

**OWNER/DEVELOPER**

DSV REAL ESTATE PHOENIX LLC.  
200 S WOOD AVE, 08830  
ISELIN, NJ 08830  
CONTACT: ZIGA VOVK

**ENGINEER**

HILGARTWILSON  
2141 E HIGHLAND AVE SUITE #250  
PHOENIX, AZ 85016  
PHONE: (602) 490-0535  
CONTACT: CASEY WHITEMAN

**ARCHITECT**

SCALAPLUS  
53 W JACKSON BLVD, SUITE #1462  
CHICAGO, IL 60604  
PHONE: (312) 224-2736  
CONTACT: JOHN MANAVES

**BASIS OF BEARING**

BASIS OF BEARING IS S00°41'42"E ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

**FLOOD ZONE DESIGNATION**

THE FOLLOWING FLOOD PLAIN DESIGNATION AND ASSOCIATED COMMENTS ARE COPIED DIRECTLY FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) WEBSITE. HILGARTWILSON, LLC AND THE UNDERSIGNED REGISTERED PROFESSIONAL LAND SURVEYOR MAKE NO STATEMENT AS TO THE ACCURACY OR COMPLETENESS OF THE FOLLOWING FLOOD ZONE DESIGNATION STATEMENT.

THE SUBJECT PROPERTY LIES WITHIN SHADED ZONE "X" WITH A DEFINITION OF: 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN, AREAS OF 1-PERCENT-ANNUAL-CHANCE (BASE FLOOD) SHEET FLOW FLOODING WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT, AREAS OF BASE FLOOD STREAM FLOODING WITH A CONTRIBUTING DRAINAGE AREA OF LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE BASE FLOOD BY LEVEES. NO BFES OR DEPTHS ARE SHOWN IN THIS ZONE, AND INSURANCE PURCHASE IS NOT REQUIRED. DESIGNATION DETERMINED BY FEMA FLOOD ZONE MAP 04013C2790L, PANEL NUMBER 2790 OF 4425, EFFECTIVE DATE OCTOBER 16, 2013.

THE SUBJECT PROPERTY LIES WITHIN SHADED ZONE "X" WITH A DEFINITION OF: 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN, AREAS OF 1-PERCENT-ANNUAL-CHANCE (BASE FLOOD) SHEET FLOW FLOODING WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT, AREAS OF BASE FLOOD STREAM FLOODING WITH A CONTRIBUTING DRAINAGE AREA OF LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE BASE FLOOD BY LEVEES. NO BFES OR DEPTHS ARE SHOWN IN THIS ZONE, AND INSURANCE PURCHASE IS NOT REQUIRED. DESIGNATION DETERMINED BY FEMA FLOOD ZONE MAP 04013C2770L, PANEL NUMBER 2770 OF 4425, EFFECTIVE DATE OCTOBER 16, 2013.

**PRELIMINARY GRADING PLAN**  
**DSV LEGACY BUSINESS PARK**

9560 E. PECOS ROAD  
MESA, ARIZONA

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

**BENCHMARK**

BENCHMARK IS A FOUND CONCRETE NAIL W/ TAG, STAMPED "COM BM", LOCATED AT THE NORTHEAST CORNER OF SIGNAL BUTTE RD & WARNER RD. CITY OF MESA BENCHMARK ELEVATION: 1453.68' DATUM: NAVD88

