



BERRY | RIDDELL
LLC

NELSEN
PARTNERS

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FIESTA

REDEFINED: Infill Incentive Plan

Mesa, Arizona

Austin / Scottsdale

nelsenpartners.com



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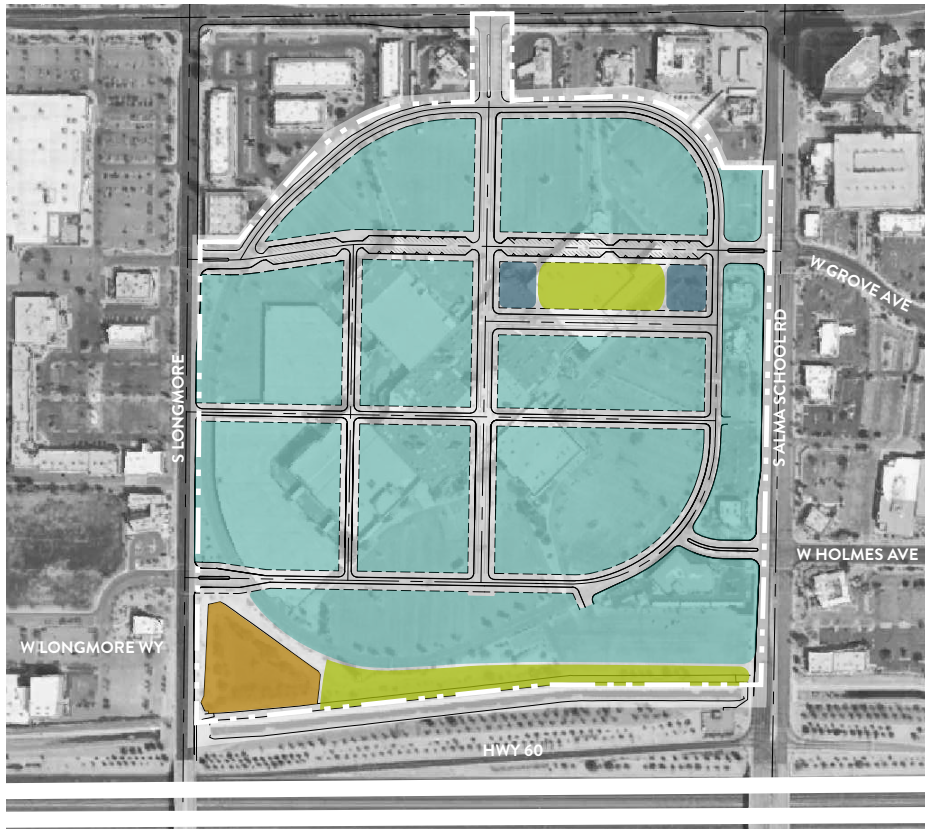
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Statement of Need + Intent

A: Statement of Intent

Land Use Map

Exhibit A



LAND USE MAP KEY

- Multifamily/Commercial/Office
- Open Space
- Commercial
- Existing Retention Basin

The Fiesta Redefined Infill Incentive Plan (“IIP”) has several commercial tenants along the Alma School Road frontage, which will remain, but otherwise is a large parcel of land intended for redevelopment. The IIP is located adjacent to the US 60, between Alma School and Longmore, south of Southern Avenue (“the Site”).

According to Section 11-12-2 of the City of Mesa Zoning Ordinance, there are applicability requirements to qualify for the ID-2 zoning district. The Site easily meets the following applicability criteria to file an application for ID-2, yet only 3 are required:

A. There is a high percentage of vacant older or dilapidated buildings or structures;

The former Fiesta Mall building has been completely vacant since 2019 and is currently being demolished. Prior to the demolition, it was largely vacant since 2015.

B. There is a high percentage of vacant or underused parcels of property, obsolete or inappropriate lot or parcel sizes, buildings designed for obsolete land uses, or environmentally contaminated sites;

With the opening of Chandler Mall in the early 2000’s, Fiesta Mall struggled to maintain store occupancy. The last store, Dillard’s, closed its doors in 2019. Since that time, the former Fiesta Mall has sat vacant. Given the shift to online shopping and newer retail shopping developments, the structure of Fiesta Mall is obsolete.

C. There is a high percentage of buildings or other places where nuisances exist or occur;

Even before the closing of Dillard’s in 2019, the former Fiesta Mall was a common target of exterior vandalism and arson. In addition to

exterior vandalism, Fiesta Mall was frequently broken into where trespassers caused severe damage to the building.

D. There is an absence of development and investment activity compared to other areas in the City;

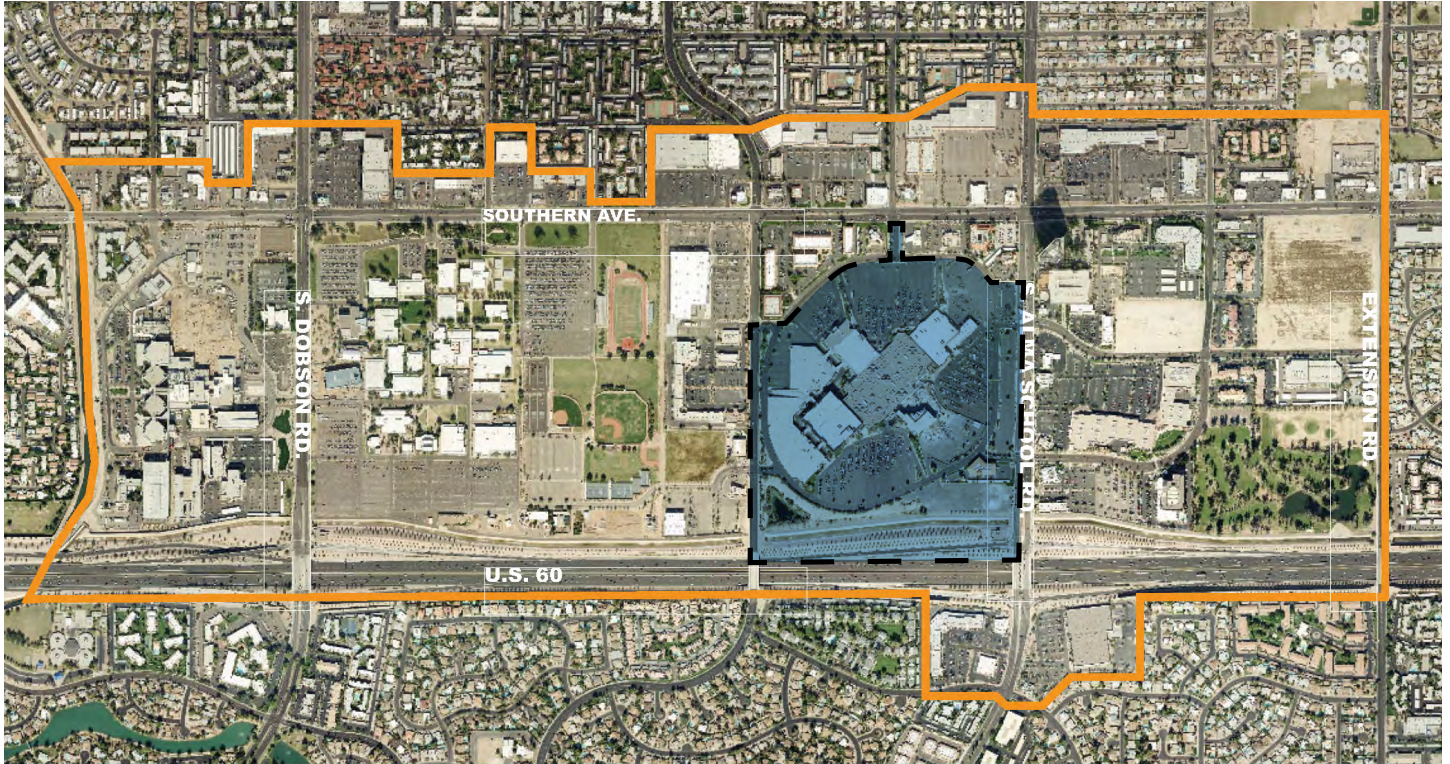
The Site sits within the heart of the City of Mesa’s Fiesta District. The City of Mesa has made substantial investment into street improvement projects along Southern Avenue to further the branded experience. Private redevelopment in the area has been occurring through the years but at a slower pace than other parts of the city. This Site is one of the largest, privately owned parcels within the Fiesta District and will transform this portion of Mesa.

E. There is a high occurrence of crime;


The former Fiesta Mall has been a source of crime in West Mesa for quite some time. Between June 2022 and June 2023 there were over 300 calls of service for Mesa Police. These calls of service range from trespassing, drugs to burglary. The redevelopment will bring reinvestment to the area and will prevent the drain of police resources.

A: Statement of Intent

The proposed ID-2 zoning district and corresponding IIP will allow for redevelopment opportunities to breathe new life into the Site. The Fiesta Redefined Development is located in the heart of the Fiesta District and will be treated as such. The conceptual Land Use Map (Exhibit A) is designed on a block system with a centralized open space. The conceptual street layout will allow for a horizontal mixture of uses with an established block system to promote pedestrian activity.



VICINITY MAP

-  Fiesta District
-  The Fiesta Redefined IIP

ⓑ

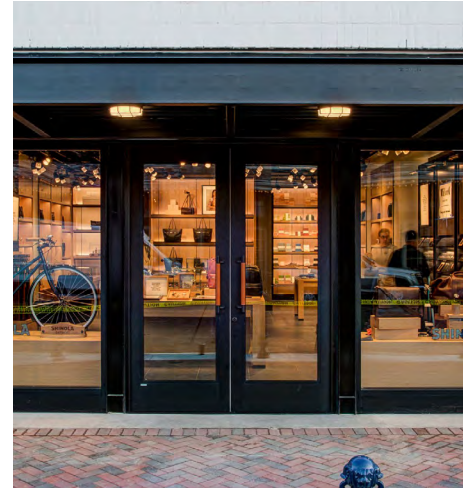
Development Goals + Project Vision

B: Development Goals and Project Vision

The IIP consists of various uses: multiple residence development, office, retail, restaurants, hotel, entertainment, commercial, and parking. All uses will be linked by a strong walkable and bike-friendly environment with significant open space amenities and landmarks for visitor orientation and way-finding. The multi-family residential component of the project along with the increased connectivity, fosters a sense of community and encourages a healthier lifestyle focused on wellness and outdoor activities.

This IIP endeavors to create a vibrant mix of uses that is flexible enough to react to market demands and forces, while maintaining a high quality development that enhances the public realm. This IIP incorporates several improvements, creating access through the Site, and facilitating pedestrian connectivity and activity. This vision improves multi-modal connectivity by introducing a network of vehicular streets through the Site in addition to pedestrian and bike paths to connect with existing pathways developed by the City of Mesa. The network of streets and open space provide the opportunity for connections through the Site and into the broader community. This urban pattern also allows for flexibility of uses, and phasing within these blocks will be based on market demand. Roadways are conceptual and will be defined by one major North/South roadway and one or more East/West roadway. The juncture of the two directions will create a major open space element for the overall development.

This development is envisioned as a sustainable oasis using the existing retention basin and additional bioswales where necessary. By removing large parking areas, adding substantial greenery, increasing open space, and implementing the Village Green, this plan will reduce the heat island effect and encourage more outdoor activity. A proposed “Village Green” is a significant public gathering space is integral to the IIP in providing connectivity and a walkable development and providing a greater sense of connectivity and intimacy throughout the community.



On-site sidewalks and streetscapes provide access to a central open space with benches, shade structures, and various trees, providing shade and comfort. In an effort to encourage pedestrian circulation, trees and shade canopies will line major sidewalks to provide shade and shelter. Misterters at restaurants and water features help cool outdoor spaces in the dry, summer heat.

The Fiesta Redefined Development encourages energy-efficient and low to zero-emitting vehicles for users through preferred parking. EV charging stations are integrated into the design of the community to provide convenient access to electric vehicle owners. These charging stations are strategically placed in common areas such as parking lots, garages, and streets, making it easy for residents and visitors to charge their electric vehicles. Bicycle paths, parking, storage, and repair stations will be constructed on-site. Ample shade will be provided by trees, which will also provide shade for pedestrian walkways and encourage a wellness lifestyle.

In summary, the Fiesta Redefined IIP will create an outdoor mixed-use environment with users living, working, walking to shops, restaurants, entertainment venues, and open spaces that offer recreational activities for the community. Increased pedestrian and cycling realms are hallmarks of this vibrant community in the heart of Mesa.

B: Development Goals and Project Vision

The Fiesta Redefined IIP proposes to reintroduce the street grid within the existing loop road. The use of a street grid in most U.S. Cities is an efficient and flexible urban form that allows for pedestrian and vehicular interaction. Typical mall developments eroded this model and created a loop road surrounded by parking.

This IIP outlines the block structure, pedestrian and vehicular hierarchy. The enhanced pedestrian experience, which will link residential, commercial, and public spaces. Lighting and street furniture standards will be implemented on a block by block basis. The project is envisioned to be flexible and respond to market demands by adding additional blocks or reducing blocks as needed.



B: Development Goals and Project Vision

Development Principals

01 DENSITY

Density is a requirement for great urban places. Increased density allows for more uses in close proximity to one another creating a land use synergy. When residential, employment, retail, dining and entertainment uses are clustered together - walking, bicycling and public transit become viable alternatives to personal vehicles.

Dense urban areas are also more sustainable over time. Urban communities are more efficient in terms of land-use which generates greater tax revenues per acre than suburban sites. They create less strain on public infrastructure by capitalizing on existing utilities and eliminating the need for the extension of new services to outlying areas.

The Fiesta Redefined IIP maximizes density with an urban form like that of a traditional downtown district. Reduced setbacks will create a continuous street edge of townhouses, row-houses, storefronts, mid-rise and high-rise buildings, organized along a traditional network of streets to better engage the pedestrian and create a presence along the streetscape.



02 OPEN SPACE

The great cities of the world are defined by both the quality of their buildings, and the quality of the public realm between buildings. In successful urban environments, the facades of individual buildings work together to form outdoor rooms. Parks, plazas, promenades and streetscape that draw people of various backgrounds together to interact with each other, nature, and the urban fabric.

Successful urban environments have a range of active and passive public spaces of different scales and varied purposes; places for recreation, to feel closer to nature, to relax, to meet friends and neighbors, to walk dogs, to play games, to dine, to enjoy music, and comfortable places to sit and watch others doing the same.

B: Development Goals and Project Vision

Development Principals



03 CONNECTIVITY

Getting people out of cars and onto the sidewalks is critical to the success of urban environments. Popular urban areas draw their energy from the people who visit them. Providing public transit and housing within walking distance of parks and places to work, dine, and shop is the first step in attracting people to open spaces and semi-open spaces.

The implementation of pedestrian paseos is encouraged within the development, and will help to create a more pedestrian-friendly environment, making it easier and more comfortable for people to walk in open spaces. Paseos are designed to be wide, open walkways that are separated from vehicle traffic, creating a safe and inviting space for pedestrians. By incorporating paseos into the community, designers are promoting a more active and sustainable lifestyle, while also enhancing the overall aesthetic appeal of the development. This is especially true in multifamily blocks.

The streets have been carefully planned as the connective framework of this modern, urban development. Broad sidewalks with street trees, pedestrian lighting, site furnishings and shade structures will be integrated into the design of each streetscape to create a comfortable pedestrian environment both day and night.

04 DIVERSITY / FLEXIBILITY

Memorable developments benefit from a mixture of uses and architectural styles. They must be inclusive - providing places for people of different ages, cultures, ethnicities and economic backgrounds. The IIP prioritizes these principles. This development will represent a commitment to quality mixed use. A wide variety of uses are envisioned for the IIP, built upon framework of well-planned streets and open spaces will be a diverse range of residential, commercial and office opportunities, national and local retail presentations, hotels, restaurants, and entertainment all integrated within a pedestrian, bicycle, and vehicular friendly environment, which is driven by market demand.





Development Blocks

C: Development Blocks

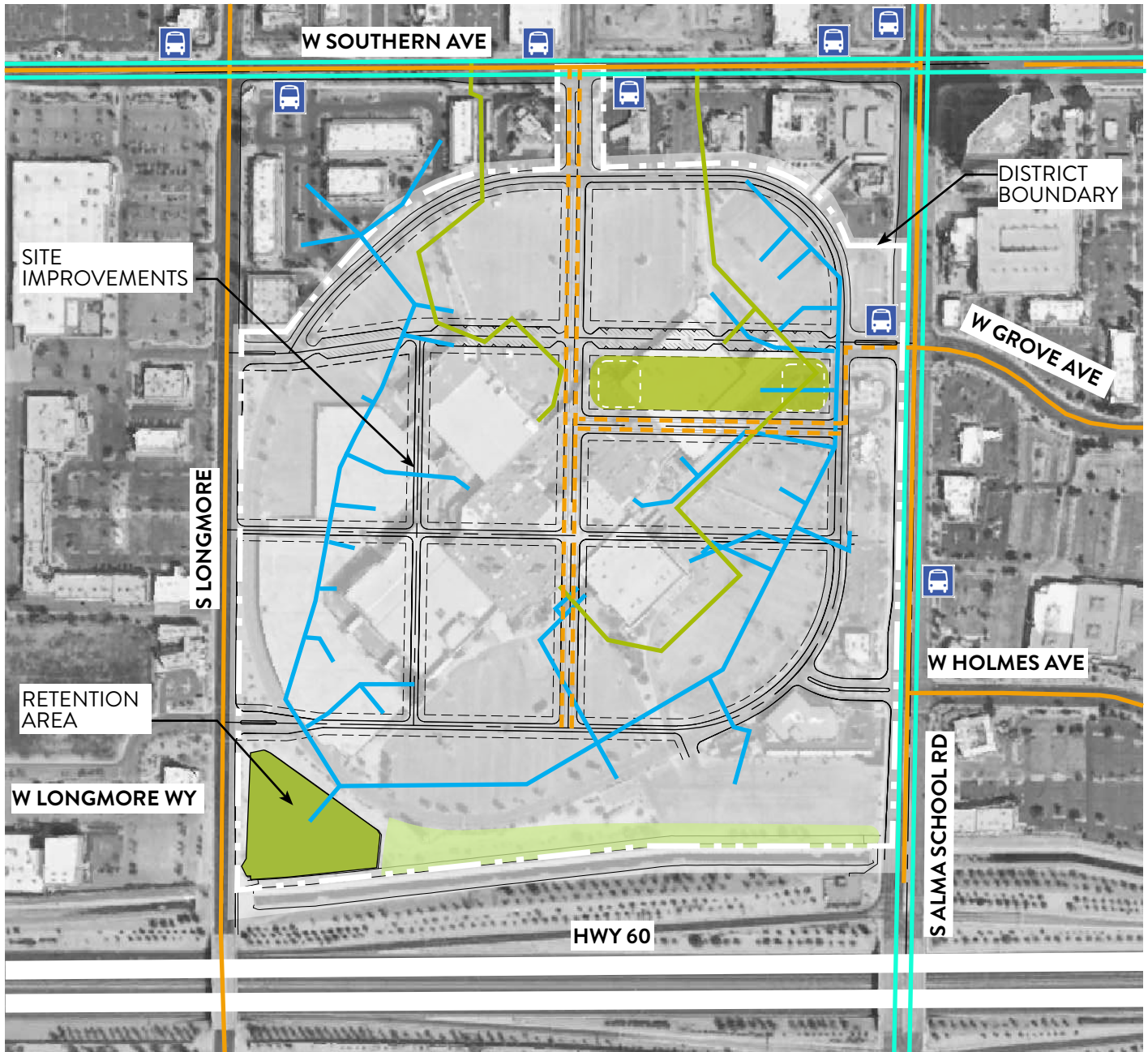
Transforming a grand vision into a living, breathing development requires balancing ambition with adaptability. Implementing urban design goals within a large development demands embracing flexibility as an intrinsic element. This means creating a framework that caters to both immediate needs and unforeseen possibilities.

This proposal creates that balance through a flexible block program that is defined by a series of planning exhibits. The exhibits assist in defining elements of the public realm that are crucial to its development of an urban destination. The block parameters allow for land uses to adapt to demographic and market needs while also maintaining conformance to public edge design criteria, meeting the City's development goals of pedestrian oriented urban experience.

These exhibits in combination with a specialized set of development standards prioritizes mixed-use spaces that foster vibrant communities, while reserving key areas for parks or cultural hubs, anticipating their vital role in future social cohesion. By prioritizing connectivity, whether through walkable streets or integrated cycling networks, the city becomes agile, able to adapt to new modes of transportation. This blend of vision and foresight allows the development plan to shape a dynamic cityscape that embraces both its roots and its ever-evolving future.

Exhibit C.0.5: Infill Incentive Plan (IIP)

Section 11-12-5.A of the Mesa Zoning Ordinance (MZO) requires an IIP map.



