



ASSOCIATED SIGN COMPANY

City of Mesa
Planning & Development
55 N. Center St.
Mesa, AZ 85201

June 8, 2023

RE: HUB 202 - Comprehensive Sign Plan_Application

We are requesting approval of the HUB 202 comprehensive sign plan (CSP). The HUB 202 development is located at the Southwest corner of S Sossaman & WE Warner. The project includes 11 parcels 304-17-982 through 304-17-992. There will be 11 buildings ranging in size from 70,000 - 280,00 square feet. This comprehensive sign plan henceforth referred to as CSP will help ensure a high quality of signage is maintained on the property to the benefit of the owner and future tenants. The proposed ground signage outlined within the CSP compliments the building architectural features and colors. This will create a cohesive look and feel throughout the development.

The CSP includes building/tenant signage & three (3) monument/ project ID signs. Two (2) proposed along Warner Rd and One (1) on Sossaman Rd. The designs proposed slightly exceed the 2:1 horizontal to vertical ratio outlined in the City Code. The CSP does not deviate from code on building and tenant signage. The CSP also includes the designation of building mounted tenant sign bands on all eleven buildings. Tenant signs will be limited to the areas defined within the CSP as well as requiring either Pan Channel or Reverse Pan Channel construction.

Signage proposed in this CSP should have no negative effect on any persons or properties adjacent to the development. We formally request approval of the CSP as submitted. Please feel free to contact me with any questions at either 602-278-8464 or by email at jms@asosigns.com OR jsgel@asosigns.com.

Respectfully,

Jared Segel

Established 1988

MEMBER:



INTERNATIONAL SIGN
ASSOCIATION



LISTED

HUB @ 2023

COMPREHENSIVE SIGN PLAN

2023

4310 S Sossaman Rd | Mesa, AZ 85212

PROJECT

HUB 202
4310 S Sossaman Rd
Mesa, AZ 85212

PROPERTY OWNER

HUB AT 202 OWNCO LLC
488 Madison Ave, Floor 18
New York, NY 10022

SIGNAGE CONSULTANT

Associated Sign Company
3335 W. Vernon Ave.
Phoenix, AZ 85009
Ph: 602-278-8464
Jason Shano
jms@ascosigns.com

PARCEL INFORMATION

PARCEL NUMBER:

304-17-982, 304-17-983, 304-17-984, 304-17-985,
304-17-986, 304-17-987, 304-17-988, 304-17-989,
304-17-990, 304-17-991, 304-17-992

ZONING:

AD-3

JURISDICTION:

Mesa

CONTENTS

Introduction	2
Graphic Standards	3
Sign Location Plan	4
Project ID Monument	5
Tenant Wall Signs	6-10
Building Address Numbers	11
Construction Details	12

I. INTRODUCTION

THE PURPOSE OF THE COMPREHENSIVE SIGN PLAN IS TO ENSURE AN ATTRACTIVE PROFESSIONAL ENVIRONMENT WHILE ALSO PROTECTING THE INTERESTS OF THE LANDLORD, TENANT, AND SURROUNDING NEIGHBORHOOD.

II. GENERAL REQUIREMENTS

- A.** ALL TENANTS SHALL SUBMIT (1) ELECTRONIC SET OF COLOR DRAWINGS IN PDF FORMAT TO LANDLORD FOR APPROVAL. DRAWINGS MUST INCLUDED DETAILS OF SIZE, COLOR, MATERIALS, ILLUMINATION, AND ATTACHMENT. NO DRAWINGS MAY BE SUBMITTED TO CITY OF MESA PRIOR TO LANDLORD APPROVAL.
- B.** LANDLORD SHALL REVIEW ALL SUBMITTED DRAWINGS AND MARK THEM EITHER APPROVED, APPROVED AS NOTED, OR REVISE AND RESUBMIT.
- C.** NO SIGNS, ADVERTISEMENTS, NOTICES, OR OTHER LETTERING SHALL BE DISPLAYED, EXHIBITED, INSCRIBED, PAINTED OR AFFIXED ON ANY PART OF THE BUILDING VISIBLE FROM OUTSIDE THE PREMISES EXCEPT AS SPECIFICALLY APPROVED BY THE LANDLORD. SIGNS THAT ARE INSTALLED WITHOUT WRITTEN APPROVAL OR ARE INCONSISTENT WITH APPROVED DRAWINGS MAY BE SUBJECT TO REMOVAL AND/OR REINSTALLATION BY LANDLORD AT TENANTS EXPENSE.
- D.** CITY OF MESA REQUIRES SIGN PERMITS FOR ALL SIGNS VISIBLE FROM OUTSIDE THE BUILDING. IT SHALL BE TENANT'S SOLE RESPONSIBILITY TO SECURE THESE AND ANY OTHER PERMITS THAT MAY BE REQUIRED.
- E.** LANDLORD'S APPROVAL OF TENANT'S PLANS SHALL NOT CONSTITUTE AN IMPLICATION, REPRESENTATION, OR GUARANTEE THAT SAID ITEMS ARE IN COMPLIANCE WITH APPLICABLE STATUTES, CODES, ORDINANCES, OR OTHER REGULATIONS.
- F.** SIGN CONTRACTOR PERFORMING ANY SIGN WORK AT HUB 202 MUST BE APPROVED BY LANDLORD PRIOR TO CONSTRUCTION OF SIGN.
- G.** LANDLORD RESERVES THE RIGHT TO FIX, REPAIR, OR REPLACE ANY BROKEN OR FADED SIGN OR ANY SIGN DEEMED TO BE IN DISREPAIR AT THE TENANTS EXPENSE. TENANT IS RESPONSIBLE FOR THE COST TO REMOVE EXTERIOR SIGNAGE AT LEASE END. LANDLORD WILL ARRANGE FOR REMOVAL AND BILL TENANT.
- H.** ANY SIGN TYPE NOT SPECIFICALLY ADDRESSED BY THIS CRITERIA IS SUBJECT TO THE APPLICABLE STANDARDS SET FORTH IN THE CITY OF MESA SIGN CODE.

LOGO - WORDMARK



FONT [FOR ADDRESSES]

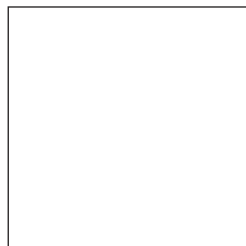
Avenir LT Pro Black

AaBbCcDdEeFfGgHhIiJjKkLlMmNnOoPpQqRrSsTtUuVvWwXxYyZz
1234567890!@#\$%^&()+-*/[]\,.;:'