**RETENTION VOLUME**

VOLUME PROVIDED=568,328 CF  
VOLUME REQUIRED=566,927 CF

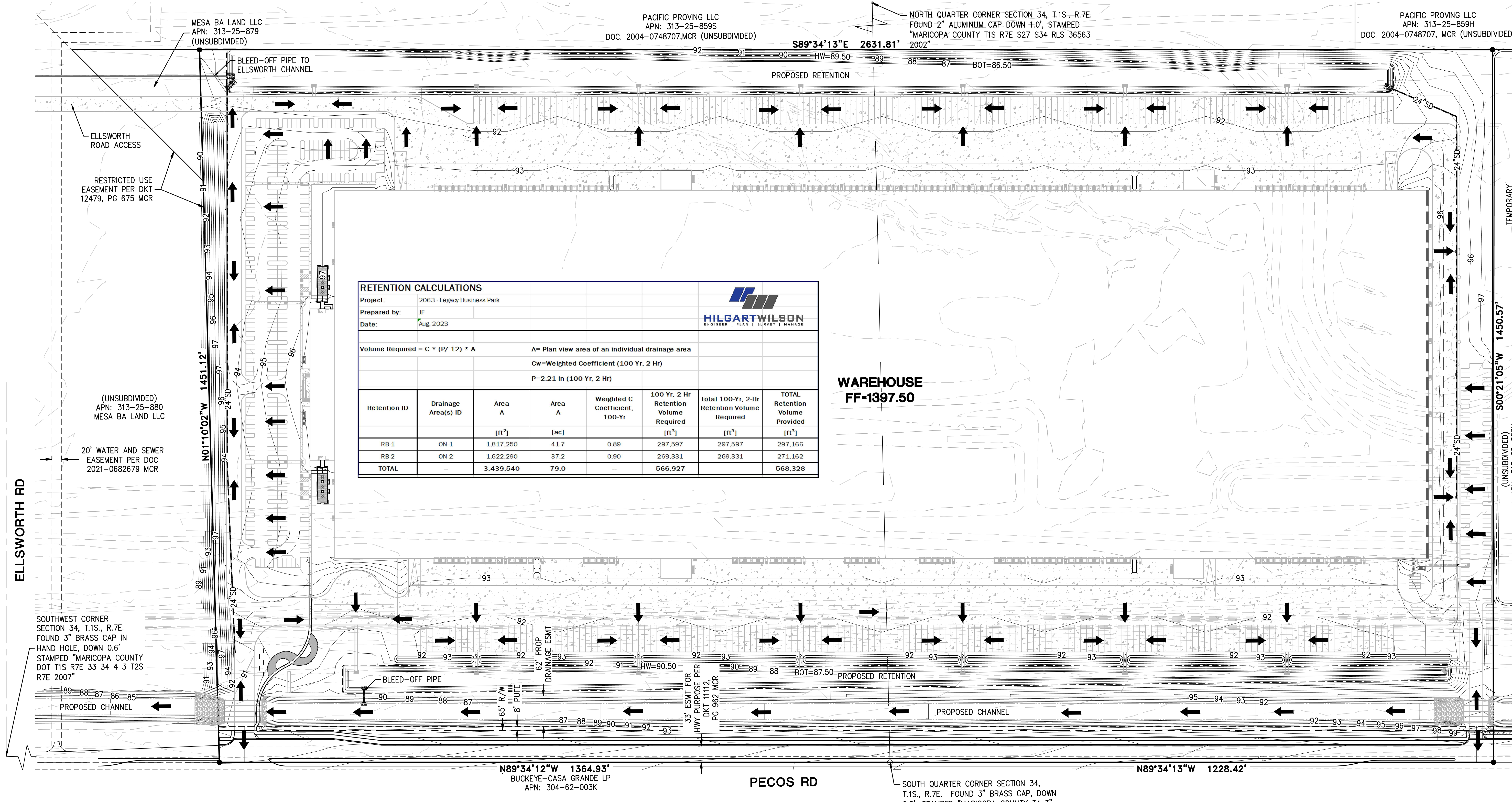
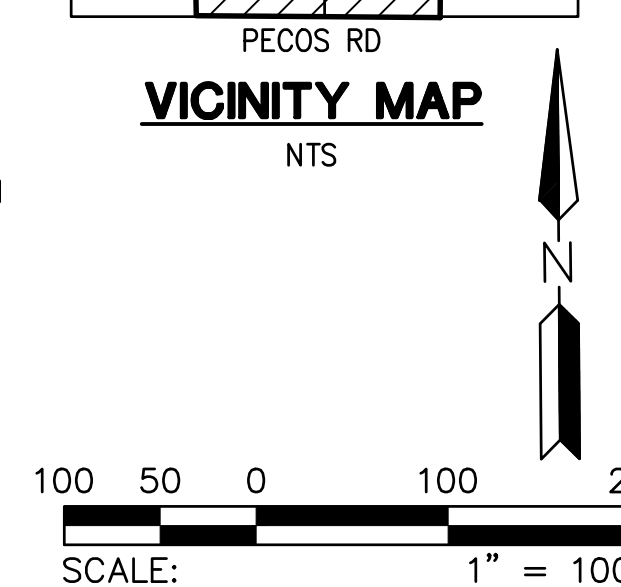
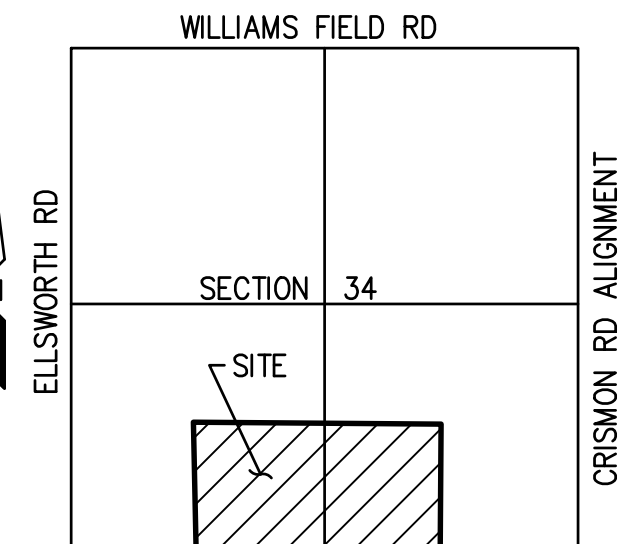
**LEGEND**