INFILL INCENTIVE PLAN KEY








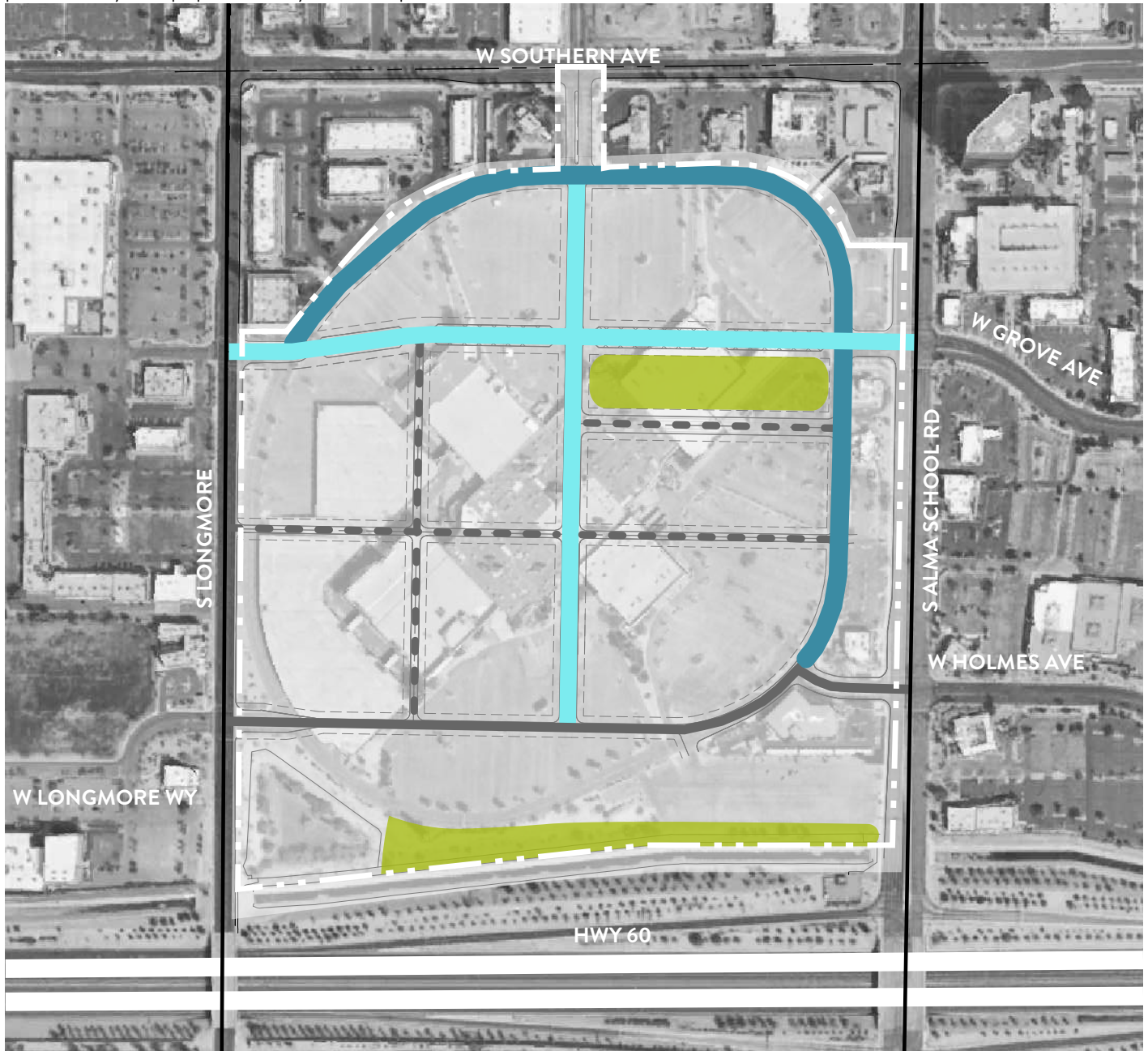

-  Existing Bus Stop
-  Existing Bus Route
-  Existing Bike Lane
-  Proposed Bike Lane
-  Existing Storm Sewer Utility
-  Existing Sewer Utility
-  Retention Area
- Not Present: Washes, Major Trails; Historical, Cultural, and Archaeological Features

Exhibit C.1: Conceptual Vehicle Circulation Version 1

This exhibit illustrates the hierarchy of vehicular circulation elements. Differing street typologies define building frontage priority, setback depths, future tree and landscape programs, future lighting and furniture programs. The key below provides additional information for each typology although the specific locations will be determined at the time of site plan approval. All streets within The Fiesta Redefined Development will have private roadways. The proposed roadways will not be public.



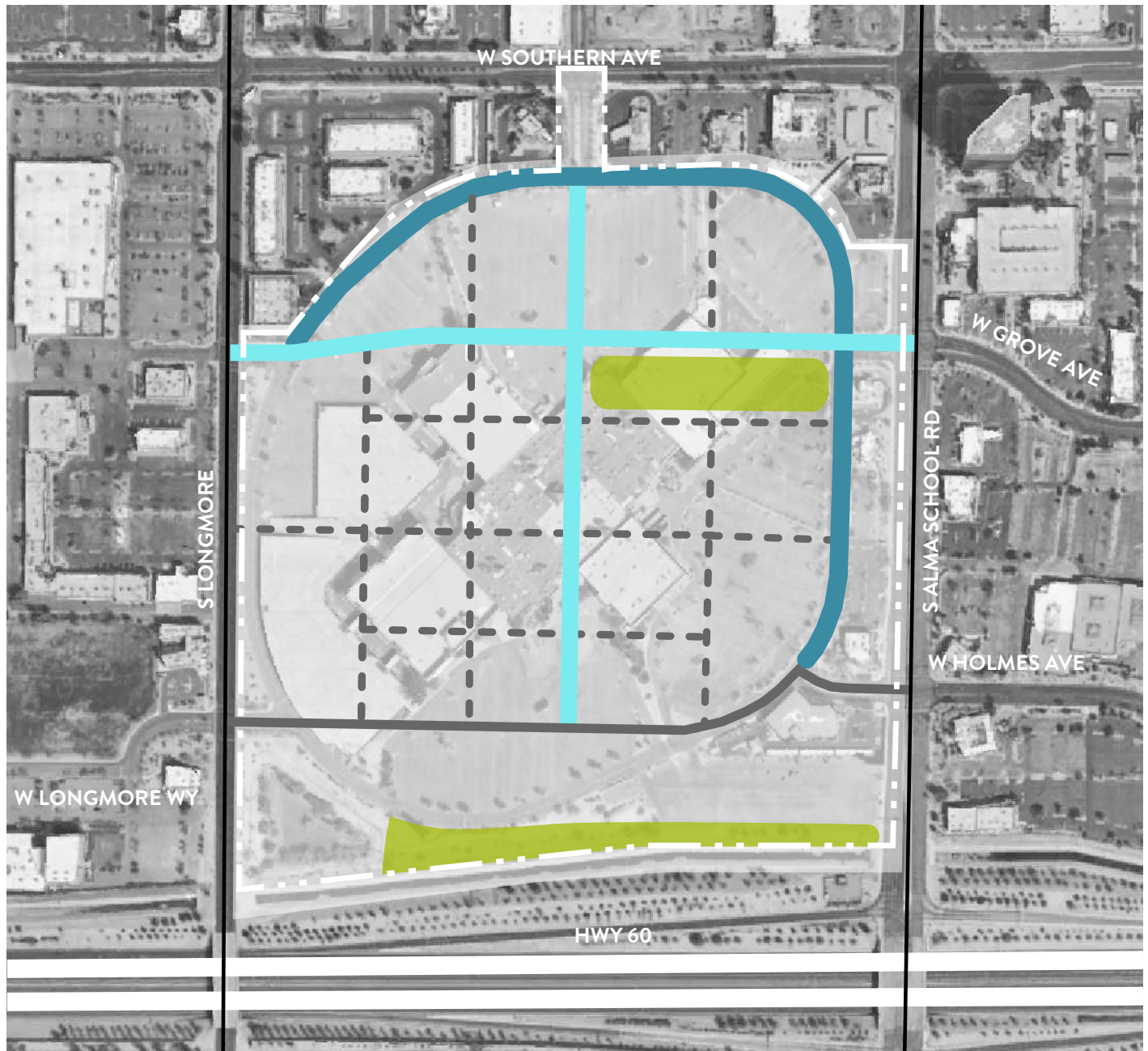
CONCEPTUAL VEHICULAR CIRCULATION KEY*

-  Arterial streets
-  Primary roads
Minor alignment deviation permitted.
-  Loop road
Alignment stays per plan based on existing development access rights for eastern pads and northern off site developments. Secondary-alignment at eastern and western perimeter connection to existing infrastructure to remain, alignment within property may deviate from exhibit.
-  Secondary road
Alignment deviation permitted.
-  Tertiary Roads
Alignment and location subject to change based on parcel size and required vehicular access and connectivity based on use and density of future block development.






*all internal driveways, service roads, and alleys shall not be considered roadways, and do not need to conform to streetscape standards nor maintain minimum building setbacks for sidewalks.

Exhibit C.1: Conceptual Vehicle Circulation Version 2

This exhibit illustrates the possible road configurations subject to change based on parcel size and required vehicular access and connectivity based on use and density of future block development.



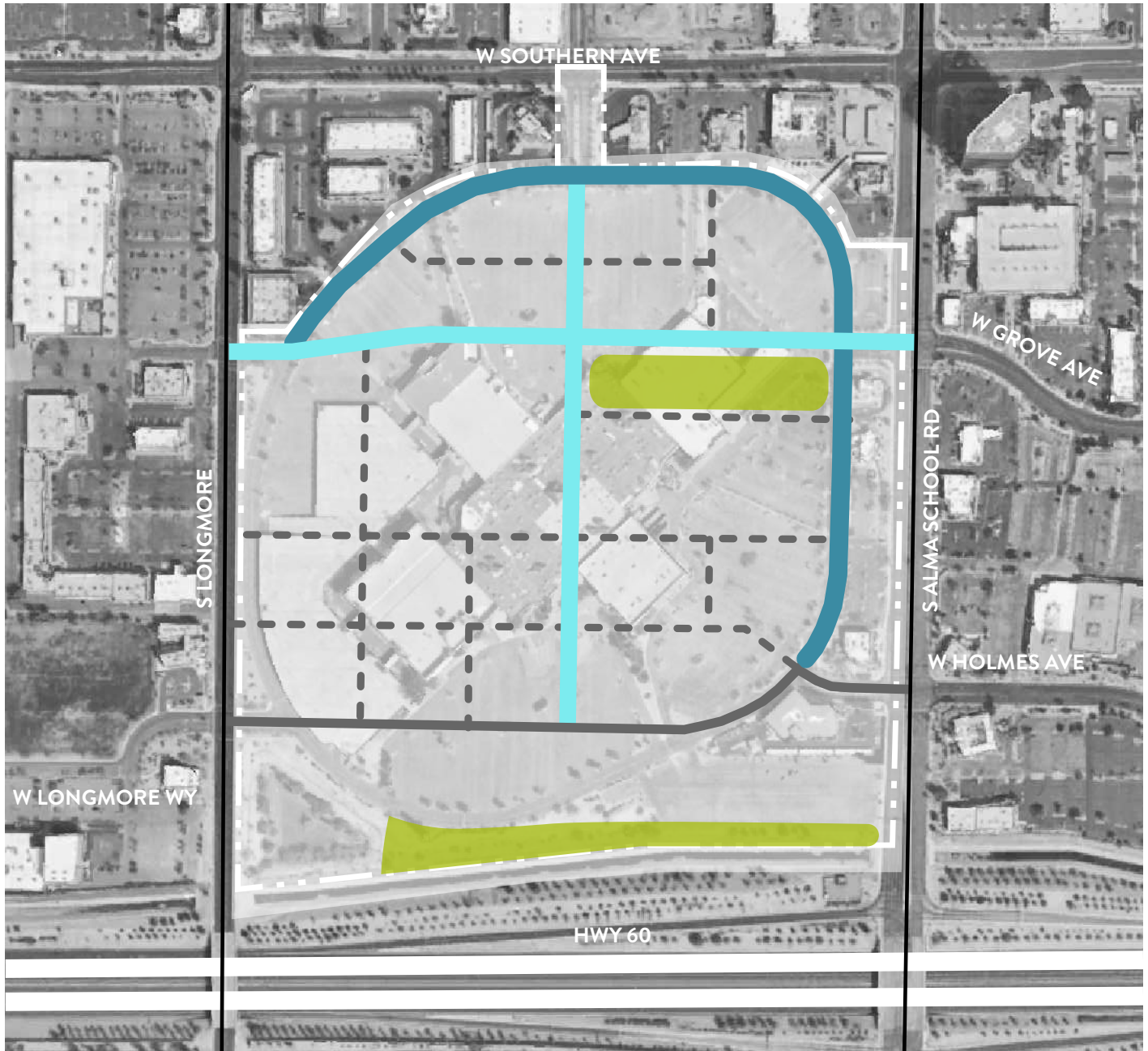
CONCEPTUAL VEHICULAR CIRCULATION KEY*

-  Arterial streets
-  Primary roads
Minor alignment deviation permitted.
-  Loop road
Alignment stays per plan based on existing development access rights for eastern pads and northern off site developments. Secondary-alignment at eastern and western perimeter connection to existing infrastructure to remain, alignment within property may deviate from exhibit.
-  Secondary road
Alignment deviation permitted.
-  Tertiary Roads
Alignment and location subject to change based on parcel size and required vehicular access and connectivity based on use and density of future block development.


*all internal driveways, service roads, and alleys shall not be considered roadways, and do not need to conform to streetscape standards nor maintain minimum building setbacks for sidewalks.

Exhibit C.1: Conceptual Vehicle Circulation Version 3

This exhibit illustrates the possible road configurations subject to change based on parcel size and required vehicular access and connectivity based on use and density of future block development.



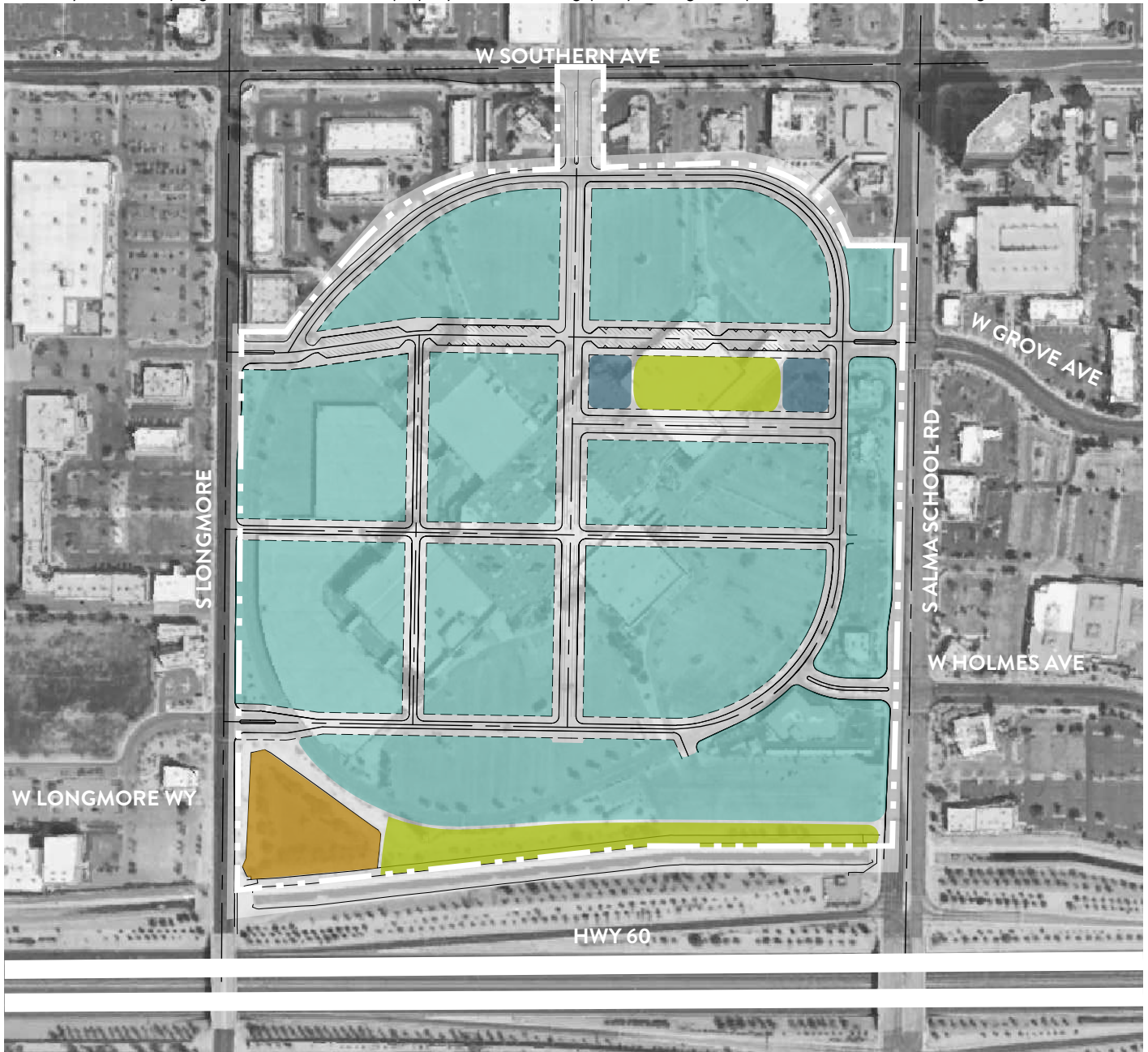
CONCEPTUAL VEHICULAR CIRCULATION KEY*

-  Arterial streets
-  Primary roads
Minor alignment deviation permitted.
-  Loop road
Alignment stays per plan based on existing development access rights for eastern pads and northern off site developments. Secondary-alignment at eastern and western perimeter connection to existing infrastructure to remain, alignment within property may deviate from exhibit.
-  Secondary road
Alignment deviation permitted.
-  Tertiary Roads
Alignment and location subject to change based on parcel size and required vehicular access and connectivity based on use and density of future block development.

*all internal driveways, service roads, and alleys shall not be considered roadways, and do not need to conform to streetscape standards nor maintain minimum building setbacks for sidewalks.

Exhibit C.2: Land Use Map

This exhibit shows an example of a conceptual block layout for future block development. Secondary street locations as well as additions and subtractions are conceptual to allow for combining or subdividing development blocks. The ultimate block layout, sizes, etc. will be determined incrementally on a site plan basis as site plans are approved. The exhibit serves to define important public frontage corridors and suggested secondary connectivity alignments to ensure blocks properly address creating quality frontages and pedestrian environments throughout the Site.



LAND USE MAP KEY





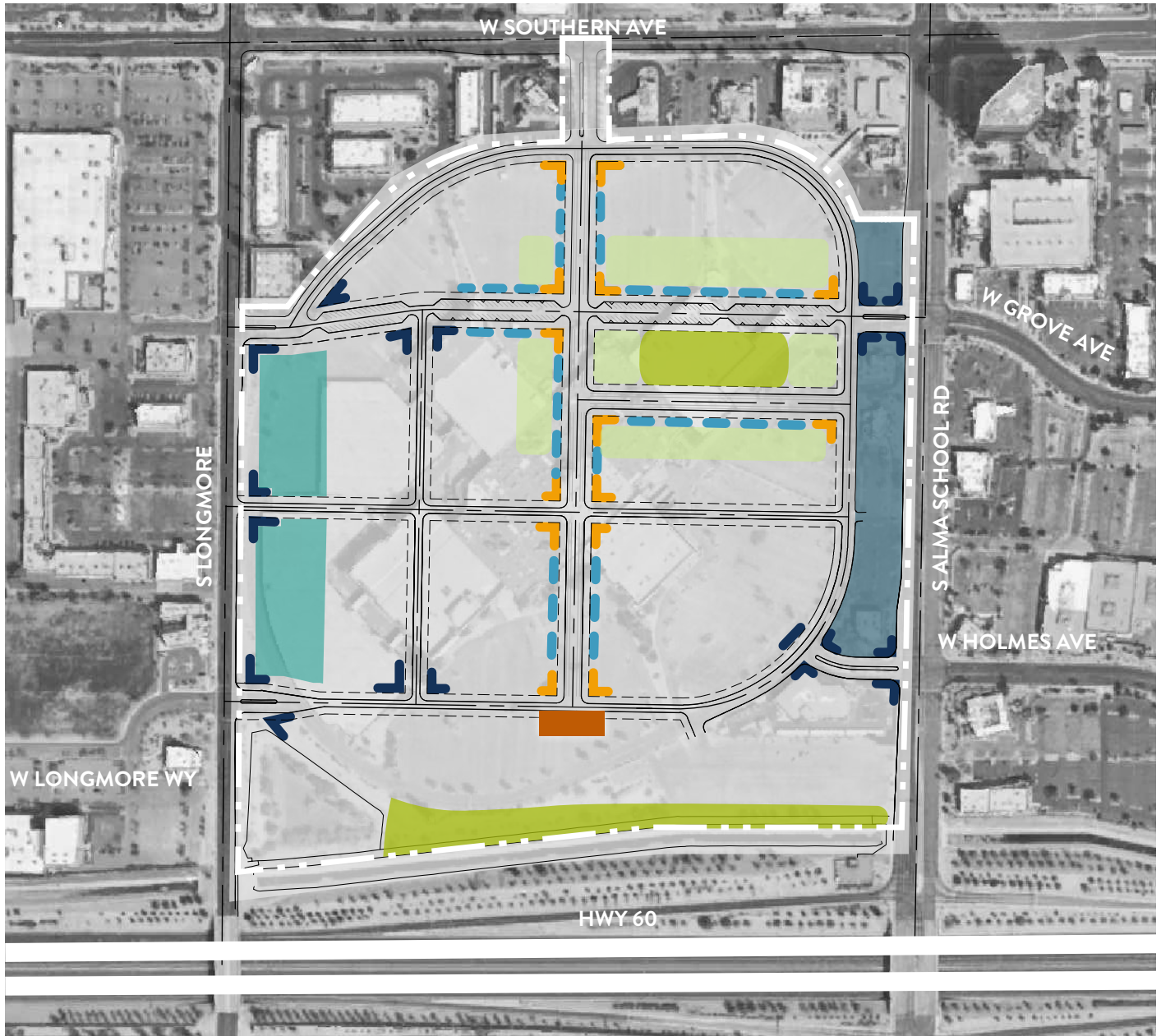
-  Multifamily/Commercial/Office
-  Open Space
-  Commercial
-  Existing Retention Basin

Exhibit C.3: Ground Level Use and Building Height

This exhibit illustrates the hierarchy of commercial ground level use. Zones of multi-story building height create corridors of activity. The key below provides additional information for each typology. While the actual locations of the roadways and Village Green may change, the proposal shall have a building wall and 85% active use frontage from the northern part of the project to the southern end of the project and adjacent to the Village Green. There will also be pedestrian streetscape enhancements along major intersections.