COLORS



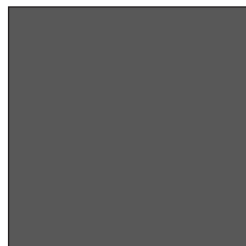
PT-1 (Paint)
Matthews
MAP Black



PT-2 (Paint)
Matthews
MAP White

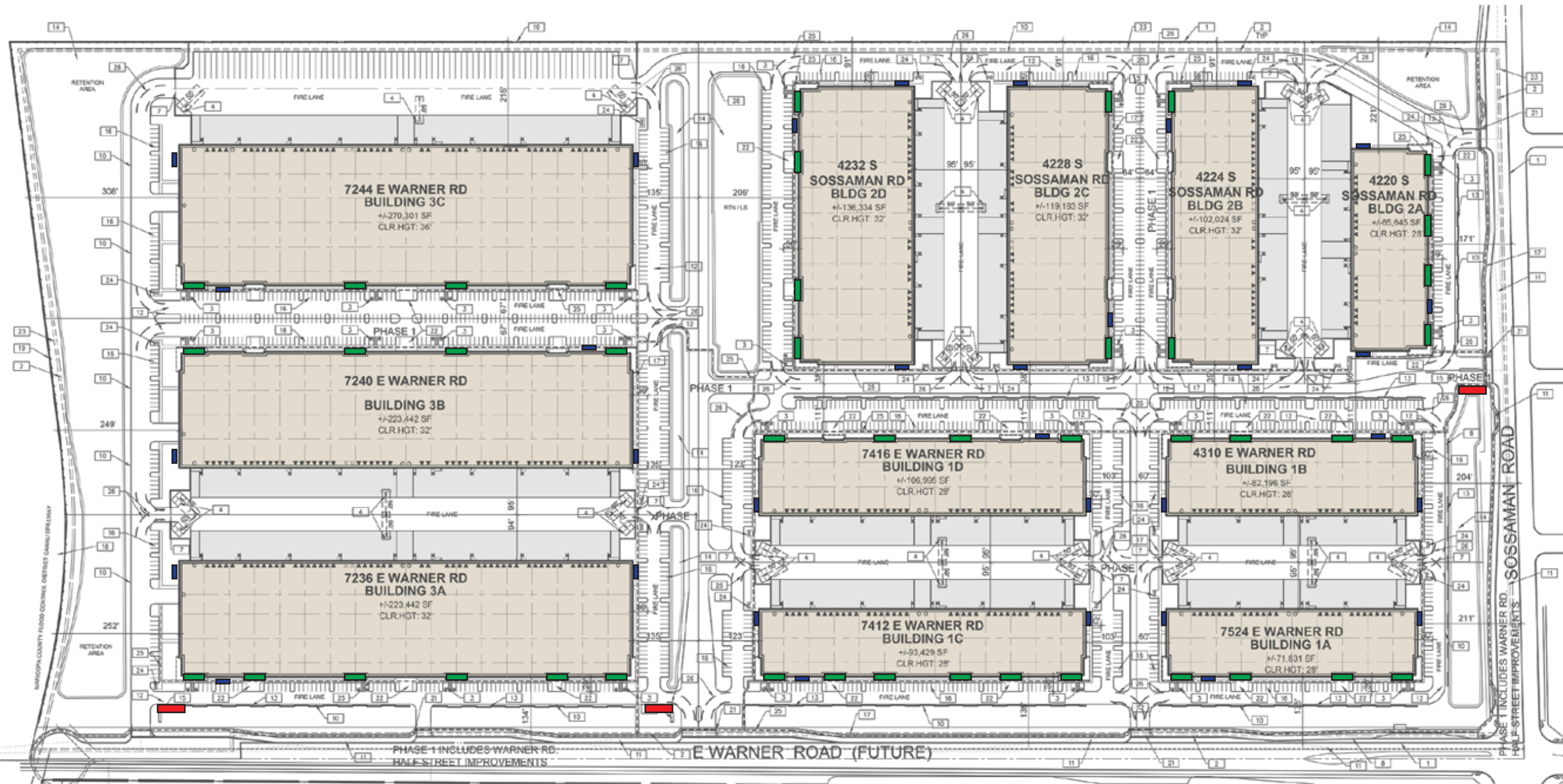


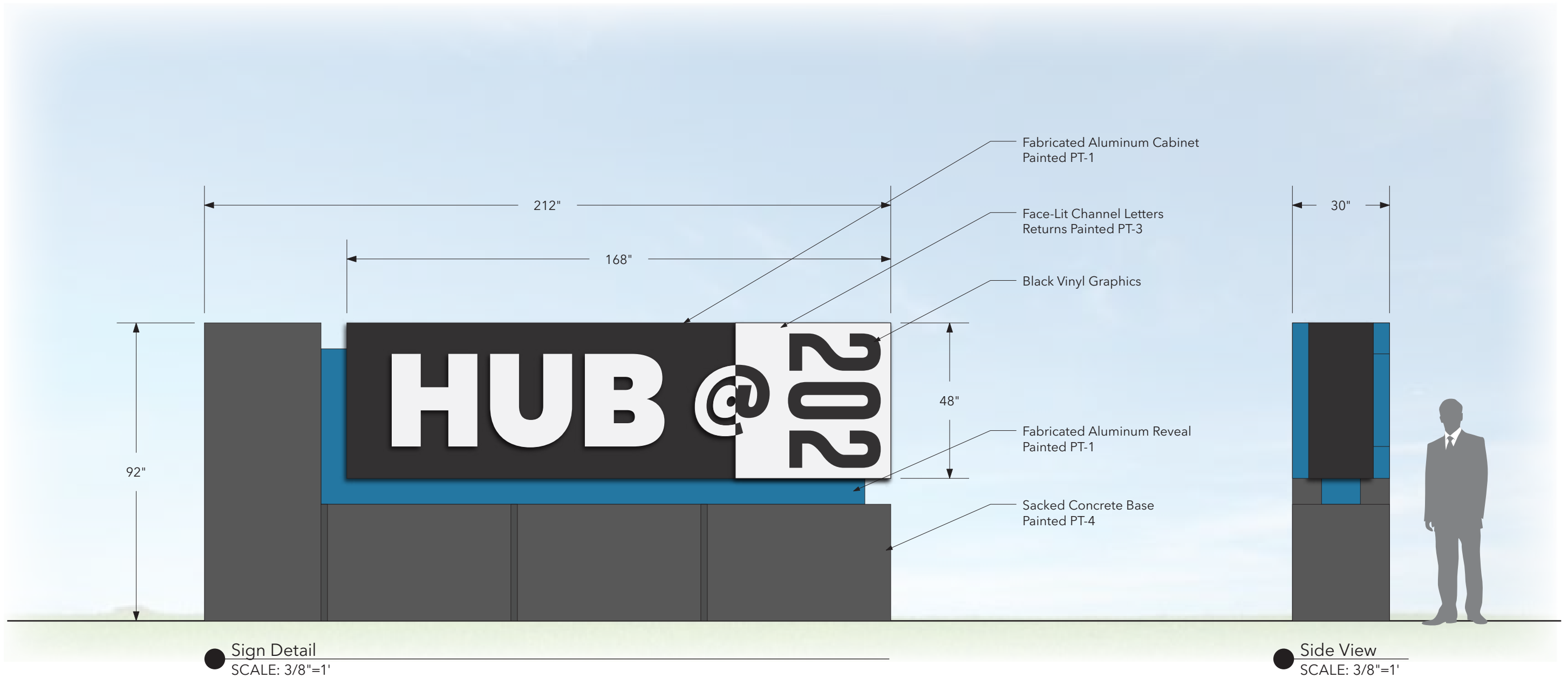
PT-3 (Paint)
Sherwin Williams
SW6803
'Danube'



PT-4 (Paint)
Sherwin Williams
SW7674
'Peppercorn'

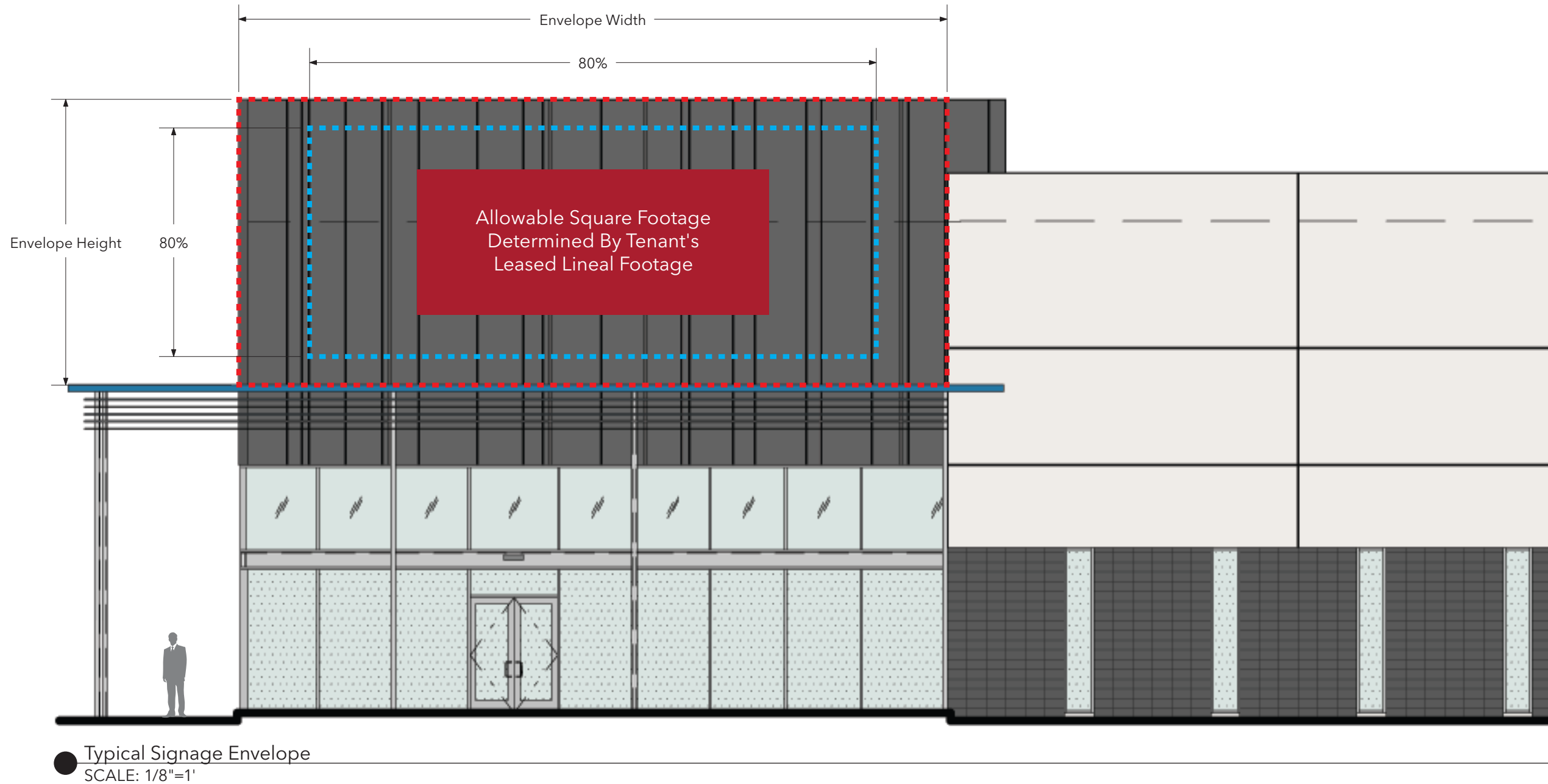
- A** Project ID Monument
- B** Tenant Wall Signs
- C** Building Address Numbers

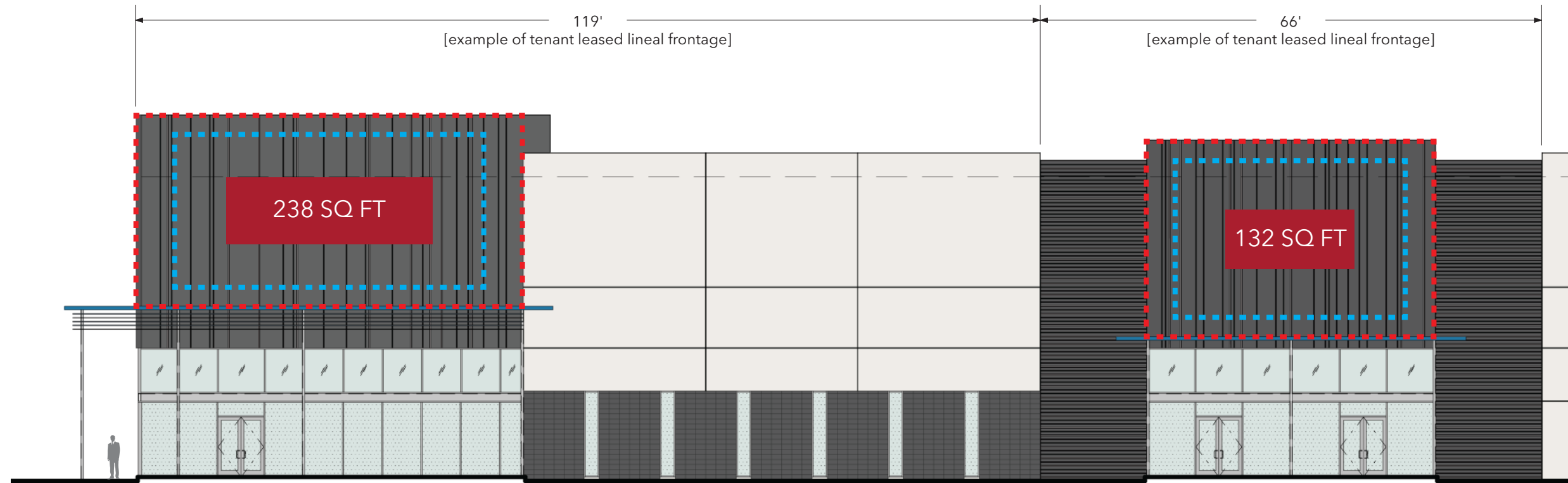




Typical size & location

Identification for all applications shall be centered within the designated architectural sign areas (sign envelope, red dotted line) in the proportions of 80% of the horizontal dimension, and 80% of the vertical dimension (blue dotted line). The actual square footage of a tenant sign (exemplified in red) is determined by the amount of leased lineal frontage. Tenants are allowed 2 square feet of signage per 1 lineal foot of leased frontage. Tenants may not exceed beyond 80% of the horizontal dimension, and 80% of vertical dimension (blue dotted line) of the sign envelope.

