



City Council ZON23-01007

Mary Kopaskie-Brown, Planning Director

August 19, 2024
1



Request

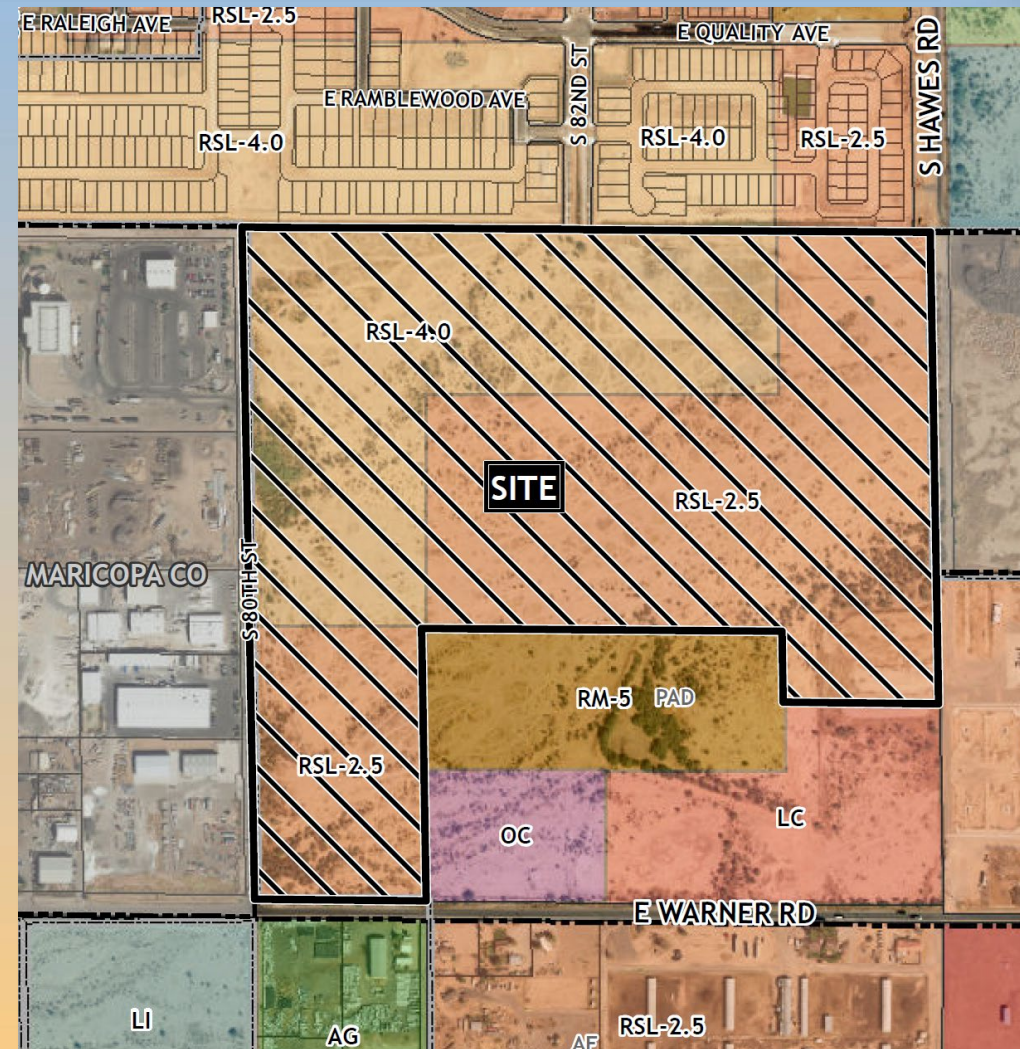
- Rezone 2.3± acres from RSL-2.5-PAD to RSL-4.0-PAD
- Rezone 2.3± acres from RSL-4.0-PAD to RSL-2.5-PAD
- Establish a second PAD overlay on the entire 115± acres
- Specific Plan approval
- To allow for a new 455-unit single residence development