CONCEPTUAL GROUND LEVEL USE AND REQUIRED BUILDING HEIGHT KEY

- Primary Ground Level Commercial Zone
- Secondary Ground Level Commercial Zone
This zone allows for neighborhood service retail with surface parking to be aligned with the existing Longmore retail corridor.
- Existing Ground Level Commercial Zone
- Pedestrian Streetscape Enhancement
May include but not limited to: seat walls, accent walls, pedestrian shade device(s), hardscape accents asphalt accents.
- Terminus Location
This area is intended to be used as a Park, Pavilion, Art Installation, Water Feature, or similar to emphasize the terminus of the Primary North/South Road. The minimum size of the Terminus shall be 20' by 50'.

- Building Wall (30' minimum)(Restaurant and Grocer Uses Excluded)
- Building Wall (30' minimum) for 85%** of Active Use Frontage* (Restaurant and Grocer Uses Excluded)

*Qualifying Active Use Frontages include:

- Commercial Use Storefronts, Entries, or Windows
- Residential Units with Primary or Secondary Entries that Address the Street Frontage
- Auxiliary or Amenity Uses Associated with Residential

**Driveways Excluded

Exhibit C.4: Open Space Plan

This exhibit defines the differing elements of the overall open space strategy for the site. Differing open space typologies serve to connect development blocks, create walkable amenities and provide unique public space offerings for the surrounding community. The key below provides additional information for each typology. Final determination of the Village Green Open Space locations will be established at the time of Site Plan Approval of developments abutting the Village Green or the maximum unit threshold listed in Table D.5 has been met.



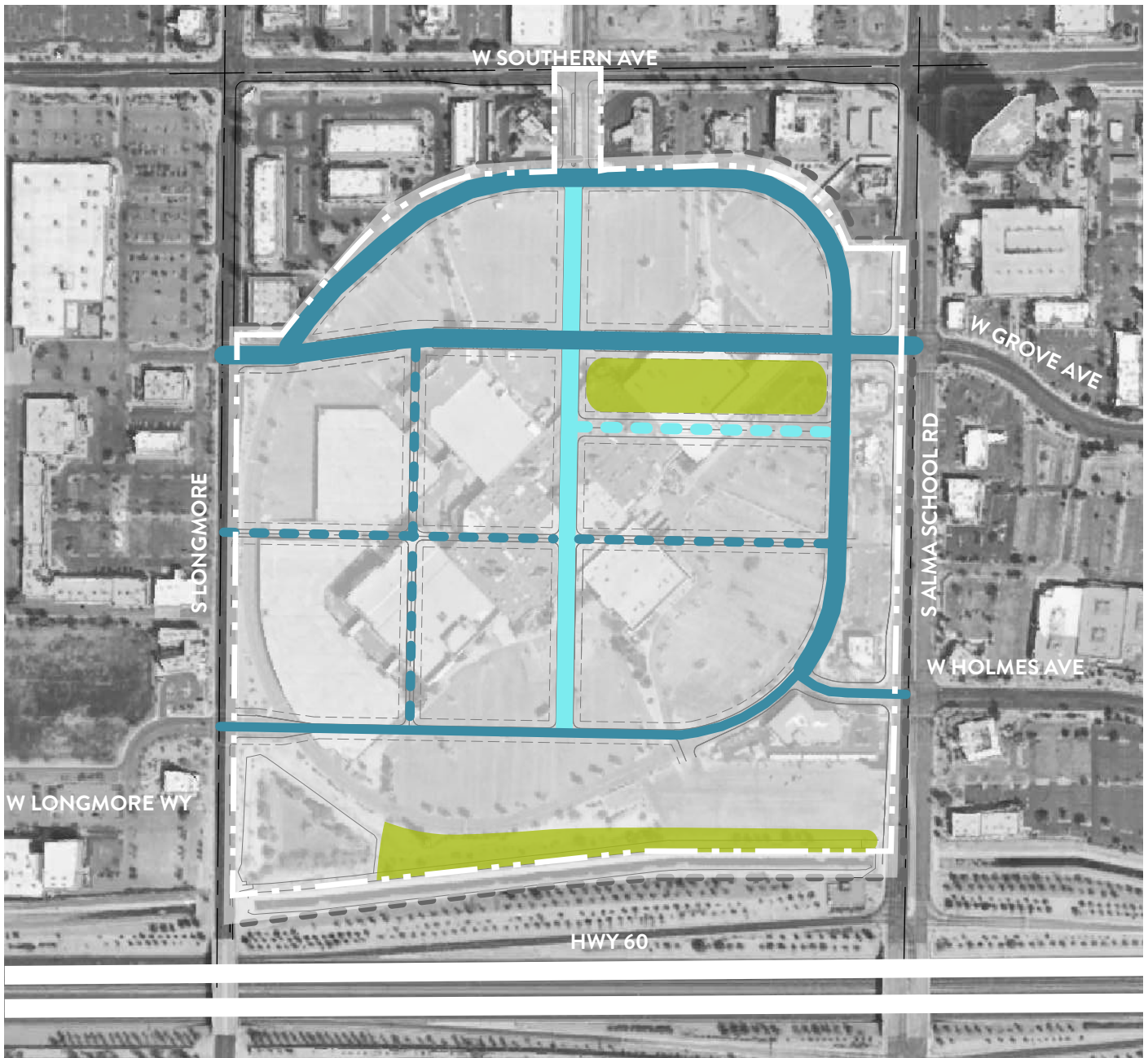
OPEN SPACE PLAN KEY

- Village Green Open Space**

Larger green space sized to hold a variety of community events at varying scales. Smaller buildings may be built at edges of the open space to promote enclosure and to provide services to patrons of the plaza. Refer to E: Development Standards, Section 8: Open Space and Section 7: Standards for Specific Uses & Activities for additional information.
- Existing Open Space**
The existing freeway frontage open space.

Exhibit C.5: Pedestrian + Bicycle Circulation

This exhibit illustrates the hierarchy of bicycle and pedestrian circulation elements. Differing street typologies define width and alignment of sidewalks and bike lanes. The key below provides additional information for each typology.



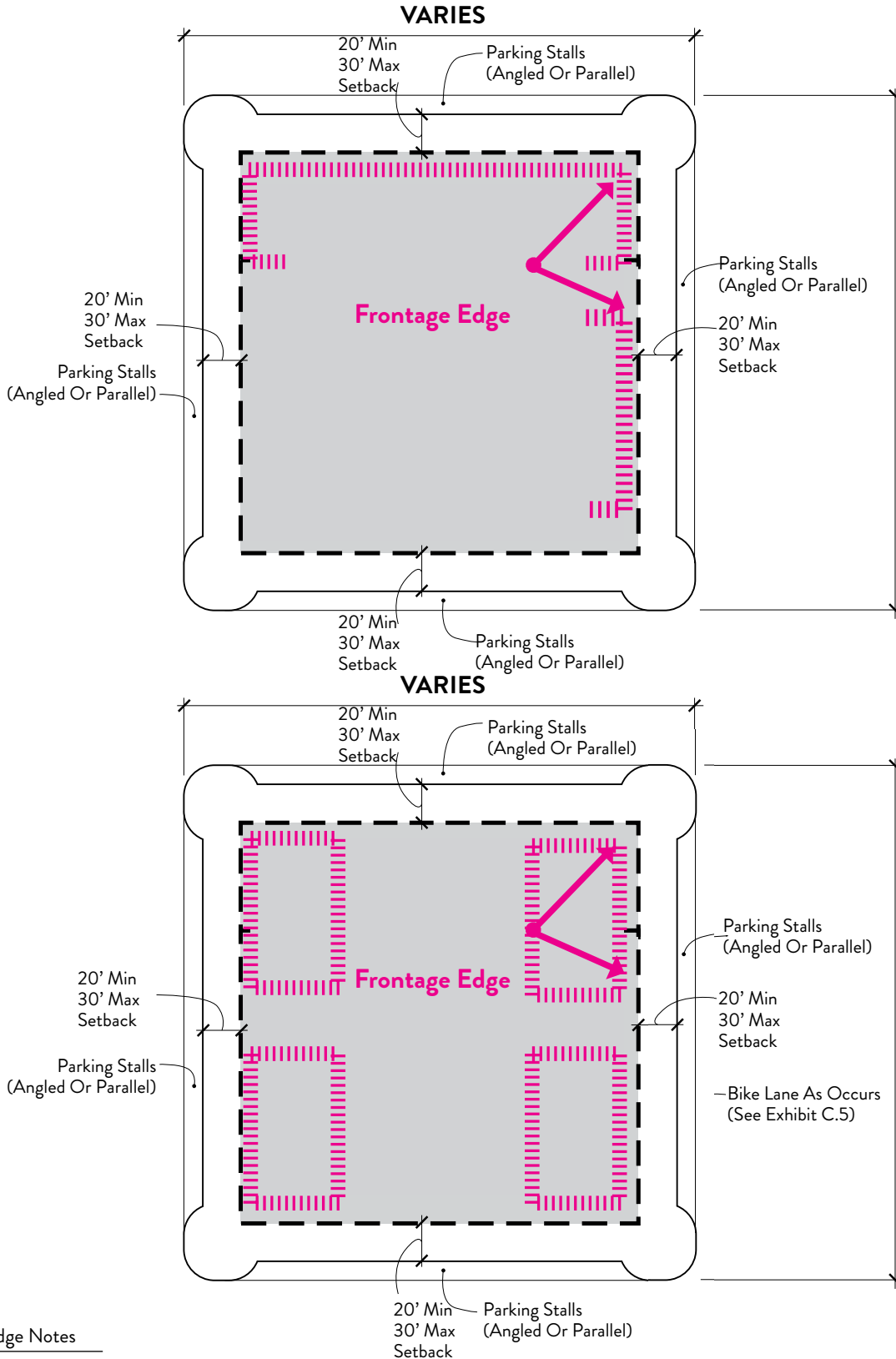
CONCEPTUAL PEDESTRIAN + BICYCLE CIRCULATION KEY

- Bicycle and Pedestrian Circulation
- Subject to change according to Development Block Alignment
- Pedestrian Circulation
- Subject to change according to Development Block Alignment

This Plan is for illustrative purposes only to demonstrate the importance of bicycle and pedestrian circulation. Since the road alignments are flexible, the establishment of the circulation plan will be at the time of Site Plan Approval.

Exhibit C.6: Street Frontage

This exhibit provides graphic guidance for adherence to the minimum frontage requirements and facade setbacks on each block. These graphics are examples only and should be used in conjunction with the entirety of planning exhibits to properly approach block development and building placement.



Frontage Edge Notes

- Breaks in buildings are required to allow pedestrian or vehicular connectivity internal to the block for all blocks exceeding 450' in length or width from back of curb. Breaks in buildings for vehicular or pedestrian access shall not count against frontage minimums. There is no minimum block size.
- 100% of street frontage is required directly along Village Green Open Space (Exhibit C.3)
- Blocks can vary in size according to adjustments made to locations of secondary and tertiary roads.
- Frontage begins at the back of adjacent sidewalk OR at back of adjacent curb if sidewalk is not required.

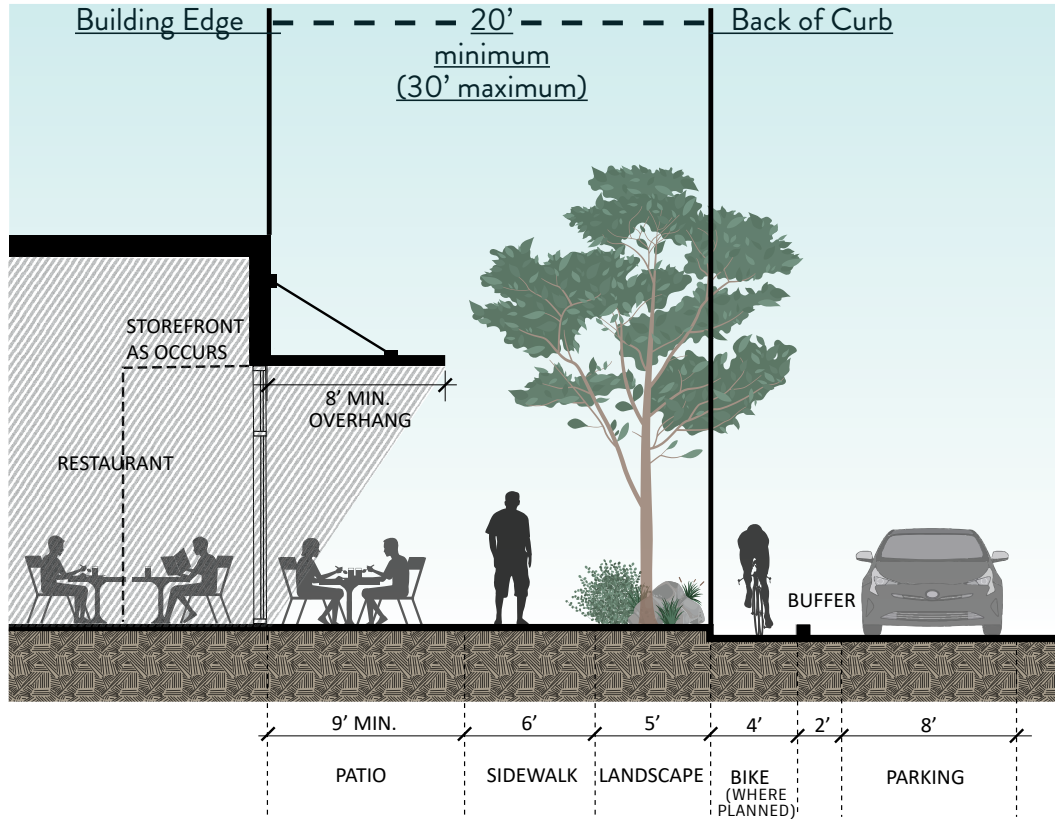
Subject to change in accordance with Section G.

C: Pedestrian Realm Sections

These exhibits show examples of the intended build out from face of building to back of curb for differing use typologies and different frontage typologies. Sidewalk, landscape edge and overhang dimensions are shown as minimums for environmental performance related criteria. Sidewalk, facade and overhang dimensions shall meet minimums but are encouraged to vary to create visual interest and diversity between blocks.

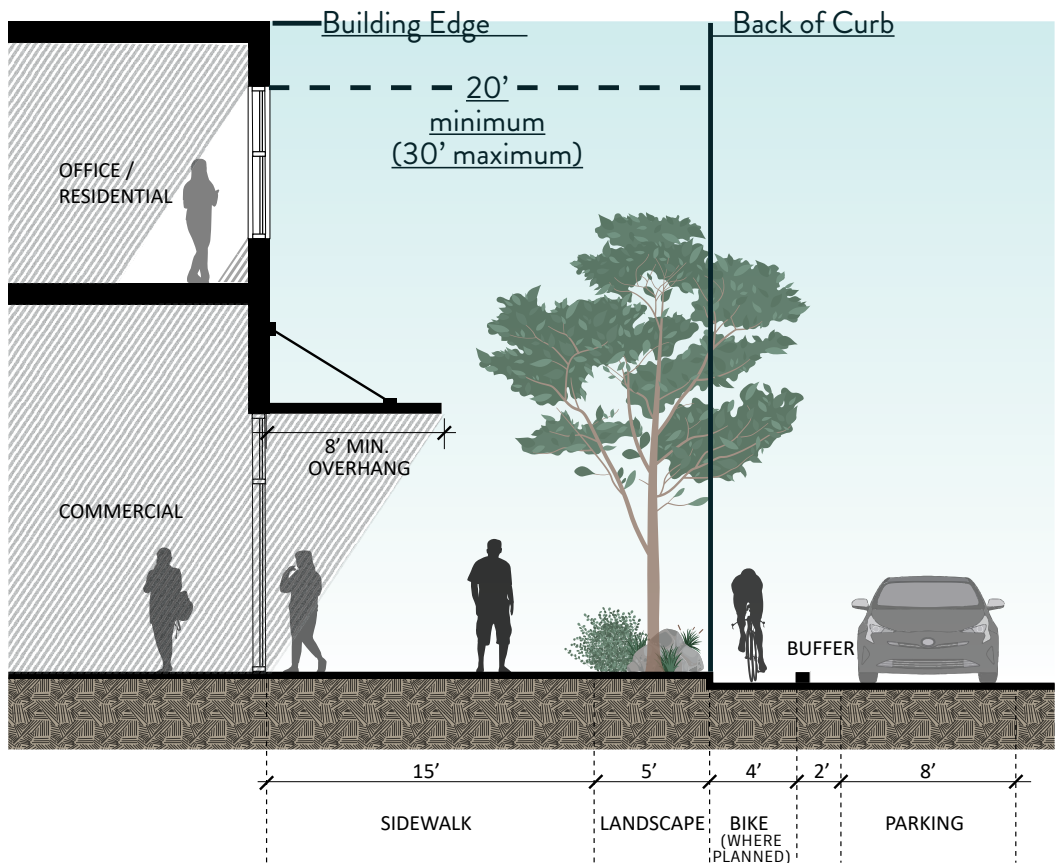
C.7

Conceptual Street Section
Restaurant



C.8

Conceptual Street Section
Mixed Use

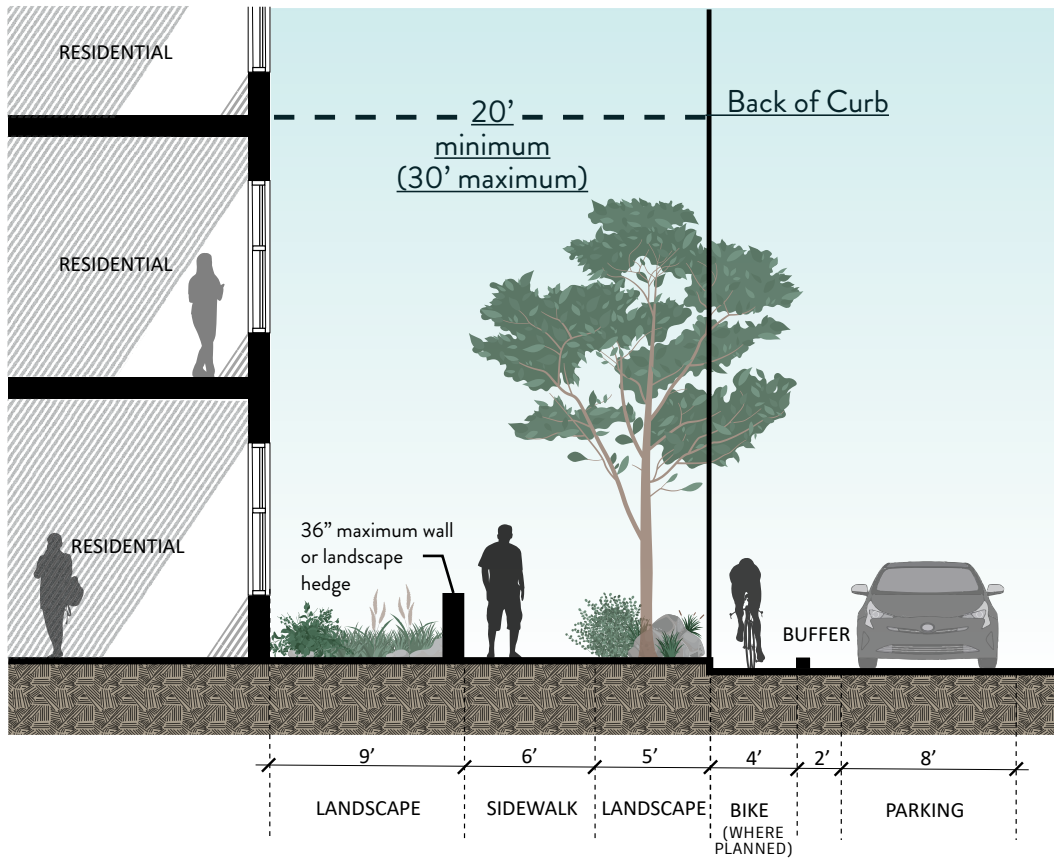


These exhibits are for illustrative purposes only and show examples of pedestrian realm sections with a minimum 20 foot and maximum 30 foot setback. The final pedestrian realm design will be determined at a time of Site Plan Approval on a per Site Plan basis.

