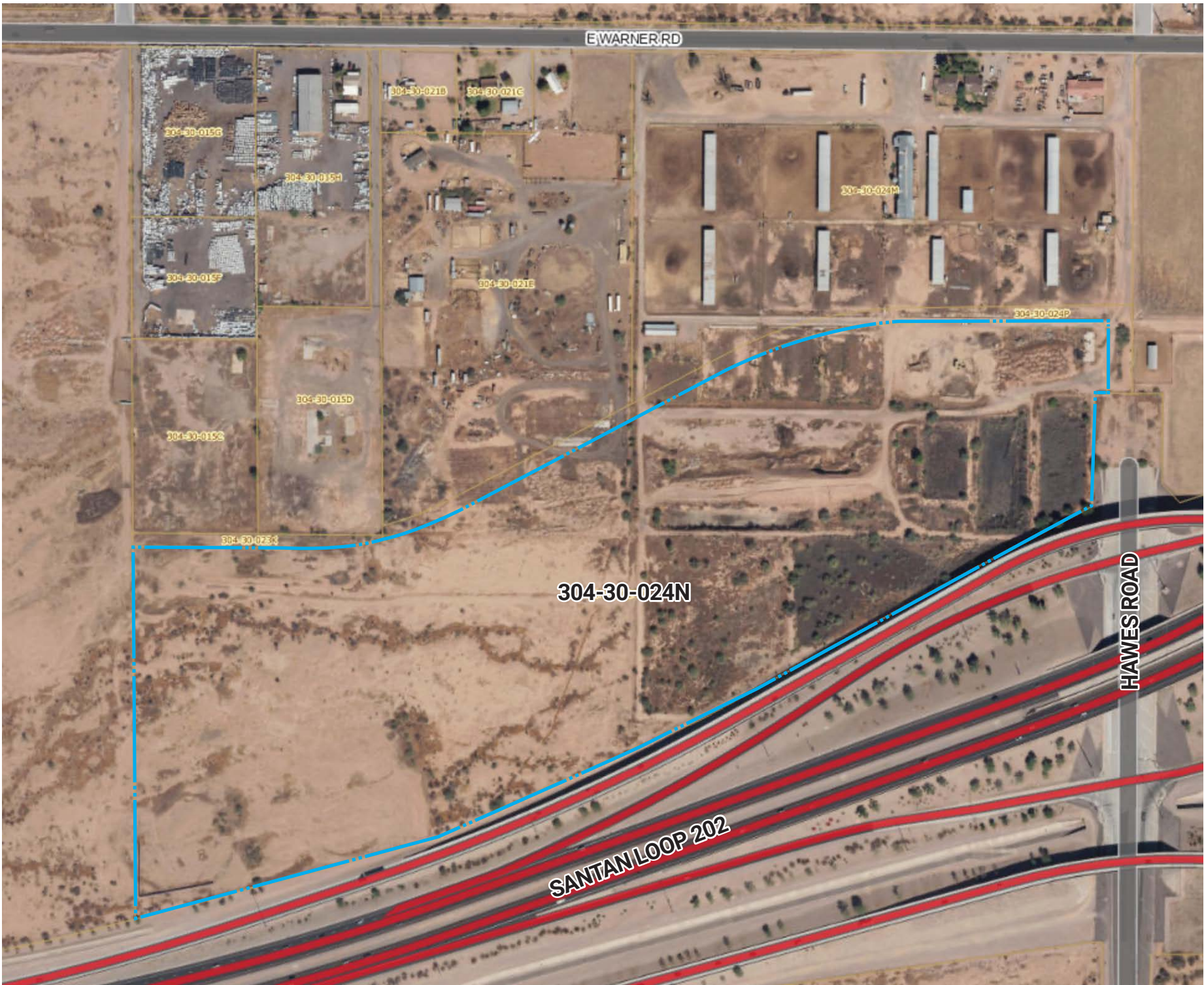


GATEWAY >> < INTERCHANGE

NWC Santan Loop 202 & Hawes Road
Mesa, AZ

COMPREHENSIVE SIGN PLAN

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NOTE:
Parcel lines, aerial image, and APN(s) shown were as shown on the Maricopa County Assessor's Office parcel viewer map as of 6/18/25. Renumbering may occur prior to site development.

Landlord Approval Process		General Signage Standards	
<p>Signage Proposal</p> <p>Each tenant must submit to the owner’s representative three (3) sets of detailed shop drawings (or a PDF Electronic Copy) showing locations (on buildings and/or property), dimensions, sizes, design, colors, materials, lettering, graphics, conduits, junction boxes, sleeves, and other mounting apparatus of all proposed freestanding, wall, window, and rear door signs.</p> <p>Sign Contractor’s Responsibilities</p> <p>Prior to preparation of signage drawings and specifications, the tenant’s sign contractor must review all architectural, structural, and electrical documents as they relate to the building wall and/or storefront at the proposed signage location. In addition, the sign contractor should visit the project site to become familiar with as-built conditions and to verify all dimensions.</p> <p>Sign faces, sign cabinets and method of attaching signs to their support structure shall be designed and constructed to be in compliance with provisions of City of Mesa code.</p> <p>Sign Shop Drawings</p> <p>Sign shop drawings submitted by the Tenant shall provide complete information for the Landlord to understand the signage design, installation and appearance. Sign shop drawings shall:</p> <div><div>1) provide an elevation, in scale, of the storefront façade illustrating each sign’s location and size.</div><div>2) provide a section or sections through the sign.</div><div>3) identify the materials and construction</div><div>4) provide complete information on installation.</div><div>5) provide electrical specifications for signage.</div></div> <p>Tenant Responsibilities For Other Regulations</p> <p>The owner’s representative’s approval of a tenant’s signage plan does not constitute an implication, representation, or certification by the owner’s representative that those plans are in compliance with applicable statutes, codes, ordinances, or other regulations. Compliance with other regulations is the sole responsibility of the tenant for all work performed on the premises by, or for the tenant.</p> <p>No signs, advertisements, notices or other lettering shall be exhibited, inscribed painted or affixed on any part of a sign, except lettering and/or graphics which have received the prior written approval of Landlord.</p>	<p>Owner’s Representative Review</p> <p>After review of the signage proposal, the owner’s representative will return back to the tenant within five (5) business days one of the three sets of drawings (or a PDF Copy) to the Tenant, marked either “Approved,” “Approved as Noted,” or “Revise and Resubmit.”</p> <p>“Approved”</p> <p>If drawings are marked “Approved,” the Tenant is allowed to proceed with sign permitting through the City of Mesa. Upon permit approval, construction and installation in accordance with the drawings may commence.</p> <p>“Approved as Noted”</p> <p>If drawings are marked “Approved as Noted,” the tenant is allowed to proceed with sign permitting through the City of Mesa and then construction and installation, provided that any modifications noted are incorporated into the design. An applicant that takes exception to the noted modifications may revise and resubmit, as explained below.</p> <p>“Revise and Resubmit”</p> <p>If drawings are marked “Revise and Resubmit,” the plans will be returned to the tenant with comments. The drawings must be revised and resubmitted for owner’s representative approval.</p> <p>For owner’s representative review, send signage drawings to:</p> <div><div>EastGroup Properties</div><div>2141 E. Camelback Rd.</div><div>Suite 250</div><div>Phoenix, AZ 85016</div></div> <div><div>Mike Sacco</div><div>(602) 840-8600</div><div>Mike.Sacco@eastgroup.net</div></div>	<p>Installation/ Sealing Of Building Wall Penetrations</p> <p>All mounting is to be performed by the tenant’s sign company. Tenant’s building signage must be mounted directly to the building façade or canopy as shown on the elevations. Façade penetrations should be kept to a minimum. All penetrations of the building wall structure required for sign installation shall be neatly sealed in a watertight fashion. No roof penetrations are allowed. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.</p> <p>Openings In Building Walls</p> <p>Locations of all openings for conduit and sleeves in building walls must be indicated by the sign contractor on the drawings submitted. The contractor shall install the sign in accordance with the approved drawings. All penetrations made shall be sealed during the sign installation to prevent damage to the building walls/ materials.</p> <p>Electrical Requirements</p> <p>No exposed tubing or conduit will be permitted. All conductors, transformers, and other equipment shall be concealed. All electrical signs shall bear the UL label and shall conform to National Electrical Code Standards.</p> <p>Damage Caused By Or During Installation</p> <p>The sign contractor and/or tenant will pay for any damage to a building’s fascia, canopy, structure, roof, building elements or flashing caused by sign installation.</p> <p>Upkeep And Maintenance</p> <p>Each Tenant is fully responsible for the upkeep and maintenance of its sign(s), including any individual pylon or monument signage, and tenants are to repair any sign defects within five (5) days of notification. If a tenant does not repair said sign(s), the owner, at the tenant’s sole cost and expense, may repair and/or replace sign(s). A penalty of 100% of the owner’s cost to repair said signage, in addition to the cost of the repair, may be assessed to the tenant if the landlord or building owner is required to provide the necessary maintenance due to the tenant’s non compliance following notification.</p> <p>Owner’s Right To Modify Requirements</p> <p>The owner’s representative has the right to modify the sign design standards and requirements for any Tenant.</p>	<p>Required Insurance For Sign Contractors</p> <p>All sign contractors must carry workers’ compensation and commercial liability insurance against all damages suffered or done to any and all persons and/or property while engaged in the construction or installation of signs, with a combined single limit in an amount not less than two million and no/100 dollars (\$2,000,000.00) per occurrence. Every sign contractor must hold a current contractor’s license in the State of Arizona. Landlord or building owner must be named as additionally insured in the workers’ compensation and commercial liability insurance. Contact the owner’s representative for this information.</p> <p>Sign Identification Tags</p> <p>No labels shall be permitted on the exposed surface of signs, except those required by local ordinance & labels complying with UL and/or National Electrical Code requirements.</p> <p>General Construction Requirements</p> <p>All signs shall be fabricated using full welded construction. All exposed fasteners shall be painted to render them inconspicuous. All signs shall conform to International Building Code Standards. Flashing, moving, or audible signs will not be permitted.</p> <p>Illuminated Signs</p> <p>Illuminated signs may be internally or externally lighted in commercial and industrial districts. The source of illumination of any sign is to be shielded so that it is not visible from or causes glare or reflection onto adjacent properties and streets. All illuminated signs must comply with the City of Mesa Development Services Sign Code.</p> <p>Illumination Timer</p> <p>Power to illuminate the tenant’s sign is to be from tenant’s electrical meter, switched through a time clock and photo cell, set in accordance with schedules determined by the owner and shopping center manager.</p>
EastGroup Properties Gateway Interchange		TRADEMARK	Comprehensive Sign Plan 120748-05 12.10.25

BUILDING ATTACHED SIGN

A permanent sign with only one sign surface that is attached parallel to an outside wall of a building. A building attached sign shall be of separate construction extending no more than ten inches (10") from the wall surface. May consist of individual letters or an architecturally designed cabinet that is irregular and freeform in shape. Exposed raceways are prohibited.

CUSTOM CABINET SIGN

A permanent sign with only one sign surface that is attached parallel to an outside wall of a building consisting of an singular architecturally designed cabinet that is irregular and freeform in shape.

DIRECTIONAL SIGN

A permanent sign that designates a functional aspect of a site such as the entrance or exit from a parking area, drive-thru, a loading area, a fire lane, or any similar feature approved by the Zoning Administrator.

GRAPHICS

Lettering, symbols, and logos used for name identification (primary identification), and for identification of product and services (secondary identification or modifiers).