Location

- West of Hawes Road
- North of Warner Road
- East side of 80th Street
- Village 6 of Hawes Crossing





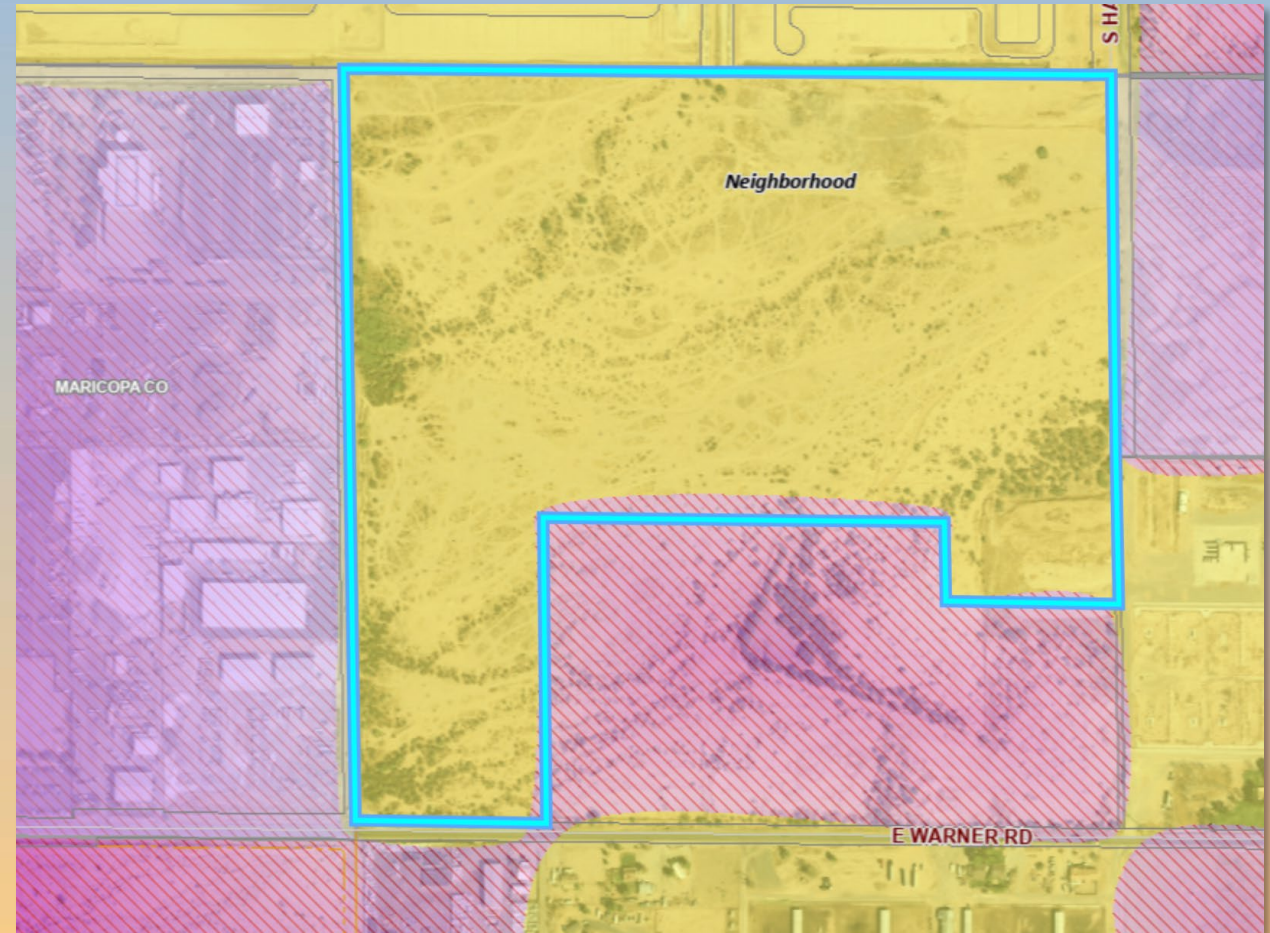
General Plan

Neighborhood, Suburban

- RSL-2.5 & RSL-4.0 listed as primary zoning districts
- Single residence listed as a primary land use