C: Pedestrian Realm Sections

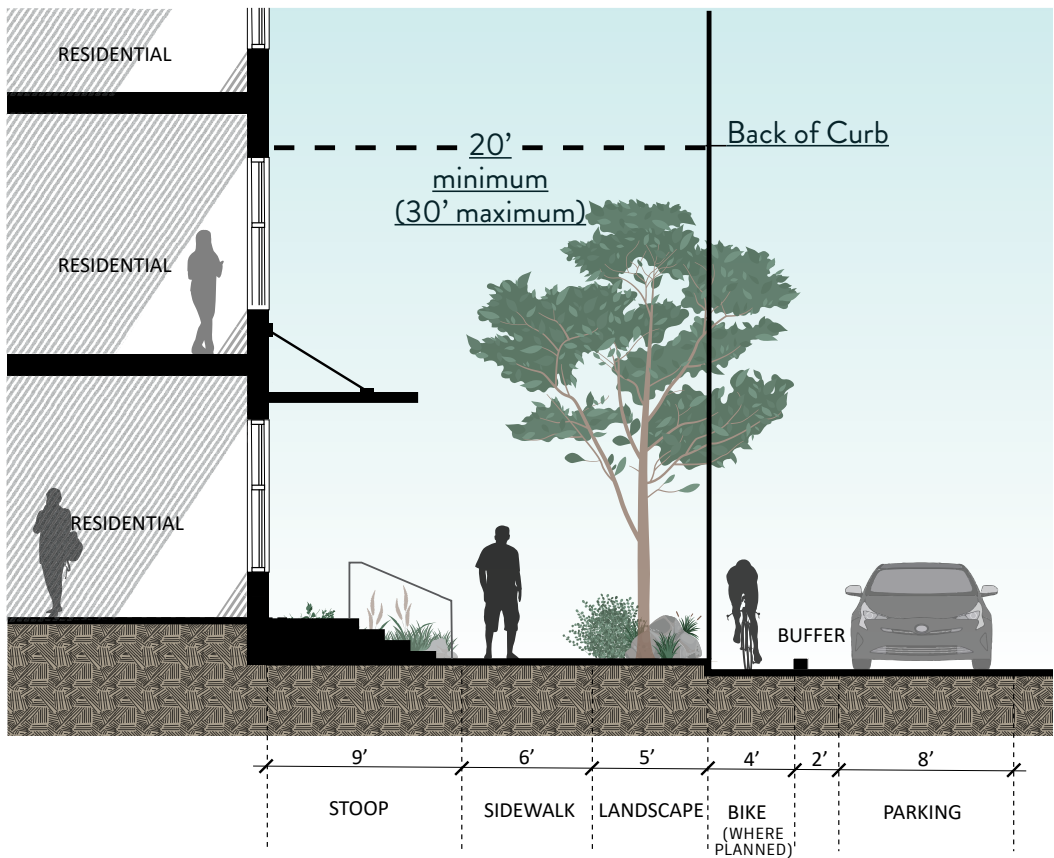
C.9

Conceptual Street Section Residential



C.10

Conceptual Street Section Residential w/ Stoop

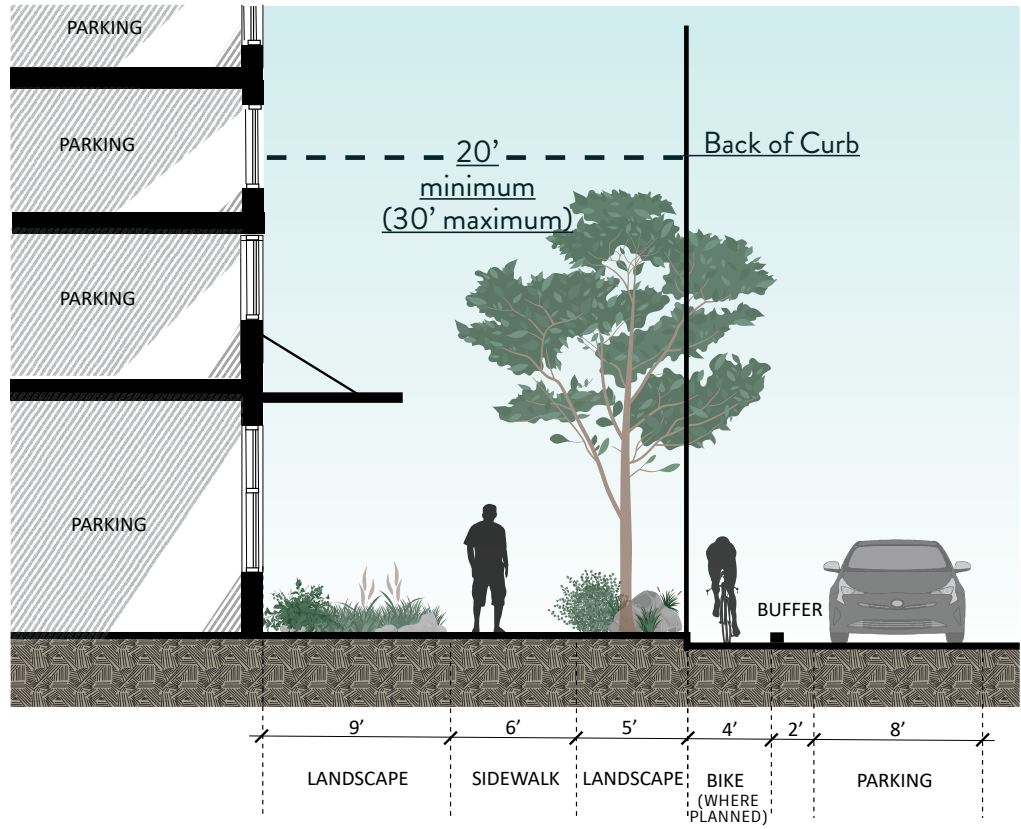


These exhibits are for illustrative purposes only and show examples of pedestrian realm sections with a minimum 20 foot and maximum 30 foot setback. The final pedestrian realm design will be determined at a time of Site Plan Approval on a per Site Plan basis.

C: Pedestrian Realm Sections

C.11

Conceptual Street Section
Garage



These exhibits are for illustrative purposes only and show examples of pedestrian realm sections with a minimum 20 foot and maximum 30 foot setback. The final pedestrian realm design will be determined at a time of Site Plan Approval on a per Site Plan basis.

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Development Regulations + Land Use Regulations

D: Development Regulations + Land Use Regulations

The diversity of land uses proposed as part of the IIP will provide for a synergistic, mixed-use development.

A. Zoning Interpretation of Equivalent Use

Any owner of property within the Site may, for a land use not listed as permitted in the IIP, request a zoning interpretation of equivalent use.

If a land use is not explicitly listed as a permitted use in the IIP, the use is prohibited unless the Zoning Administrator determines that it is within or equivalent to a permitted land use as set forth in this Section. When determining if a proposed land use is within or equivalent to a permitted land use in the IIP, the Zoning Administrator may base their decision on the following:

1. The characteristics and impacts of, and activities associated with, the unlisted land use are substantially comparable to one or more of the permitted land uses in the IIP;
2. The unlisted land use will not create greater negative impacts, or be otherwise injurious or detrimental to the Site, adjacent and surrounding properties or the general welfare of the City than similar uses that are listed as permitted uses.
3. Adequate public services, public facilities, and public infrastructure are available to serve the unlisted land use; and
4. The unlisted land use will advance the purpose and intent of, and is consistent with, the IIP, the General Plan, all applicable specific plans, and all other applicable City plans and policies. If the Zoning Administrator determines a proposed land use is within or equivalent to a permitted land use in the IIP, the proposed land use will be treated in the same manner as the permitted land use (i.e., the same requirements for conditional use permits, Development Standards, Design Guidelines, and all other standards shall apply).

P = Permitted CUP= Council Use Permit

TABLE D.1 RESIDENTIAL USE CLASSIFICATIONS		
Single Residence-Attached	P	Section E.7, Single Residence Attached
Multiple Residence	P	
COMMUNITY RESIDENCE		
Home Occupation	P	Section E.7, Home Occupation
TABLE D.2 PUBLIC AND SEMI-PUBLIC USE CLASSIFICATIONS		
Artists' Studios	P	
Clubs and Lodges	P	
Community Center	P	Permitted only as part of horizontal or vertical mixed use development.
Community Gardens	P	Section E.7, Community Gardens
Cultural Institutions	P	
Day Care Centers	P	
Government Offices	P	Permitted only as part of horizontal or vertical mixed use development.

D: Development Regulations + Land Use Regulations

TABLE D.2 PUBLIC AND SEMI-PUBLIC USE CLASSIFICATIONS		
HOSPITALS AND CLINICS		
Clinics	P	Section E.7, Hospitals and Clinics
Hospitals	P	
Assisted Living Center, Nursing and Convalescent Homes	CUP	Section E.7, Assisted Living Center, Nursing and Convalescent Homes
Parks and Recreations Facilities, Public	P	
Places of Worship	P	Permitted only as part of horizontal or vertical mixed use development.
Public Safety Facilities	P	
Urgent Care Facilities	P	Section E.7, Hospitals and Clinics
SCHOOLS, COLLEGES, AND TRADE SCHOOLS		
Colleges or Universities <i>Private</i>	P	Section E.7, Schools
Colleges or Universities <i>Public</i>	P	
Commercial Trade Schools <i>Private</i>	P	Permitted only as part of horizontal or vertical mixed use development.

TABLE D.3 COMMERCIAL USE CLASSIFICATIONS		
ANIMAL SALES AND SERVICES		
Small Animal Care	P	Permitted only as part of horizontal or vertical mixed use development. Include sound attenuation requirements.
Pet Stores	P	
Veterinary Services	P	
AUTOMOBILE/VEHICLE SALES AND SERVICES		
Service Station	P	Section E.7, Service Stations, Max 2
BANKS AND FINANCIAL INSTITUTIONS		
Banks and Financial Institutions	P	
With Pick-up Windows	P	Section E.7, Drive-Thru Facilities

D: Development Regulations + Land Use Regulations

TABLE D.3 COMMERCIAL USE CLASSIFICATIONS		
COMMERCIAL RECREATION		
Small-Scale	P	
Large-Scale	P	Section E.7, Large Scale Commercial Recreation and Commercial Entertainment
EATING AND DRINKING ESTABLISHMENTS		
Bars/Clubs/Lounges	P	
Banquet and Conference Center	P	Permitted only in conjunction with a Hotel.
Business Services	P	
Commercial Entertainment	P	Section E.7, Large Scale Commercial Recreation and Commercial Entertainment
Coffee Shops/Cafes	P	
Restaurants, Bar and Grill	P	
Restaurants, Full Service	P	
Restaurants, Limited Service	P	
With Drive-Thru Facilities	P	Location restricted, see Section E.7, Drive-Thru Facilities
With Outdoor Eating Areas	P	Section E.7, Outdoor Eating Areas
With Pick-up Windows	P	Section E.7, Drive-Thru Facilities
With Off-Track Betting	P	
With Live Entertainment	P	
FOOD AND BEVERAGE SALES		
Convenience Market	P	Section E.7, Convenience Market
General Market	P	
Hotels and Motels	P	
Large Commercial Development	P	
Live-Work Unit	P	Section E.8, Live Work Units

D: Development Regulations + Land Use Regulations

TABLE D.3 COMMERCIAL USE CLASSIFICATIONS		
OFFICES		
Business and Professional	P	
Medical and Dental	P	
Parking, Commercial	P	Section E.7, Commercial Parking
Personal Services	P	
RETAIL SALES		
With Pick-up Windows	P	Section E.7, Drive-Thru Facilities
General	P	
TABLE D.4 EMPLOYMENT USE CLASSIFICATIONS		
Research and Development	P	Section E.7, Research & Development
SPECIFIC ACCESSORY USES		
Garden Center	P	Section E.7, Garden Center
Outdoor Display	P	Section E.7, Outdoor Display
Temporary Outdoor Entertainment	P	Section E.7, Temporary Outdoor Entertainment
Outdoor Sales	P	Section E.7, Outdoor Sales

D: Development Regulations + Land Use Regulations

TABLE D.5 LAND USE BUDGET		
In addition to the list of permitted uses, a Land Use Budget has been created. This Land Use Budget will help ensure a balance of uses needed to create a vibrant, block development.		
USES	DWELLING UNITS	MAXIMUM
Residential	4,000 max.	4,000 units.
Non-Residential	N/A	1,100,000 sq.ft.
Non-residential Minimums based on number of dwellings		
Up to 700 units	No minimum non-residential sq.ft. required. Maintain existing commercial area.	
701-1,200 units	Minimum of 25,000 sq. ft. non-residential uses* A minimum of 3 points from the Qualifying List of Publicly Accessible Non-Residential Amenities on a minimum 500 sq. ft. publicly accessible open space.	
1,201-2,000 units	Minimum of 50,000 sq. ft. non-residential uses* A minimum of 5 total points (including existing) from the Qualifying List of Publicly Accessible Non-Residential Amenities on a minimum 500 sq. ft. publicly accessible open space.	
2001-3000 units	Minimum of 150,000 sq. ft. non-residential uses* Village Green Open Space A minimum of 7 total points (including existing) from the Qualifying List of Publicly Accessible Non-Residential Amenities on a minimum 500 sq. ft. publicly accessible open space.	
3001-4000 units	500,000 SF non residential uses min.* A minimum of 10 total points (including existing) from the Qualifying List of Publicly Accessible Non-Residential Amenities	

*If any abutting parcels directly adjacent to the Village Green Open Space (Exhibit C.4) are developed, it is mandatory that the Village Green Open Space be built concurrently.

*Existing commercial area shall count towards commercial square footage.

*The residential units and commercial ground floor area will be based on the issuance of a Certificate of Occupancy.

QUALIFYING LIST OF PUBLICLY ACCESSIBLE NON-RESIDENTIAL AMENITIES		
3 POINTS	2 POINTS	1 POINT
Park	Public Seating	Bicycle Repair Station
Public Art	Shade Structure	Library Stand
Community Garden	Water Feature	Charging Stations
Playground and Play Equipment	Fitness Station	Water Filling Station



Development Standards

E: Development Standards

Development standards are broken into blocks to ensure flexibility and connectivity.

Section 1: Non Residential Development Standards

TABLE E.1 NON- RESIDENTIAL DEVELOPMENT STANDARDS	
Maximum Height	No Maximum
Maximum Lot Coverage	100% of Overall Net Site Plan Area ¹
Overall Site Minimum Open Space	15% of Overall Net Site Plan Area ^{1,3}
Open Space Requirement Village Green	Refer to Section E.8-Open Space
Minimum Lot Width and Depth	No Minimum
Minimum Height	No Minimum (30' minimum required in areas designated in Exhibit C.3: Ground Level Use and Building Height)
BUILDING AND LANDSCAPE SETBACKS	
Setbacks are measured from back of curb	
Arterial (Alma School, Longmore)	20 foot minimum, 30 foot maximum, with exception for patios
Primary	20 foot minimum, 30 foot maximum, with exception for patios
Secondary and Loop Road	20 foot minimum, 30 foot maximum, with exception for patios
Tertiary	20 foot minimum, 30 foot maximum, with exception for patios
Internal, Side, and Rear Property Lines	0 foot minimum
<p>NOTES</p> <ol style="list-style-type: none"> 1. Net Site Plan Area measured from back of curb. 2. Setbacks are measured from back of curb. 3. Refer to Section 8 - Open Space for additional information. 4. Zero Setback at Property Line not adjacent to roadways. 	

SHADE STANDARDS
Minimum of 50% of private on-site sidewalks, pedestrian pathways, and common amenity areas shall be shaded through the use of landscaping, architectural features or projections, shade cast from a building, or other stand-alone structural shading devices.
Shade calculation shall be based on tree maturity during the summer solstice at 12:00pm.

E: Development Standards

Section 2: Residential Development Standards

TABLE E.2 RESIDENTIAL DEVELOPMENT STANDARDS	
Maximum Height	No Maximum
Maximum Lot Coverage	100% of Overall Net Site Plan Area ¹
Overall Site Minimum Open Space	15% of Overall Net Site Plan Area ^{1,4}
Open Space Requirement Private	Minimum 50 square feet with a minimum depth of 5 feet
Minimum Lot Width and Depth	No Minimum
Minimum Height	No Minimum (30' minimum required in areas designated in Exhibit C.3: Ground Level Use and Building Height)
Open Space Requirement Private	50 square feet on 50% of units ³
Open Space Requirement Common	Minimum of three common open space amenities required (list of available amenity options located at bottom of page)
Open Space Requirement Village Green	Refer to Section E.8-Open Space
Density	4,000 maximum units, no specific project density
BUILDING AND LANDSCAPE SETBACKS	
Setbacks are measured from back of curb	
Arterial (Alma School, Longmore)	20 foot minimum, 30 foot maximum, with exception for patios
Primary	20 foot minimum, 30 foot maximum, with exception for patios
Secondary and Loop Road	20 foot minimum, 30 foot maximum, with exception for patios
Tertiary	20 foot minimum, 30 foot maximum, with exception for patios
Internal, Side, and Rear Property Lines	0 foot minimum
NOTES	
1. Net Site Plan Area measured from back of curb.	
2. Setbacks are measured from back of curb.	
3. Private Open space can be reduced to 40 square feet/unit, if a rooftop or above ground common open space is provided.	
4. Refer to Section 8 - Open Space for additional information.	
SHADE STANDARDS	
Minimum of 50% of private on-site sidewalks, pedestrian pathways, and common amenity areas shall be shaded through the use of landscaping, architectural features or projections, shade cast from a building, or other stand-alone structural shading devices.	
Shade calculation shall be based on tree maturity during the summer solstice at 12:00pm.	
COMMON OPEN SPACE AMENITY OPTIONS	
Indoor Bicycle Storage, Craft Room, Turf Area, Nursery, Art Installation, Co-Working Space, Water Feature, Covered Pedestrian Ways, Bicycle Path, Bicycle Repair Station, Swimming Pool, Tennis Court or similar, Barbecue Area, Playground, Gazebo or similar, Dog Park, Fitness Center, Media Room, Rooftop Deck or Observatory	

E: Development Standards

Section 3: Parking Development Standards

ON-SITE PARKING, LOADING, AND CIRCULATION

PURPOSE AND APPLICABILITY

A. Purpose

The purpose of this section is to provide standards for parking and loading facilities to accommodate the various land uses permitted by this Plan. It is the intent of this Section to require the minimum number of on-site parking and loading spaces with maneuvering areas, driveways, and surface materials for the efficient movement of vehicular traffic, and to provide flexibility in meeting these requirements for sites with special needs. Additional purposes of this Section include:

1. Ensuring the provision of safe and convenient places to park personal transportation vehicles, including automobiles, bicycles and motorcycles,
2. Providing paved surfaces and alternative dust control measures to control and reduce the amount of dust and PM-10 particulates released to the atmosphere,
3. Limiting the area of land consumed by parking through allowances for reductions to the number of required parking spaces and allowances for sharing of parking spaces among multiple uses where appropriate,
4. Minimizing conflicts between pedestrian and vehicular circulation,
5. Reducing the scale of paved surfaces and shading these surfaces, to reduce heat gain that contributes to the urban heat island effect, and
6. Encourage sustainable development by promoting the use of alternative modes of transportation, walking and bicycling through recalibrating parking regulations for mixed use and transit-oriented developments.

B. Applicability

The parking and loading requirements of this Section apply to all development in the IIP.

GENERAL REGULATIONS AND STANDARDS

A. Location

Parking spaces and maneuvering area shall not be located anywhere within any required front or street side yard or landscaped area except driveways that directly and immediately allow a vehicle to access the site from a street or abutting property.

B. Standards.

The following standards apply to required on-site parking and loading spaces, maneuvering areas, and access:

1. Required parking and loading spaces, maneuvering areas, and driveways shall be paved with asphalt, concrete, paving stone, or masonry to a sufficient thickness to withstand repeated vehicular traffic. The Zoning Administrator, in collaboration with the City Engineer, may establish alternative standards for porous surface paving.
2. Required parking spaces shall be permanently marked and shall be accessible from a street or alley by a driveway or aisle such that all vehicles shall approach the street or alley in forward motion.
3. Maximum percentage of surface parking per Development Block in the Primary Ground Level Commercial Zone (Exhibit C.3) is 50% of Block area and shall be located internal to the development blocks.
4. In Residential developments, surface parking to be internal to the development blocks. Parking directly adjacent to service, service streets, tertiary roads, or internal block driveways is permitted. This does not apply to Structured Parking.

C. Compact Parking.

On a site with at least 10 required parking spaces, up to 20 percent of the total required parking spaces may be compact spaces, provided that the following standards are met:

1. Where covered parking is required all covered parking spaces shall be standard size;
2. All compact spaces are to be designated with a sign or pavement marking; and
3. Compact spaces shall be distributed throughout the parking area, with no more than 9 compact spaces in a single cluster. Each cluster of up to 9 spaces shall be separated by a minimum radius of at least 60-feet from the next cluster of compact parking spaces.

E: Development Standards

Section 3: Parking Development Standards

Compact Parking Exhibit

Exhibit D

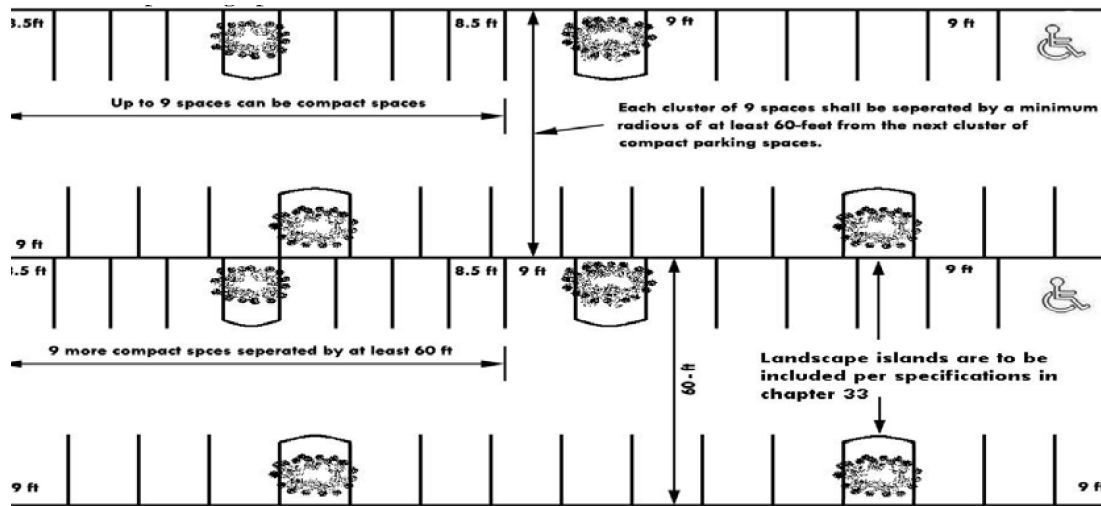


TABLE E.3 COMPACT PARKING SPACE AND AISLE DIMENSIONS

Angle of Parking	Stall Width	Curb Length Per Stall	Stall Depth	One-Way Aisle Width	Two-Way Aisle Width
Parallel	9'0"	22'0"	9'0"	11'	20'
30°	9'0"	18'0"	14'11"	11'	20'
40°	9'0"	14'0"	16'5"	11'	22'
45°	9'0"	12'9"	17'0"	11'	24'
50°	9'0"	11'9"	17'5"	12'	24'
60°	9'0"	10'5"	17'10"	16'	24'
70°	9'0"	9'8"	17'9"	16'	24'
80°	9'0"	9'0"	16'0"	21'	24'

**Max 2' overhang hang allowed.

D. Accessible Parking

Accessible parking spaces shall be provided and maintained pursuant to Section 4-2-1(FF) of the Mesa City Code pertaining to the Arizonans with Disabilities Act of 1992.