- UTILITY POLE
- ⊥ GUY ANCHOR
- ⊞ ELECTRIC PULL BOX
- ⊞ ELECTRIC CABINET
- ⊞ LIGHT POLE
- ⊞ TRAFFIC SIGNAL WITH ARM
- ⊞ TRAFFIC SIGNAL
- ⊞ TRAFFIC SIGNAL PULL BOX
- ⊞ WATER METER
- ⊞ CATCH BASIN
- GAS MARKER
- SEWER CLEAN OUT
- SANITARY SEWER MANHOLE
- WATER BACK FLOW PREVENTER
- FIRE HYDRANT
- MANHOLE (UNKNOWN TYPE)
- TELEPHONE PEDESTAL
- CURB INLET
- GRATE
- STORM DRAIN MANHOLE
- AIR RELEASE VALVE
- WATER VALVE
- GAS VALVE

**SHEET INDEX**

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- 3 | PGP-3 | PRELIMINARY GRADING PLAN

- BOUNDARY LINE
- - - EASEMENT LINE
- - - SECTION LINE
- BOT BOTTOM OF BASIN
- HW HIGH WATER ELEVATION
- SD STORM DRAIN
- R/W RIGHT OF WAY
- ESMT EASEMENT
- PUFU PUBLIC UTILITY FACILITY EASEMENT
- FLOW ARROW
- EX FLOW ARROW
- CHAIN LINK FENCE
- BARB WIRE FENCE
- 89 PROPOSED CONTOUR ELEVATION
- 89 EX. CONTOUR ELEVATION
- SD STORM DRAIN



RETENTION CALCULATIONS						
Project: 2063 - Legacy Business Park						
Prepared by: JF						
Date: Aug. 2023						
$Volume\ Required = C * (P / 12) * A$						
			A = Plan-view area of an individual drainage area			
			Cw = Weighted Coefficient (100-Yr. 2-Hr)			
			P = 2.21 in (100-Yr. 2-Hr)			
Retention ID	Drainage Area(s) ID	Area A [ft <sup>2</sup> ]	Area A [ac]	Weighted C Coefficient, 100-Yr.	100-Yr. 2-Hr Retention Volume Required [ft <sup>3</sup> ]	TOTAL Retention Volume Provided [ft <sup>3</sup> ]
RB-1	ON-1	1,817,250	41.7	0.89	297,597	297,597
RB-2	ON-2	1,622,290	37.2	0.90	269,331	271,162
<b>TOTAL</b>		<b>3,439,540</b>	<b>79.0</b>		<b>566,927</b>	<b>568,328</b>

**HILGARTWILSON**  
HAS JOINED COLLIER'S ENGINEERING & DESIGN  
2141 E. HIGHLAND AVE., STE. 250 | P: 602.490.0535 / F: 602.368.2436  
PHOENIX, AZ 85016  
www.hilgartwilson.com