FREESTANDING SIGN

A sign supported permanently upon the ground by poles, pylons, braces or a solid base and not attached to any building. Freestanding signs include those signs otherwise known as "ground signs," "pole signs," "pylon signs," and "monument signs."

MONUMENT SIGN

A permanent sign that displays the name of a multi-tenant complex, tenants within the subject complex, and the physical address of the complex. A monument sign is placed along a street frontage and is attached to one or two sides of a freestanding wall or other ground structure separate from a building.

PERMANENT SIGN

A sign displayed for an unrestricted period of time.

SIGN AREA

The area contained within the outer limits of the text, emblem, logo, or other display together with the material or color forming the background for the text, emblem, logo, or other display but not including the supporting structure or wall to which it is attached. Actual sign area allowed will correspond to a tenant's leased frontage. See Figures 1 & 2 on this sheet for examples.

SIGN BAND

A physical architectural feature on a building surface, often above building entrances, designed to accommodate wall signage. See Figure 3 on this sheet for example.

SIGN ENVELOPE

Located within a sign band, the sign envelope is the designated area that defines the overall height and length allowances for sign area designated for tenant sign placement on a building elevation. For this project, the area of a sign envelope is ascribed as seventy-five percent (75%) of available horizontal wall space and eighty percent (80%) of available vertical wall space. A sign envelope does not necessarily define the allowable sign area for a sign. See Figure 3 on this sheet for example.

TEMPORARY SIGN

Any sign displayed for a restricted period of time. Please see the City of Mesa Development Services Department Sign Code for details.

WALL SIGN

A permanent sign with only one sign surface that is attached parallel to an outside wall of a building consisting of individual letters/logos constructed of durable materials.

WINDOW GRAPHICS

A permanent or temporary sign attached directly to the surface of the windows, facing toward the exterior of the tenant space.



FIGURE 1

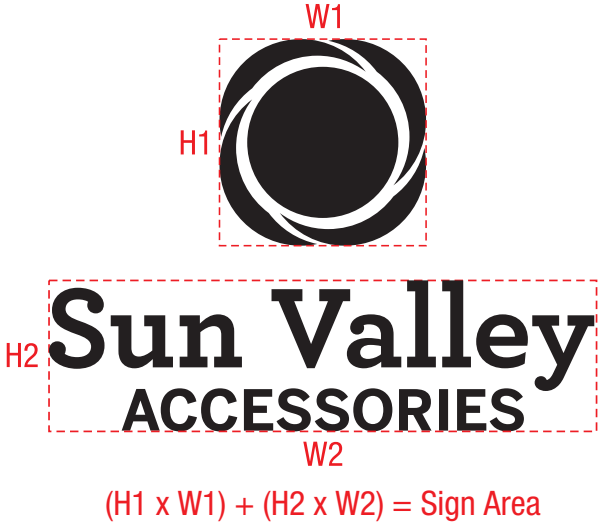


FIGURE 2

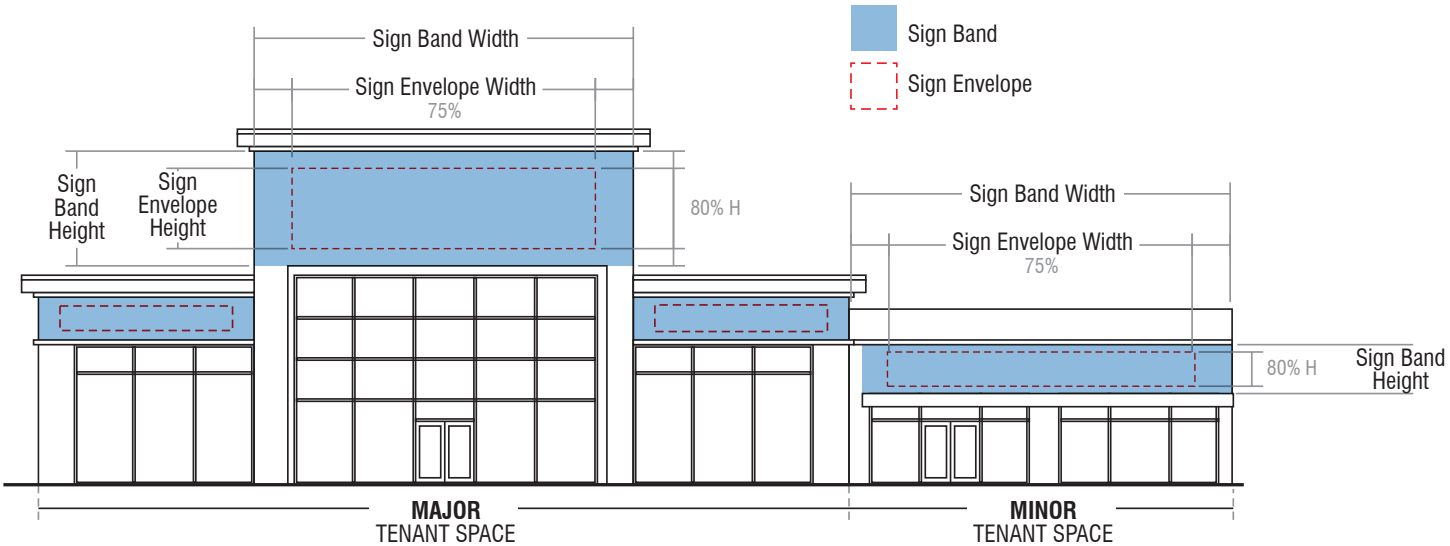
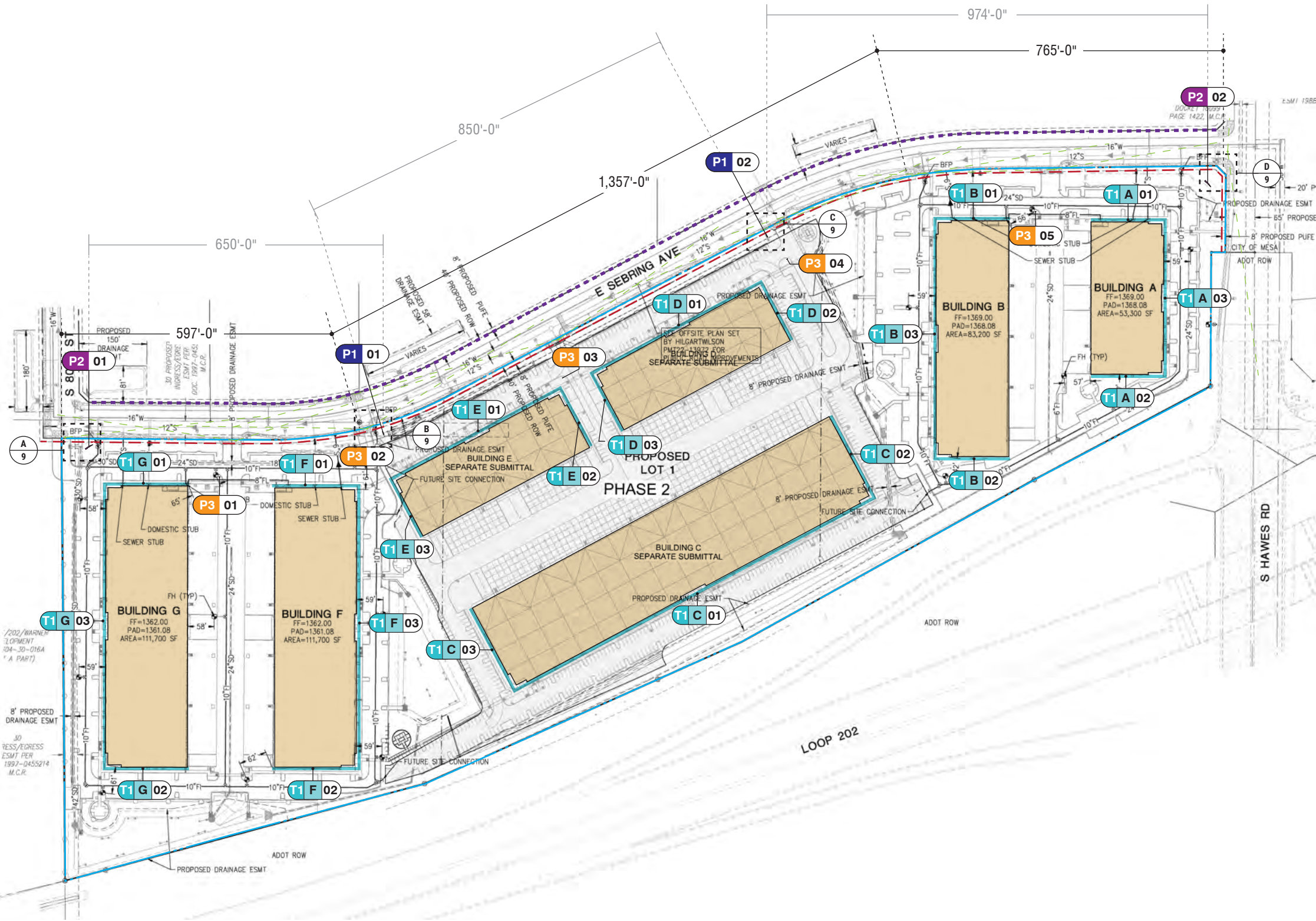


FIGURE 3

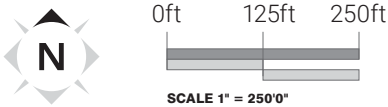
Property Sign Matrix							
SIGN TYPE	FUNCTION	SIZES	SIGN QUANTITY/LOCATION	SIGN CONSTRUCTION	ILLUMINATION	MATERIALS	REQUIREMENTS PER CITY CODE
<div>P1</div> Multi-Tenant Monument Sign	Property & Tenant Identification	Height of 12'-0" Sign area of 70.58 SF	(2) signs; installed along Sebring Ave.	Aluminum framing construction & skin Project ID cabinet with acrylic push-thru Aluminum tenant panels with acrylic back-up Formed Concrete Base w/ FCO aluminum Developer ID	Property ID - Face-illuminated; white LED Tenant Panels - Face-illuminated; white LED Developer ID - Non-Illuminated	Acrylic or Lexan, Aluminum, Painted Metal, Various Vinyls, Concrete (Typical)	1 foot of sign height per 20 lineal feet of street frontage & 1 SF of sign area per lineal foot of street frontage Max. Height of 12'-0" Max. sign area of 80 SF
<div>P2</div> Project ID Sign	Property & Tenant Identification	Height of 7'-0" Sign area of 37.77 SF	(2) signs; installed along Sebring Ave. at the Northwest and Northeast corners of the site	Aluminum framing construction & skin Upright mounted PC letters Formed concrete accent tower w/ FCO aluminum Developer ID	Property ID - Face-illuminated; white LED Developer ID - Non-Illuminated	Acrylic or Lexan, Aluminum, Painted Metal, Various Vinyls, Concrete (Typical)	1 foot of sign height per 20 lineal feet of street frontage & 1 SF of sign area per lineal foot of street frontage Max. Height of 12'-0" Max. sign area of 80 SF
<div>P3</div> Vehicular Directional Sign	Property & Tenant Identification	Height of 3'-0" Sign area of 5.73 SF	Placed along various internal roadways and intersections. Quantity is not limited, and at sole discretion of the Owner based on the directional needs of the property and it's tenants	Aluminum framing construction & aluminum skin Aluminum panels with vinyl directional arrows and copy, FCO aluminum project ID	Non-illuminated	Aluminum, Painted Metal, Various Vinyls (Typical)	1 foot of sign height per 20 lineal feet of street frontage & 1 SF of sign area per lineal foot of street frontage Max. Height of 12'-0" Max. sign area of 80 SF
EastGroup Properties Gateway Interchange				TRADEMARK	Comprehensive Sign Plan 120748-05 12.10.25		