E. Structured Parking

The exterior elevations of any multi-level parking structure must be designed so as to screen or conceal parked cars from view from public streets and open space on the first and second floors of the structure. Every entry level of structured parking garages visible from public way must be screened or concealed by one (1) or more of the following methods:

1. Ground-Floor Commercial

The garage's ground-level street frontage (except for driveways and pedestrian entrances) for the designated front of the structure shall be improved with Retail Sales, Food and Beverage Sales, Eating and Drinking Establishments, Personal Services, or similar pedestrian-oriented uses. Or;

E: Development Standards

Section 3: Parking Development Standards

2. Landscaping

Landscaping shall be provided in the form of perimeter planters within openings of the structure, and/or the incorporation of hanging baskets, flower boxes, or planting trellises. Or;

3. Combination of Opaque Screen Walls and Open Decorative Panels

A combination of opaque screening devices and decorative panels may be used to screen parking within above ground structures. Opaque screen walls shall not be higher than 3'-6" relative to the abutting floor height, and shall not exceed 45 percent of the aggregate surface area of the exterior wall. Decorative panels or other devices with opacity of at least 40% shall be used to screen the remainder. The decorative panels shall be constructed of durable materials, such as iron, steel, copper, aluminum, formed concrete, glass block, brick or other textured masonry. Or;

4. Design Review Board Review of Alternative Architectural Structure

The City of Mesa Design Review Board may approve parking garage structures that incorporate attractive architectural forms and artful detailing that have strong visual interest.

F. **Size of Parking Spaces and Maneuvering Aisles**

Parking spaces and maneuvering aisles shall be provided to meet the minimum dimensions required by this subsection. Screening walls, roof support posts, columns, or other structural members shall not intrude into the required dimensions for parking spaces.

1. Standard Parking Spaces

The minimum basic dimension for standard parking spaces is 9 feet by 18 feet. Table below provides the dimensions of spaces (stalls) and aisles according to the angle of parking spaces. Maximum of 2' overhang is allowed.

2. Compact Parking Spaces

The minimum basic dimension for compact parking stalls shall be 9 feet by 16 feet. Table below provides the dimensions of spaces and aisles according to angle of parking spaces.

Loading Spaces

If loading spaces are provided, they shall be a minimum 10 feet by 30 feet.

G. **Size of Parking Spaces for Motorcycles and Scooters**

Motorcycle and Scooter parking spaces shall have a minimum dimension of 5 feet by 9 feet.

H. **Drive Aisle without Associated Parking Spaces**

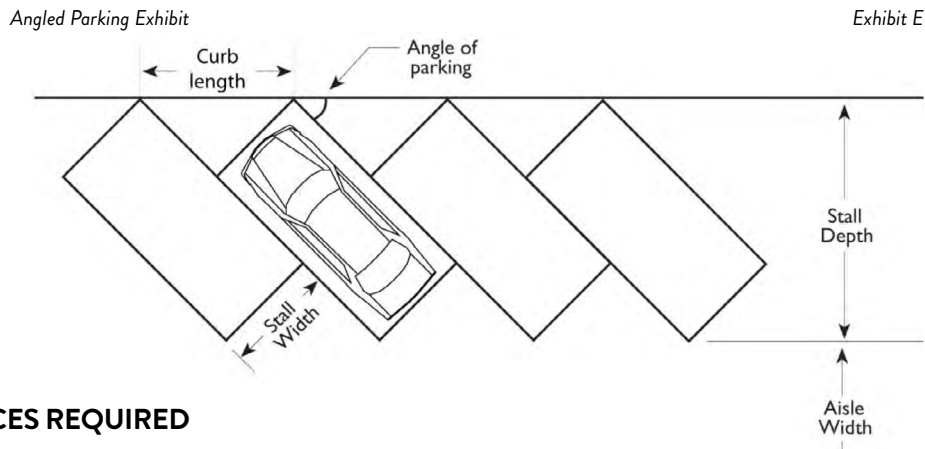
One-way drive aisles that do not provide access to parking or loading spaces shall be at least 12-feet wide. 2-way drive aisles that do not provide access to parking or loading spaces shall be at least 20-feet wide.

E: Development Standards

Section 3: Parking Development Standards

TABLE E.4 STANDARD PARKING SPACE AND AISLE DIMENSIONS					
Angle of parking	Stall width	Curb length per stall	Stall Depth	One-way aisle width	Two-way aisle width
Parallel	9'0"	22'0"	9'0"	12'	20'
30°	9'0"	18'0"	17'4"	11'	20'
40°	9'0"	14'0"	19'2"	12'	22'
45°	9'0"	12'9"	19'10"	12'	24'
50°	9'0"	11'9"	20'5"	15'	24'
60°	9'0"	10'5"	21'0"	18'	24'
70°	9'0"	9'8"	21'0"	19'	24'
80°	9'0"	9'0"	18'0"	24'	24'

**Max 2'-6" overhang allowed.



PARKING SPACES REQUIRED

A. The following chart specifies the minimum parking spaces required for each permitted use.

TABLE E.5 REQUIRED PARKING SPACES BY USE		
Use	Minimum Standard	
RESIDENTIAL		
Single Residence, attached.	2 spaces per dwelling which may be in tandem with Zoning Administrator approval.	
Apartments, multiple residence condominiums, and mixed-use residential, town-homes, patio homes and similar multiple residence buildings.	Studio	0.5 per unit
	1-bedroom	1 per unit
	2 or more total bedrooms	1.5 per unit
	Guest Parking	0.1 per unit

E: Development Standards

Section 3: Parking Development Standards

TABLE E.5 REQUIRED PARKING SPACES BY USE	
Use	Minimum Standard
RESIDENTIAL	
Assisted Living Center, Nursing and Convalescent Homes	1.2 spaces per dwelling unit for development with distinguishable dwelling units 1.0 space for each room plus 2 additional spaces for development with congregate dining and no distinguishable separate dwelling units
Live-Work Units	Residential: 0.5 per studio, 1 per 1-bedroom, 1.5 per 2+ bedroom, Office 1 per 500 square feet
PUBLIC ASSEMBLY AND SCHOOLS	
Theaters, auditoriums, assembly halls, places of worship, clubs lodges, and fraternal buildings, funeral homes, community centers, libraries	1 space per 75 square feet used for public assembly or 1 space per 8 seats (whichever is less)
Museums	1 space per 250 square feet used for public assembly plus accessory use
Stadiums	1 space per 10 seats
High schools, academies, colleges, universities, trade or vocational schools	1 space per 200 square feet or; High Schools: 1 space per 8 students design capacity College/Universities: 1 space per 1,000 square feet office, research, and library area, plus 1 space per 10 seats in assembly areas (whichever is less)
HEALTH CARE	
Hospitals	1 space per 400 square feet
Medical/dental offices and outpatient clinics	1 space per 250 square feet
Day Care Centers	1 space per 375 square feet
GROUP COMMERCIAL DEVELOPMENTS	
Shell buildings (no specified use)	1 space per 275 square feet
INDEPENDENT COMMERCIAL BUILDINGS AND USES	
General offices, retail, and services	1 space per 500 square feet
Hotels and motels	0.5 space per room or suite of rooms with individual exits plus ancillary use requirements
Eating and drinking Establishments (no drive through window)	1 space per 75 square feet for indoor area, and 1 space per 200 square feet for outdoor seating area

E: Development Standards

Section 3: Parking Development Standards

TABLE E.5 REQUIRED PARKING SPACES BY USE	
Use	Minimum Standard
Miniature golf, amusement parks, batting ranges, and water slides	2 spaces per court/cage/hole Sport Field/Court: 1 space per 3 seats (observers) or 1 space per 1,000 square feet
Health space and clubs/gyms and tennis, handball, and racquetball courts and clubs	1 space per 500 square feet, 2 spaces per court
Skating rinks and dance halls	1 space per 500 square feet used for recreational activities plus ancillary use requirements
PUBLIC FACILITIES AND USES	
Fire stations	1 space per bed, plus 1 space per 75 square feet for Community room
Eating Establishments (with drive-through window and associated queuing drive aisle)	1 space per 300 square feet for indoor area, and 1 space per 350 square feet for outdoor eating area
TEMPORARY OUTDOOR USES	
Farmers Markets	1 space per 500 square feet of designated area.
RECREATION	

B. Basis of Calculation

The on-site parking requirements specified in this Section are based on gross floor area unless otherwise stated.

1. In the case of mixed uses, the total requirements for off-street parking spaces shall be the sum of the requirements of the various uses computed separately as specified in this Section, and the off-street parking space for one use shall not be considered as providing the required off-street parking for any other use. A shared parking agreement can be part of a parking reduction.
2. In case of fractional results in calculating parking requirements from the chart above, the required number shall be rounded up to the nearest whole number.

C. Maximum Parking Spaces

Maximum parking percentage shall be 125% of required parking. The maximum can be exceeded at the time of Site Plan Review per Section G of the IIP.

D. Covered Spaces

Covered parking spaces shall be provided as follows:

1. Multiple-residence projects shall provide a minimum of .5 covered parking space per unit.
2. Covered spaces may be counted concurrently with the minimum aggregate parking space requirements for the development.

E. Credit for On-Street Spaces

On-street parking spaces located immediately adjacent to a building may be counted toward required off-street parking for all uses. One on-street parking space may be substituted for each required off-street space. These provisions only apply to street frontages where on-street parking is allowed and provided. The parking space credit shall be determined at the time of site plan approval.

E: Development Standards

Section 3: Parking Development Standards

F. Uses Not Specified

The parking requirement for any use not listed in Table E.5 shall be determined by the Zoning Administrator based upon the requirements for the most similar equivalent use, the particular characteristics of the proposed use, and any other relevant data regarding parking demand. In order to make this determination, the Zoning Administrator may require the applicant to submit a parking demand study or other information, at the applicant's cost.

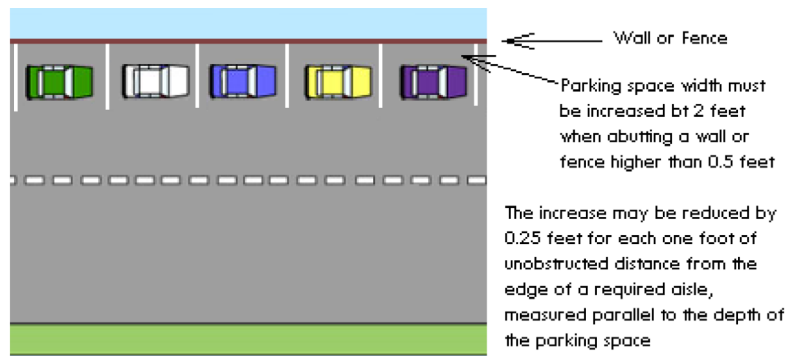
PARKING AREA DESIGN

A. Parallel Parking Spaces Abutting Wall or Fence

Each parallel parking space adjoining a wall or fence, shall be increased by 2 feet on each obstructed side, provided that the increase may be reduced by 0.25 feet for each one foot of unobstructed distance from the edge of a required aisle, measured parallel to the depth of the parking space.

Parallel Parking Abutting Wall or Fence Exhibit

Exhibit F



B. Long-Term Parking

In parking areas, or portions of parking areas, restricted to employee use rather than customer or visitor use, and in which a vehicle is not normally moved during the period of an employee's work shift, the width of parking spaces may be reduced to 8 feet for standard spaces.

C. Circulation and Safety

1. Internal Circulation

- a. Visibility shall be assured for pedestrians, bicyclists, and motorists entering individual parking spaces, circulating within a parking facility, and entering or leaving a parking facility.
- b. Internal circulation patterns, and the location and traffic direction of all access drives, shall be designed and maintained in accordance with accepted principles of traffic engineering and traffic safety.
- c. Off-street parking and loading areas shall be provided with sufficient maneuvering room so that all vehicles can enter and exit from a public street by forward motion only. This regulation does not apply to parking areas serving Single-Family Residences served by individual driveways. The maneuvering of vehicles necessary to enter or exit loading areas shall not occur on City streets.
- d. Parking lots shall be designed so that solid waste, emergency, and other public service vehicles can provide service without backing unreasonable distances or making other dangerous or hazardous turning movements.

E: Development Standards

Section 3: Parking Development Standards

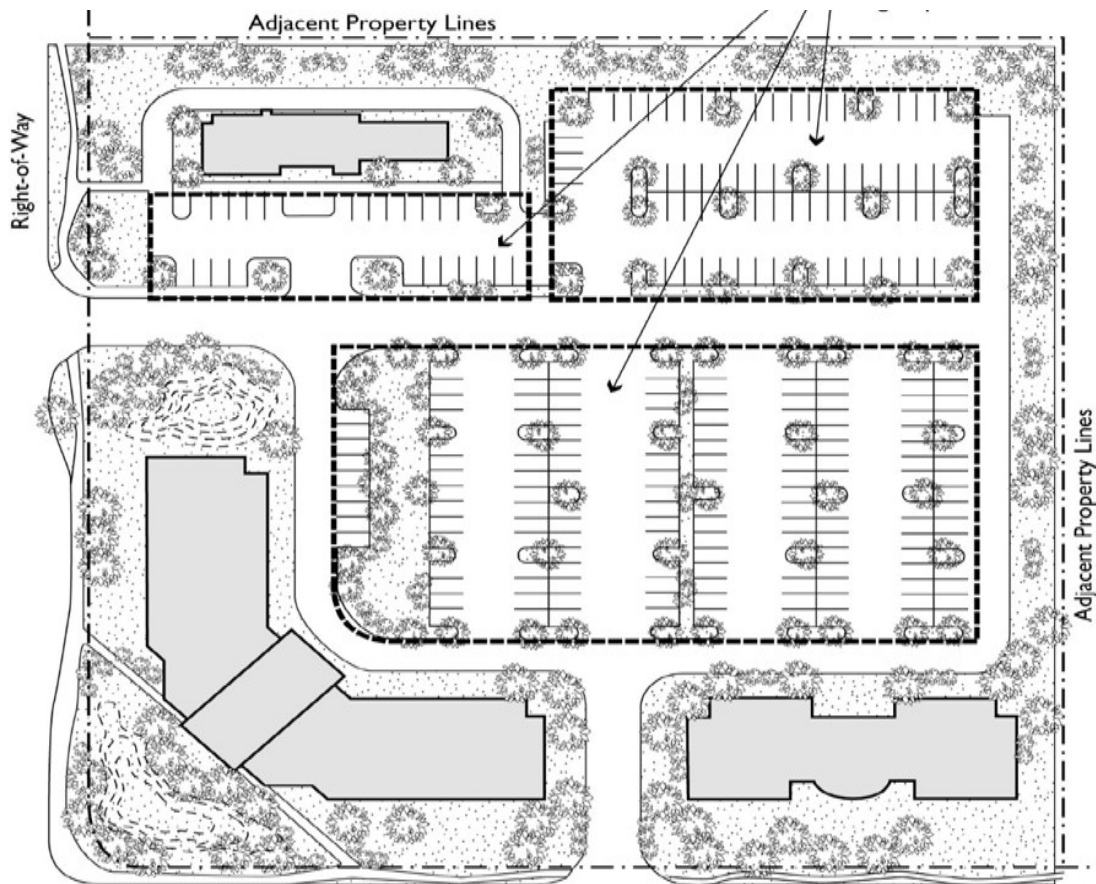
2. Parking Lot Layout

No more than 200 parking spaces shall be allowed together in one group or cluster. Parking lot clusters shall be separated by landscaping, pedestrian connections, cross aisles, retention basins or similar features.

- a. In office-use and industrial projects, a minimum 25 percent of the required parking spaces shall be provided within 300 feet of the building served, with the balance of the required parking within 500 feet. No more than 200 parking spaces shall be grouped together.
- b. In commercial and mixed-use projects, a minimum of 50 percent of the required parking spaces shall be located within 1,000 feet of the building served.
- c. In residential projects, required parking spaces shall be arranged to provide at least one parking space per unit within 350 feet of the dwelling units they are intended to serve.
- d. Drive aisle intersections are to be perpendicular to each other.
- e. Separate vehicular and pedestrian circulation systems shall be provided.

Parking Lot Layout Exhibit

Exhibit G



E: Development Standards

Section 3: Parking Development Standards

3. Pedestrian Access

Design Objective: Provide a safe, convenient and comfortable network of pedestrian walkways within parking areas for users and residents.

The design standards described below shall be provided for multi-residence developments of 5 or more units and for commercial, mixed-use, and/or industrial developments that are 80 feet or more in depth and/or include 50 or more parking spaces.

a. Pedestrian Safety

Parking lot design should be laid out in a way to minimize the times pedestrians would typically have to walk between parked cars and then cross a drive aisle to get to locations on the site. Internal circulations systems shall be clearly defined.

b. Materials and Width

Walkways shall provide at least 5 feet of unobstructed width and be hard-surfaced with a material that differs from the drive aisle by composition, texture, or through the use of a differing color that is integral to the material.

c. Identification

Pedestrian walkways shall be clearly differentiated from driveways, parking aisles, and parking and loading spaces through the use of elevation changes, a different paving material, or similar method. Where a pedestrian sidewalk crosses a vehicle lane, the pedestrian sidewalk shall be made distinct by use of textured paving and contrasting color.

d. Separation

Where a pedestrian walkway is parallel and adjacent to an auto travel lane, it must be raised and separated from the auto travel lane by a raised curb at least 6 inches high, decorative bollards, or other physical barrier.

D. **Electric Vehicle Charging Stations**

If spaces for electric cars are provided, allowed compact parking spaces can be increased by 1% for every 2 electric car charging stations; up to a maximum of 25-percent of the total minimum required, or as amended by the Title, Chapter 2 Title 11 of the Mesa Code of Ordinances.

E. **Alternative Parking Area Designs**

Where an applicant can demonstrate to the satisfaction of the approval authority that variations on the dimensions otherwise required by this Section are warranted in order to achieve to environmental design and sustainable building objectives (i.e. certification under the LEEDTM Green Building Rating System or an equivalent), a specific parking area design may be approved.

SHARED PARKING

A. **Description**

Shared parking represents an arrangement in which 2 or more nonresidential uses, or a mixed-use residential development, with different peak parking periods (hours of operation) use the same off-street parking spaces to meet their off-street parking requirements.

B. **Authorization and Criteria**

1. Permit Requirement

Within the Fiesta Redefined Development, shared parking may be done without an Administrative Use Permit and approved administratively with Site Plan Review.

2. Criteria for Approval

Up to 100% of the parking required for one use may be supplied by the off-street parking spaces provided for another use if:

- The various activities will have peak parking demands at different periods of the day or week; and,
- Based on competent evidence provided by the applicant, that there is no substantial conflict in the principal operating hours of the uses for which the sharing of parking is proposed.

E: Development Standards

Section 3: Parking Development Standards

3. Location of Shared Parking Facility

A facility or land use activity for which shared parking is proposed must be located within 1,200 feet of the shared parking, measured from the entrance of the use to the nearest parking space within the shared parking lot. A Shared Parking Facility greater than 1,200 feet from the location of the activity served may be reviewed and approved through a Special Use Permit, pursuant to Chapter 70 of the Mesa Zoning Ordinance.

4. Agreement

An agreement providing for the shared use of parking areas, executed by the parties involved, must be filed with the Zoning Administrator in approved form, and then recorded with the Office of the Maricopa County Recorder. Shared parking privileges will continue in effect only as long as the agreement, binding on all parties, remains in force. Agreements must guarantee long-term availability of the parking, commensurate with the use served by the parking. If a shared parking agreement lapses or is no longer valid, then parking must be provided as otherwise required by this IIP.

PARKING REDUCTIONS

Required parking for any use may be reduced through approval of an Administrative Use Permit, unless specified otherwise, and the following:

A. **Criteria for Approval**

Reduced parking shall only be issued if the following criteria are found to be true:

1. Special conditions-including but not limited to the nature of the proposed operation; proximity to frequent transit service; transportation characteristics of persons residing, working, or visiting the site-exist that will reduce parking demand at the site;
2. The use will adequately be served by the proposed parking; and
3. Parking demand generated by the project will not exceed the capacity of or have a detrimental impact on the supply of on-street parking in the surrounding area.

B. **Parking Demand Study**

In order to evaluate a proposed project's compliance of a parking demand study that substantiates the basis for granting a reduced number of spaces and includes any of the following information:

1. Total square footage of all uses within existing and proposed development and the square footage devoted to each type of use.
2. A survey of existing on-street and off-street parking within 300 feet of the project site.
3. Standard parking requirements for the use, based on parking table in this Section.
4. Estimated parking demand for the use, using any available existing parking generation studies from the Institute for Transportation Engineers (ITE) or other professionally recognized, and/or accredited sources. If appropriate parking demand studies are not available, the City may require the applicant to conduct a parking demand survey of a development similar to the proposed.
5. Comparison of proposed parking supply with parking requirements.
6. A shared parking analysis, as appropriate.
7. A description any other characteristics of the site or measures being undertaken that could result in reduced parking demand, including staggered work shifts, telecommuting, shuttles to transit stations, or similar programs.
8. Other information as required by the City.

C. **Optional Transit Reduction**

1. The following reductions may be factored directly when determining the minimum number of parking spaces required for a development.
2. The Zoning Administrator may authorize up to a 33 percent (total) reduction in parking ratios for uses located within 1,320 feet (¼ mile) of a planned streetcar or bus rapid transit stop with 30- minute or more frequent service during the hours of 7:00 a.m. to 9:00 a.m. and 5:00 p.m. to 7:00p.m. The basis point for determining the reduction shall be the aggregate number of parking spaces for the total development required before any reductions have been applied. This distance shall be measured in a straight line from the nearest property line of the development site to the nearest planned line, shade canopy, pay kiosk, transit stop sign post, or similar.