Gateway Strategic Development Plan - Inner Loop District

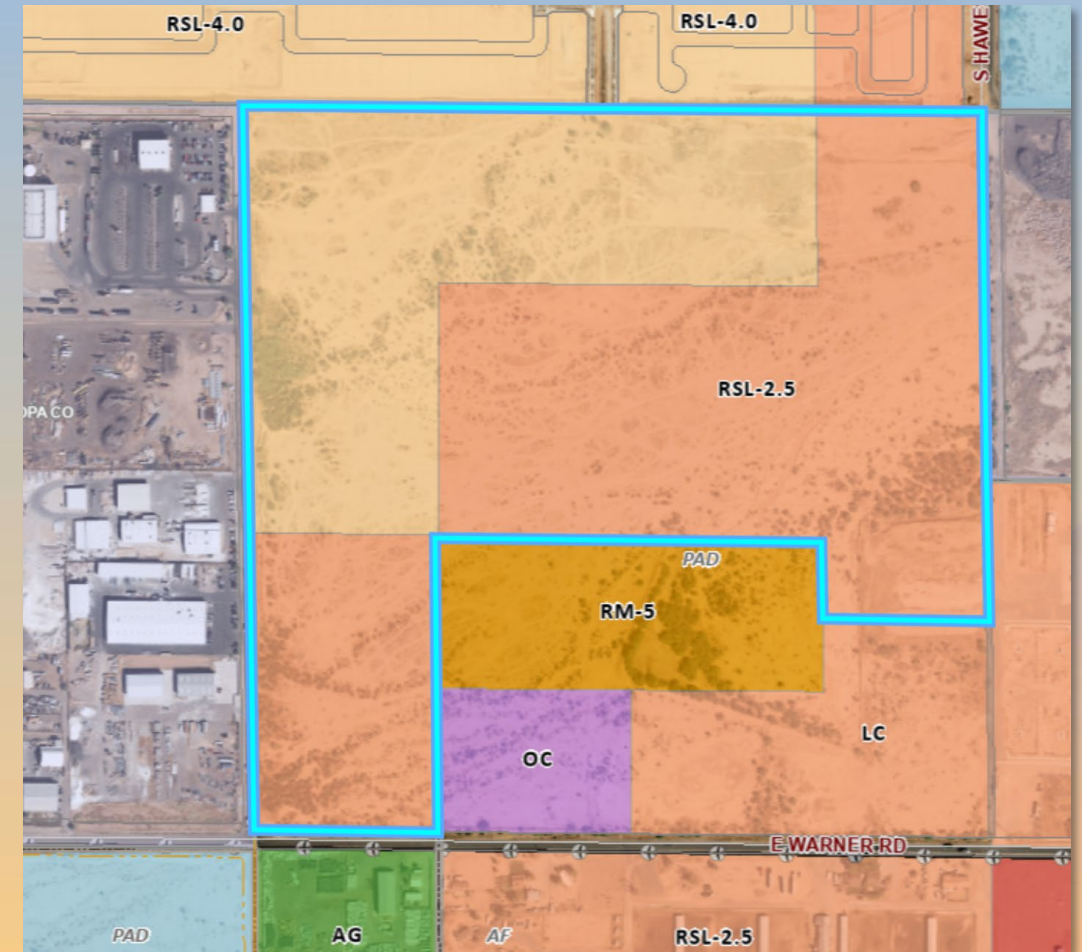
- Neo-traditional neighborhoods:
 - Walkability; Connectivity to recreational and commercial uses