**DSV LEGACY BUSINESS PARK**  
9560 E. PECOS ROAD  
MESA, ARIZONA

**PRELIMINARY GRADING & DRAINAGE PLAN - COVER SHEET**

**HILGARTWILSON**

PROJ NO.: 2063.10  
DATE: SEP 2023  
SCALE: 1" = 100'  
DRAWN: CM  
DESIGNED: DB  
APPROVED: CW

DWG. NO. **PGP-1**  
SHT. 1 OF 3

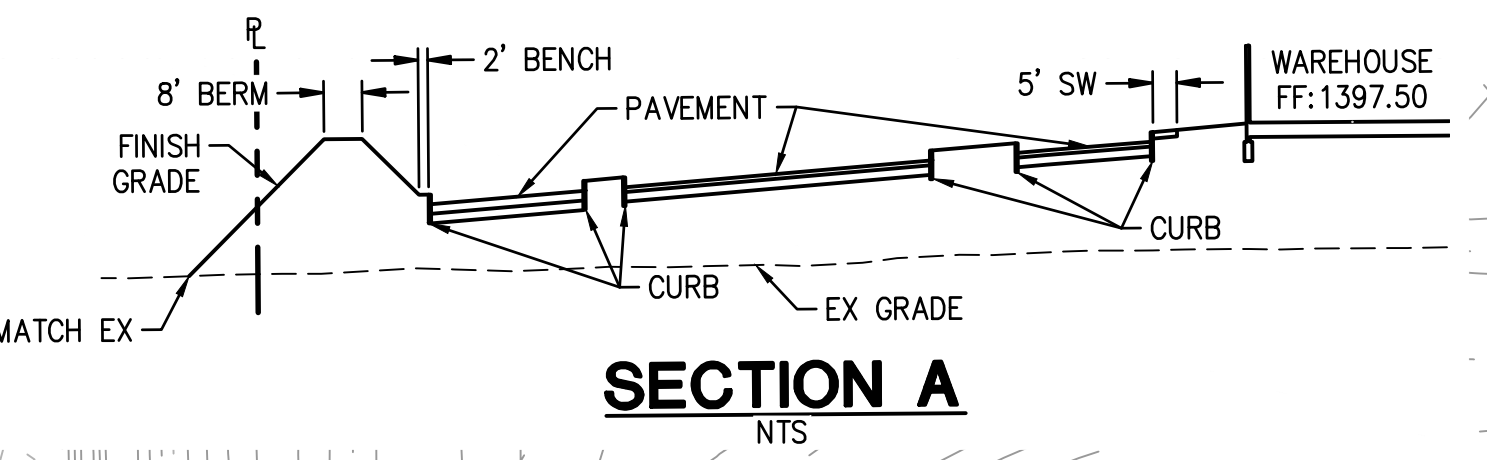
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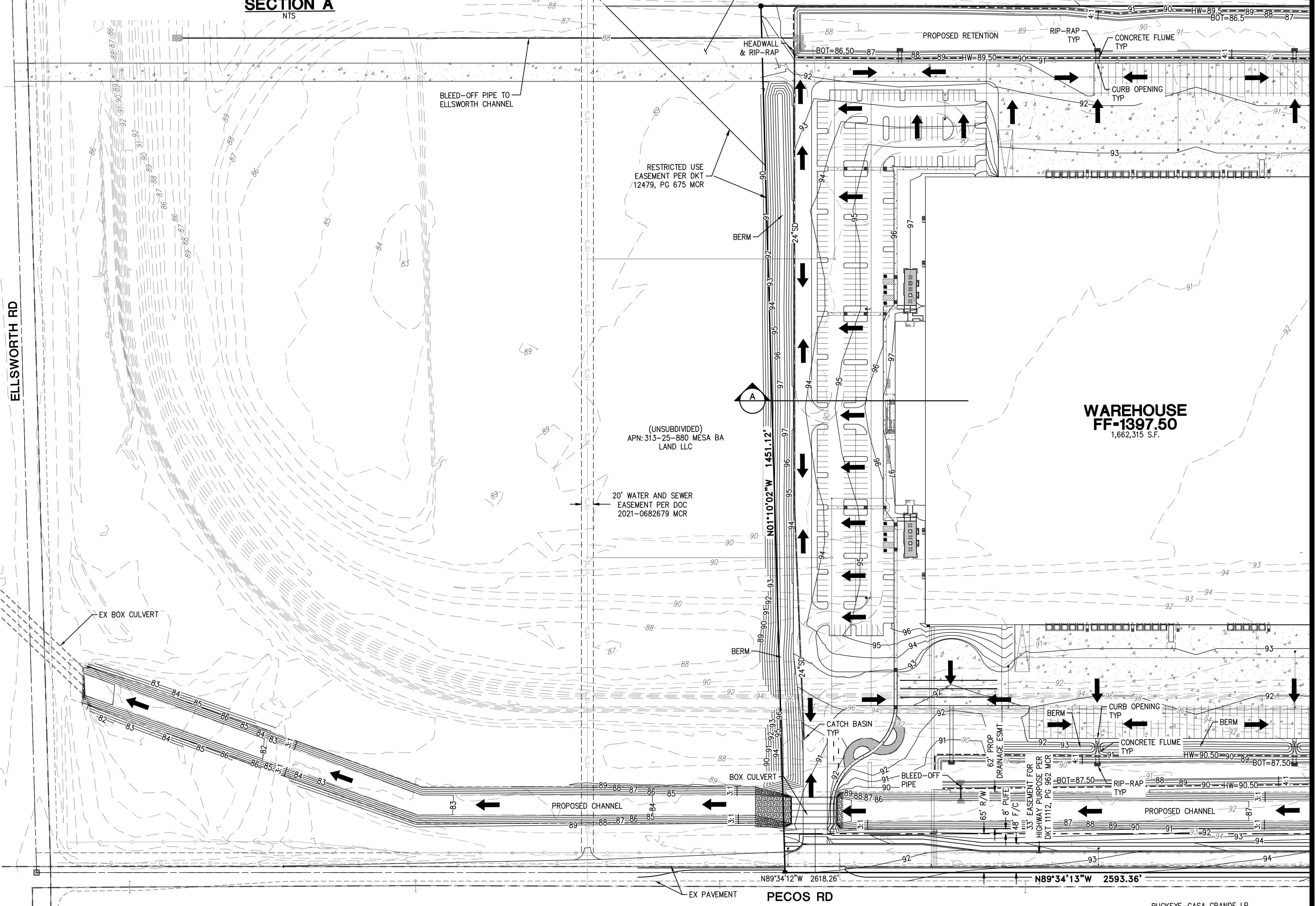
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ELLSWORTH RD