E: Development Standards

Section 3: Parking Development Standards

Reduction to Residential/Multifamily Parking Requirements:

- a. 25 percent reduction of required parking if the development is within 1,320 feet from light rail station or planned streetcar line.
- b. 10 percent reduction of required parking if the development is greater than 1,320 feet from light rail station or planned streetcar line.
- c. This distance shall be measured in a straight line from the nearest property line of the development site to the nearest planned line, shade canopy, pay kiosk, transit stop signpost, or similar.

Reduction to Commercial Parking Requirements:

- a. 15 percent reduction of required parking if the development is within 1,320 feet from light rail station or planned streetcar line.
- b. 5 percent reduction of required parking if the development is greater than 1,320 feet from light rail station or planned streetcar line.
- c. This distance shall be measured in a straight line from the nearest property line of the development site to the nearest planned line, shade canopy, pay kiosk, transit stop sign post, or similar.

ALTERNATIVE COMPLIANCE WITH MINIMUM PARKING REQUIREMENT

A. Authorized Alternatives

The Zoning Administrator is authorized to approve alternative compliance parking permits for the following:

1. Off-site parking (See C, below);
2. Valet parking (See D, below); and
3. Residential Special Needs (See E, below);

B. Administrative Use Permit Required

Applicants seeking approval of an alternative compliance parking plan must secure approval of an Administrative Use Permit.

C. Off-Site Parking

The Zoning Administrator may permit all or a portion of the required off-street parking spaces to be located on a remote and separate lot from the lot on which the principal use is located, subject to the standards of this Section.

1. Location

No off-site parking space may be located more than 1,000 feet from the primary entrance of the use served, measured along the shortest legal, practical walking route. This distance limitation may be waived by the Zoning Administrator if adequate assurances are offered that van or shuttle service will be operated between the off-site parking areas and the principal use.

2. Off-Site Parking Agreement

An agreement providing for the use of off-site parking, executed by the parties involved, must be filed with the Zoning Administrator, in an approved form.

Off-site parking privileges will continue in effect only as long as the agreement, binding on all parties, remains in force. Agreements must guarantee long-term availability of the parking, commensurate with the use served by the parking, and shall be recorded with the County Recorder's Office. If an off-site parking agreement lapses or is no longer valid, then parking must be provided as otherwise required by this Section.

D. Valet Parking

Valet parking may be authorized through an Administrative Use Permit as a means of satisfying up to 100 percent of otherwise applicable off-street parking ratios. In order to approve an alternative parking plan for valet parking the Zoning Administrator must determine that the proposal satisfies the approval criteria of off-site parking (see C, above) and that the valet parking will not cause interference with the public use of rights-of-way or imperil public safety.

E: Development Standards

Section 3: Parking Development Standards

E. Residential Special Needs

If a developer can demonstrate that a Multi-Family Residential or Group Residential housing project designed for residents with special needs, such as senior citizens or handicapped individuals, will not generate a need for as much parking as such a project designed for a general market, the Planning Director or designee shall have the authority to allow a reduction in the number of required parking spaces. Upon conversion of a senior citizen or other special needs group housing project to a general market apartment or condominium complex, parking must be provided consistent with the requirements of Table E.5.

BICYCLE AND MOTORCYCLE PARKING

A. Bicycle Parking

1. Spaces Required

- a. Bicycle parking is required for multi-unit residential buildings and non-residential development. Unless otherwise expressly stated, buildings and uses subject to bicycle parking requirements must provide at least 3 bicycle parking spaces or at least 1 bicycle space per 30 on-site vehicle parking spaces actually provided, whichever is greater. After the first 50 bicycle parking spaces are provided, the required number of additional bicycle parking spaces is 1 space per 20 vehicle parking spaces.
- b. The requirements of subsection a and b, above, notwithstanding, the following minimum bicycle parking requirements apply to colleges, universities, schools and libraries:
 - i. Colleges and universities: 1 bicycle parking space per 5 vehicle parking spaces provided; and
 - ii. Be located in close proximity to entrances and other high activity areas, highly visible, active, well-lighted areas without interfering with pedestrian movements.

2. Design and Location

a. General

Required bicycle parking spaces must:

- i. Consist of racks or lockers anchored so that they cannot be easily removed and of solid construction, resistant to rust, corrosion, hammers, and saws;
- ii. Allow both the bicycle frame and the wheels to be locked using a standard U-lock;
- iii. Be designed so as not to cause damage to the bicycle;
- iv. Facilitate easy locking without interference from or to adjacent bicycles and maintain a separation of at least 24 inches from the nearest wall; and
- v. Be located in close proximity to entrances and other high activity areas, highly visible, active, well-lighted areas without interfering with pedestrian movements.

b. Size

Required bicycle parking spaces for nonresidential uses must have minimum dimensions of 2 feet in width by 6 feet in length.

c. Location

Required bicycle parking may be located indoors or outdoors. Such spaces must be located out of the ROW unless an encroachment agreement is approved. If required bicycle parking facilities are not visible from the abutting street or the building's main entrance, signs must be posted indicating their location.

B. Motorcycle and Scooter Parking

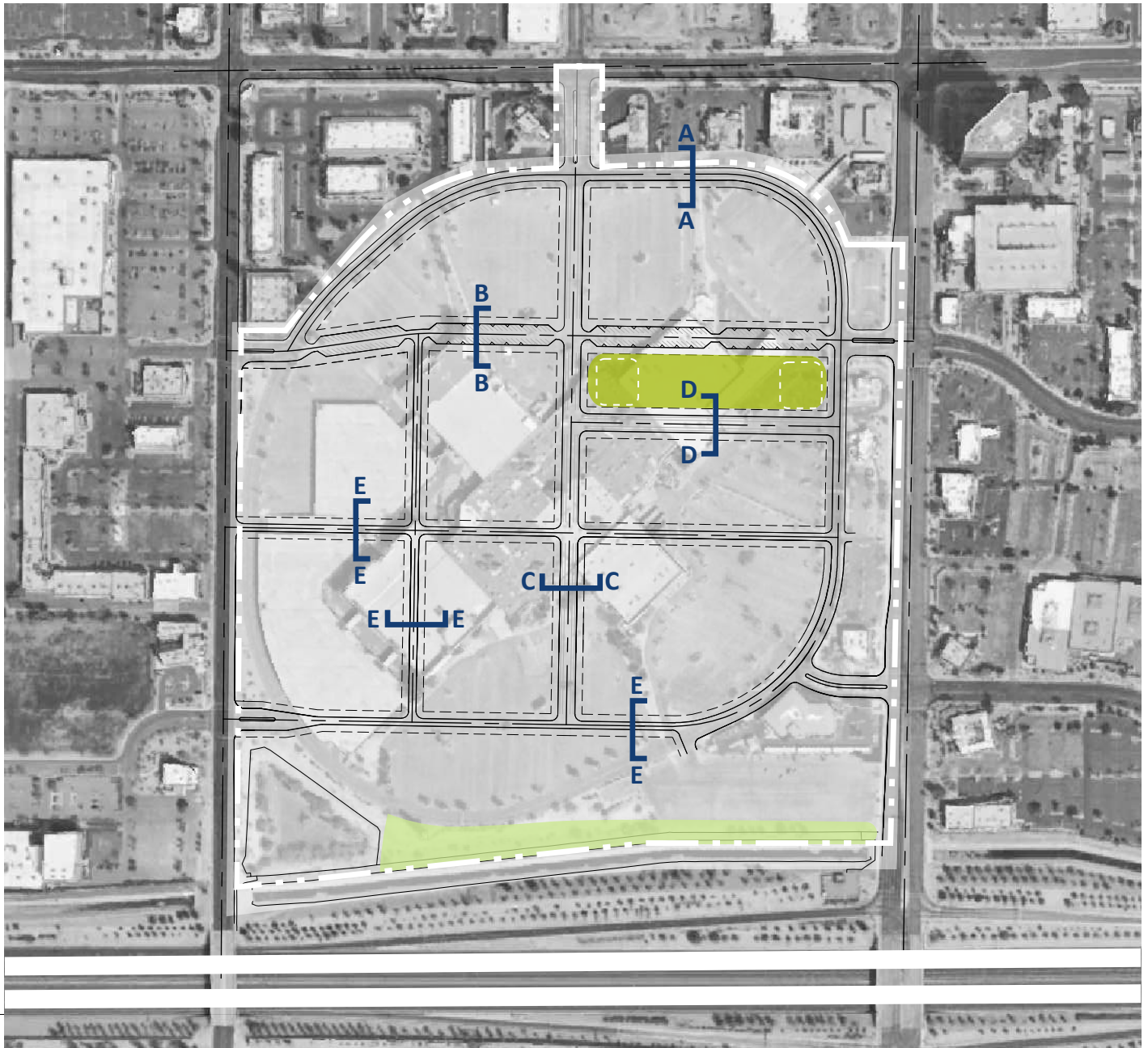
For any nonresidential use providing 50 or more off-street spaces, a maximum of 2 required off-street parking spaces per 50 vehicle spaces may be reduced in size or otherwise redesigned to accommodate parking for motorcycles and scooters. When provided, motorcycle and scooter parking must be identified by a sign. Motorcycle and Scooter parking shall be counted concurrently as part of the minimum number of vehicle spaces required for the development.

E: Development Standards

Section 4: Street Standards

TYPICAL STREET CROSS SECTIONS

Exhibit E.6 - Street Section Legend



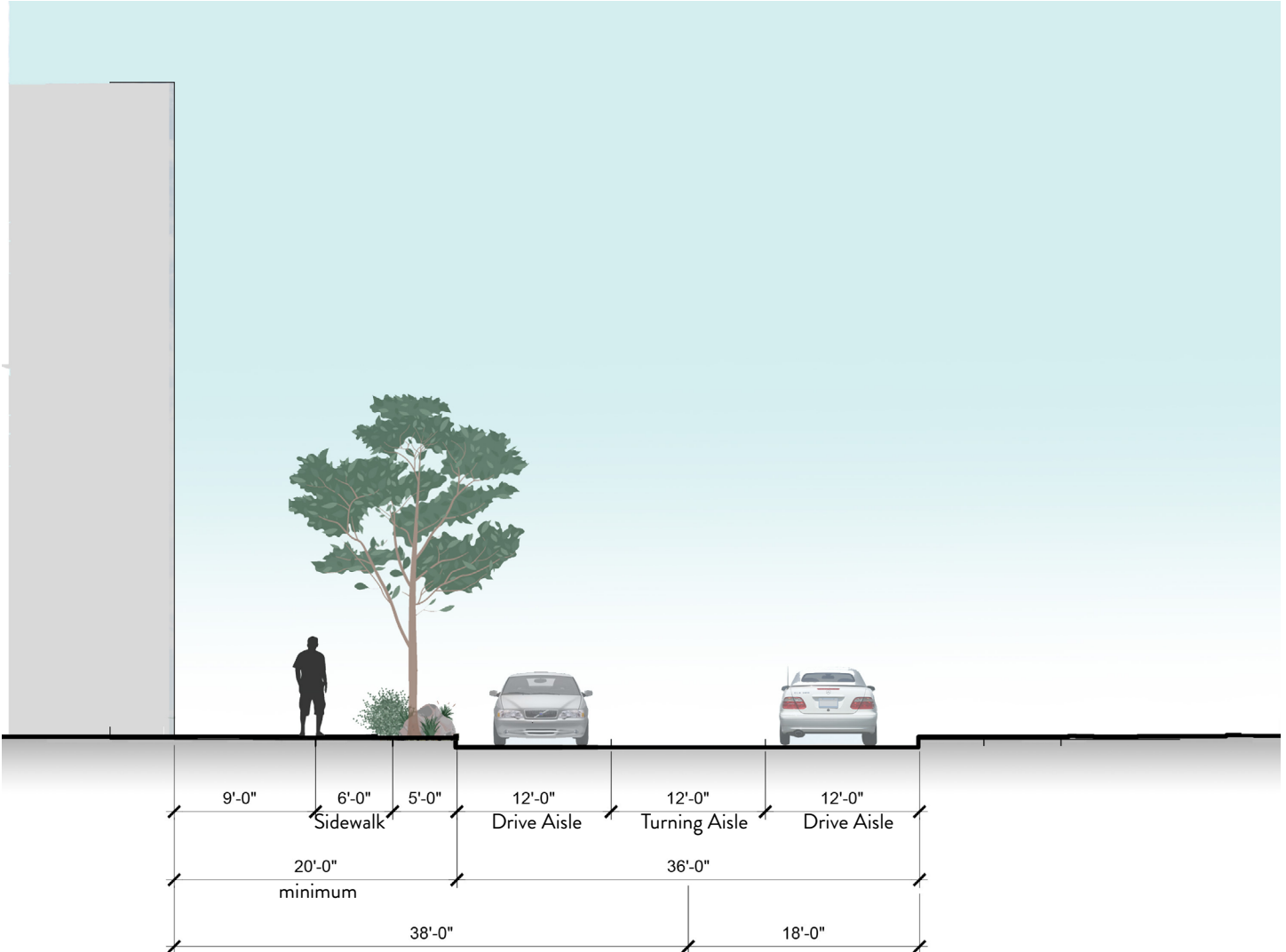
The street cross sections are for illustrative purposes only. Final design will be determined at the time of Site Plan Approval, as approved by the Planning Division and Transportation Department.

E: Development Standards

Section 4: Street Standards

TYPICAL STREET CROSS SECTIONS

Exhibit E.7 – Street Type A Loop Road



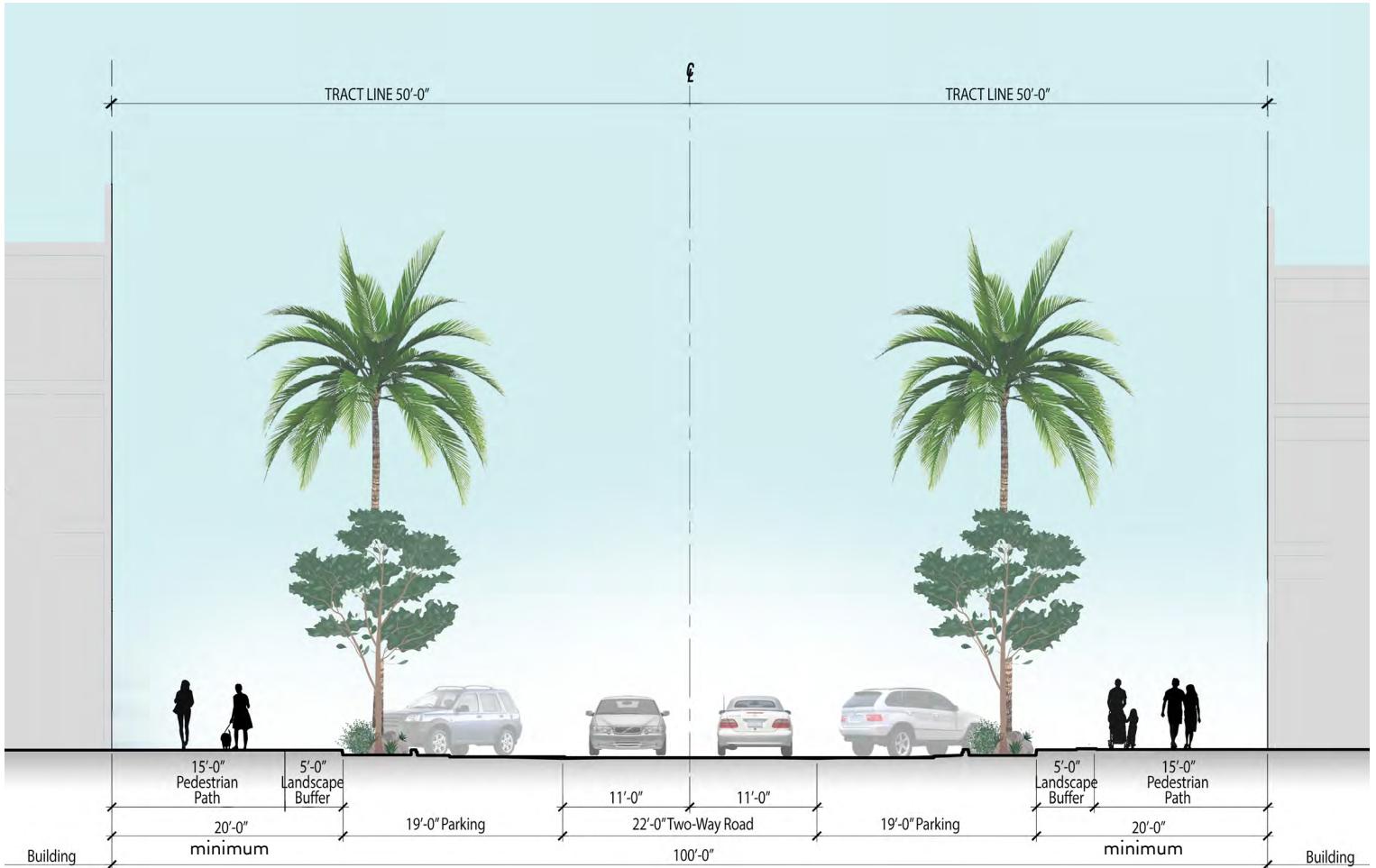
The street cross sections are for illustrative purposes only. Final design will be determined at the time of Site Plan Approval, as approved by the Planning Division and Transportation Department.

E: Development Standards

Section 4: Street Standards

TYPICAL STREET CROSS SECTIONS

Exhibit E.8 – Street Type B Primary (Retail)



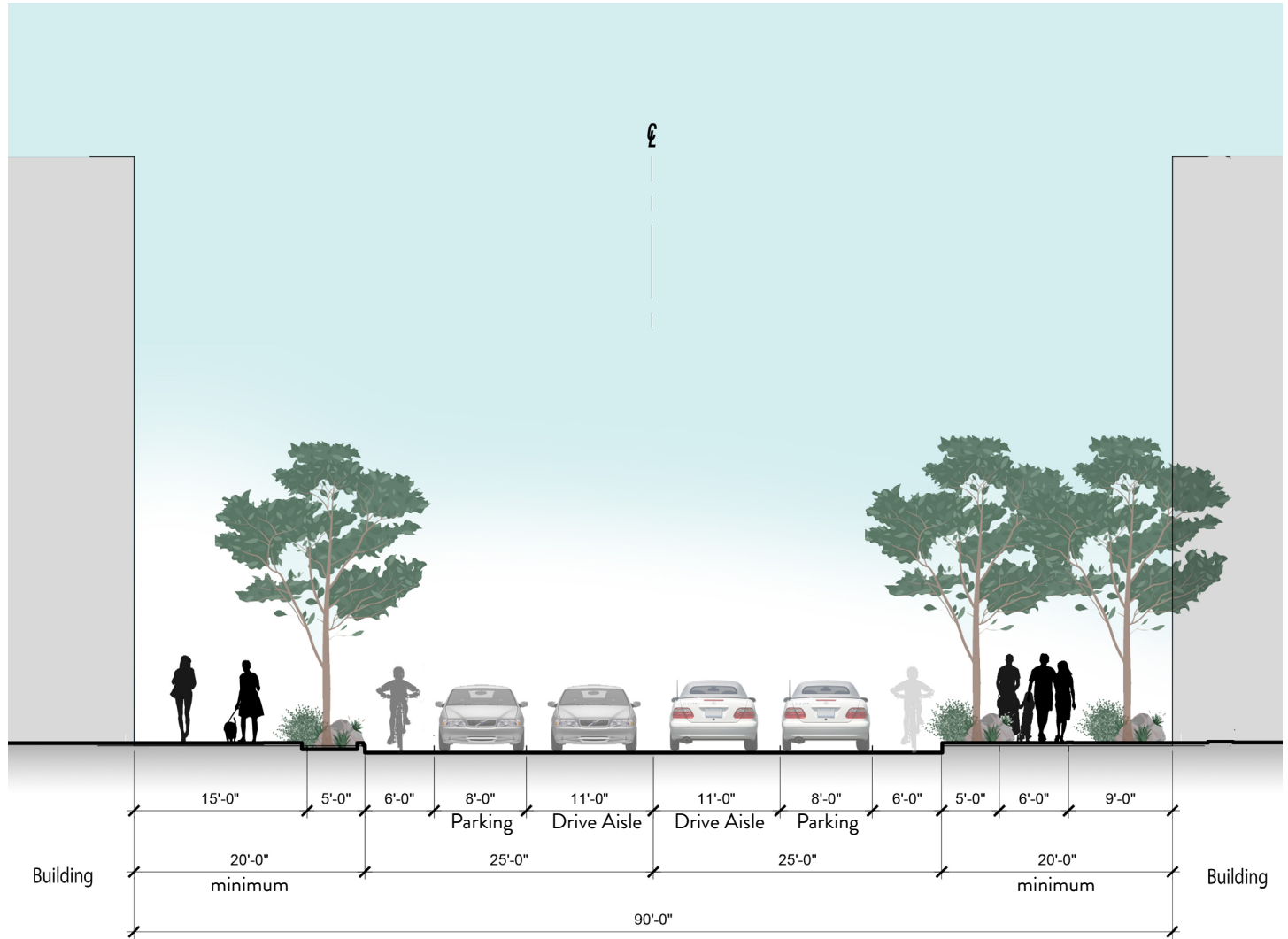
The street cross sections are for illustrative purposes only. Final design will be determined at the time of Site Plan Approval, as approved by the Planning Division and Transportation Department.