Zoning

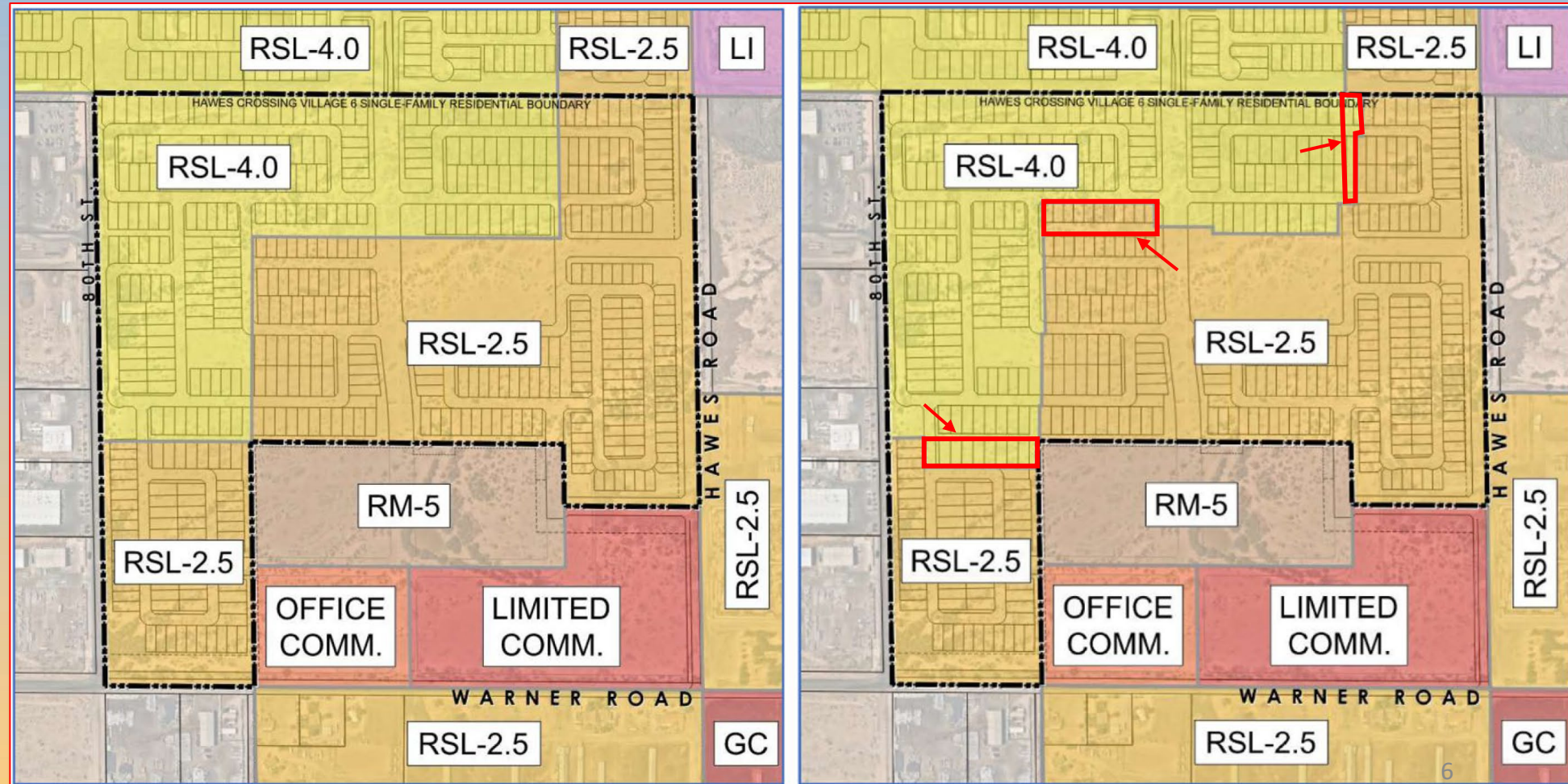
- Existing: Small Lot Single Residence 2.5 & 4.0 with a Planned Area Development overlay (RSL-2.5-PAD & RSL-4.0-PAD)
- Proposed: RSL-2.5-PAD-PAD & RSL-4.0-PAD-PAD