Tenant Sign Matrix										
SIGN TYPE	FUNCTION	SIZES		SIGN LOCATION	SIGN CONSTRUCTION	ILLUMINATION	MATERIALS	REQUIREMENTS PER CITY CODE		
T1 Building Mounted Tenant Signs <ul style="list-style-type: none">- Tenant Wall Signs- Tenant Custom Cabinet Signs	Tenant Identification	Tenant shall only install 1 sign per sign band		All elevations that offer readability All tenant signs must be located within designated sign band areas* All wall mounted tenant signs shall be placed below the building parapet or eave - roof signs are not permitted	Pan-channel, reverse pan-channel letters and logos, and/or "custom" cabinets External, visible raceways are not allowed Cabinet signs are only allowed if they are custom, & non-rectangular in shape* Flat cut-out aluminum letters for secondary copy only <i>* a sign can be mounted to an attachment device with regular rectangular shape if individual letters such as pan channel or other durable materials are used.</i>	Interior, backlit, or a combination thereof; White LED Exterior illumination with wall wash down lights Neon illumination is not allowed	Aluminum, acrylic or lexan, painted metal, various vinyls (typical)	See standard attached sign allowances per occupancy at right All wall mounted tenant signs shall be placed below parapet or eave - roof signs are not permitted		
		STANDARD ATTACHED SIGN ALLOWANCES PER OCCUPANCY								
		Front Foot of Building Occupancy¹	Max. Number of Permitted Signs						Max. Aggregate Sign Area Calculation	Max. Area per Sign
		80 feet or less²	2 signs						2 SF of sign area per front foot of building occupancy	160 SF
		81 to 199 feet	3 signs						160 SF	160 SF
		200 to 249 feet	4 signs						80% of lineal front foot of occupancy	160 SF
250 feet or more	5 signs, plus one additional sign for every additional 50 FT of occupancy up to a max. of 7 signs	80% of lineal front foot of occupancy up to a max. of 500 SF	160 SF							
<div>¹ If an occupancy(s) has more than on exterior wall, the longest wall is used to calculate the sign allowance</div> <div>² Each occupant is allowed a minimum of twenty-four (24) SF of sign area regardless of front foot of building occupancy</div>										
T2 Tenant Window Graphics	Tenant Identification	Maximum 25% coverage of window/glass door area		Applied to tenant windows and glass doors	RTA vinyl or digitally printed vinyl graphics Paper-printed graphics are not allowed	Non-illuminated	Various vinyls (typical)	Maximum 25% coverage of window/glass door area		
<div>* No tenant sign shall be installed in an area outside of the specified building sign bands or without the consent and approval of the Owner.</div>										
EastGroup Properties Gateway Interchange				TRADEMARK	Comprehensive Sign Plan 120748-05 12.10.25					

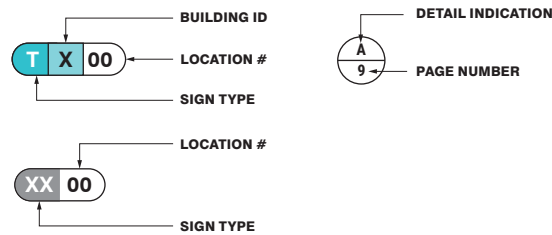
Sign Location Plan



SITE MAP LEGEND



- Property Line
- 8' P.U.E. Line
- R.O.W.
- Sight Visibility Triangle
- Building Footprints



PROPERTY SIGNS

- P1 00 Multi-tenant Monument Sign
- P2 00 Project ID Sign
- P3 00 Vehicular Directional Sign

TENANT SIGNS

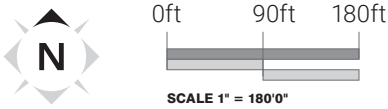
- T1 X 00 Tenant Building Mounted Signage
 - Tenant Wall Signs
 - Tenant Custom Cabinet Signs

NOTES:

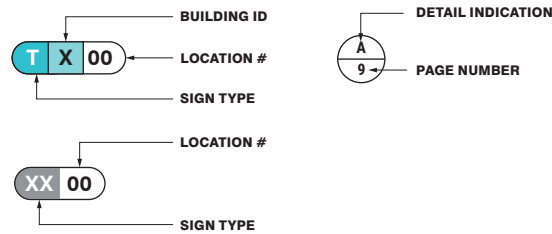
ALL NEW MONUMENTS SIGNS MUST REMAIN OUTSIDE OF PUBLIC DOMAIN. PUBLIC DOMAIN INCLUDES RIGHTS-OF-WAY, PUES AND PUFES.

SIGHT VISIBILITY TRIANGLES (SVT) SHOWN IN GREEN AND PART OF APPROVED LANDSCAPE DRAWINGS.

SITE MAP LEGEND



- Property Line
- 8' P.U.E. Line
- Sight Visibility Triangle
- Building Footprints



PROPERTY SIGNS

- Multi-tenant Monument Sign
- Project ID Sign
- Vehicular Directional Sign

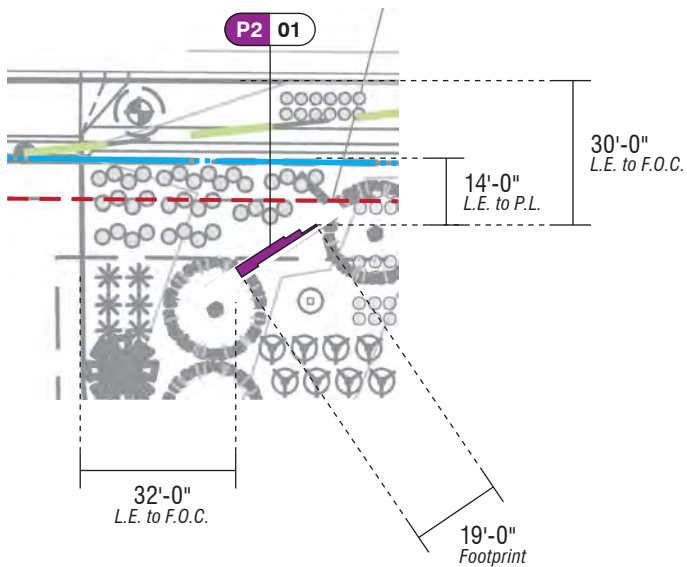
TENANT SIGNS

- Tenant Building Mounted Signage
 - Tenant Wall Signs
 - Tenant Custom Cabinet Signs

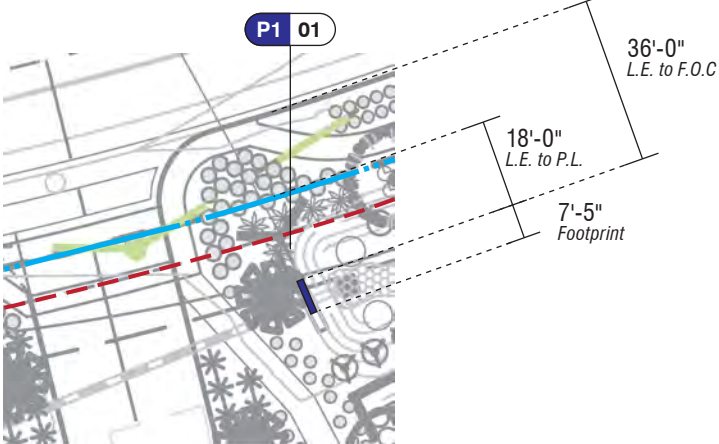
NOTES:

ALL NEW MONUMENTS SIGNS MUST REMAIN OUTSIDE OF PUBLIC DOMAIN. PUBLIC DOMAIN INCLUDES RIGHTS-OF-WAY, PUES AND PUFES.

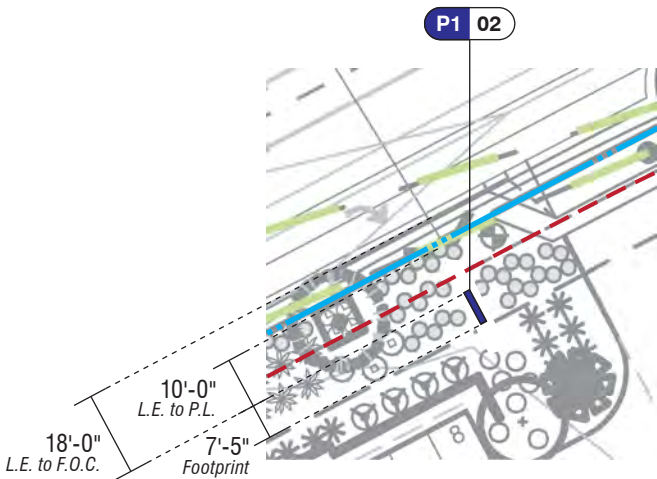
SIGHT VISIBILITY TRIANGLES (SVT) SHOWN IN GREEN AND PART OF APPROVED LANDSCAPE DRAWINGS.



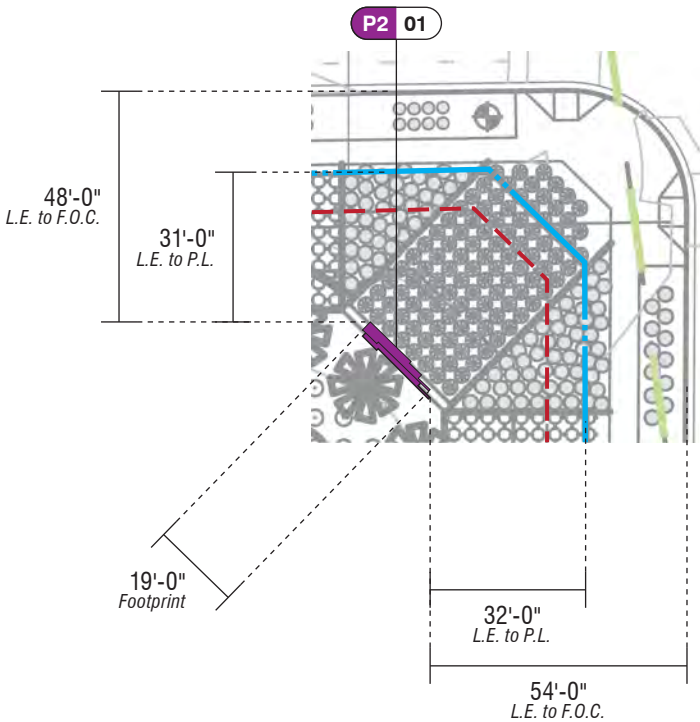
A SCALE: 1" = 40'0"



B SCALE: 1" = 40'0"



C SCALE: 1" = 40'0"



D SCALE: 1" = 40'0"

P1 Multi-Tenant Monument Sign

Location

Two (2) Multi-Tenant Monument Signs are located within the site. They are placed near entry drives along Sebring Avenue. Tenant panel location/usage is to be directed by the Owner.