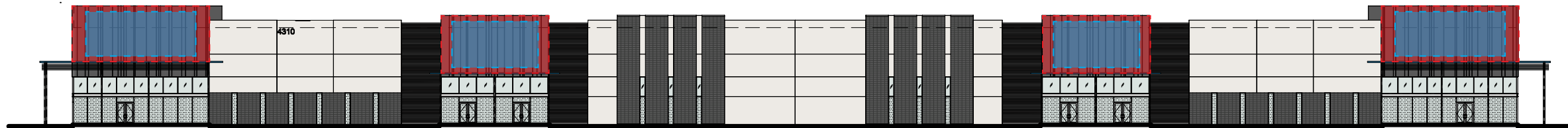




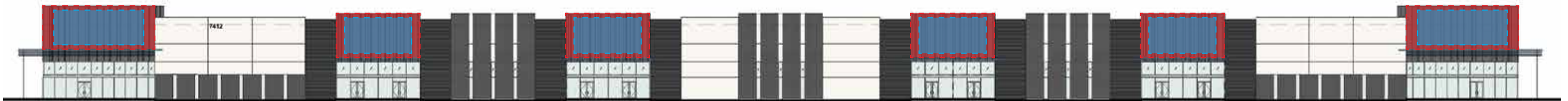
● Example Square Footage Calculation
SCALE: 1/16"=1'



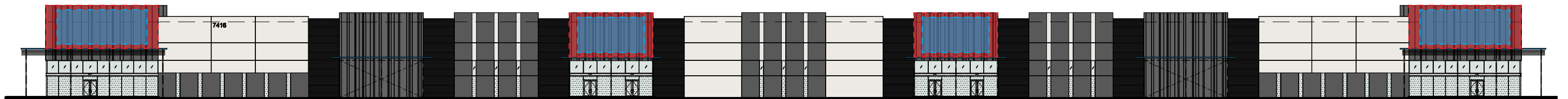
● Building 1A - South Elevation
SCALE: 1"=45'



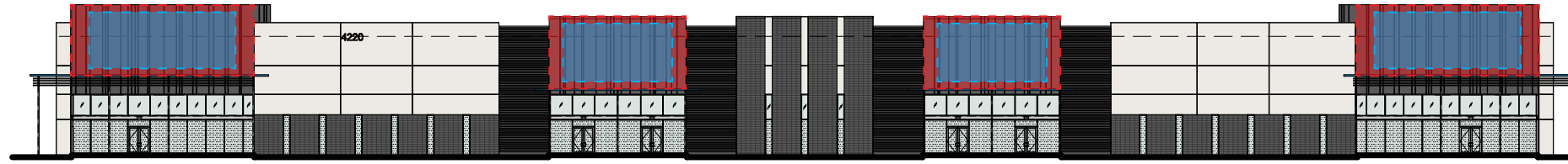
● Building 1B - North Elevation
SCALE: 1"=45'



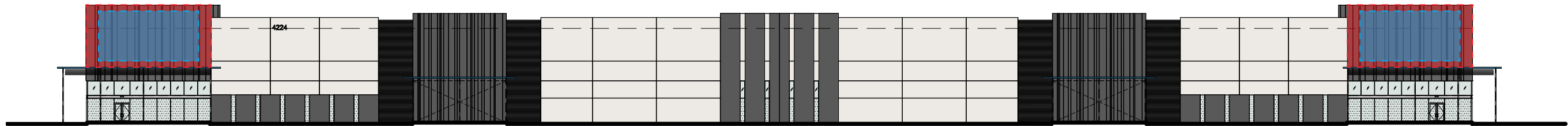
● Building 1C - South Elevation
SCALE: 1"=45'



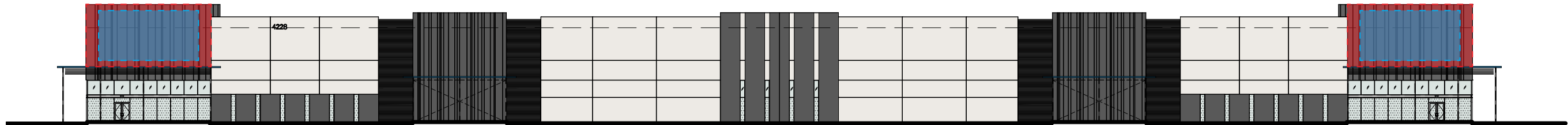
● Building 1D - North Elevation
SCALE: 1"=45'



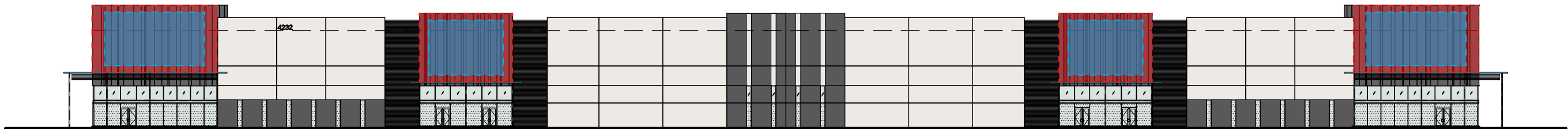
● Building 2A - East Elevation
SCALE: 1"=45'



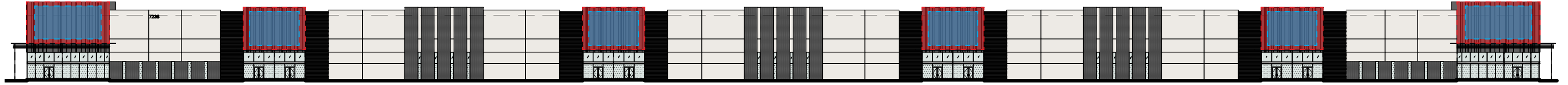
● Building 2B - West Elevation
SCALE: 1"=45'



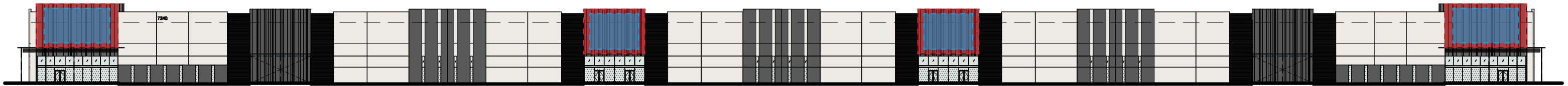
● Building 2C - East Elevation
SCALE: 1"=45'



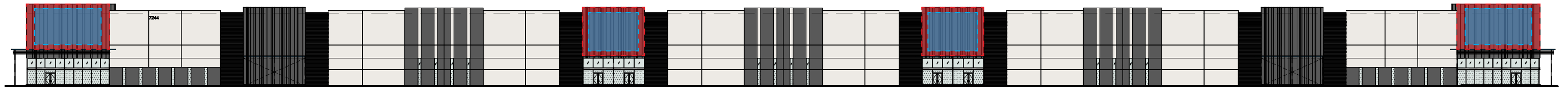
● Building 2D - West Elevation
SCALE: 1"=45'



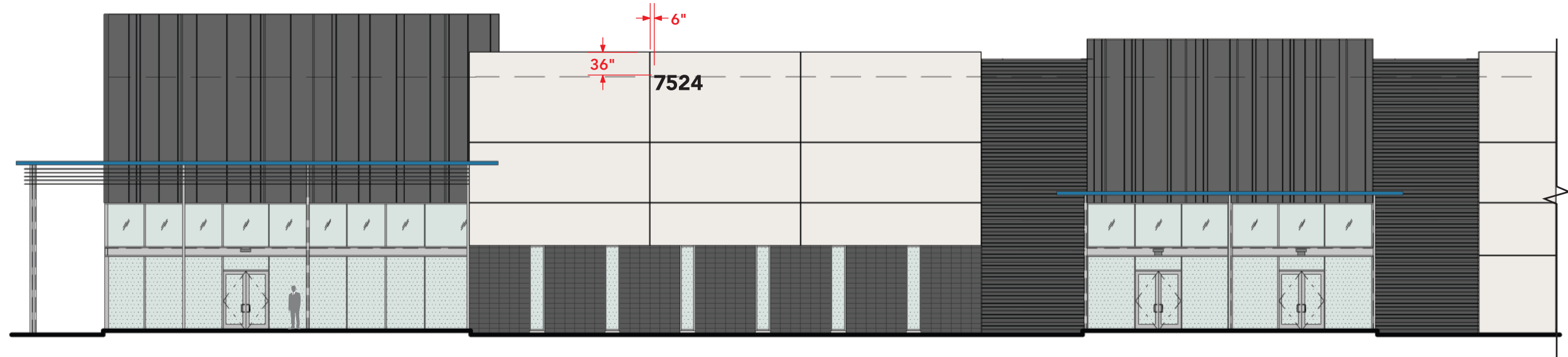
● Building 3A - South Elevation
SCALE: 1"=60'



● Building 3B - North Elevation
SCALE: 1"=60'



● Building 3C - South Elevation
SCALE: 1"=60'



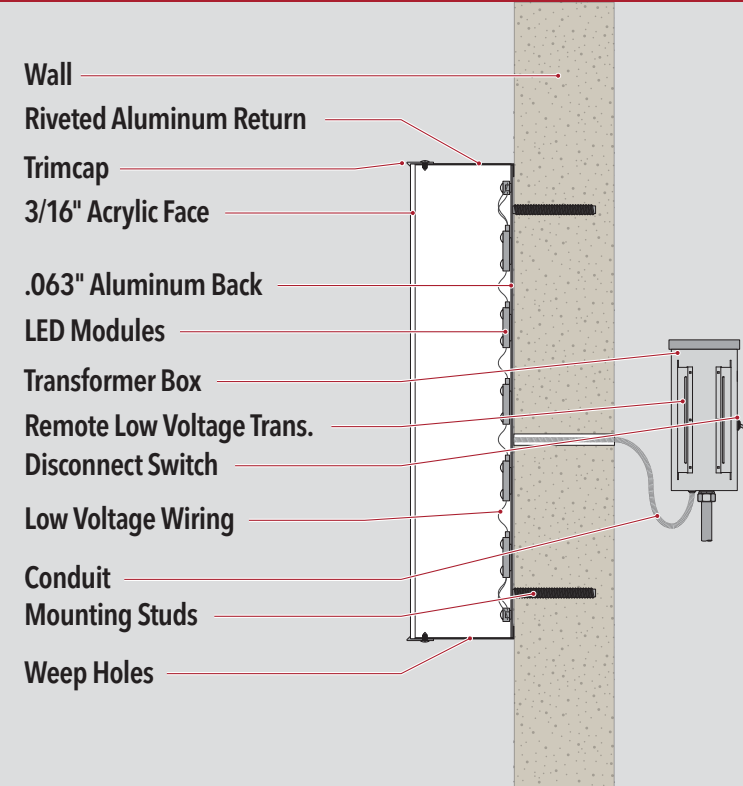
● Typical Elevation Address
SCALE: 1/16"=1'



● Typical Corner Address
SCALE: 1/16"=1'