Existing and Proposed RSL Boundary

Aggregate of 2.3+ acres rezoned from RSL-2.5-PAD to RSL-4.0-PAD, and from RSL-4.0-PAD to RSL-2.5-PAD





Site Photos



Looking northeast from Warner and 80th Street

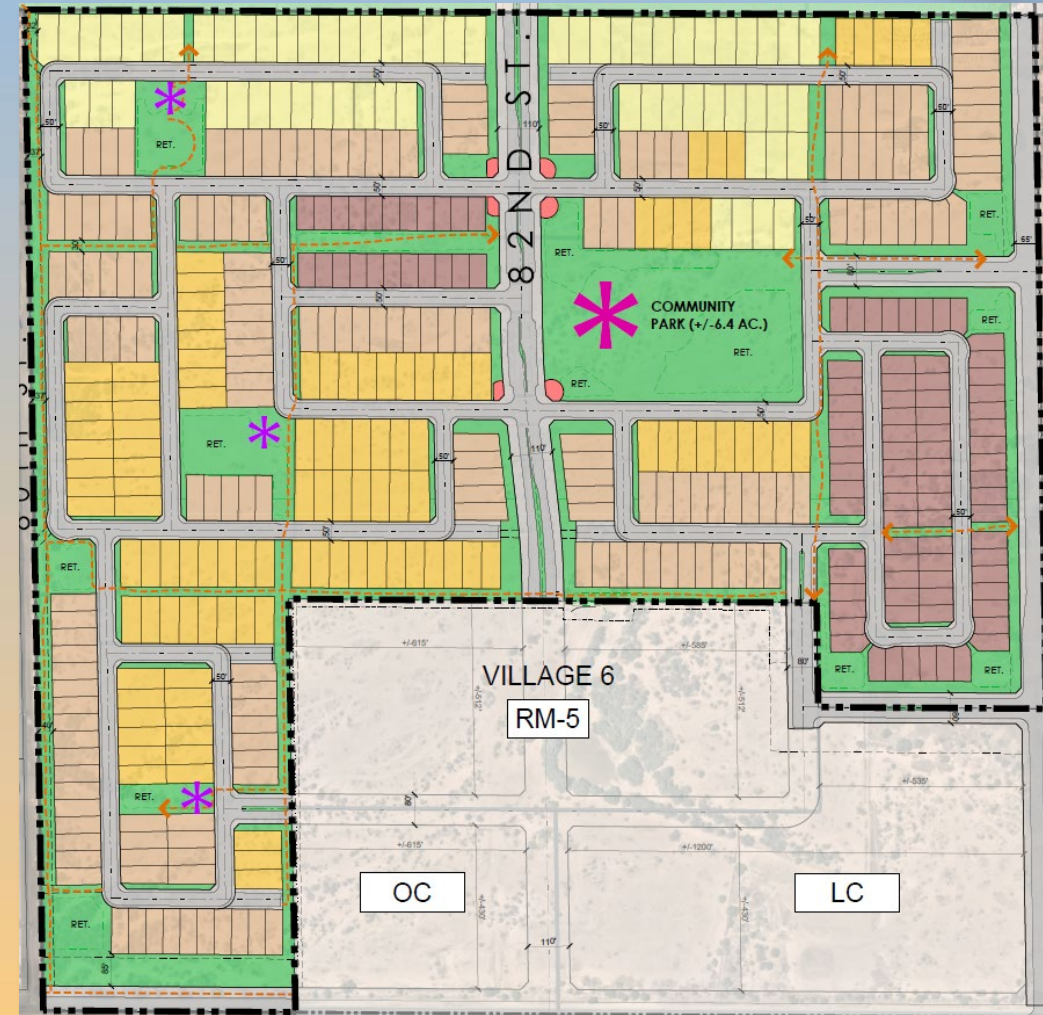


Specific Plan

455 single family lots

- (99) 45' x 90'
- (182) 45' x 120'
- (111) 50' x 125'
- (63) 55' x 125'