MATCHLINE SEE SHEET PGP-3



**SECTION A**  
NTS



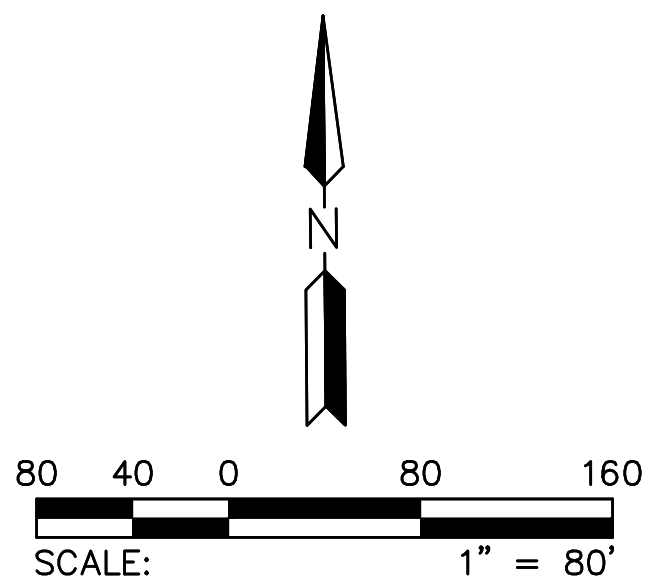
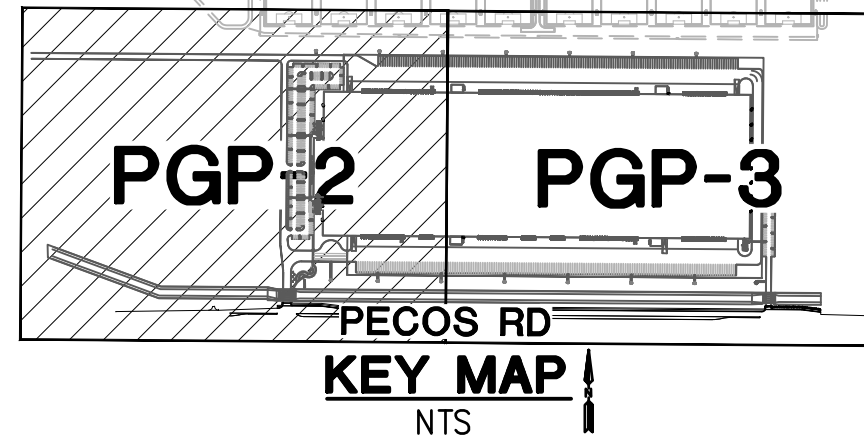
PACIFIC PROVING LLC  
APN: 313-25-859S DOC.  
2004-0748707, MCR  
(UNSUBDIVIDED)

MESA BA LAND LLC  
APN: 313-25-879  
(UNSUBDIVIDED)

(UNSUBDIVIDED)  
APN: 313-25-880 MESA BA  
LAND LLC

20' WATER AND SEWER  
EASEMENT PER DOC  
2021-0682679 MCR

**WAREHOUSE**  
**FF-1397.50**  
1,662,315 S.F.



**DSV LEGACY BUSINESS PARK**  
9560 E. PECOS ROAD  
MESA, ARIZONA

**PRELIMINARY GRADING & DRAINAGE PLAN**

PROJ. NO.	2063.10	
DATE	SEP 2023	
SCALE:	1" = 80'	APPROVED: CW
DESIGNED: DB	DRAWN: CM	
REV.		DWG. NO.