Construction

Custom fabrication with internal aluminum framing and aluminum skin. Features 2" wide fabricated aluminum accent frame with the faces of the cabinets & base recessed 2" from the frame face. Includes illuminated tenant cabinet with four (4) removable face-lit tenant panels and illuminated project ID cabinet. Tenant panels have 1/8" aluminum routed faces backed with 3/16" acrylic and 1" returns at the top and bottom. Project ID is routed from the cabinet face and backed with 3/4" SG push-thru acrylic with perforated vinyl applied 1st surface. Base is formed concrete with non-illuminated flush mounted 1/4" FCO aluminum Developer ID.

Appearance

Corporate letter styles, colors, logotypes and logos may be used with permission of Owner for individual tenant copy/logo. Overall panel color to be consistent between tenants.

Approval

All tenant sign panels must be approved by the owner prior to

Color & Materials Palette

EXTERIOR PAINT
DE6225 - Fossil
Matthews Paint closest Match

EXTERIOR PAINT
DE6385 - Black Bean
Matthews Paint closest Match

VINYL FILM
Perforated Vinyl; Painted
DE6385 - Black Bean
Matthews Paint closest Match

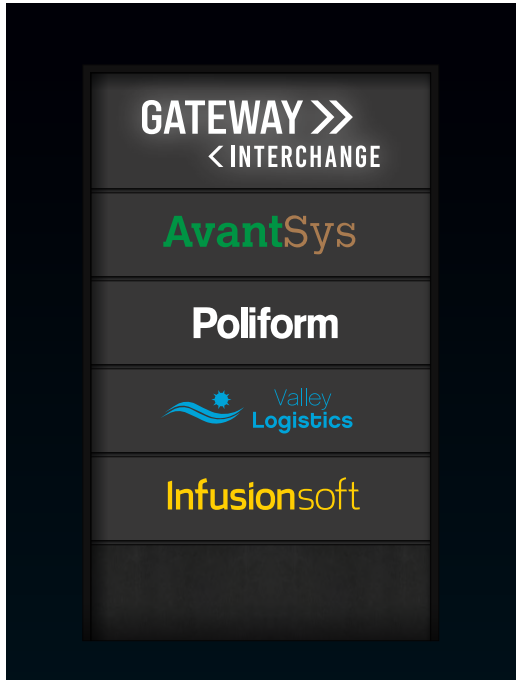
VINYL FILM
Perforated Vinyl; Painted
DET626 - Metal Fringe
Matthews Paint closest Match

CONCRETE
Wood Grain Form Stamped Concrete
Finish to Match Architecture
Davis Colors - Dune

SCALE: 3/8" = 1'0"

TENANT PANELS	49.56 SF (ILLUMINATED)
PROJECT ID	17.13 SF (ILLUMINATED)
DEVELOPER ID	3.89 SF (NON-ILLUMINATED)
<hr/>	
TOTAL SIGN AREA	70.58 SF

ILLUMINATION RENDERING



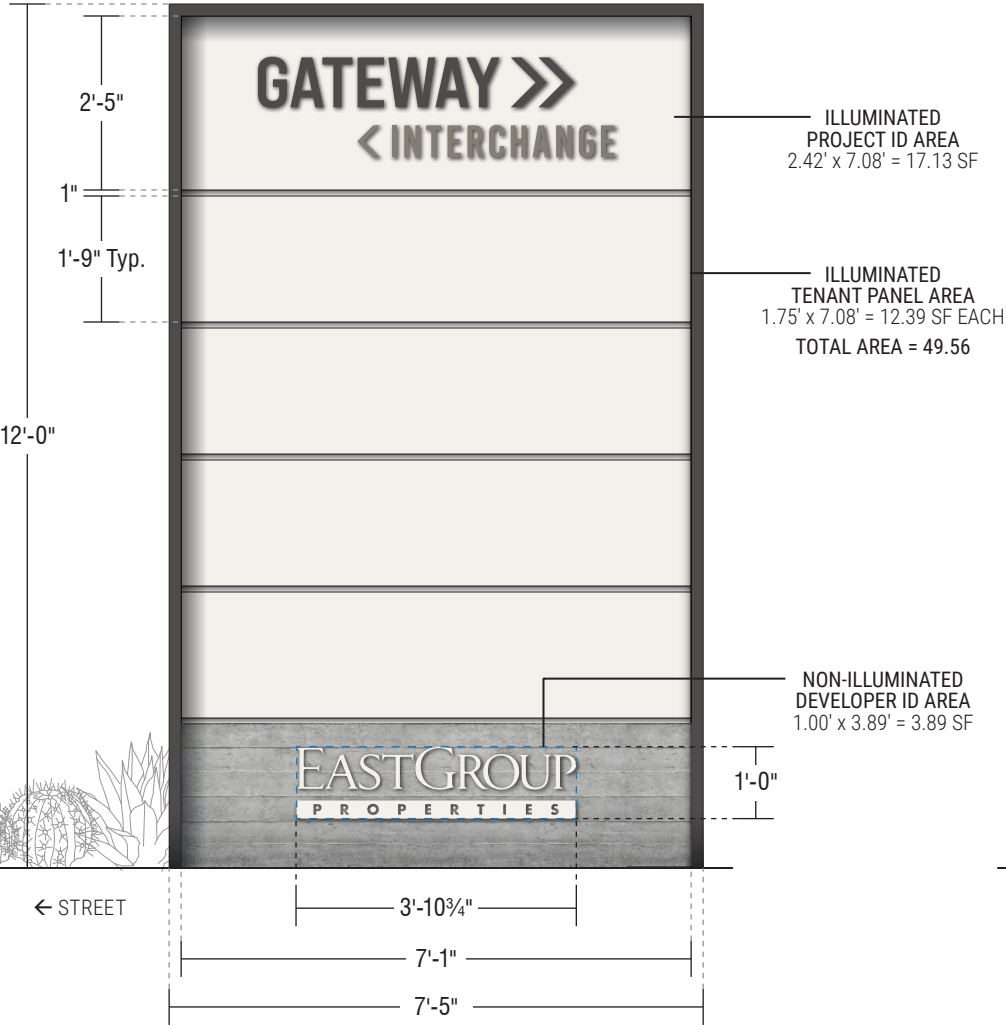
Tenants shown are for example only

PLAN VIEW

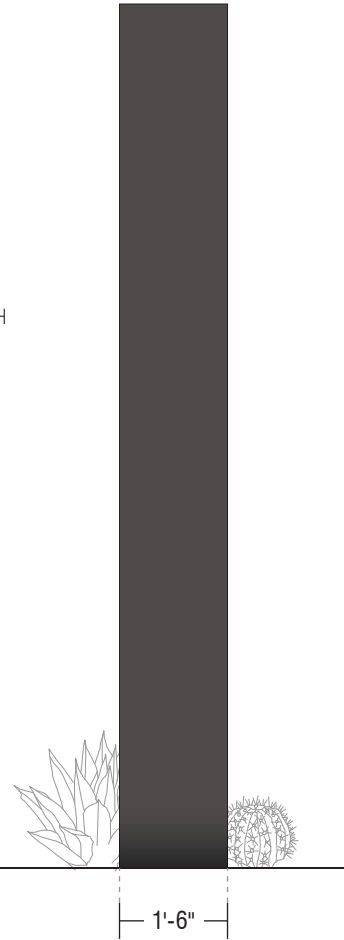


PANEL DETAIL
Panel Faces Inset 2" From
Accent Frame Face

SIDE A/B



END VIEW



P2 Project ID Sign

Location

Two (2) Single-Sided Project ID Signs are located within the site. One of these signs is placed at the intersection of Sebring Avenue and Hawes Road and the other is placed near the entry drive located at the Northwest corner of the site. These signs are angled to face into each intersection.

Construction

Custom fabrication with internal aluminum framing and aluminum skin. Includes upright mounted face-lit project ID lettering with aluminum sign bases. Project ID letters have acrylic faces with perforated vinyl applied 1st surface, and aluminum returns and backs. Non-illuminated 1/4" FCO aluminum Developer Logo is mounted to formed concrete tower with a 2" wide fabricated aluminum frame. Uplighting from letter base cabinet washes up concrete tower.

Appearance

The Entry Monuments are intended for property identification only. No tenant is to place signage on these signs.

Color & Materials Palette

EXTERIOR PAINT
DE6225 - Fossil
Matthews Paint closest Match

EXTERIOR PAINT
DE6385 - Black Bean
Matthews Paint closest Match

EXTERIOR PAINT
DET626 - Metal Fringe
Matthews Paint closest Match

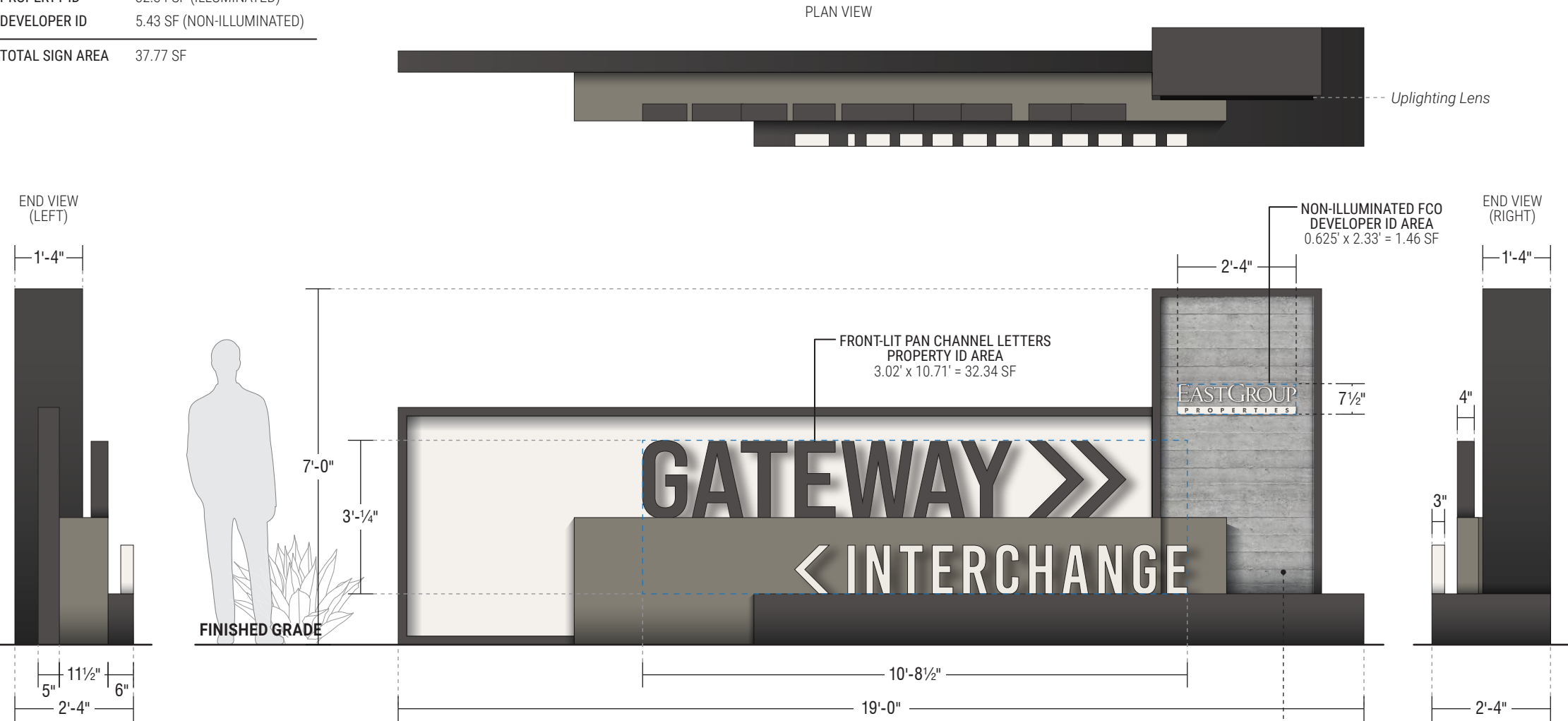
VINYL FILM
Perforated Vinyl; Painted
DE6385 - Black Bean
Matthews Paint closest Match

VINYL FILM
Perforated Vinyl; Painted
DE6225 - Fossil
Matthews Paint closest Match

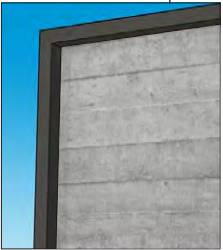
CONCRETE
Wood Grain Form Stamped Concrete
Finish to Match Architecture
Davis Colors - Dune

SCALE: 3/8" = 1'0"

PROPERTY ID	32.34 SF (ILLUMINATED)
DEVELOPER ID	5.43 SF (NON-ILLUMINATED)
TOTAL SIGN AREA	37.77 SF



ILLUMINATION RENDERING



CONCRETE TOWER DETAIL
Concrete Faces Inset 2" From
Accent Frame Face

P3 Vehicular Directional Sign

Location

Three (3) double-sided Vehicular Directional Sign locations are proposed within the site. These signs provide wayfinding information to internal vehicular traffic. The locations utilized are at the sole discretion of the Owner based on the directional needs of the property and it's tenants. Directional panel copy/usage is to be approved by the Owner.