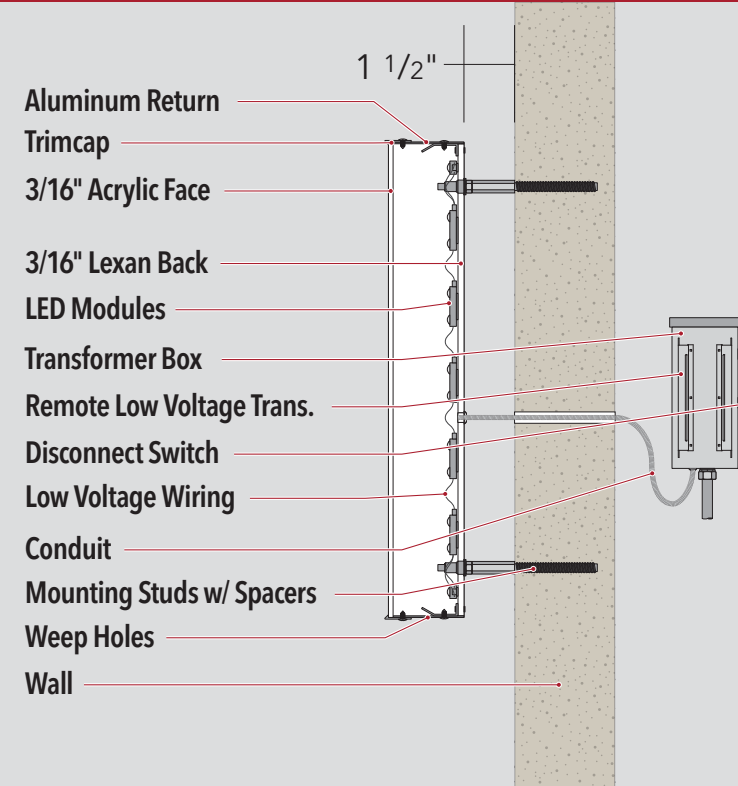
PAN CHANNEL LETTERS

FACE ILLUMINATED • FLUSH MOUNT



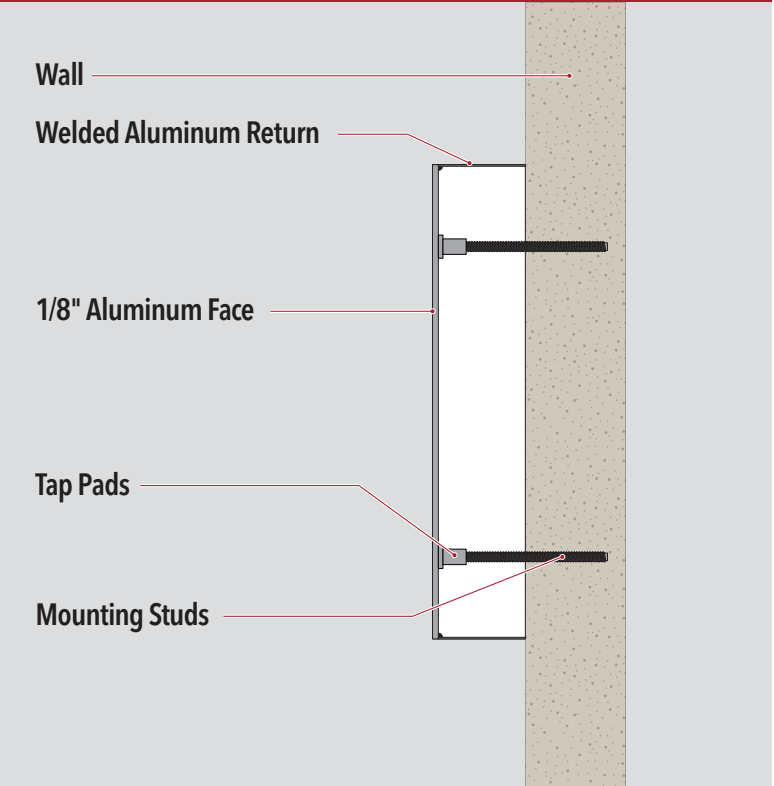
PAN CHANNEL LETTERS

FACE & HALO ILLUMINATED • STAND-OFF 1 1/2"



REVERSE PAN CHANNEL LETTERS

NON-ILLUMINATED • FLUSH MOUNT



Submittal

Project:

Submittal
Item:

Date:

Date Required:

Comments:

Approval:

WARE MALCOMB

project name The Hub at 202

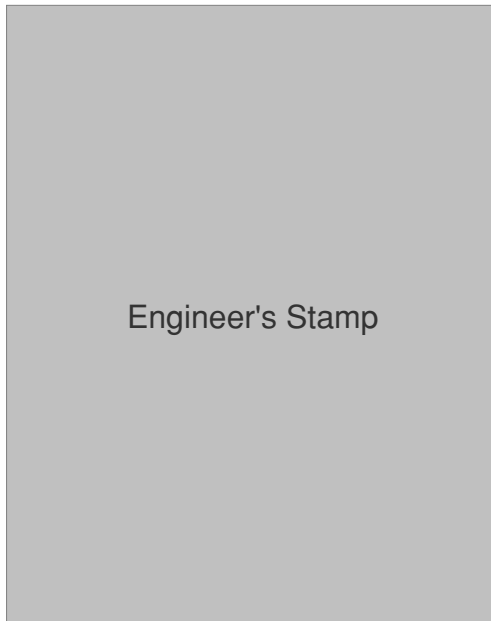
project no. PHX21-0063

NO EXCEPTIONS TAKEN MAKE CORRECTIONS NOTED
 FOR REVIEW ONLY REVISE AND RESUBMIT
 REJECTED SUBMIT SPECIFIED ITEM

Review is only for general conformance with the design concept of the project and general compliance with the information given in the contract documents. As action shown is subject to the requirements of the plans and specifications. Contractor is responsible for: dimensions which shall be confirmed and correlated at the job site; fabrication processes and techniques of construction; coordination of his work with that of all other trades; and the satisfactory performance of his work.

date 04/25/2023 by A.S.

Received for record. GC to coordinate with Electrical engineer for conduit routing locations.

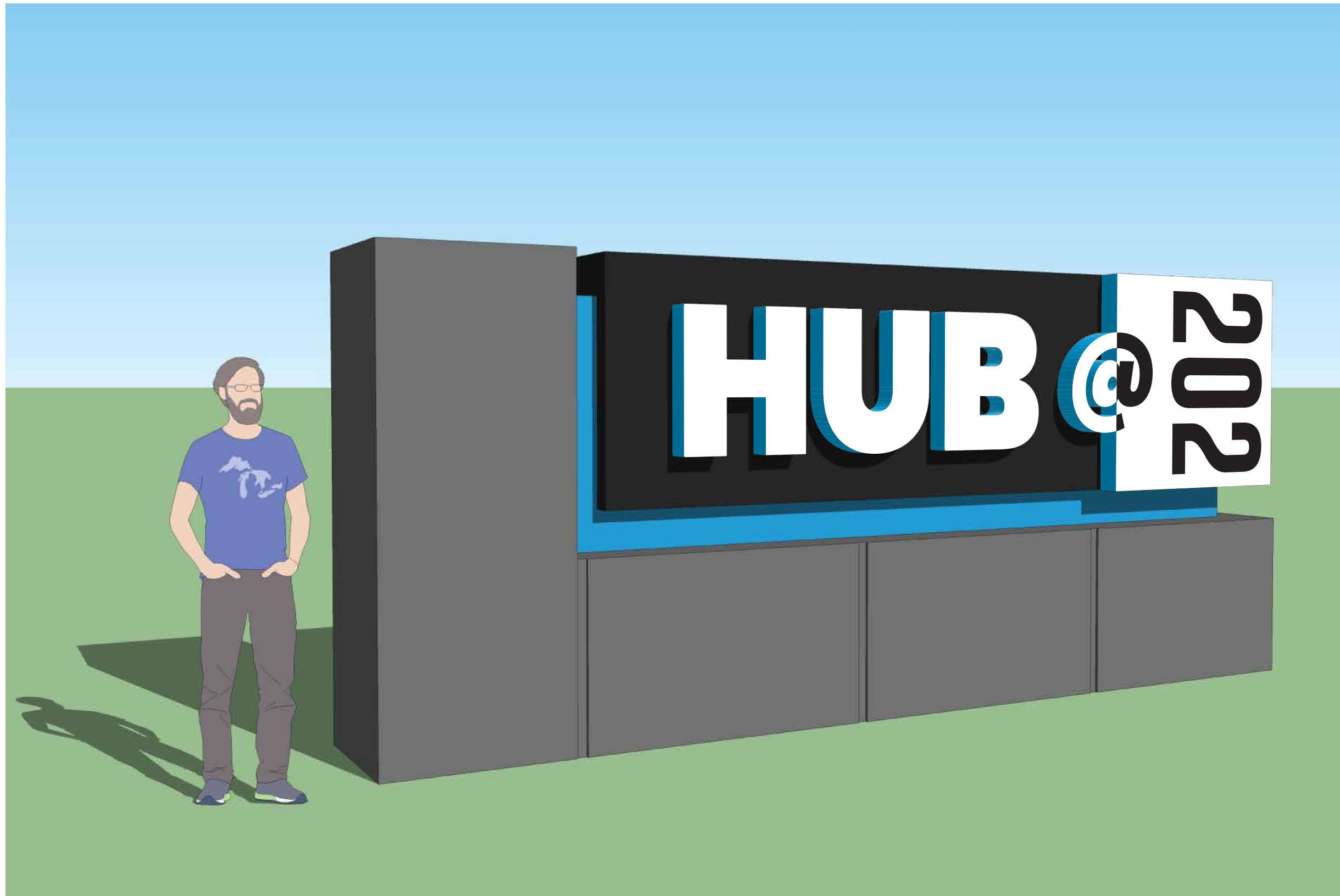


Layton Submittal Review

REVIEWED REVIEWED AS NOTED
 REVISE & RESUBMIT REJECTED

SUBMITTAL WAS REVIEWED FOR CONFORMITY TO CONTRACT DOCUMENTS ONLY. THE SUBCONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT JOBSITE FOR TOLERANCE, CLEARANCE, QUANTITIES, FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF WORK WITH OTHER TRADES, AND FULL COMPLIANCE WITH CONTRACT DOCUMENTS.

BY: DATE:



1 Proposed Layout

DAY VIEW

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This document represents an approximation of material colors specified. Actual product colors may vary from this print or digital image.

UL ALL ELECTRICAL COMPONENTS TO BE U. I. LISTED, APPROVED AND MARKED PER N.E.C. 600-4
Inspected and labeled in accordance with UL Standards using UL listed parts and methods of installation in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Client is responsible to provide primary electrical feed to within six (6) feet of sign location. 120V unless noted. The location of the disconnect switch after installation shall comply with Article 600.6(A) (1) of the National Electrical Code.