**PGP-2**

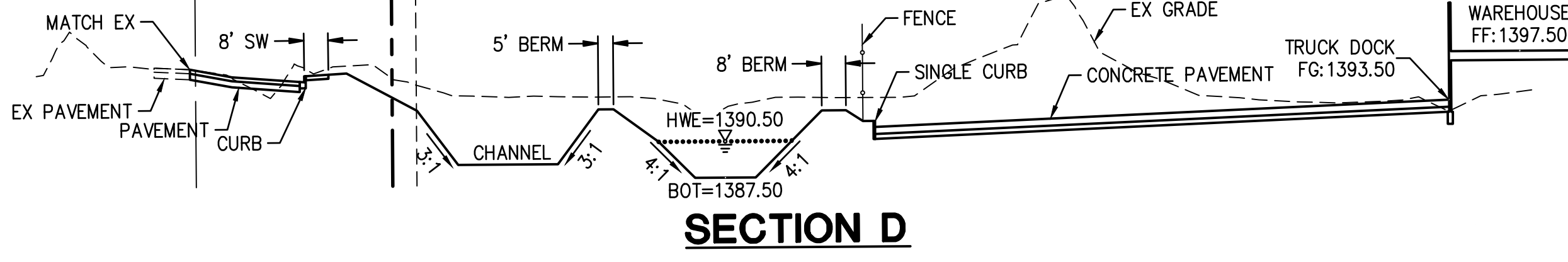
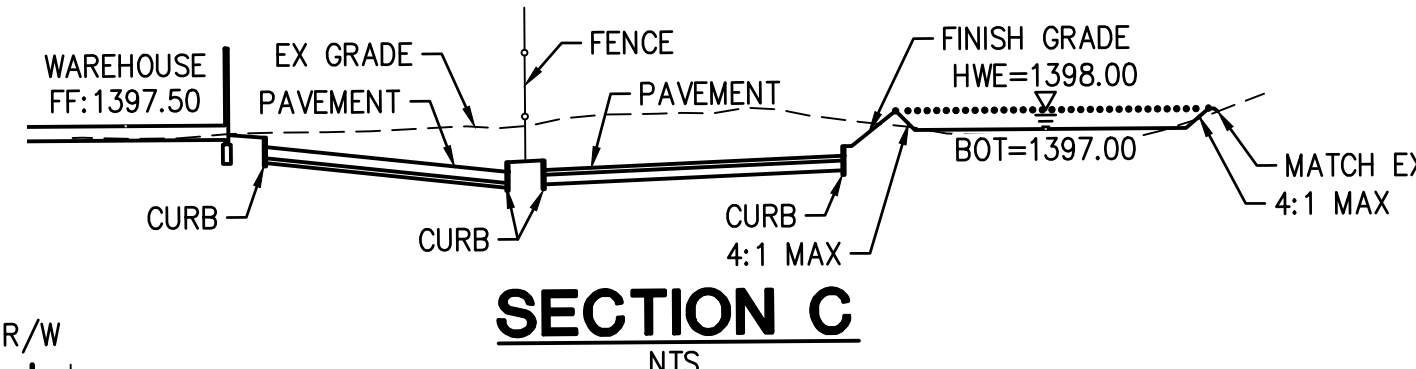