E: Development Standards

Section 4: Street Standards

TYPICAL STREET CROSS SECTIONS

Exhibit E.9 – Street Type C Primary (Road)



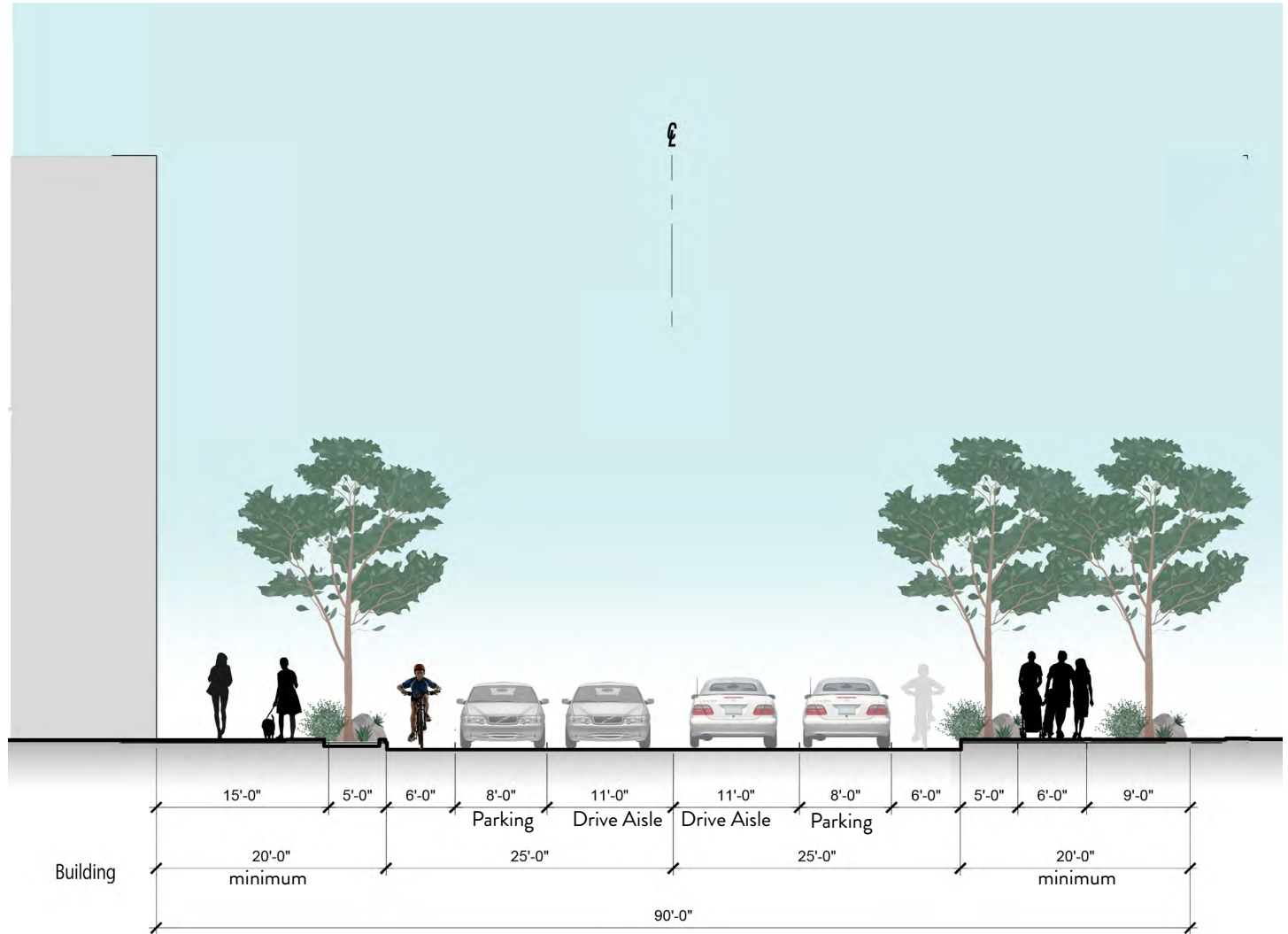
The street cross sections are for illustrative purposes only. Final design will be determined at the time of Site Plan Approval, as approved by the Planning Division and Transportation Department.

E: Development Standards

Section 4: Street Standards

TYPICAL STREET CROSS SECTIONS

Exhibit E.10 – Street Type D Primary (Village Green)



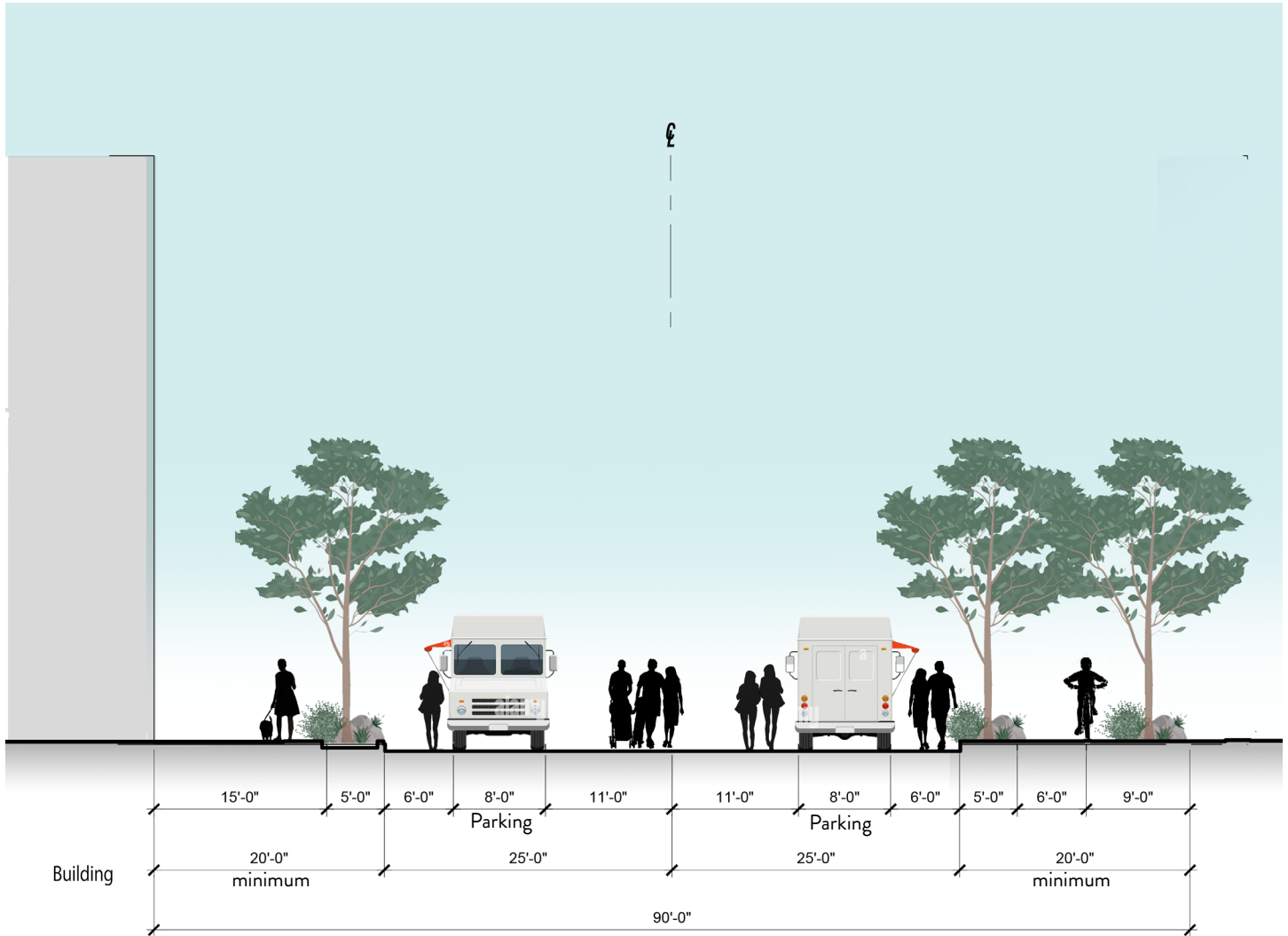
The street cross sections are for illustrative purposes only. Final design will be determined at the time of Site Plan Approval, as approved by the Planning Division and Transportation Department.

E: Development Standards

Section 4: Street Standards

TYPICAL STREET CROSS SECTIONS

Exhibit E.11 – Street Type D Primary (Village Green) Conceptual Street Closure



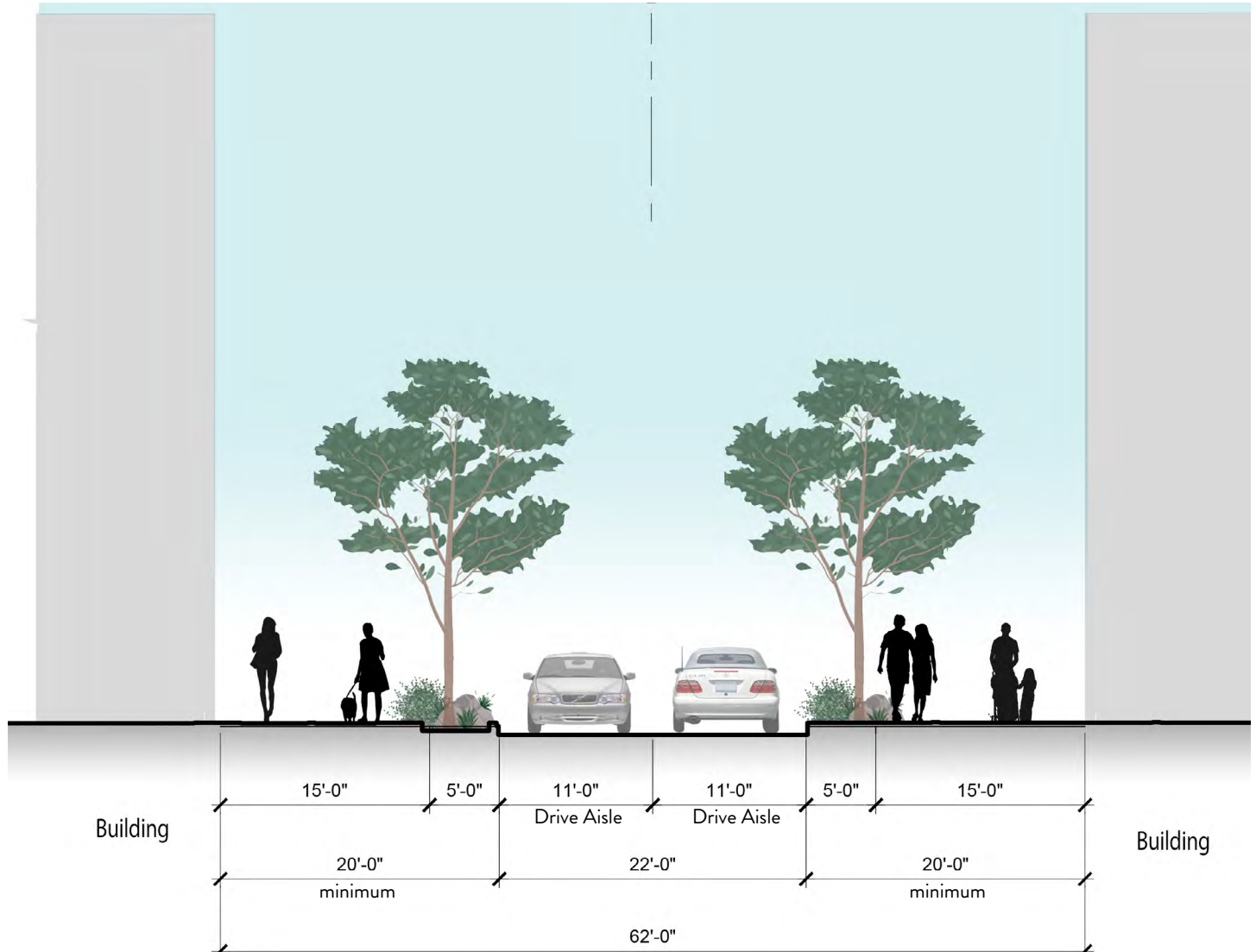
The street cross sections are for illustrative purposes only. Final design will be determined at the time of Site Plan Approval, as approved by the Planning Division and Transportation Department.

E: Development Standards

Section 4: Street Standards

TYPICAL STREET CROSS SECTIONS

Exhibit E.12 - Street Type E Tertiary Road



The street cross sections are for illustrative purposes only. Final Design will be determined at the time of Site Plan Approval, as approved by the Planning Division and Transportation Department.

E: Development Standards

Section 5: Signage Standards



Signage

All new signage shall comply with the LC zoning district standards found in Article 5 of the Mesa Zoning Ordinance or establish a new Comprehensive Sign Plan. The existing 94-foot-tall Freeway Landmark Monument Sign entitlements shall remain valid, subject to the conditions listed in Z07-113.

E: Development Standards

Section 6: Landscape Development Standards

PURPOSE AND APPLICABILITY

A. Purpose

This Section establishes standards for landscaping. The purpose of the landscaping standards are to:

1. Improve the appearance of the community by requiring aesthetically pleasing landscaping on public and private sites;
2. Soften the appearance of urban development;
3. Ensure appropriately designed and maintained landscaping elements that allow natural surveillance;
4. Generate and preserve community identity to reinforce a sense of place that is unique to various neighborhoods throughout the City;
5. Encourage the use of native or adapted plant species and demonstrate appropriate design and maintenance techniques; and
6. Provide environmental improvements such as: mitigating air and storm water pollution, providing shade, and reducing the effects of the urban heat island.

B. Exempt Projects

The requirements of this Section do not apply to:

1. Additions to existing nonresidential or residential construction that add less than 20 percent to the existing floor area;
2. The establishment of an accessory use on the same lot as an existing primary use, with no expansion of floor area or outdoor area occupied; and
3. A change in occupancy of a building that does not involve a change in use.

GENERAL REQUIREMENTS

A. Landscaped Areas

Required landscaped areas shall be maintained free from encroachment by any use, structure, vehicle, or feature not a part of the landscaping design unless otherwise stated in this document.

1. Where turf abuts decomposed granite or similar inorganic landscape material, a hard scape edging material such as brick, steel header, or concrete curb/mow-strip shall be provided.
2. Electric vehicle charging stations may be placed in parking lot landscape islands. If necessary, shrubs and ground cover may be eliminated to accommodate the charging equipment.

B. Tree Size

Required trees shall be a minimum size as specified in the Arizona Nursery Association “Recommended Tree Specification” latest edition, a copy of which will be maintained on file by the Planning Division.

C. Tree Substitution.

1. Palm

Palm trees may be substituted for 20 percent of the total required trees along streets and driveways according to Table E.13

TABLE E.13 SUBSTITUTE PALM TREE HEIGHTS

Required Tree Size	Substitute Palm Tree Heights (in feet) at Maturity
15 Gallon	15
24-inch box	20
36-inch box	25

E: Development Standards

Section 6: Landscape Development Standards

D. Street Shade Requirements

Required street trees to create a total of 50 percent shade coverage at full maturity.

E. Shrubs

Required shrubs shall have a minimum mature growth height of 18 inches. At least 50 percent of required shrubs shall be a minimum of 5 gallons in size upon installation, but in no case shall any shrub be less than one (1)-gallon size.

F. Open space

Twenty Five percent (25%) of all required open space shall contain live plant material.

1. To ensure that landscape materials are measured as accurately and equitably, the table below shall be used to determine what portion of a lot or right-of-way is landscaped with live plant materials other than turf and provides the square footage credit for various types of plants.
2. **Ground cover may be of two types:**
 - a. Vegetative ground cover consisting of living plant materials generally characterized by primary horizontal growth, as well as secondary vertical growth, generally not exceeding 18 inches in height; and
 - b. Inert ground cover consisting of gravel, decomposed granite, crushed rock, desert tree mulch or other approved materials.

TABLE E.14 VEGETATION CREDIT TABLE

Type of Plant Material	Credit in Square Feet
Evergreen tree (at least 25 ft. tall at maturity) ¹	100
Shade tree	50
Potted Plant	25
Ornamental tree	25
Large shrub (more than 8 ft. tall at maturity)	50
Medium shrub (4–8 ft. tall at maturity)	25
Small shrub (less than 4 ft. tall at maturity)	10
Columnar deciduous or evergreen tree	25
Columnar evergreen shrub (less than 8 ft. tall at maturity)	10
Evergreen ground cover	25
Perennial plant and ground cover, bulb/tuber and ornamental grass	5
¹ Dwarf trees or tree varieties with a mature width of less than 10 feet shall count as 25 square feet. ² Large ornamental grass, over 4 feet tall at maturity, shall count as 10 square feet.	

E: Development Standards

Section 6: Landscape Development Standards

G. Irrigation Systems

Required irrigation systems shall be underground automatic watering systems, unless the lot is served by functioning flood irrigation.

H. Paving and Hardscape Materials

Paving and ground treatment shall be an integral part of site and landscape design.

I. Selection of Plant Materials

The physical characteristics of the species and variety of plants selected, at maturity, shall correspond closely with the design objectives listed for each of the respective landscape requirements, including the following:

1. Characteristics of trees and shrubs used in locations required for screening and buffering shall include dense foliage and relatively wide diameters.
2. Trees and shrubs with thorns, spines and sharp points should not be placed within 5' of sidewalks and/or vehicular roadways and should not be placed within 3' of median island curbing. Exceptions may be made for plants placed in controlled locations, such as plazas and outdoor seating, clearly designed as being away from access aisles, connecting routes or through pathways.
3. Trees designated to meet the shading requirements of the ordinance shall meet at least 50% of the required shading within 4 years and the full shading within 8 years.

J. Maintenance of Landscaping

1. An irrigation system shall be provided to all landscaped areas containing living plant materials, unless otherwise approved.
2. In the event a plant specified as required on an approved landscape plan dies or is removed, the property owner and/or occupant or lessee are jointly responsible and shall replace the plant with one of a similar species with a similar size as specified in the approved landscape plan.
3. Landscape Plans shall designate plant material to be kept in either a natural state (minimal pruning) or a formal state (the streets need to be regularly trimmed and pruned to a sculpted appearance). Plant materials shall be maintained as designated.
 - a. Property owners shall maintain landscaping in accordance with the best management practices of the landscaping industry, or as specified on landscape plans if provided. Pollarding of trees and similar practices of over pruning are severely discouraged.
4. Lack of maintenance described in this Section shall constitute a violation of this IIP. The property owner and/or occupant or lessee shall be held jointly and severely liable for any infraction of the requirements set forth in this Section.

K. Installation of Landscaping

Landscaping shall be installed with adequate precautions to ensure survival, as shown on the approved development plan or landscape plan, prior to the issuance of a Certificate of Occupancy for the building or use.

L. Perimeter Landscaping

Required landscaped areas adjacent to the property lines of the site shall be installed with the first phase of construction when adjacent to residential districts.

M. Substantial Conformance

Landscaping installation shall be in substantial conformance with the approved plans. Significant alteration in the design or installation without appropriate plan amendment approval is subject to the withholding of final inspection approval.

N. Curbing

Where wheel stops are required to prevent vehicular intrusion, poured-in-place continuous concrete curbing or decorative bollards shall be installed.

O. Parking

When a parking space abuts a landscape island or planter, a poured-in-place continuous concrete wheel stop or curbing shall be provided.

P. Right-of-Way

Landscaping of adjacent undeveloped right-of-way is required in addition to the minimum on-site requirements. Right-of-way landscaping shall be limited to non-vegetative ground cover and low-water-use plants, including those drought-tolerant plants listed by the Arizona Department of Water Resources for the Phoenix Active Management Area. The Planning Division will maintain a list of such plants.

E: Development Standards

Section 6: Landscape Development Standards

PERIMETER LANDSCAPING

A. Streets

1. **Allowable Uses**

Landscape yards shall be exclusively maintained as landscaped areas with plant materials and may include monument signs, parking screen walls, and retention basins.

2. **Exceptions**

Outdoor seating for restaurants may encroach up to 75 percent of the width of the required landscape area.

3. **Basis for Calculation**

Plant materials shall be calculated based on a linear module of 25 feet. Trees and shrubs may be clustered.

a. Required Number of Plants by Street Type:

TABLE E.15 STREET RIGHT-OF-WAY (For street definitions see <i>Conceptual Circulation Plan Exhibit C.4</i>)	
Arterial Streets (And when adjacent to Right-of-Ways)	1 Tree and 6 Shrubs per 25 Linear Feet of Street Frontage (4 trees and 24 shrubs per 100')
Primary Roads	1 Tree and 6 Shrubs per 25 Linear Feet of Street Frontage (5 trees and 20 shrubs per 100')
Secondary, Loop, Tertiary Roads	1 Tree and 6 Shrubs per 25 Linear Feet of Street Frontage (5 trees and 30 shrubs per 100')
Secondary, Tertiary Roads with Multiple Residences	1 Tree and 6 Shrubs per 25 Linear Feet of Street Frontage (6 trees and 24 shrubs per 100')
Service / Commercial Internal Roads	1 Tree and 4 Shrubs per 25 Linear Feet of Street Frontage (6 trees and 24 shrubs per 100')
Village Green Open Space	1 Tree and 4 Shrubs per every 25 Linear Feet. Trees to be in a staggering double linear row
Entry Drives	1 Tree and 6 Shrubs per 25 Linear Feet of Street Frontage
*All Fractional Amounts shall be rounded up to the next whole number (Example 2.15 trees rounds up to 3 trees)	

4. **Minimum Size**

Minimum size of plant materials shall be as follows:

a. Trees

- i. A minimum of 25 percent of the total required trees shall be 36-inch or larger box trees.
- ii. A minimum of 50 percent of the total required trees shall be 24-inch box trees.
- iii. No trees shall be smaller than 15-gallon size.
- iv. When located in front of buildings that could contain commercial signage, install trees that branch at sufficient height to allow people to see the signage beyond the tree.

b. Shrubs

- i. A minimum of 50 percent of the total required shrubs shall be 5-gallon size or larger.
- ii. No shrubs shall be less than one (1)-gallon size.

E: Development Standards

Section 6: Landscape Development Standards

c. Substitutions

Substitutions for the above requirements may be made according to the following table.