PROJECT:
Hub 202
4310 S Sossaman Rd
Mesa, AZ 85212

SALES: Jason Shano **DATE:** 01.05.23
DESIGN: Marshall Hogan

SCALE: NTS
Original Page Size: 11" x 17"

NOTES:
•

REVISIONS:

REV	DESCRIPTION	BY	DATE
01	base	MH	01.24.23
02	color	MH	02.15.23

CUSTOMER APPROVAL:
PRODUCTION BEGINS UPON APPROVAL

X
CLIENT SIGNATURE DATE:

X
LANDLORD SIGNATURE DATE:

FILE LOCATION:
PROPERTIES / Hub 202 /

230034-04
MON-01
Monument [Lit, D/F]

SHEET **01**



2 Proposed Layout

NIGHT VIEW

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X
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X
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FILE LOCATION:
PROPERTIES / Hub 202 /

230034-04
MON-01
Monument [Lit, D/F]

D/F MONUMENT

[A] - CABINET

Material: Fabricated 1/8" Aluminum
Color: Painted MAP Black, Satin Finish – ■

[B] - PC LIT LETTERS

Illumination: Face-Lit w/ Hanley PF3120 White LEDs
Faces: 3/16" 7328 White Acrylic – □
Returns: 5" Deep .040 Standard Coil Painted to Match SW6803 'Danube', Satin Finish – ■ [59']
Backs: .063 White Aluminum
Trimcap: 1" White Jewelite – □

[C] - GRAPHICS

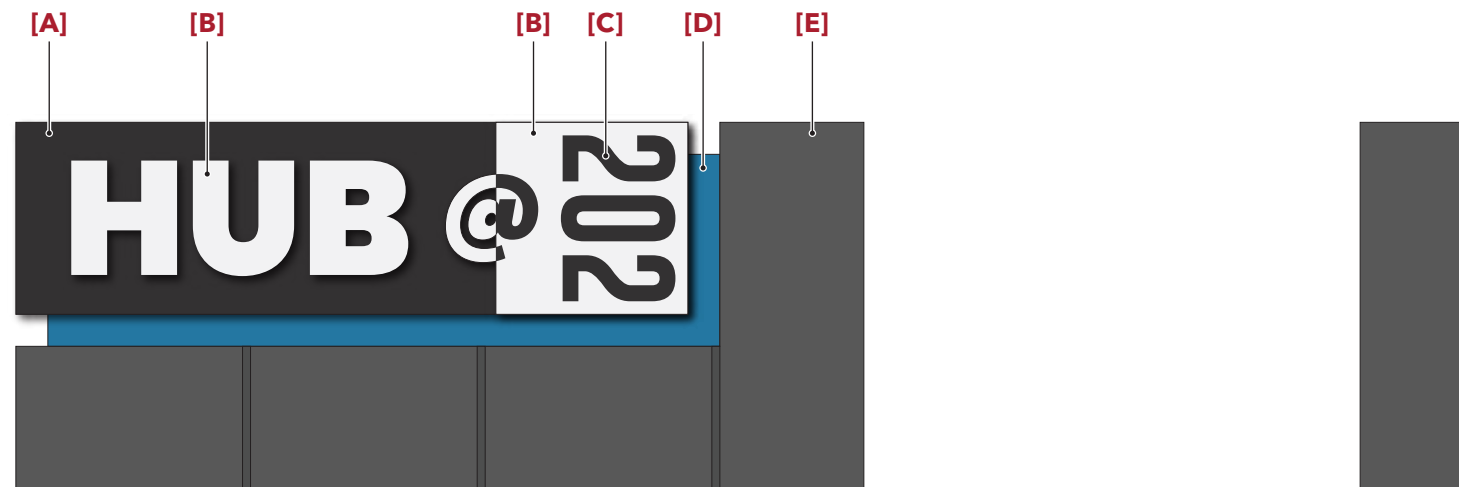
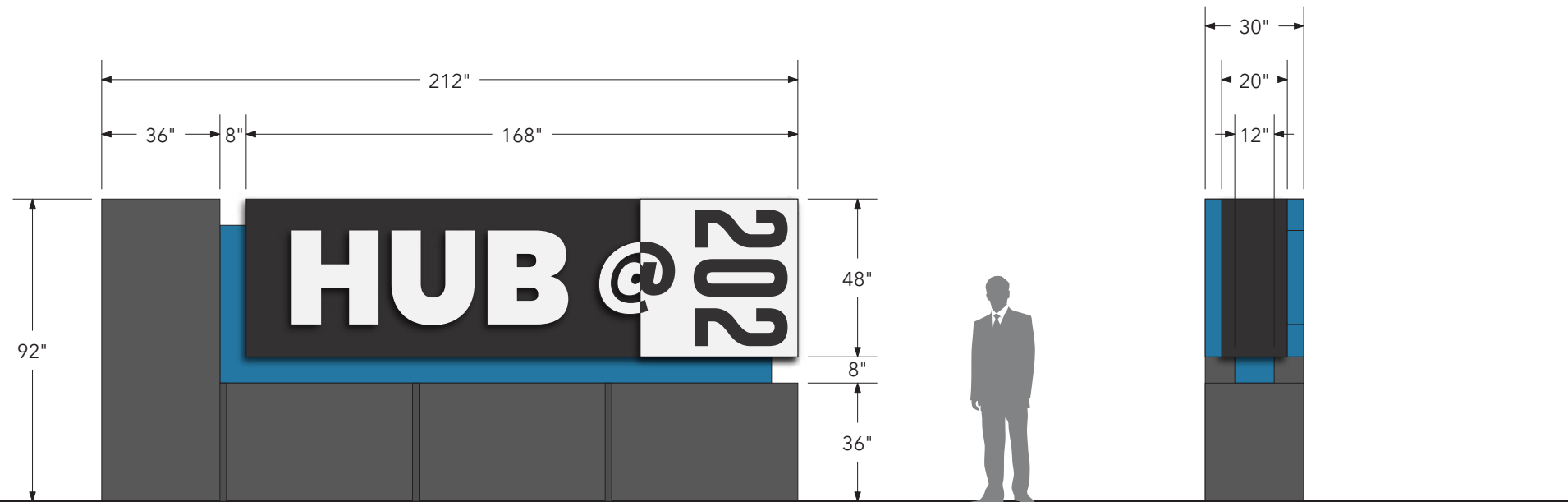
Material: Vinyl
Color: 3M 3630-22 Black – ■

[D] - REVEAL

Material: Fabricated 1/8" Aluminum
Color: Painted to Match SW6803 'Danube', Satin Finish – ■

[E] - BASE

Material: Concrete
Color: Sacked & Painted to Match SW7674 'Peppercorn', Satin Finish – ■



3 Sign Detail

QTY [2]


ASSOCIATED
SIGN COMPANY
 3335 W. VERNON AVE., PHOENIX, AZ 85009
 602.278.8933 • ASSOCIATEDSIGN.COM

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 **ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED, APPROVED AND MARKED PER N.E.C. 600-4**
 Inspected and labeled in accordance with UL Standards using UL listed parts and methods of installation in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Client is responsible to provide primary electrical feed to within six (6) feet of sign location. 120V unless noted. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

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REVISIONS:

REV	DESCRIPTION	BY	DATE
01	base	MH	01.24.23
02	color	MH	02.15.23

CUSTOMER APPROVAL:
 PRODUCTION BEGINS UPON APPROVAL

X
 CLIENT SIGNATURE DATE:

X
 LANDLORD SIGNATURE DATE:

FILE LOCATION:
PROPERTIES / Hub 202 /

230034-04
MON-01
 Monument [Lit, D/F]

SHEET 03

Limits of liability extend only to the work detailed, for the quantity of assemblies indicated (1 unless noted otherwise), at the location specified, and by the client listed; use of these plans and/or corresponding structural calculations in violation of either voids all liability.

GENERAL

- 1. ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE (IBC).
2. CONSTRUCTION METHODS AND PROJECT SAFETY: DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. THE EOR WILL NOT ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
3. VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES THAT ARE FOUND. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
4. ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND FIELD INSPECTOR. THE ENGINEER SHALL PROVIDE A SOLUTION PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION.
5. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, USE THOSE FOR OTHER SIMILAR WORK.
6. WHEN A DETAIL IS IDENTIFIED AS TYPICAL, APPLY IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
7. CHANGES TO THE DRAWINGS: OBTAIN PRIOR WRITTEN APPROVAL.
8. WORK PERFORMED IN CONFLICT WITH THE DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.

DESIGN CRITERIA

- 1. STRUCTURE IS DESIGNED IN ACCORDANCE WITH ASCE 7-16: MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
2. WIND LOAD: BASIC WIND SPEED, VULT = 105 MPH MAXIMUM RISK CATEGORY: II EXPOSURE: C
3. SNOW LOAD: IMPORTANCE FACTOR, Is = 1.0 SURFACE ROUGHNESS: C EXPOSURE: C
GROUND 0 PSF MAXIMUM. ROOF --- PSF ROOF LIVE LOAD: --- PSF

STEEL

- 1. STEEL SHAPES SHALL CONFORM TO THE FOLLOWING (U.N.O.): RND. H55 ASTM A500, GR. C Fy=46 KSI MIN. SQ./RECT. H55 ASTM A500, GR. C Fy=50 KSI MIN. THREADED ROD ASTM A36 Fy=36 KSI MIN. STEEL PLATE ASTM A36 Fy=36 KSI MIN. ANGLE & CHANNEL ASTM A36 Fy=36 KSI MIN. STD. PIPE ASTM A53, GR. B Fy=35 KSI MIN. STRUCT. PIPE ASTM A252, GR. 3 Fy=45 KSI MIN. WIDE FLANGE ASTM A992 Fy=50 KSI MIN.
2. MACHINE BOLTS SPECIFIED AS "A307" SHALL CONFORM TO ASTM A307 w/ NUTS PER ASTM A563A & WASHERS PER ASTM F844 (U.N.O.). THREADED PARTS, NUTS, AND WASHERS SHALL BE HDG OR ZP AS DEFINED HEREIN.
3. STRUCTURAL BOLTS SHALL CONFORM TO ASTM F3125 GRADES A325 OR A490 AS SPECIFIED ("A325" OR "A490") w/ NUTS PER ASTM A563DH & WASHERS PER ASTM F436.
A. WHERE DESIGNATED AS "-X", CARE MUST BE TAKEN TO ENSURE THREADS ARE EXCLUDED FROM THE SHEAR PLANE(S).
B. WHERE DESIGNATED AS "-N" OR IF NO DESIGNATION IS NOTED, THREADS MAY BE INCLUDED IN THE SHEAR PLANE(S).
C. WHERE SPECIFIED, "A325" MAY BE HDG OR ZP AS DEFINED HEREIN.
D. GRADE "A490" SHALL NOT BE HDG OR ZP AS DEFINED HEREIN.
4. ANCHORS CAST IN CONCRETE SHALL CONFORM TO ASTM F1554 GR. 36 (U.N.O.) w/ NUTS TO ASTM A563 AND WASHERS TO ASTM F436. PARTS SHALL BE HOT-DIP GALVANIZED (HDG) OR ZINC (MECHANICAL) PLATED (ZP). PARTS EMBEDDED ENTIRELY IN CONCRETE MAY BE PLAIN STEEL.
5. WHERE SPECIFIED FOR STEEL THREADED PARTS, NUTS, AND WASHERS, HOT-DIP GALVANIZING (HDG) SHALL CONFORM TO ASTM F2329 AND ZINC (MECHANICAL) PLATING (ZP) TO CLASS 55 PER ASTM B695.
6. PLAIN STEEL FASTENERS ARE NOT TO BE USED UNLESS SPECIFIED.
7. ZINC ELECTRO-PLATED FASTENERS PER ASTM F1941 MAY BE SUBSTITUTED FOR INTERIOR APPLICATIONS, BUT ARE OTHERWISE NOT TO BE USED UNLESS SPECIFIED.
8. NUTS AND WASHERS SHALL HAVE THE SAME COATING AS THE CORRESPONDING THREADED PART.
9. WHERE SPECIFIED, IRON AND STEEL HARDWARE SHALL BE HOT-DIP GALVANIZED PER ASTM A153.
10. STAINLESS STEEL (S5) BOLTS, STUDS, AND THREADED ROD SHALL CONFORM TO ASTM F593 AND BE ALLOY 304 OR 316 w/ NUTS TO ASTM F594. NUTS AND WASHERS SHALL MATCH THE ALLOY OF THE THREADED PART.
11. WELDING:
A. WELD STRUCTURAL STEEL IN COMPLIANCE WITH AWS/AAS D1.1 AND AISC SPECIFICATION, CHAPTER J. WELDERS SHALL BE CERTIFIED AS REQUIRED BY THE LOCAL BUILDING AUTHORITY. WELDING SHALL BE DONE BY ELECTRIC ARC PROCESS USING LOW-HYDROGEN ELECTRODES WITH SPECIFIED TENSILE STRENGTH NOT LESS THAN 70 KSI UNLESS NOTED OTHERWISE.
B. UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER AISC SPECIFICATION, SECTION J2, TABLE J2.4.