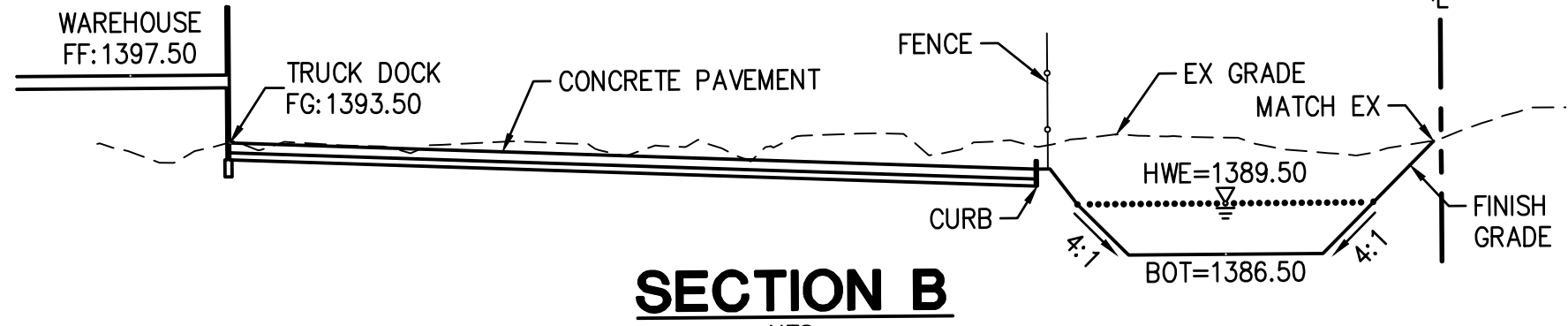
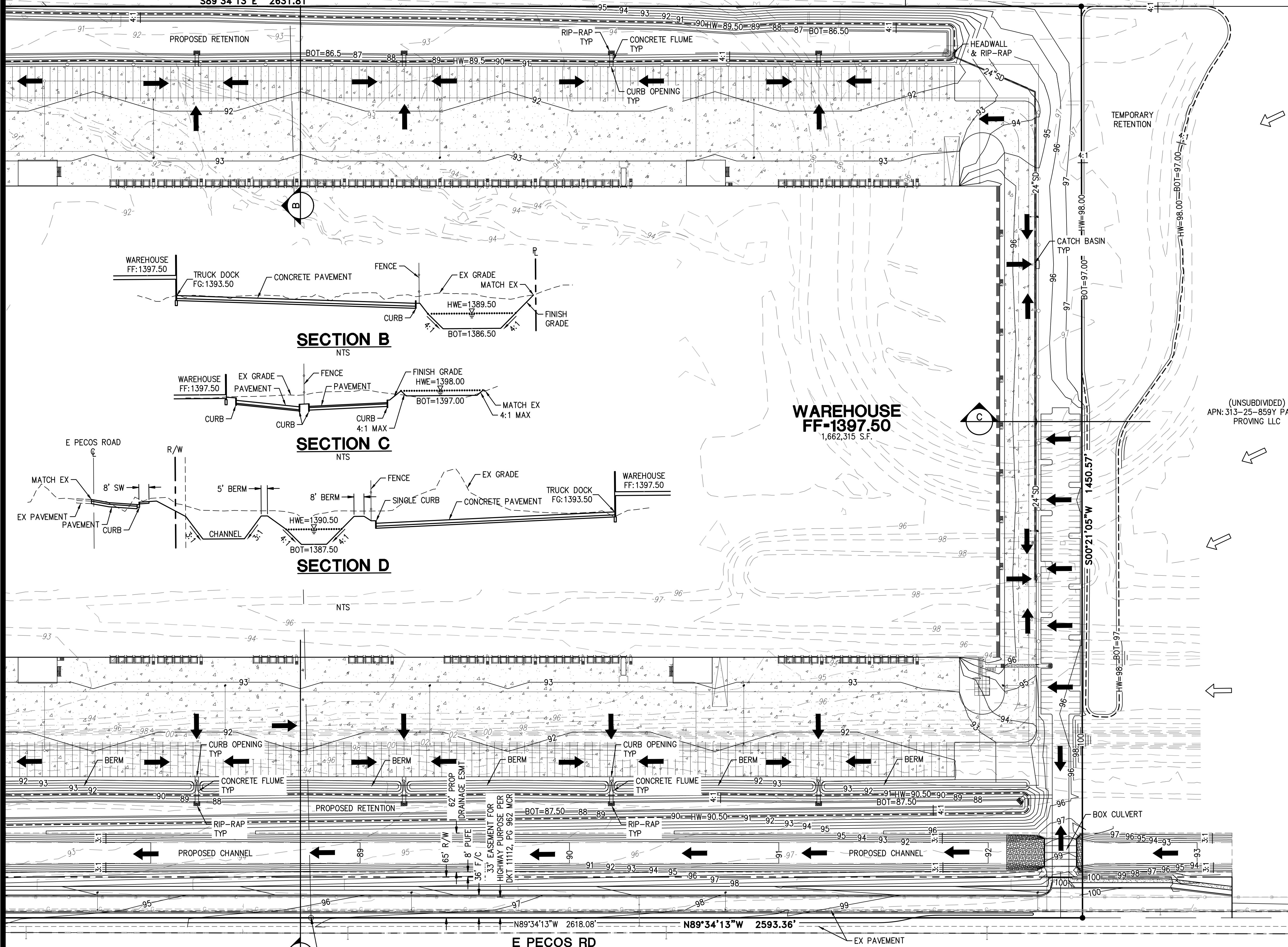
SHT. 2 OF 3