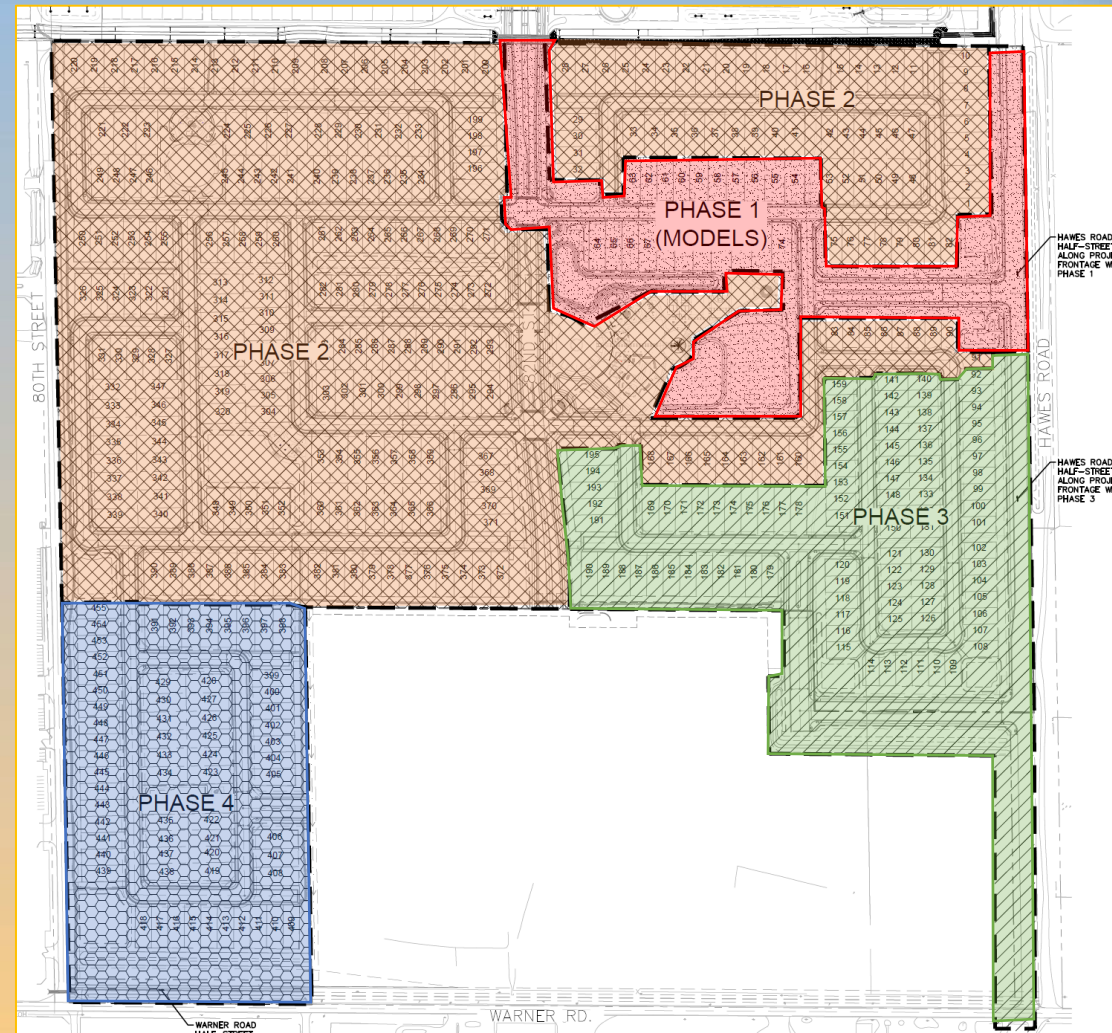
Variety of lot widths across the street and within blocks, compliant with Ord. No. 5567