ALUMINUM

- 1. FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE 2010 ALUMINUM DESIGN MANUAL (ADM1), THE SPECIFICATIONS FOR ALUMINUM SHEET METAL WORK (ASM35), AND CHAPTER 20 OF THE BUILDING CODE.
2. ALUMINUM SHAPES SHALL CONFORM TO THE FOLLOWING: PIPE & TUBE 6061-T6 ASTM B429 Fy=35 KSI MIN. STRUCT. PROFILES 6061-T6 ASTM B308 Fy=35 KSI MIN. SHEET & PLATE 6061-T6 ASTM B209 Fy=35 KSI MIN. STAPLE TUBE 6063-T5 ASTM B221 Fy=16 KSI MIN.

- 3. ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AISC QUALITY CERTIFIED FABRICATOR.
4. UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER ADM 1.
5. FILLER SHALL BE 5556 ALLOY REGARDLESS OF MEMBER THICKNESS. NO OTHER FILLER ALLOY SHALL BE USED UNLESS NOTED OTHERWISE.

CONCRETE & REINFORCEMENT

- 1. MINIMUM 28-DAY COMPRESSIVE STRENGTH (fc) SHALL BE 2,500 PSI.
2. REINFORCEMENT TO BE ASTM A615 GR. 60, Fy=60 KSI UNO.
3. CALCIUM CHLORIDE OR ADDED CHLORIDE IS NOT PERMITTED.
4. ALL REINFORCED CONCRETE SHALL BE CONSOLIDATED WITH MECHANICAL VIBRATORS.
5. MINIMUM CONCRETE COVER: CAST AGAINST & EXPOSED TO EARTH 3" EXPOSED TO EARTH OR WEATHER 2"
6. CHAIRS AND SPACERS: AS REQUIRED TO MAINTAIN COVER.
7. SIGN MAY BE INSTALLED ON FOUNDATION AFTER A MINIMUM CURING TIME OF (14) DAYS PROVIDED CURING PROCESS IS PROPERLY MAINTAINED PER ACI 318.
8. GROUT SHALL BE NON-SHRINK AND NON-METALLIC WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT (1) DAY. MIX AND PLACE IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.

FOUNDATIONS

- 1. DESIGN BEARING PRESSURES ARE PER IBC CLASS 4 PRESUMPTIVE VALUES (NO SPECIAL INSPECTION REQUIRED): LATERAL BEARING: 150 PSF/FT VERTICAL BEARING: 2,000 PSF

EXISTING CONDITIONS

- 1. ENGINEER WILL NOT BE PERFORMING ON-SITE INSPECTIONS OR VERIFICATIONS. IT IS THE RESPONSIBILITY OF THE INSTALLER AND OWNER(S) TO IDENTIFY EXISTING CONDITIONS AND CONTACT ENGINEER WITH ANY DISCREPANCIES OR CONCERNS.
2. EXISTING INFORMATION HAS BEEN FURNISHED BY THE ENTITY WHOM THIS DOCUMENT WAS PREPARED FOR. ENGINEER IN NO WAY CERTIFIES THIS INFORMATION AS "AS-BUILT".
3. FEATURES OF WORK ANNOTATED AS "VERIFY" (OR SIMILAR) MUST BE INSPECTED, VERIFIED AS SUCH, AND DOCUMENTED PRIOR TO FABRICATION AND INSTALLATION.
4. IF THERE IS ANY REASON TO BELIEVE THE EXISTING CONDITIONS DETAILED HEREIN ARE NOT ACCURATE, CONTRACTOR SHALL CEASE WORK AND NOTIFY ENGINEER IMMEDIATELY.
5. CONTRACTOR SHALL INSPECT AND CONFIRM THE QUALITY OF EXISTING STRUCTURE AS "IN GOOD REPAIR". STRUCTURE SHALL BE FREE OF CORROSION, DECAY, AND ANY OTHER MATERIAL, FABRICATION, ASSEMBLY, OR INSTALLATION DEFECT. IF THERE ARE ANY INDICATIONS THAT THIS IS NOT THE CASE, CONTRACTOR SHALL CEASE WORK IMMEDIATELY AND NOTIFY ENGINEER.

EVALUATION REPORT SCHEDULE

ANCHORS, FASTENERS, AND OTHER PRODUCTS SHALL CONFORM TO AND BE INSTALLED PER THEIR RESPECTIVE EVALUATION REPORT(S) AS FOLLOWS (NOT ALL APPLICABLE THIS PROJECT):

Table with 2 columns: ANCHOR TYPE and REPORT #. Lists various anchor types like HILTI KB-T22, HILTI KH-EZ, etc. and their corresponding report numbers.

ABBREVIATIONS

Table with 3 columns: Abbreviation, Description, and Material/Spec. Lists abbreviations like ABV., ADD'L., AFF., etc. and their meanings.

MANUFACTURED SIGN CABINETS

UNLESS NOTED OTHERWISE, MANUFACTURED SIGN CABINETS SHALL BE DESIGNED BY THE MANUFACTURER/FABRICATOR OR OTHER COMPETENT PARTY AND FABRICATED IN ACCORDANCE WITH ALL APPLICABLE CODES, UL LISTINGS, LOCAL ORDINANCES, AND INDUSTRY STANDARDS. THIS INCLUDES FACES AND CLADDING, INTERNAL STRUCTURE, ELECTRICAL, AND ALL OTHER ACCESSORY COMPONENTS.

THE MANUFACTURER/FABRICATOR IS RESPONSIBLE FOR ENSURING ALL CABINETS ARE ASSEMBLED WITH ADEQUATE INTERNAL FRAMING AND STIFFNESS. CABINET FRAMING SHALL BE CAPABLE OF DELIVERING ALL IMPOSED DESIGN LOADS (WIND, SEISMIC, DEAD, SNOW, ETC.) DIRECTLY TO THE STRUCTURAL CONNECTIONS OR ELEMENTS DETAILED HEREIN. CABINET FRAMING SHALL LIMIT EXCESSIVE VIBRATION, DRIFT, OR DEFLECTION TO REASONABLE LEVELS.

FAILURE TO PROVIDE AN ADEQUATE LOAD PATH OR SUFFICIENT CABINET STIFFNESS MAY RESULT IN EXCESSIVE VIBRATION, DRIFT, OR DEFLECTION WHICH MAY YIELD SECOND-ORDER EFFECTS THAT CAN NEGATIVELY AFFECT THE PERFORMANCE OF THE STRUCTURAL CONNECTIONS OR ELEMENTS DETAILED HEREIN.

REVERENCE ENGINEERING MAKES NO CLAIMS AS TO THE SUITABILITY OF MANUFACTURED SIGN CABINETS IDENTIFIED AS "BY MFR." OR "BY FAB." WHICH HAVE NOT BEEN ENGINEERED, CERTIFIED, OR REVIEWED BY REVERENCE ENGINEERING UNLESS SPECIFICALLY CONTRACTED OTHERWISE AND DETAILED OR NOTED HEREIN.

THIS AREA INTENTIONALLY LEFT BLANK

DESIGN BY OTHERS NOTE

REVERENCE ENGINEERING IN NO WAY CERTIFIES OR MAKES CLAIMS TO THE SUITABILITY OF CONDITIONS OR ELEMENTS (EXISTING OR NEW) THAT ARE DESIGNED BY OTHERS. SUCH CONDITIONS AND ELEMENTS ARE IDENTIFIED AS "BY OTHERS" OR "DESIGNED BY OTHERS" AND ARE NOT ENGINEERED BY REVERENCE ENGINEERING.

THE SCOPE OF ENGINEERING HEREIN ASSUMES THESE ELEMENTS HAVE BEEN, OR WILL BE, DESIGNED OR CHECKED FOR SUITABILITY BY A DESIGN PROFESSIONAL.

CONNECTION TO EXISTING STRUCTURE

REVERENCE ENGINEERING IN NO WAY CERTIFIES THE EXISTING STRUCTURE AS ADEQUATE AND ABLE TO SUPPORT THE LOADS FROM THE ASSEMBLY DETAILED HEREIN.

REVERENCE ENGINEERING HAS PROVIDED THESE DRAWINGS WITH THE UNDERSTANDING THAT THE EXISTING STRUCTURE WAS EITHER ORIGINALLY DESIGNED TO ACCEPT THE ASSEMBLY DETAILED HEREIN OR HAS BEEN (OR WILL BE) ASSESSED FOR ADEQUACY PRIOR TO FABRICATION AND INSTALLATION. IT IS THE UNDERSTANDING OF REVERENCE ENGINEERING THAT SUCH DETERMINATION OR EVALUATION HAS BEEN OR WILL BE MADE KNOWN TO THE OWNER/CONTRACTOR/FABRICATOR/SUB-CONTRACTOR.

ELECTRICAL NOTE

ELECTRIC COMPONENTS AND WIRING ARE NOT DESIGNED BY REVERENCE ENGINEERING. FABRICATOR AND INSTALLER SHALL COMPLY WITH THE CURRENT VERSION OF THE ADOPTED NATIONAL ELECTRIC CODE (NEC) AND ARTICLE 600: "ELECTRIC SIGNS AND OUTLINE LIGHTING".



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PREPARED FOR:

ASSOCIATED SIGN COMPANY

PROJECT #:

2304008

HUB @ 202
MONUMENT SIGN

4310 S SOSSAMAN RD.
MESA, AZ 85212

Table with 3 columns: No., Issue/Revision, Date. Shows Initial Submittal on 04-04-2023.