Construction

Custom fabrication with internal aluminum framing and aluminum skin. Features 1" wide fabricated aluminum accent frame with the faces of the panels & base recessed 1" from the frame face. Includes removable directional panel and project ID panel. Sign panels have 1/8" aluminum faces and 1/2" returns at the top and bottom. Project ID is 1/4" FCO aluminum. Directional copy/arrows are cut vinyl applied 1st surface to panel face.

Appearance

The Vehicular Directional Signs are intended to display directional information only (e.g. tenant name or building number, arrows, etc.). Tenant logo identifiers are not permitted on these signs.

Font

All directional copy is to be set in Bebas Neue Pro Expanded Bold.

Bebas Neue Pro Expanded Bold
ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz
0123456789

Approval

All Vehicular Directional Sign copy/usage must be approved by the owner prior to proceeding with the city of Mesa permit process.

Color & Materials Palette

EXTERIOR PAINT
DE6225 - Fossil
Matthews Paint closest Match

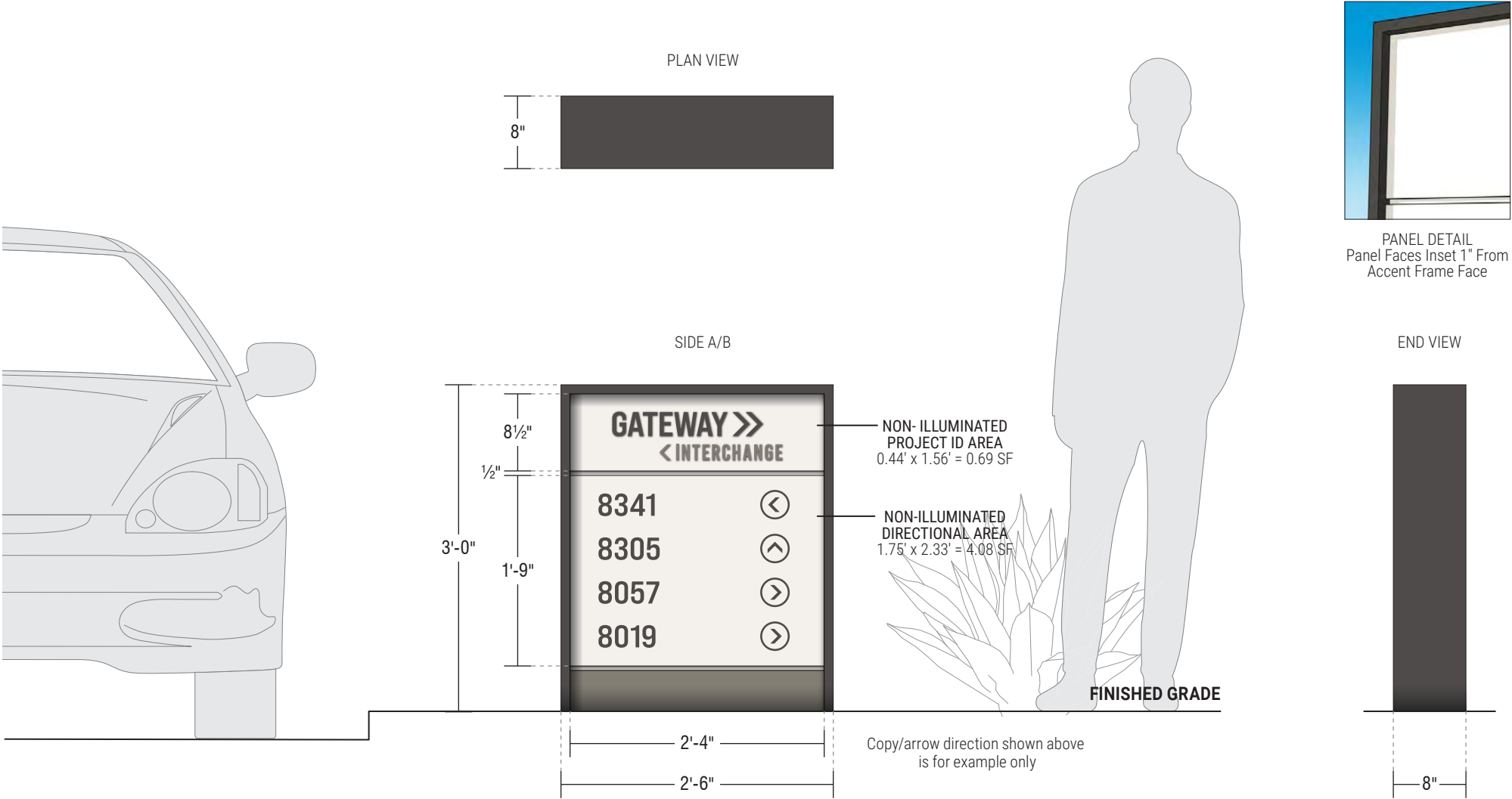
EXTERIOR PAINT
DE6385 - Black Bean
Matthews Paint closest Match

EXTERIOR PAINT
DET626 - Metal Fringe
Matthews Paint closest Match

VINYL FILM
220-69 - Duranodic
Gerber Cast Vinyl

SCALE: 3/4" = 1'0"

DIRECTIONAL	4.08 SF (NON-ILLUMINATED)
PROJECT ID	1.65 SF (NON-ILLUMINATED)
<hr/>	
TOTAL SIGN AREA	5.73 SF



T1 Building Mounted - Tenant Wall Signs & Tenant Custom Cabinet Signs

Description

Building Mounted Signs are any sign mounted flat against and projecting less than ten inches (10") from the wall of a building with the exposed face of the sign in a plan parallel to the face of the wall. This does not include window signs. Allowed building mounted signs may be pan-channel or reverse pan-channel letters and logos, and/or custom cabinets. Cabinet only signs may be used, as long as the cabinet shape is freeform or irregular in shape (not rectangular). In some cases, a sign can be mounted to an attachment device with regular rectangular shape if individual letters such as pan channel or other durable materials are used. Flat cut-out letters may also be utilized, but only for secondary copy.

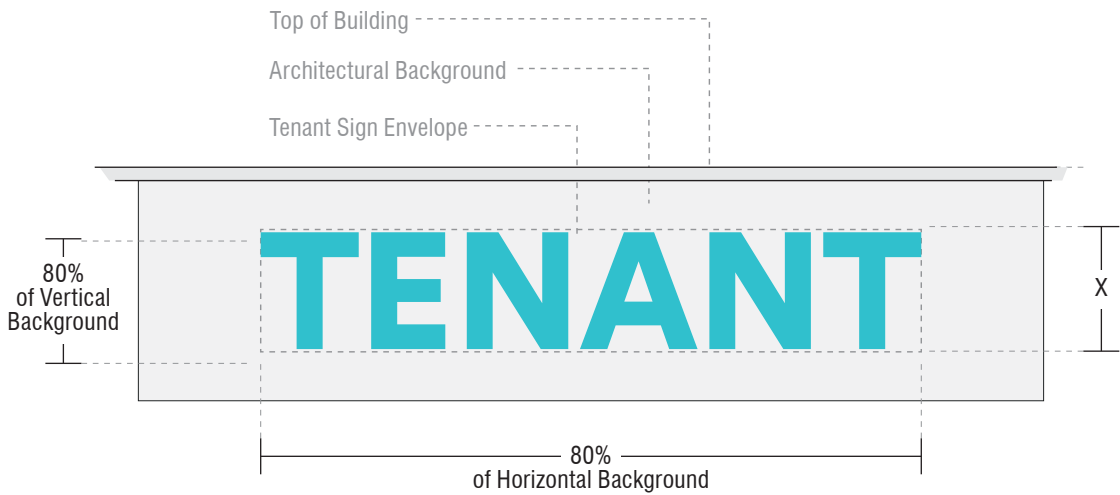
In all cases, the Tenant's signage shall be proportional to the scale of the overall building façade. Overall sign lengths shall not be greater than seventy-five percent (75%) of the lineal footage of the tenant's space as measured from the centerline of the adjacent tenant(s) demising wall(s). All tenant wall signs and custom cabinet signs are subject to the sign size and location allowances that can be found on the tenant sign matrix on page 7 of this comprehensive sign plan.

All Building Mounted Signs shall be placed below the building parapet or eave, roof signs are not permitted. Exposed Raceways are also not permitted. The sign may be illuminated, externally illuminated, or non-illuminated. LED illumination is preferred.

Wall Mounted Signs are subject to the City of Mesa review and approval.

Landlord Approval

Regardless of the design of the sign and its compliance with the general guidelines, all Building Mounted Signs must be approved by the Owner prior to being submitted to the City of Mesa for permit application. The Owner reserves the right to disallow any proposed sign at their sole discretion. Owner approval does not guarantee Permit approval by the City of Mesa.