Phasing Plan

- Phase 1
- Phase 2
- Phase 3
- Phase 4





PAD Overlay

Development Standard	MZO Required	PAD Proposed
<p><u>Minimum Dimensions for Residential Enclosed Garages</u> - MZO Section 11-32-4(F) -Double-car garage</p>	<p>20-foot-wide and 22-foot-long</p>	<p>19 feet 4 inches wide and 22 feet long</p>
<p><u>Fences and Freestanding Walls for RSL Districts</u> - MZO Section 11-30-4(A)(1)(b) -Max. height within or along exterior boundary of required side or rear yards</p>	<p>6 feet</p>	<p>8 feet</p>



Alternative Compliance

- MZO Section 11-5-3(B)(3): Primary entrance front porch must be 6-ft deep
 - Request for measurement to include the posts
- MZO Section 11-5-3(B)(4)(a): Garage door width shall not exceed 50% of the front building elevation
 - Request for 16-ft-wide garage doors to be used for the garage door width
- MZO Section 11-5-3(B)(6)(b): Dwellings on corner lots shall include windows on 10% of the area of the street-facing façade
 - Request is for a reduction to 5% of the area



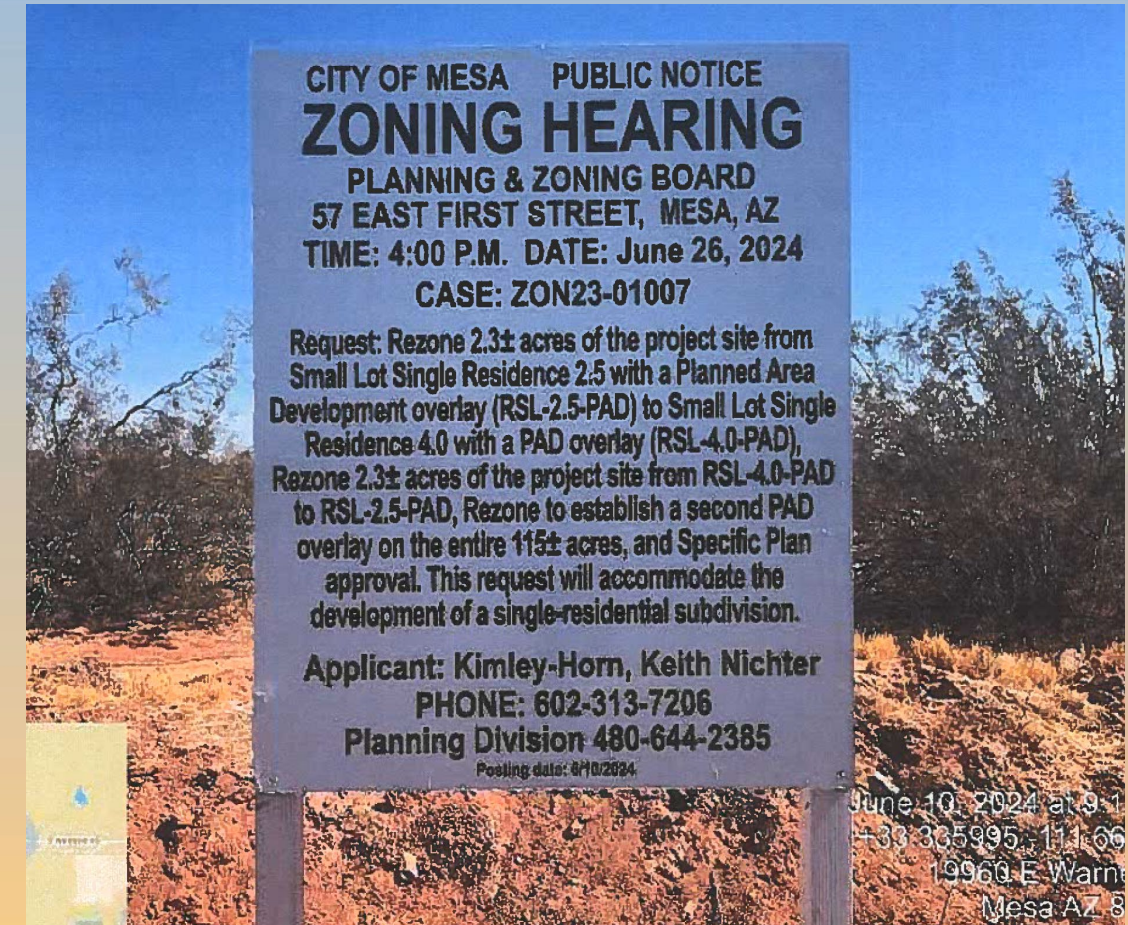
Alternative Compliance

- MZO Section 11-5-3(B)(7)(a): Buildings must contain ≥ 2 primary exterior materials, with each used on $\geq 15\%$ of the front façade;
 - Request is for reduction to 1 primary material for the Spanish Colonial models, AND for a reduction of second material to 5% for the Prairie, Farmhouse, Craftsman, Cottage, Country, French and Bungalow