SHEET TITLE:

STRUCTURAL

SHEET:

S.1

ORIGINAL SHEET SIZE: 11x17

HUB @ 202
MONUMENT SIGN
4310 S SOSSAMAN RD.
MESA, AZ 85212

No.	Issue/Revision:	Date:
---	Initial Submittal	04-04-2023

- 1
- 2
- 3
- 4

FOR REVIEW SET
NOT FOR PERMIT
NOT FOR CONSTRUCTION

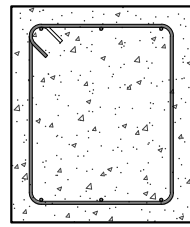
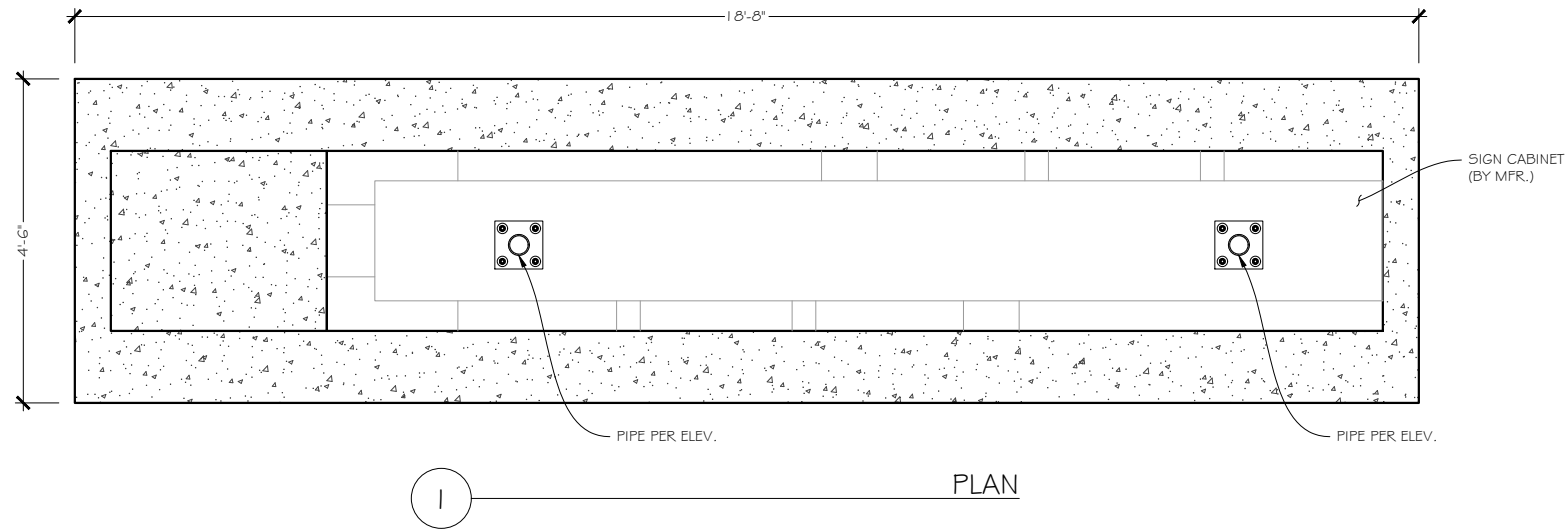
04-Apr-23

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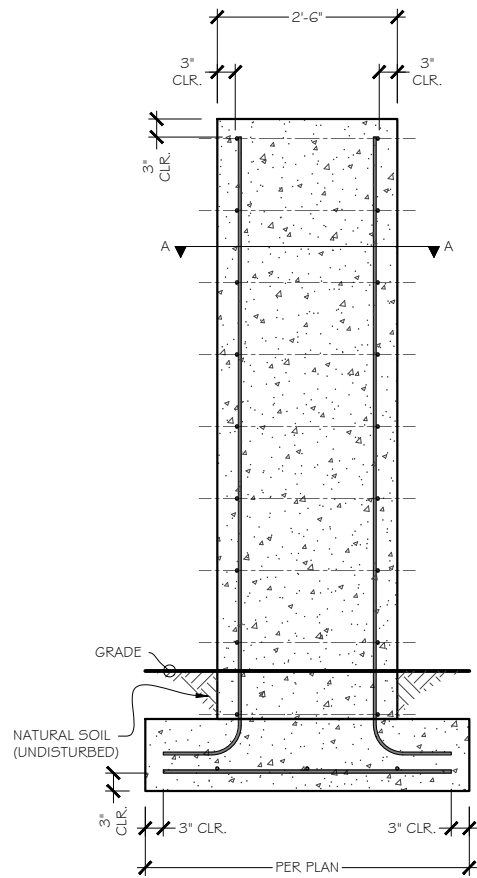
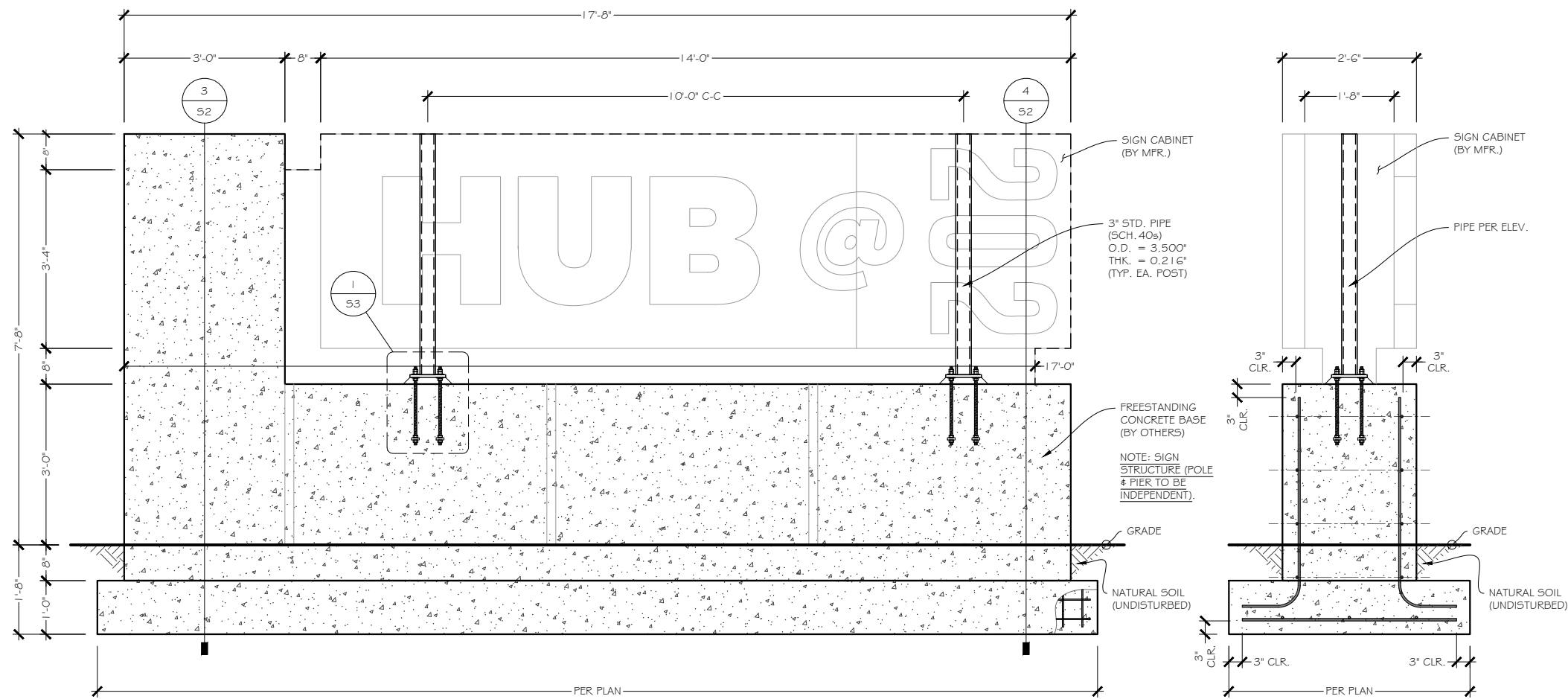
SHEET:
S.2

ORIGINAL SHEET SIZE: 11x17

Limits of liability extend only to the work detailed, for the quantity of assemblies indicated (1 unless noted otherwise), at the location specified, and by the client listed; use of these plans and/or corresponding structural calculations in violation of either voids all liability.



SECTION A-A



SECTION

2

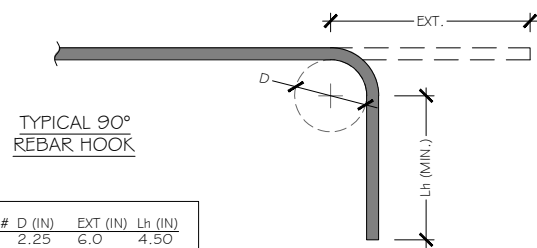
ELEVATION

4

SECTION

3

Limits of liability extend only to the work detailed, for the quantity of assemblies indicated (1 unless noted otherwise), at the location specified, and by the client listed; use of these plans and/or corresponding structural calculations in violation of either words or liability.



BAR #	D (IN)	EXT. (IN)	Lh (IN)
3	2.25	6.0	4.50
4	3.00	8.0	6.00
5	3.75	10.0	7.50
6	4.50	12.0	9.00
7	5.25	14.0	10.5
8	6.00	16.0	12.0

2 REBAR BEND DETAIL

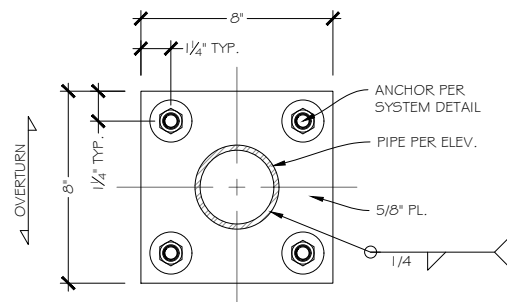


PLATE DETAIL

"PAB SUBSTITUTION SCHEDULE"

THE PURPOSE OF THE SUBSTITUTION TABLE IS TO PROVIDE FOR AN EQUIVALENT FABRICATED ANCHOR ASSEMBLY TO THE SIMPSON "PAB" SPECIFIED IN THE PLANS.

REFER TO PLANS FOR SPECIFIED ANCHOR BEFORE USING SUBSTITUTION TABLE.