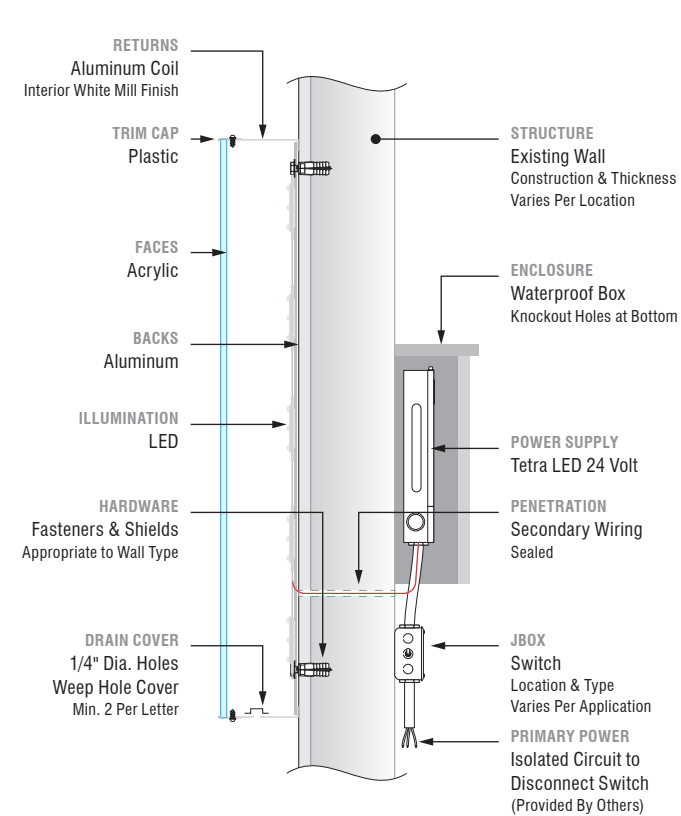


T1 Building Mounted - Tenant Wall Signs & Tenant Custom Cabinet Signs

Allowable Sign Type Construction Details - Typical

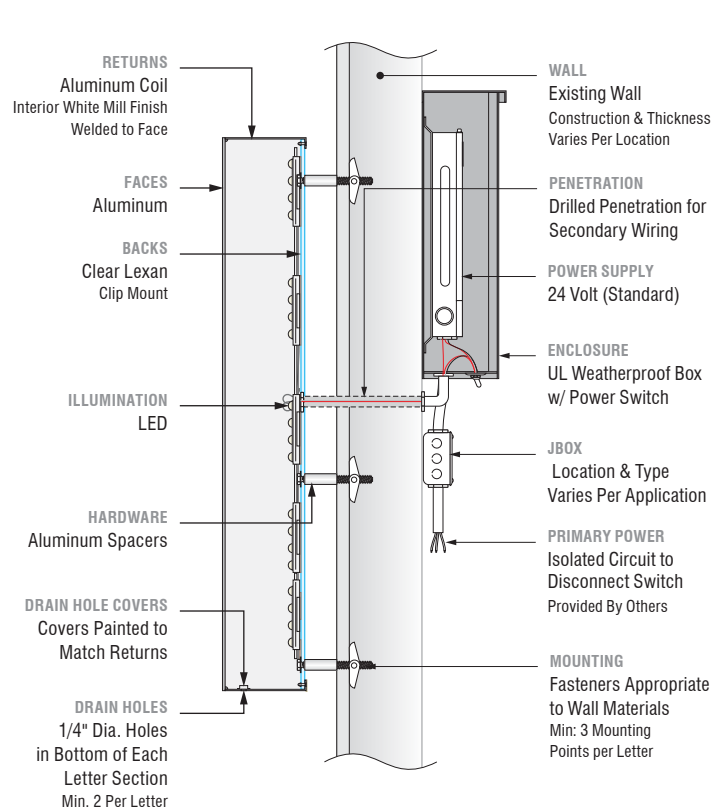
Section Detail - Typical Exterior

Pan Channel / Front-Illuminated / Mounted Flush



Section Detail - Typical Exterior

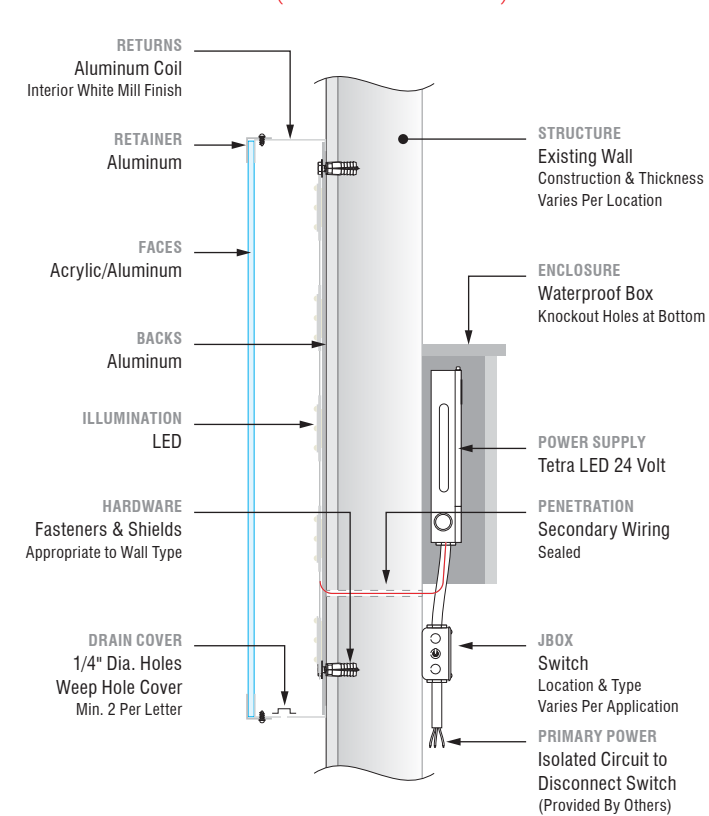
Reverse Pan Channel / Halo-Illuminated / Mounted with Spacers



Section Detail - Typical Exterior

Cabinet Sign / Front-Illuminated or Non-Illuminated / Mounted Flush

*CABINET SHAPE MUST BE CUSTOM, & FREEFORM OR IRREGULAR IN SHAPE (NOT RECTANGULAR)

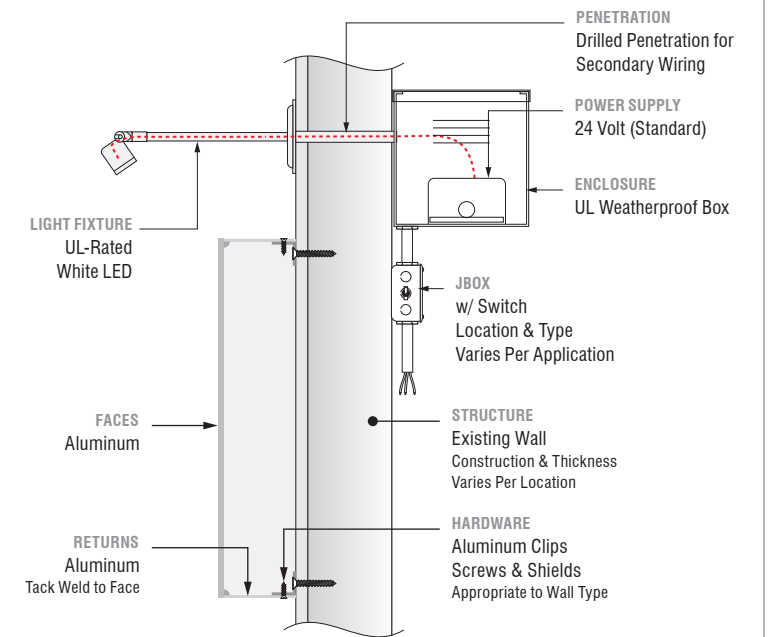


May be used as a background cabinet behind lettering or cabinet only sign. A sign can be mounted to an attachment device with regular rectangular shape if individual letters such as pan channel or other durable materials are used

Section Detail - Typical Exterior

Reverse Pan Channel / Externally-Illuminated / Mounted Flush

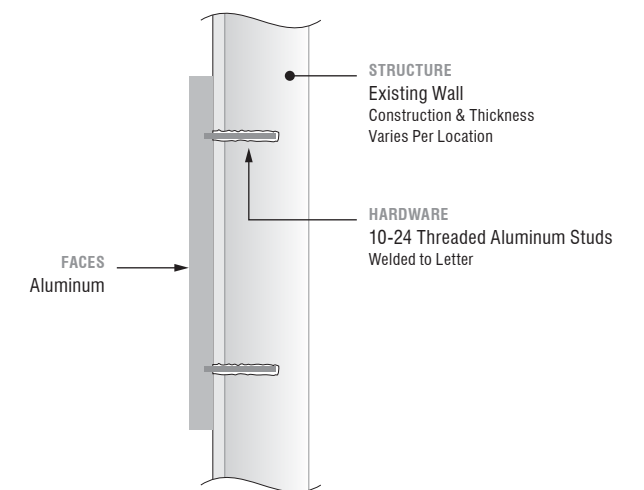
*NOTE: Light Fixture(s) may vary; Subject to Landlord Approval



Section Detail - Typical Exterior

Flat Cut-Out / Non-Illuminated / Stud Mount Flush

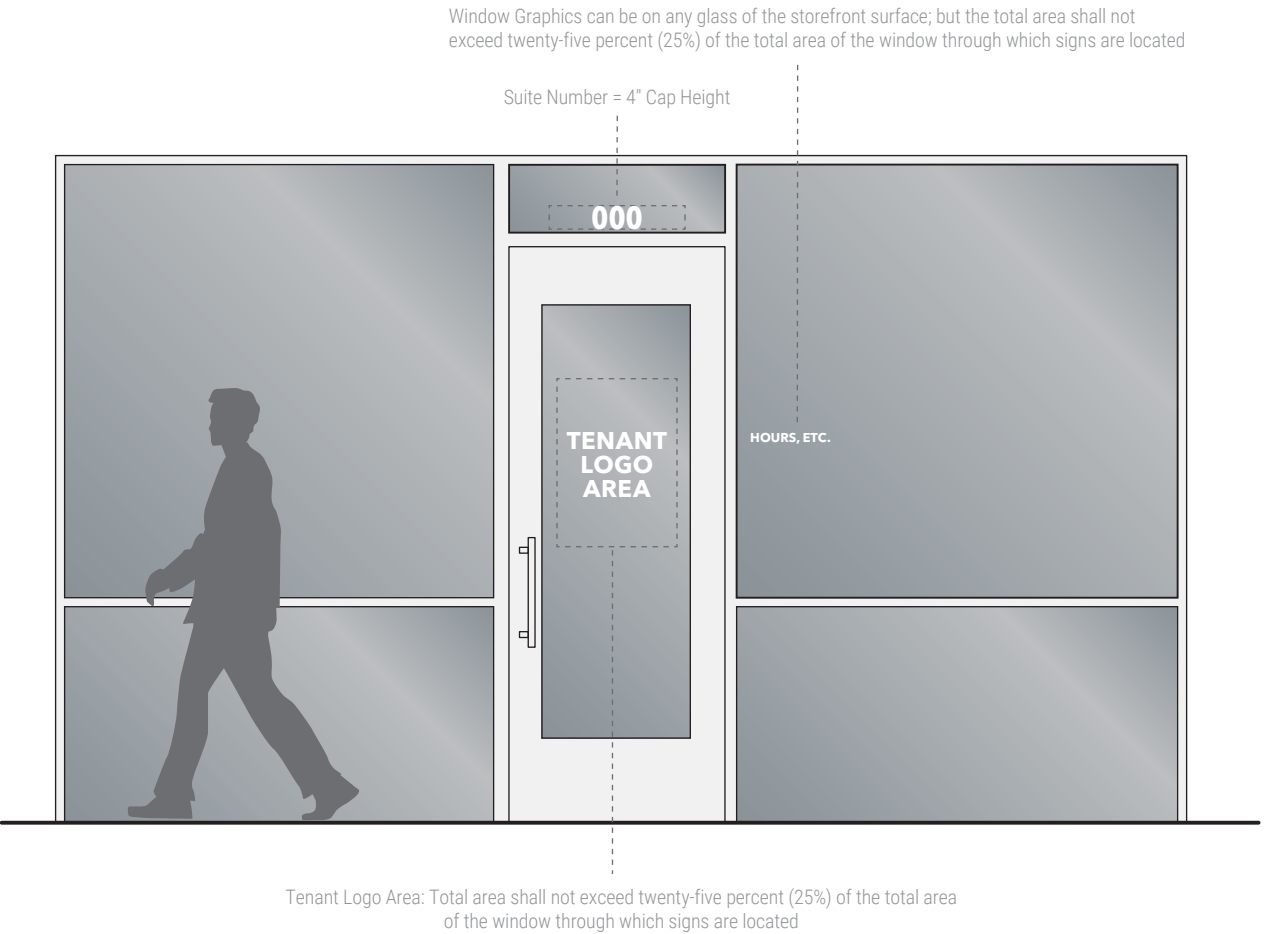
*FOR SECONDARY & DEPARTMENTAL COPY ONLY



T2 Window Graphics

Description

Window Graphics or applied graphics shall be any sign placed on or affixed to the area within the casement or sill area of a mineral glass window, door or other glazing. Window graphics sign area shall not exceed twenty-five percent (25%) coverage of each window area. RTA vinyl graphics or digitally printed vinyl graphics are preferred. Paper-printed graphics are not allowed. Window Graphics do not require a permit from the City of Mesa and do not count towards tenant’s total sign area allotment.