 - There are other elevation choices for each floor plan that exceed the min. 15%
 - The elevations that have a reduced second material include at least three other architectural details (pop-outs, reveals, enhanced columns, decorative iron railings, etc.)



Citizen Participation

- Notified property owners within 1,000', HOAs and registered neighborhoods
- No correspondence received from recipients of mailings

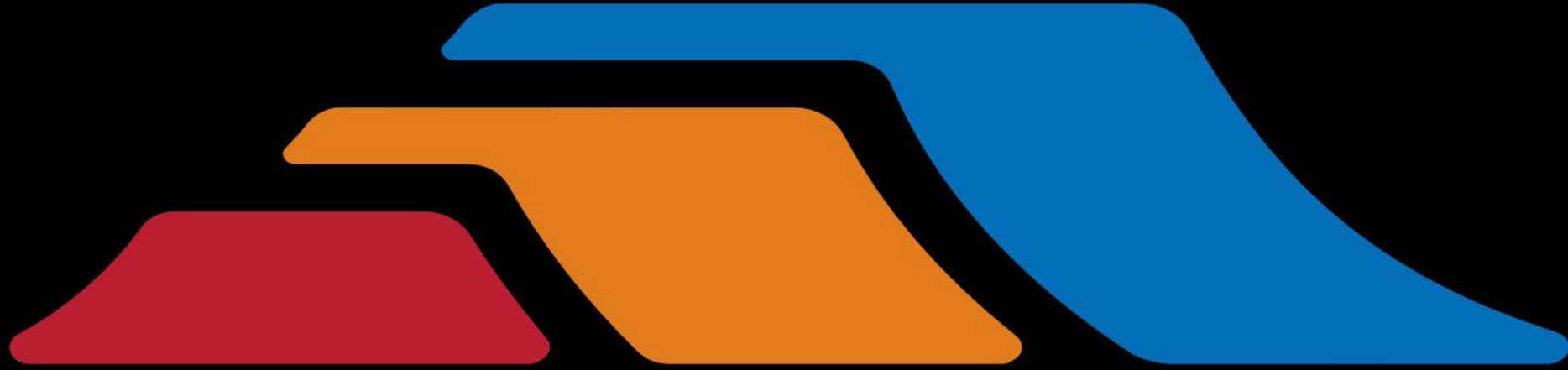




Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Complies with Gateway Strategic Development Plan
- ✓ Criteria in Chapters 22 & 69 for PAD & Site Plan Review

***Staff recommend Approval with Conditions
Planning and Zoning Board recommend Approval with Conditions (7-0)***



mesa·az



Product Elevations

- 16 floor plans
- 5+ elevations per floor plan
- Product provided for all lots except for 45' x 90' lots
- Plot plans provided for all lots





Landscape Plan

- 25.7 \pm acres of common areas and/or open space (23% of the total acreage of RSL-4.0 & RSL-2.5 [15% required])
- 9.2 \pm acres of park space (53% of *required* open space [3% required])
- Walking trails throughout





Landscape Plan

6.4+ acre Community Park

- Large play structure
- Lap pool with beach entry and ramada
- Splash pad
- Multiple sport courts

3 Pocket Parks

- Shade structures & seating
- Play structure
- Outdoor games and turf areas