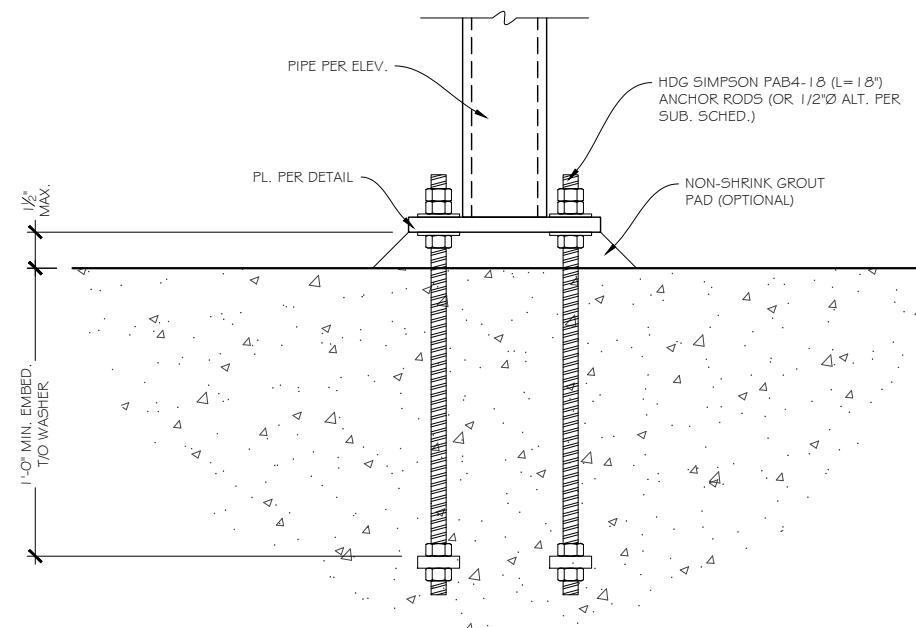
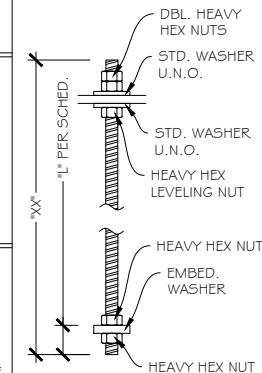
HOW TO USE THE SUBSTITUTION TABLE

1. IDENTIFY THE SPECIFIED ANCHOR IN THE PLAN OR DETAILS.
2. LOCATE THE SPECIFIED ANCHOR IN THE FIRST COLUMN OF THE TABLE. USE ONLY THIS ENTRY.
3. IDENTIFY THE CORRESPONDING ANCHOR COMPONENTS FOR AN EQUIVALENT ASSEMBLY.
4. WHERE THE PLANS INDICATE (H), REFER TO TABLE NOTES.

SPECIFIED SIMPSON "PAB" ^{1,2}	ROD DIA.	SQ. EMBED. WASHER SIZE ³	L
PAB4(H)-XX	1/2"	1 1/2" SQ. x 3/8"	1 1/2"
PAB5(H)-XX	3/8"	1 3/4" SQ. x 1/2"	1 3/8"
PAB6(H)-XX	3/4"	2 1/4" SQ. x 1/2"	1 1/2"
PAB7(H)-XX	7/8"	2 3/4" SQ. x 1/2"	1 3/8"
PAB8(H)-XX	1"	3" SQ. x 5/8"	1 7/8"
PAB9(H)-XX	1 1/8"	3 1/2" SQ. x 5/8"	2"
PAB10(H)-XX	1 1/4"	3 3/4" SQ. x 5/8"	2 1/4"

NOTES:
 1. WHERE SPECIFIED AS HIGH STRENGTH ("H"), USE W/ GR. 105 (U.N.O.); IF NO ("H"), USE GR. 36 MIN.
 2. "XX" IS THE TOTAL ROD LENGTH.
 3. WASHER SIZES ARE MINIMUMS.
 4. WASHERS AND BASE PLATES TO HAVE STD. HOLES.
 $D_{HOLE} = D_{BOLT} + 1/16"$ for $D_{BOLT} < 1 1/8"$
 $D_{HOLE} = D_{BOLT} + 1/8"$ for $D_{BOLT} \geq 1 1/8"$

IDENTIFY ANCHOR PER PLAN FOR EQUIV. SUBSTITUTE



SYSTEM DETAIL

1 CONNECTION DETAIL



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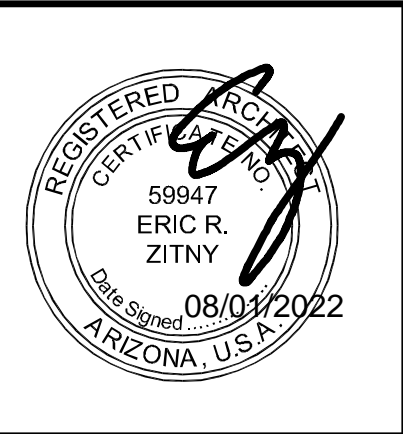
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- 3
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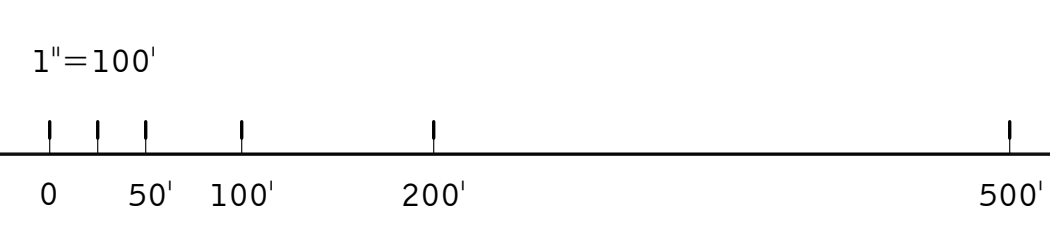
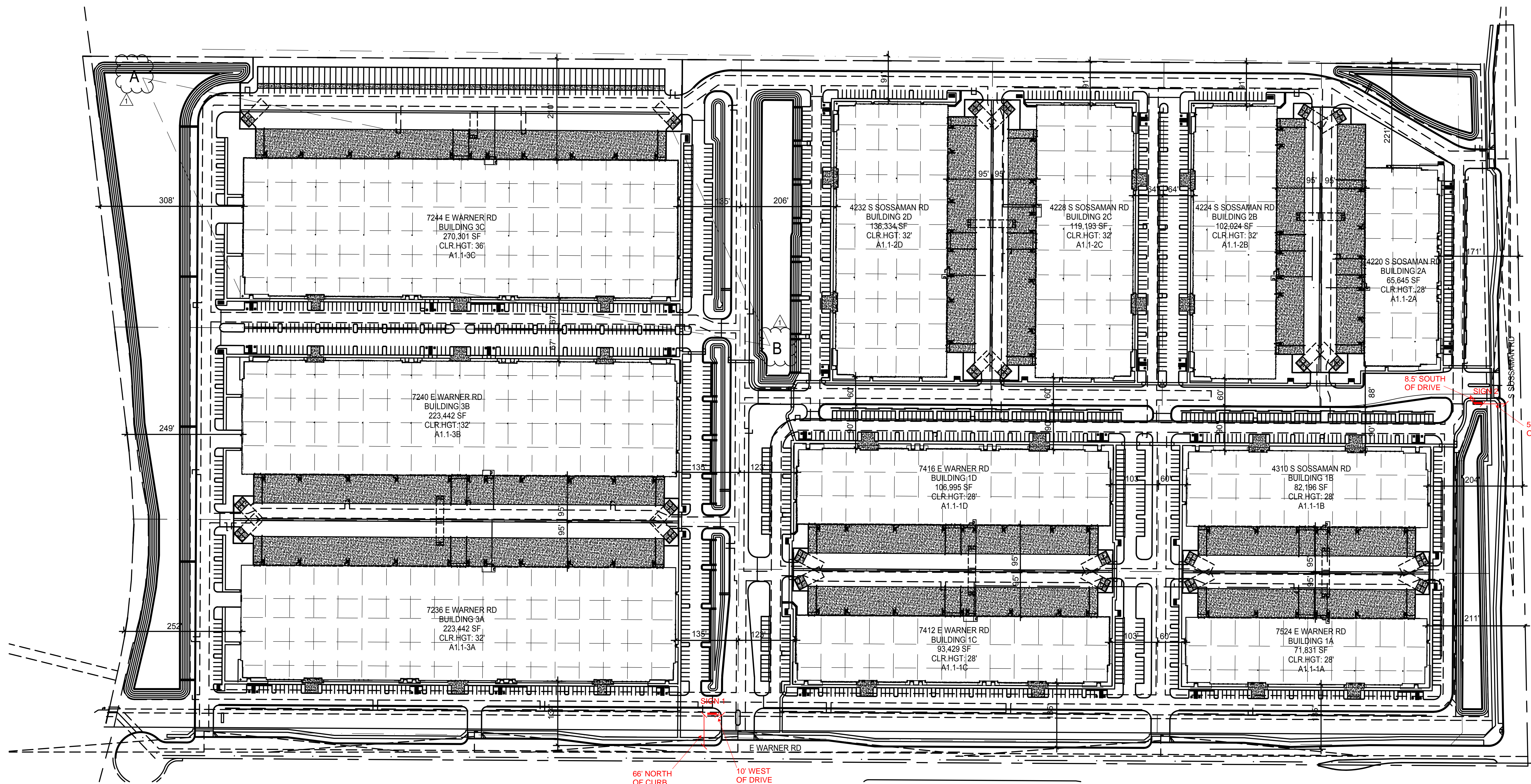
04-Apr-23
 SHEET TITLE:
 STRUCTURAL

SHEET:
 S.3

ORIGINAL SHEET SIZE: 11x17



THE HUB AT 202
 4310 S. SOSSAMAN RD.
 MESA, ARIZONA 85212



OVERALL SITE PLAN
 SCALE: 1" = 100'-0"
 1 N

SITE DATA

SITE PERVIOUS & IMPROVED AREAS PROVIDED:
 PERVIOUS AREA (LANDSCAPE & RETENTION): 909,430 SF
 PERCENTAGE PERVIOUS (LANDSCAPE & RETENTION AREA): 20.80% (GROSS) 21.85% (NET)
 IMPERVIOUS AREA (CONCRETE & ASPHALT): 74,38% (GROSS) 76.15% (NET)
 IMPERVIOUS AREA (BUILDINGS): 1,494,832 SF
 IMPERVIOUS PERCENTAGE (BUILDINGS): 34.19% (GROSS) 35.92% (NET)

LOT (GROSS)	4,372,552	(100.38 ACRES)
LOT (NET)	4,161,722	(95.54 ACRES)
BUILDING 1A AREA	71,831	S.F.
BUILDING 1B AREA	82,196	S.F.
BUILDING 1C AREA	93,429	S.F.
BUILDING 1D AREA	106,995	S.F.
BUILDING 2A AREA	65,645	S.F.
BUILDING 2B AREA	102,024	S.F.
BUILDING 2C AREA	119,193	S.F.
BUILDING 2D AREA	136,334	S.F.
BUILDING 3A AREA	223,442	S.F.
BUILDING 3B AREA	223,442	S.F.
BUILDING 3C AREA	270,301	S.F.
TOTAL BUILDING AREA	1,494,832	S.F.

PARKING REQUIRED	1890	WAREHOUSE
STANDARD PARKING REQUIRED	1,661	STALLS
ACCESSIBLE PARKING REQUIRED	25	STALLS
BICYCLE PARKING REQUIRED	75	STALLS
STANDARD PARKING PROVIDED	1,430	STALLS
ACCESSIBLE PARKING PROVIDED	56	STALLS
BICYCLE PARKING PROVIDED (10 PER BUILDING)	110	STALLS
TRAILER PARKING PROVIDED	73	STALLS

ACCESSOR'S PARCEL NO.: 304-17-014K

OVERALL SITE PLAN

DATE	ISSUE FOR BID	REMARKS
01/25/2022		
03/02/2022	PERMIT REVIEW SUBMISSION	
05/12/2022	CURRENT RESPONSE	
06/17/2022	ADDITIONAL RESPONSE	

P/APP: B. SANDSTROM
 DRAWN BY: A.B. / T.D.
 JOB NO.: PHX21-0063-00