NORTH QUARTER CORNER SECTION 34, T.1S., R.7E.  
 FOUND 2" ALUMINUM CAP DOWN 1.0", STAMPED  
 MARICOPA COUNTY T1S R7E S27 S34 RLS 36563  
 2002"

PACIFIC PROVING LLC  
 APN: 313-25-859S DOC.  
 2004-0748707, MCR  
 (UNSUBDIVIDED)

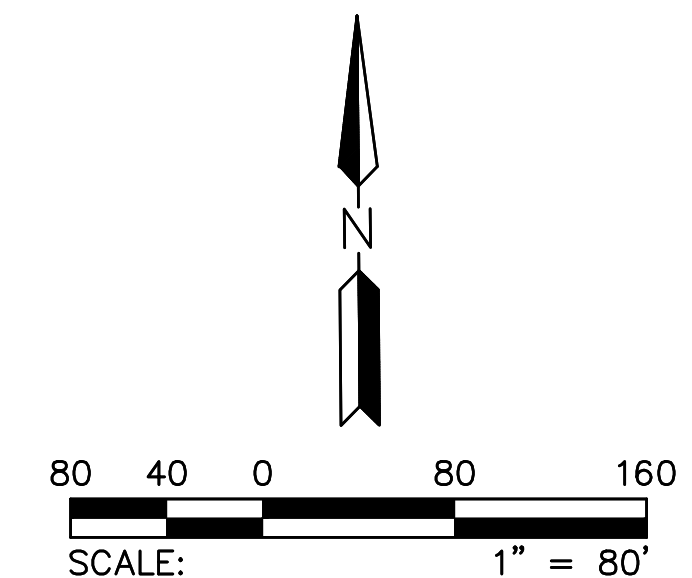
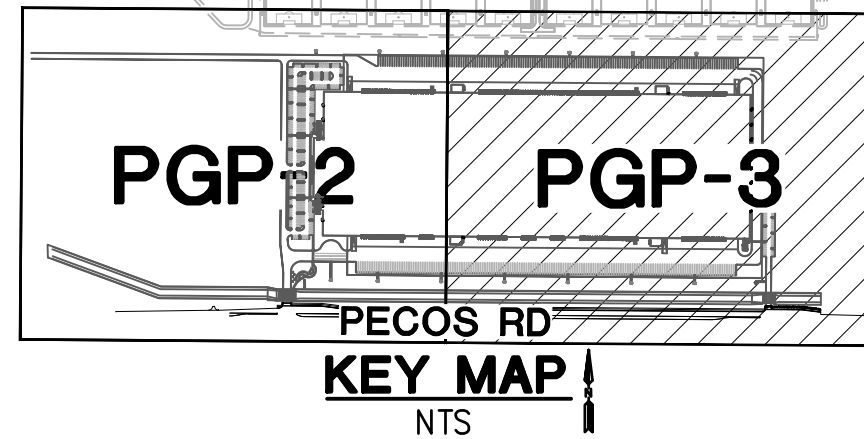
PACIFIC PROVING LLC  
 APN: 313-25-859H DOC.  
 2004-0748707, MCR  
 (UNSUBDIVIDED)

S89°34'13"E 2631.81'



WAREHOUSE  
 FF-1397.50  
 1,662,315 S.F.

(UNSUBDIVIDED)  
 APN: 313-25-859Y PACIFIC  
 PROVING LLC



**DSV LEGACY BUSINESS PARK**  
 9560 E. PECOS ROAD  
 MESA, ARIZONA

**PRELIMINARY GRADING & DRAINAGE PLAN**

PROJ. NO.	2063.10
DATE	SEP 2023
SCALE	1" = 80'
DESIGNED:	DB
DRAWN:	CM
APPROVED:	CW
REV.	



**PGP-3**

SHT. 3 OF 3

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MATCHLINE SEE SHEET PGP-2