Sign Band Elevations

These elevations show all possible sign bands; however, not all sign bands will be utilized.

Boxes/dimensions shown represent sign band areas. Sign envelopes are not to exceed eighty percent (80%) of the horizontal and vertical area of the sign band (architectural background). The sign envelope defines the maximum height and length allowances for a sign placed on that area of a building elevation. Sign envelope does not necessarily define the allowable sign area for a sign.

Actual dimension of all signs may vary, however their maximum allowed sign area square footage shall not be exceeded. See the tenant sign matrix on page 7 for standard tenant allowances.

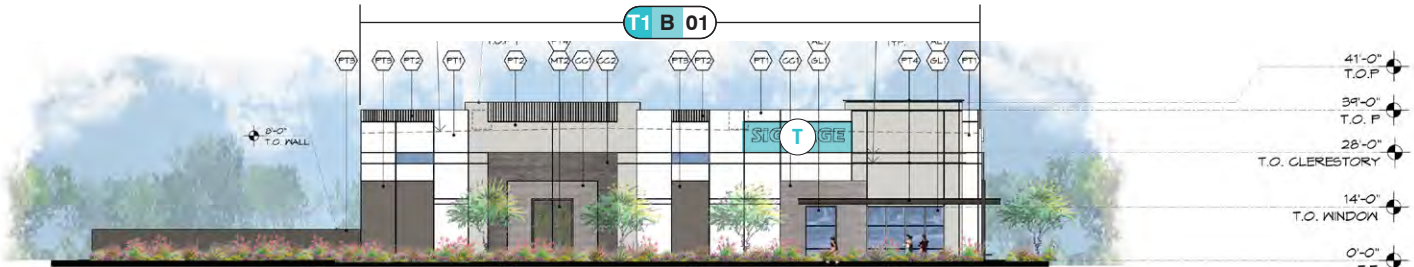


Sign Band Elevations

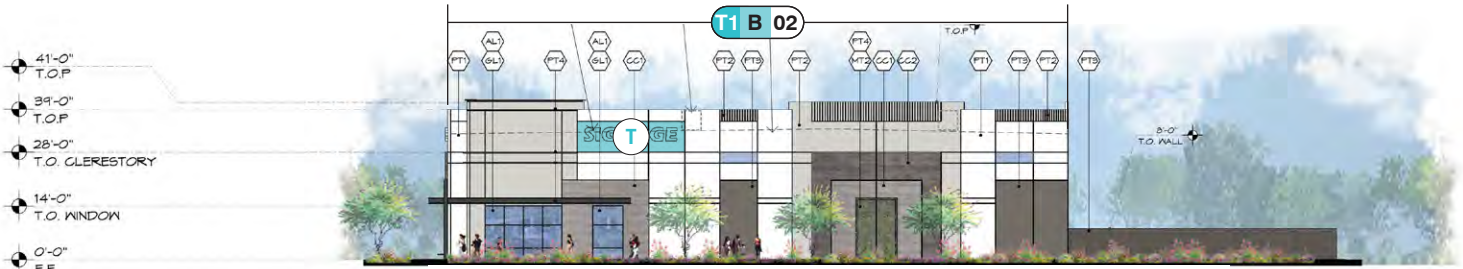
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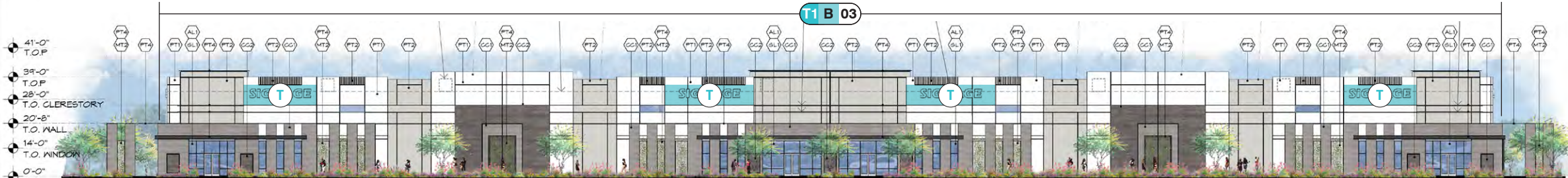
BUILDING B - North Elevation
Scale: 1" = 50'0"



BUILDING B - South Elevation
Scale: 1" = 50'0"



BUILDING B - East Elevation (No Signage)
Scale: 1" = 50'0"



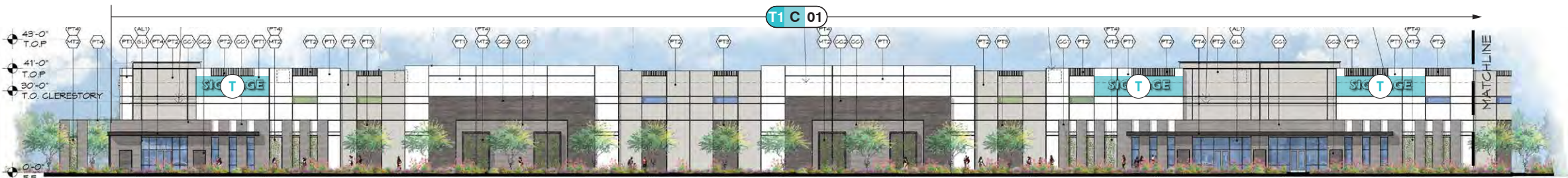
BUILDING B - West Elevation
Scale: 1" = 50'0"

Sign Band Elevations

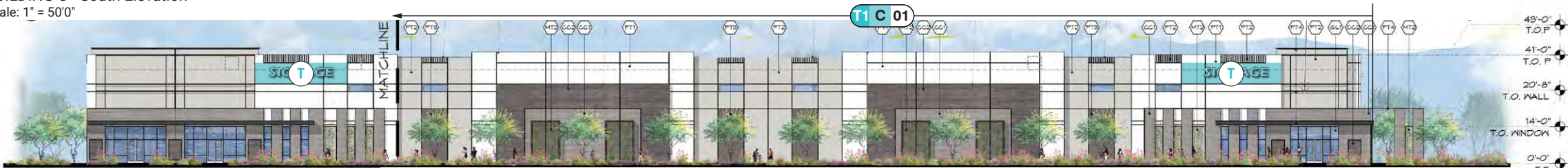
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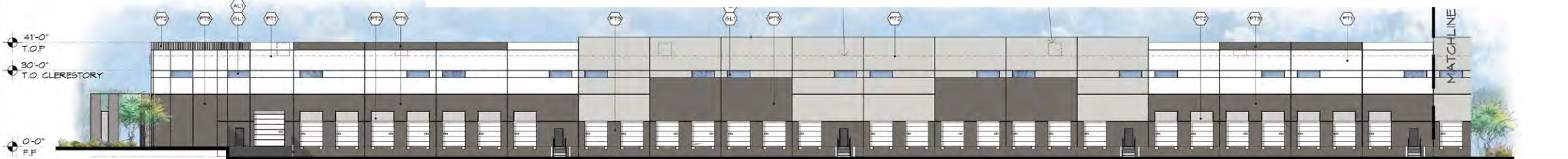
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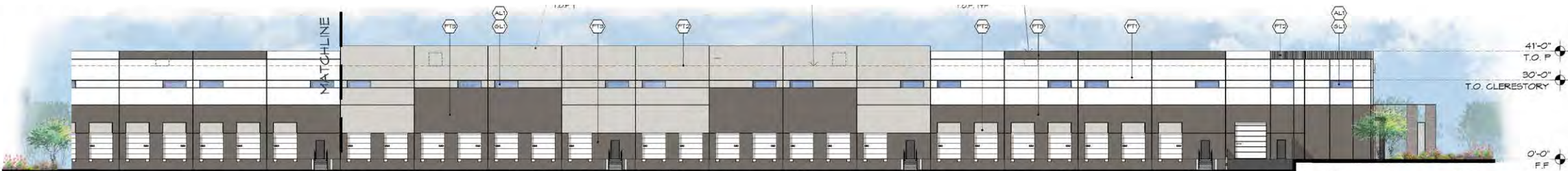
BUILDING C - South Elevation
Scale: 1" = 50'0"



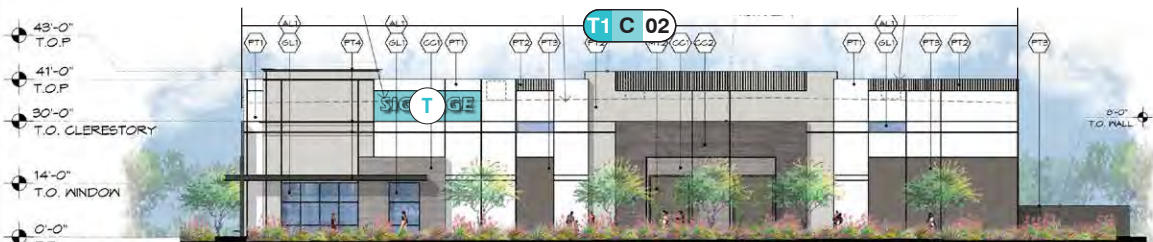
BUILDING C - South Elevation Cont.
Scale: 1" = 50'0"



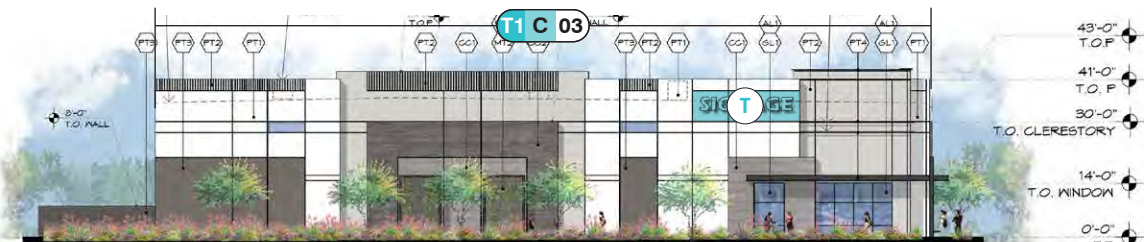
BUILDING C - North Elevation (No signage)
Scale: 1" = 50'0"



BUILDING C - North Elevation Cont. (No Signage)
Scale: 1" = 50'0"



BUILDING C - East Elevation
Scale: 1" = 50'0"



