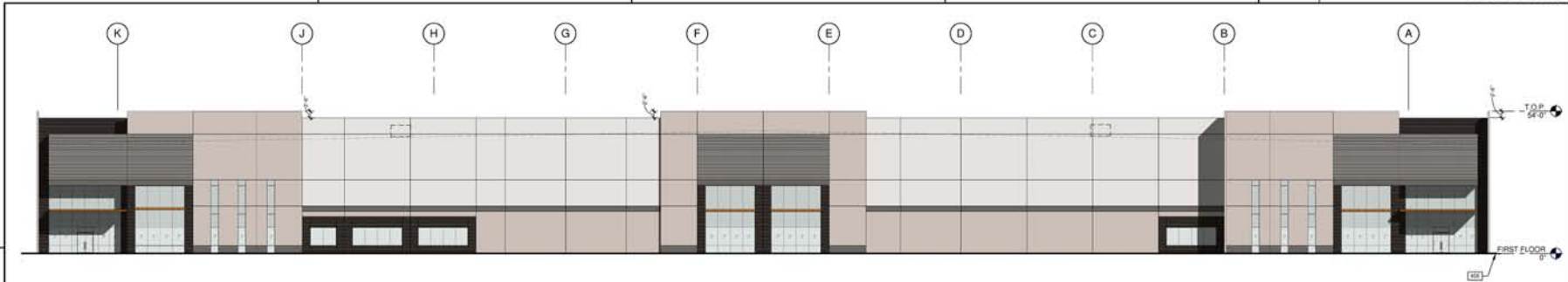
- COLORS:**
- PRIMER (IF W/ W/ FINE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW)
  - BASE COLOR: DUNK EDWARDS CRYSTAL HAZE DENTH
  - SECONDARY COLOR: DUNK EDWARDS FLINTSTONE DESPT
  - ACCENT COLOR: DUNK EDWARDS ESPRESSO MACCHATO DETWH
  - ACCENT COLOR: FURNELER PASTED DUNK EDWARDS COAL MAND DETWH
  - ACCENT COLOR: DUNK EDWARDS BLACK POOL DESHT
  - CANOPY: DUNK EDWARDS SWEET POTATDES DESPT

**NOTES:**

- SEE BEST PRACTICE GENERAL NOTES
- 401 CONCRETE WALL, PAINTED
- 402 CONCRETE WALL JOINT
- 403 1/2" W. REINFC.
- 404 CONCRETE FORMLINER
- 405 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS
- 406 FINISH GRADE, MANES
- 407 LINE OF ROOF BEYOND
- 408 METAL CANOPY, PAINTED
- 413 DOCK BUMPER
- 419 KNOCK OUT PANEL FOR FUTURE DOOR OR STOREFRONT
- 419 CLERESTORY WINDOW

Exhibit 3





**LEGEND**

- GLASS:**
- VISION GLASS
  - TEMPERED GLASS
  - SPIGOT GLASS

ALL GLASS TO BE 1/2" IGU AZURA GLAZING IN CLEAR ANODIZED STOREFRONT FRAME

**COLOR LEGEND**

- COLORS:**  
PROVIDE 6" WIDE PAINT COLOR SMOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW
- BASE COLOR DUAN EDWARDS CRYSTAL HAZE DE819
  - SECONDARY COLOR DUAN EDWARDS FLINTSTONE DE821
  - ACCENT COLOR DUAN EDWARDS ESPRESSO MICCHATO DE786
  - ACCENT COLOR DUAN EDWARDS BLACK POOL DE815
  - CHARTER DUAN EDWARDS SWEET POTATOES DE811

**NOTES:**

- SEE SHEET A2.02 GENERAL NOTES
- 401 CONCRETE WALL, PAINTED
  - 402 CONCRETE WALL JOINT
  - 403 1/2" VERTICAL
  - 404 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS
  - 405 FINISH GRADE, VARIOUS
  - 407 LINE OF ROOF BEYOND
  - 408 METAL CANOPY, PAINTED
  - 409 FULLY DEPRESS MECHANICAL LAIR BEYOND
  - 410 METAL MAIN DOOR, PAINTED

**WARE, MALCOMB**  
Leading Design for Commercial Real Estate

Architecture  
Planning  
Interior Design  
Civil Engineering  
2021 E. Camelback Rd., Suite 217  
Phoenix, AZ 85016  
P: 480-242-2881  
F: 480-242-2288



**THE LANDING 202**  
EAST RAY ROAD  
GATEWAY MESA, AZ 85212

**EXTERIOR ELEVATIONS**

DATE	DESCRIPTION

PAPER: E. 21501  
DRAWN BY: H.R.  
JOB NO.: PHO19-013-00

SHEET  
**A4.5**



Character Image Provided by Ware Malcomb  
Exhibit 6



Character Image Provided by Ware Malcomb  
Exhibit 7



Character Image Provided by Ware Malcomb  
Exhibit 8