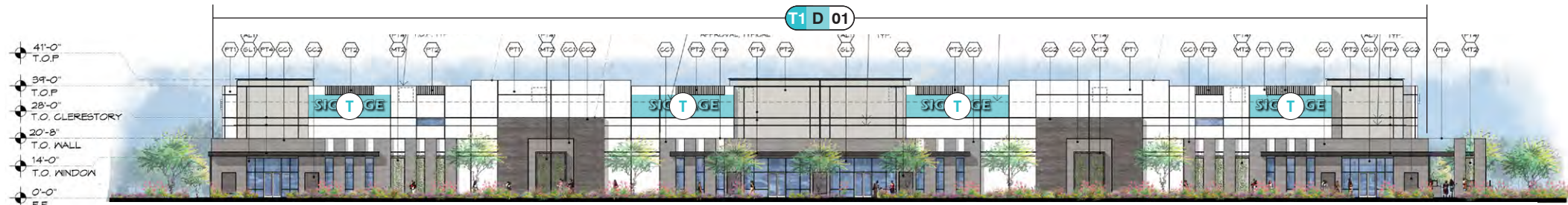
BUILDING C - West Elevation
Scale: 1" = 50'0"

Sign Band Elevations

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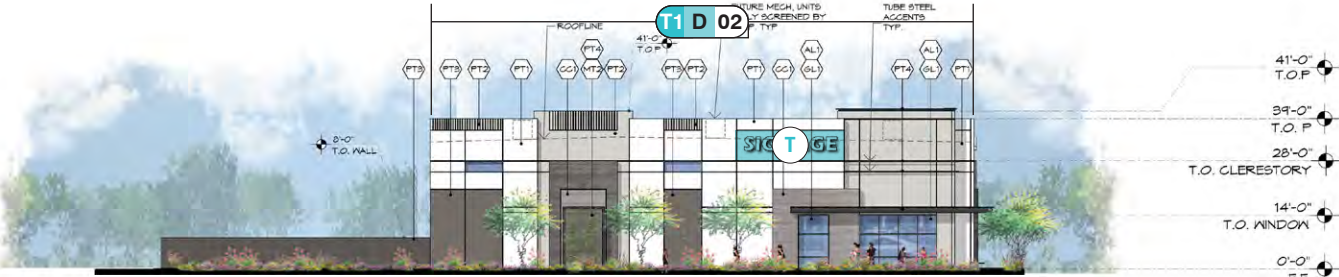
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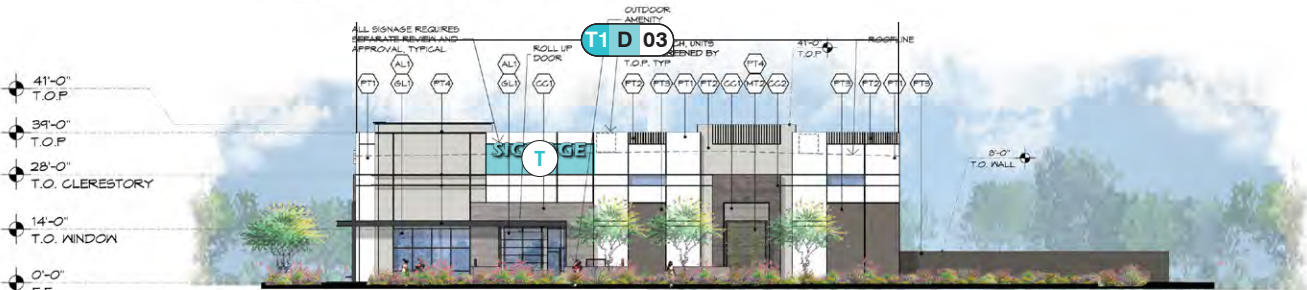
BUILDING D - North Elevation
Scale: 1" = 50'0"



BUILDING D - South Elevation (No Signage)
Scale: 1" = 50'0"



BUILDING D - East Elevation
Scale: 1" = 50'0"

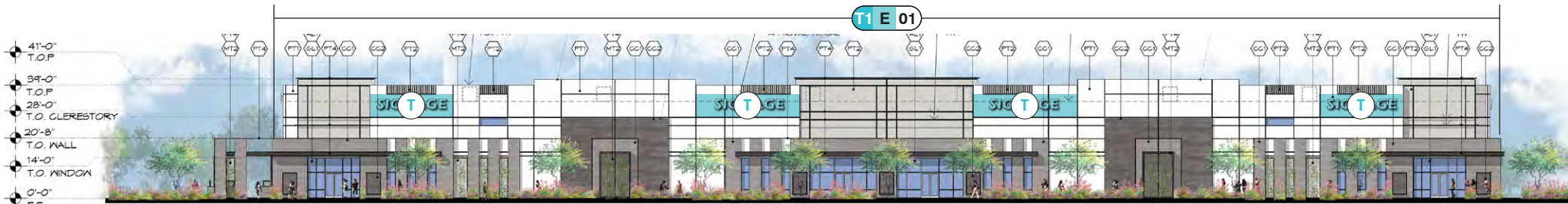


BUILDING D - West Elevation
Scale: 1" = 50'0"

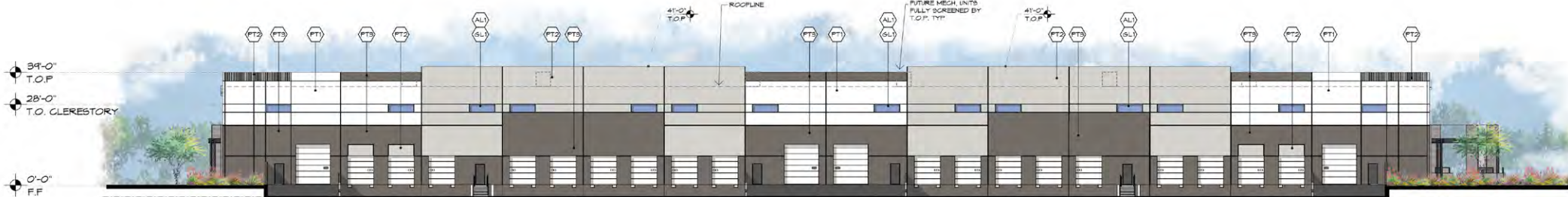
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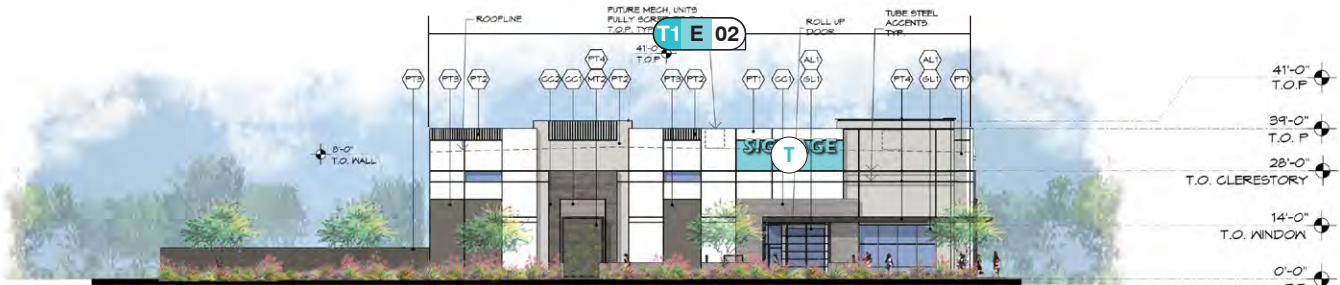
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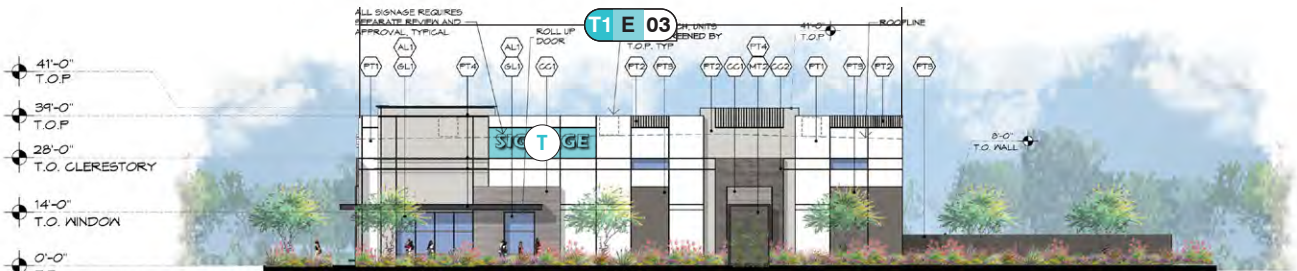
BUILDING E - North Elevation
Scale: 1" = 50'0"



BUILDING E - South Elevation (No Signage)
Scale: 1" = 50'0"



BUILDING E - East Elevation
Scale: 1" = 50'0"



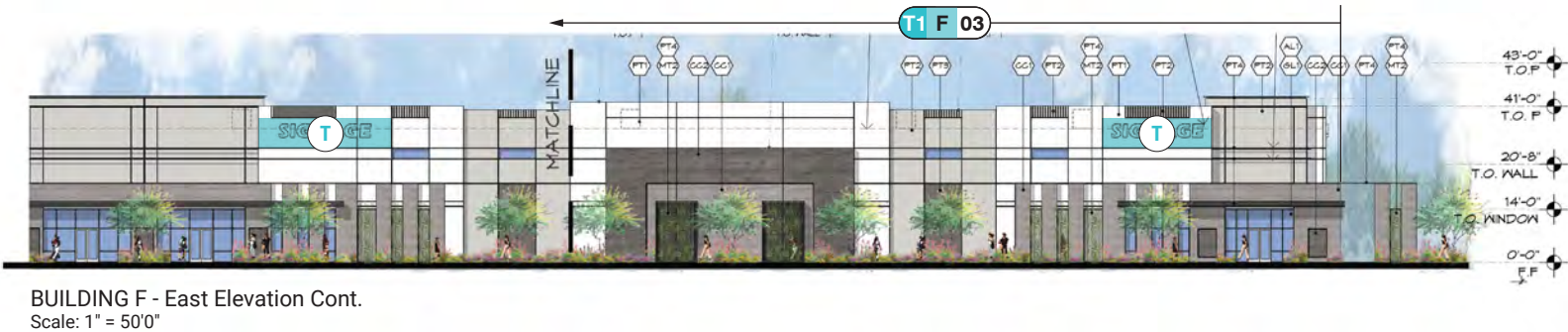
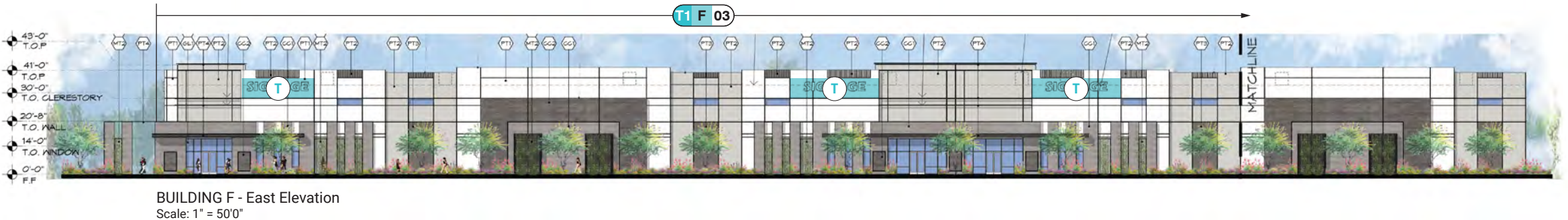
BUILDING E - West Elevation
Scale: 1" = 50'0"

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