TABLE E.16 TREE SUBSTITUTIONS		
Tree to be placed on site	15-gallon tree equivalent	24-inch box tree equivalent
24-inch box tree	2 trees	-
36-inch box tree	2 trees	2 trees
48-inch box tree	4 trees	3 trees
60-inch or larger box tree	-	4 trees

5. All landscape areas shall be either covered with decomposed granite, desert cobble, desert tree mulch, turf, and/or acceptable alternative with supplemental shrubs and ground covers, accents, flowers, vines. Fifty percent of the landscape area shall be vegetative material at maturity.
6. All landscape plant material should be appropriate for the developed environment.

INTERIOR PARKING LOT LANDSCAPING

A. Applicability

The interior parking lot landscaping standards of this section apply to all off-street parking lots containing 10 or more parking spaces.

B. Landscape Islands

1. Parking lot landscape islands at the end of each row of parking shall be installed at each end of a row of stalls and in between for maximum 10 contiguous parking spaces.
2. Landscape islands shall be a minimum of 8 feet wide and 18 feet in length for single-row and 36 feet in length for double-row parking. All measurements are to face of curb.
3. Landscape islands within parking spaces to be diamond shaped and at least 25 square feet clear landscape area each (minimum clear landscape area dimension is 5 feet). Each landscape island/planter shall contain at least 1 tree and 3 shrubs. Landscape diamonds to occur every 10 parking spaces minimum.
4. Radius curbing shall be provided along drive aisles with a minimum 4 foot radius.
5. The maximum length of a covered parking canopy shall be 15 parking stalls in a row. Landscape islands may be eliminated when a conflict with the covered parking canopy occurs.
6. When parking canopies are adjacent to each other in a single row, the total length of each canopy shall not exceed 15 parking stalls and the adjoining canopies shall be separated by at least a 20-foot-wide landscape island.

C. Medians

Where divider medians occur adjacent to head-in parking, allow for vehicle overhang and shall be as follows:

1. **Single-Row Parking**

Minimum 6-foot landscape area measured from face of curb to face of curb is required. The required median width does not include a sidewalk. Parking islands at each end for a single-row to be a minimum of 8 feet wide and 18 feet in length.

E: Development Standards

Section 6: Landscape Development Standards

2. **Double-Row Parking**
Minimum 8-foot landscape area measured from face of curb to face of curb. Required median width does not include sidewalk. Parking islands at each end for a double-row to be a minimum of 8 feet wide and 18 feet in length.
3. **Medians with sidewalks**
When a sidewalk is located within median, shade trees should be placed so that at least 25 percent of the sidewalk is shaded, at noon.

D. Plant Materials

1. **Number of Plants.**
 - a. Parking lot landscape islands. One shade tree and four shrubs shall be provided for every 15-foot parking island.
 - b. Parking lot divider medians. In addition to the above requirements, minimum 1 shade tree and 8 shrubs shall be provided for every 10 parking spaces.
2. **Size of Plants**
A minimum 20 percent of the required trees for parking lot interior landscaping shall be 36-inch box. The balance of the required trees shall be at least 24-inch box. Substitution based on plant size is not permissible for trees planted within the interior of a parking lot.
3. **Ground Treatment**
All landscape planting areas that are not dedicated to trees or shrubs shall be decomposed granite and/or turf or as approved.

RETENTION BASINS

- A. In both residential and nonresidential developments, the basin design shall be incorporated with the overall site plan by providing access, landscape, and amenities.
- B. Retention basin layout shall be irregular in shape, contoured and designed as an integral part of the landscaping theme, and shall not take on the appearance of a ditch. The depth of water in retention basins shall not exceed 3 feet 6 inches.
- C. A 3-foot transition area shall be provided where the retention basin side exceeds 6-to-1 slope measured horizontal to vertical and basin is adjacent to right-of-way and sidewalks. Transition area shall be less than 6-to-1 slope. A maximum 4-to-1 slope allowed in other locations.
- D. Retaining walls shall not exceed 25 percent of the basin perimeter (measured at the high waterline). The maximum height of retaining walls is 18 inches.
- E. Retention basins along public streets that incorporate retaining walls shall utilize catch basins and pipes to collect and direct water to the bottom of the basins. Where retention basins occur along arterial streets, berms shall be provided along 33 percent of basin frontage. Berms are to be 4-to-1 (horizontal-to-vertical) maximum slope, 2 feet high. Within public right-of-way maximum slope is 6 to 1. Berming shall not obstruct run-off from streets into the retention basin.
- F. Retention basin design shall provide consolidated basins. Multiple, small retention areas are not acceptable unless basins are interconnected and designed per the City of Mesa Engineering Manual.
- G. Landscaping shall be provided in all areas of the retention basin (slope, top, and bottom).
- H. Existing, non-conforming retention basin(s) within the Fiesta Redefined Site can be maintained and used as is without any modifications.

E: Development Standards

Section 6: Landscape Development Standards

ALTERNATIVE LANDSCAPE PLAN

An applicant who can demonstrate that the intent of this Section can be exceeded, in whole or in part, may submit an Alternative Landscape Plan (ALP) prepared in accordance with the following principles and design criteria. The ALP shall include a narrative that clearly details the modifications being requested and explains how they enhance the landscape design principles listed below.

A. Design Principles

In order to qualify for consideration, an ALP shall demonstrate compliance with at least 6 of the following principles:

1. **Innovative Design**
Innovative use of plant materials and design techniques in response to unique characteristics of the site.
2. **Native Vegetation**
Preservation or incorporation of existing native vegetation.
3. **Plant Variety**
Use of a variety of plant material, including plants of color, form, and texture, in excess of the minimum requirements.
4. **Naturalistic Design**
Incorporation of naturalistic design principles, such as variations in topography, meandering or curvilinear plantings, and grouping of dominant plant materials (trees, large shrubs) in a manner consistent with native vegetation. Bio-swales are encouraged adjacent to all paved areas.
5. **Compatibility with Surrounding Uses**
Greater degree of compatibility with surrounding uses than a standard landscape plan would offer. The number of trees required should depend on the type of tree planted, not some set number. There cannot be a trade off in the number of trees due to the size of the tree at initial planting because what is needed is the ultimate screening.
6. **Water Efficiency**
Use of water-efficient irrigation systems, such as rainwater harvesting that allows paved surfaces to drain to adjacent bio-swales and spread rainwater more evenly throughout the site, and xeriscaping at appropriate locations.
7. **Storm Water Management**
Use of bio-swales with plant material and desert varnish clean storm water before it percolates into the ground.
8. **Site-Specific Attributes**
The design incorporates specific environmental attributes such as soil, hydrology, and vegetative communities unique to the site, and which are compatible with environmental features on adjacent properties. Additional design attributes may include incorporation of landscaping selections for the consistency of the streetscape in character areas.
9. **Tree Substitution**
Substitution resulting in fewer, larger, and more mature trees to replace the required numbers of smaller varieties when placed in perimeter areas at the inverse of the ratios stated in this Section. (Example: One 60-inch box tree may substitute for four 15-gallon trees when approved by the Zoning Administrator through the use of an ALP).
10. **Plant Viability and Longevity**
The landscape plan considers the effect of plants on the surrounding activities over the lifetime of the land use, and attempts to promote the viability and long term maturation of plants. It does this by:
 - a. Accounting for micro-climates and the specific context of the plant's location in choosing of plant varieties.
 - b. The use of advanced installation techniques, such a structured soils and Silva cells, to promote the permeability of air and water into the root zone of the plant, and to resist compaction of the soils.
 - c. Accounting for the effects that plants may have on a site as the plants mature into adult forms, providing shade while limiting potential restrictions on visibility of the site from adjacent streets; including consideration of visibility of signs, vehicle traffic sight angles, and the type and context of the specific land use.

E: Development Standards

Section 6: Landscape Development Standards

11. Overhead Utility Line Easements

For those portions of the Site impacted by the presence of overhead utility lines, the landscape plan:

- a. Uses plants from an approved list suggested by the Arizona Community Tree Council for placement near utility lines (a copy of which shall be kept on file in the Planning Division office), or
- b. Makes other design considerations to meet the intent of the landscape requirements while reducing potential interference of mature plants limbs growing up into vertical space occupied by suspended utility cables.

B. **Allowable Modifications**

The following standards may be modified by an ALP:

1. General Requirements

- a. Allowed percentage of palm tree substitution.
- b. Ground treatment materials.
- c. Irrigation type and coverage.
- d. Landscape buffer along undeveloped edges.
- e. Right-of-way landscaping and plant types.

2. Perimeter Landscaping

- a. Minimum percent of vegetative ground coverage.
- b. Minimum size of plant materials.
- c. Substituting smaller trees with larger, more mature varieties.

3. Interior Parking Lot Landscaping

- a. Length and width of required landscape islands.
- b. Size and number of plants on landscaped islands.

C. **Review, Approval and Required Findings**

An ALP shall be reviewed and evaluated as follows:

1. An application for an ALP may be submitted:

- a. Landscape plans shall be reviewed for consistency with the requirements of the IIP and the approved Design Guidelines. Conditions may be imposed on the Landscape Plan or Design Review approval by the Planning Director to ensure that the landscape is designed in a way to facilitate compatibility with adjacent property, and to ensure that the development will be built in accordance with the approved IIP.

2. An ALP may be approved upon finding that:

- a. There are unique characteristics of the property, site design, or use that warrant special consideration to modify or deviate from the requirements of this Section and that these characteristics are not self-created.
- b. The ALP meets or exceeds the minimum requirements of this section, while recognizing the unusual site design or use restraints on the property.
- c. Approval of an ALP will provide for both increased consistency and compatibility with adjacent properties.
- d. The ALP conforms to the allowable modifications listed above, and no exceptions to the limitations on the standards that may be modified are requested.

E: Development Standards

Section 7: Standards for Specific Uses & Activities

ASSISTED LIVING CENTERS, NURSING AND CONVALESCENT HOMES

Assisted living centers and nursing and convalescent homes as defined in Section 11-86-2 of City of Mesa Zoning Ordinance, shall be located, developed, and operated in compliance with the land use regulations in Section E and the following standards:

A. General Requirements

1. Distance from a Major Intersection.

The assisted living center or nursing and convalescent home must be located a minimum distance of 600 feet from the following intersections, as measured in accordance with the rules of measurement in Section 11-2-3(C):

- a. Highway and arterial street;
- b. Highway and collector street;
- c. Arterial street and arterial street; or
- d. Arterial street and collector street.

2. Separation from Similar Uses.

The assisted living center or nursing and convalescent homes must be separated a minimum distance of 1,200 feet from the closest assisted living center, nursing and convalescent home, or community residence as measured in accordance with Section 11-2-3(C), unless separated by a significant intervening natural or manmade feature, such as a municipal open space of at least ten (10) acres in size (e.g. park, golf course, etc.), a railroad, or a highway, that is approved by the zoning administrator.

3. Licenser

The assisted living facility or nursing and convalescent home must obtain the license the State of Arizona requires to operate the proposed use. A copy of the state issued license must be submitted with the applicant's registration application or within 30 days from the date the license for the proposed use is issued.

4. Registration

The assisted living center or nursing and convalescent home must register with the City as set forth in this section.

All assisted living centers or nursing and convalescent homes require a council use permit to operate. The applicant must submit the City's application for a council use permit in accordance with Section 11-67 and provide evidence demonstrating compliance with this section. The request for a conditional use permit will be reviewed by the applicable governing body. Approval of the conditional use permit grants the applicant provisional registration approval. To obtain final registration approval, the applicant must provide to City a copy of the state issued license required in Section 11-31-28(a)(3) above within 30 days from the date of issuance.

5. The assisted living center or nursing and convalescent home must comply with all applicable federal, state, county, and local requirements for the location and operation of the facility.

6. The assisted living center or nursing and convalescent home must provide adequate access for emergency vehicles.

7. Assisted Living Centers are only permitted upon the granting of a Council Use Permit after a Certificate of Occupancy has been issued for a minimum of 2,000 residential units on the Site.

E. Council Use Permit Criteria

When a proposed assisted living center or nursing and convalescent home is required to obtain a council use permit, the council use permit will only be granted if the governing body finds that the use conforms to the criteria in Section 11-70-6 of the Mesa Zoning Ordinance and all of the following criteria:

1. The proposed use in combination with any existing assisted living facilities, nursing and convalescent homes or group homes for the handicapped will not alter the character of the area by creating or intensifying an institutional atmosphere or by creating or intensifying a de facto social service district by clustering assisted living facilities, nursing and convalescent homes or group homes for the handicapped in a particular area; and

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2. The proposed use in combination with other existing assisted living facilities, nursing and convalescent homes, group homes for the handicapped and other land uses that typically generate higher calls for service to the fire department, will not overburden or have an adverse impact on the city's fire department or the fire district where the proposed use will be located; and
3. Whether the location and operational characteristics of the proposed use will have an adverse impact on vehicular traffic and other public facilities and services.

COMMERCIAL PARKING

Commercial parking shall only occur in a vertical mixed use building or within a parking structure.

COMMUNITY GARDENS

Community Gardens, as described in Section 11-86-3 of City of Mesa Zoning Ordinance shall be located, developed, and operated in compliance with the land use regulations in Section E of this IIP and the following standards:

A. Type and Size Restrictions

Community gardens shall be limited in type and size as follows:

1. Garden areas may only be developed as individual garden plots. The individual garden plots may be no larger than 400 square feet and the maximum size of the aggregate garden area is limited to ½ acre.

B. Setbacks

Site features, such as raised planting beds and storage sheds, are not allowed in the required setback. Plantings are allowed in required yards provided they comply with site visibility triangles.

C. Storage Buildings. Storage buildings shall conform to the following standards:

1. Maximum area: 200 square feet;
2. Maximum height: 10 feet;
3. Location: within the buildable area and placed in the rear one-half of the lot;
4. Number: 1 storage shed per site for gardens 1 acre or less; maximum 2 storage sheds for sites larger than 1 acre.

D. Parking

No more than 2 vehicles shall be permitted on-site, excluding those parked within an enclosed structure. Parking spaces shall be paved with an approved dust proof material.

E. Maintenance

The site shall be kept clear of weeds, debris and waste in conformance with Mesa City Code, Section 8-6-3. All composting shall be done in a screened area or within a container. All tools and equipment shall be stored or screened from view when not in use.

F. Fences

Fences, including trellises, are allowed in required yards subject to the standards governing fence location, maintenance, height and design of Section 7 of the IIP, Fences and Freestanding Walls. Exception: chain link fence material may be used in the Community Garden.

CONVENIENCE MARKETS

Convenience Markets, as described in Section 11-86-4 of the City of Mesa Zoning Ordinance, shall be located, developed, and operated in compliance with the land use regulations in Section E and the following standards:

- A. **Maximum Building Size**
5,000 square feet.

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B. Litter

One permanent, non-flammable trash receptacle shall be installed in the parking area adjacent to the entrance/exit of the market.

C. Mixed Use

Convenience markets are not permitted as a standalone use and must be located within a mixed-use building.

DRIVE THRU FACILITIES, PICK-UP WINDOWS, AND DRIVE UP ATM/TELLER WINDOWS

Drive-thru Facilities, Pick-up Window Facilities, and Drive-up ATM/Teller Windows as described in Section 11-86-4 of City of Mesa Zoning Ordinance shall be located, developed, and operated in compliance with the land use regulations in Section E and the following standards:

A. Purpose.

The purpose of this Section is to mitigate potential impacts of Drive-thru Facilities, Pick-up Window Facilities, and Drive-up ATM/Teller Windows, including but not limited to, visual, traffic, and noise impacts, and to ensure that these facilities are developed to enhance the city's urban form.

B. General Requirements

1. A drive-thru lane, pick-up lane, or drive lane serving a Drive-up ATM/Teller Window must be physically separated from non-drive-thru traffic areas or non-pick-up traffic areas with a minimum five (5) foot wide raised landscape median.
2. A minimum two (2) foot wide foundation base must be provided along any exterior building wall that is adjacent to a drive-thru lane, pick-up lane, or drive lane serving a Drive-up ATM/Teller Window.
3. Awnings or architecturally integrated weather protection structures must be provided over drive-thru windows and pick-up windows. Such awning or weather protection structure must be architecturally integrated in proportion, color, material, and texture to the building it serves

C. On-site Circulation and Stacking Study.

1. An On-site Circulation and Stacking Study is required with every application for a new Drive-thru Facility.
2. Pick-up Window Facilities and Drive-up ATM/Teller Windows are exempt from this requirement.
3. The On-site Circulation and Stacking Study shall include the following:
 - a. Description of on-site operations including:
 - i. Business hours of operation.
 - ii. The method by which a customer order is placed and processed.
 - iii. Peak demand hours.
 - iv. The time required to serve a typical customer.
 - v. A description of how sound from external operations will be attenuated from neighboring properties.
 - b. Description of on-site traffic activity, including:
 - i. Arrival rates of customers.
 - ii. Anticipated vehicular stacking required.
 - iii. An on-site circulation plan showing points of entry to the site, stacking locations and distances, and anticipated patterns of on-site circulation.
 - iv. A mitigation plan describing how backup stacking will be addressed so that vehicles are not blocking internal drives or backing up onto roadways.
 - v. An evaluation of uses within 1,200 feet of the proposed development identifying cumulative traffic impacts and mitigation efforts to ensure that vehicles are not blocking internal drives or backing up onto roadways.
 - c. Other information deemed necessary by the Planning Director or their designee to review the proposal including additional information to determine whether the proposal has appropriate traffic circulation and stacking.

E: Development Standards

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D. Stacking Requirements

1. **Drive-thru Facilities and Pick-Up Window Facilities.** Drive-thru Facilities and Pick-up Window Facilities must conform to the following stacking requirements: A minimum 50-foot-long distance must be provided between the entrance of a drive-thru lane or pick-up lane and a street access driveway or cross access drive aisle. Distance measured from the entrance of the drive-thru lane or pick-up lane to the right-of-way, property line or edge of street access driveway or cross access drive aisle.
2. **Additional Drive-thru Facility Requirements.** In addition to the stacking requirement in Subsection (1) above, Drive-thru Facilities must conform to the following stacking requirements:
 - a. A minimum 100-foot-long stacking distance must be provided between the drive-thru window and order-placing speaker. Distance measured from the leading edge of the drive-thru window along the centerline of the drive-thru lane to the far edge of the order placing speaker.
 - b. A minimum 40-foot-long stacking distance must be provided between the order-placing box and the entry to a drive-thru lane. Distance measured from the leading edge of the order-placing box along the centerline of the drive-thru lane to the entrance of the drive-thru lane.
3. **Additional Pick-up Window Facility Requirements- Food and Beverage Uses.** In addition to the stacking requirements in Subsection (1) above, Pick-up Window Facilities must conform to the following stacking requirements: A minimum 100-foot-long stacking distance must be provided between the pick-up window and the entrance of the pick-up lane. Distance measured from the leading edge of the pick-up window along the centerline of the pick-up lane to the entrance of the pick-up lane.
4. **Additional Pick-up Window Facility Requirements- Non Food and Beverage Uses.** In addition to the stacking requirements in Subsection (1) above, Pick-up Window Facilities must conform to the following stacking requirements: A minimum 50-foot-long stacking distance must be provided between the pick-up window and the entrance of the pick-up lane. Distance measured from the leading edge of the pick-up window along the centerline of the pick-up lane to the entrance of the pick-up lane.
5. **Drive-Up ATM/Teller Window Requirements.** A minimum 40-foot-long stacking distance must be provided for each Drive-up ATM/Teller Window. Distance measured from the leading edge of the ATM/Teller window along the centerline of the stacking lane to the entry of the stacking area.
6. **Modifications to Stacking Requirements.** Modifications to the stacking requirements found in this Section may be approved through the IIP site plan review process if the Planning Director or their designee determines, based on the On-site Circulation and Stacking Study, that the proposed modifications to the stacking requirements are sufficient to meet the demands of the development, including the traffic circulation, and stacking demands.

E. Screening/Buffering Requirements

Drive-thru Facilities, Pick-up Window Facilities, and Drive-up ATM/Teller Windows shall conform to the following screening requirements:

1. A drive-thru lane or pick-up lane is not permitted to be located parallel to arterial roadways. Where physical site conditions prevent a non-parallel configuration, the drive-thru lane or pick up lane must conform to the required landscaping per Table 11-33-3.A.4 and provide either:
 - a. A 40-inch-high screen wall adjacent to the arterial roadway that extends the entire length of the drive-thru lane or pick-up lane, along with 2 additional trees per 25 feet of linear street frontage, and 2 additional shrubs per 25 feet of linear street frontage; or
 - b. An architecturally integrated awning, canopy, or trellis system that covers and screens the entire drive-thru lane or pick-up lane from the street, 1 additional tree per 25 feet of linear street frontage, and 2 additional shrubs per 25 feet of linear street frontage.



DRIVE-THRU MAP KEY

Permitted Location

This exhibit defines the area within the IIP where Drive-Thru facilities can be located.

2. Separation from Residential Districts.

- a. A 100-foot distance must be provided between the drive-thru lane or pickup lane and any property zoned with a Residential District (i.e., RS, RSL, RM).
- b. The Planning Director, or their designee, may approve a distance less than 100 feet if a sound study submitted by the applicant demonstrates that the drive-thru noise level at the property line will not exceed 60 dB.
- c. If the ambient noise level exceeds 60 dB, the noise study must demonstrate that the Drive-thru Facility will not increase the existing noise level.
- d. Distance shall be measured from the far edge of the drive-thru lane to the property zoned with a Residential District.

F. Employee Protection Requirements

Drive-thru Facilities whose operations include employees who take orders outside of the eating establishment must provide a raised 2 foot wide pedestrian path and an architecturally compatible shade structure along the area in which employees are staged and take orders.

G. Drive-Thru Restaurant Location Restriction

Drive-thru Facilities in the Fiesta Redefine IIP will only be allowed in the sections defined in Exhibit H: Permitted Drive-Thru Locations. There are existing drive-thru facilities along South Alma School Road.

GARDEN CENTERS

Garden Centers, as described in Section 11-86-4 of the City of Mesa Zoning Ordinance, oriented principally towards retail trade are subject to the following standards:

1. Total floor area for all buildings, except greenhouses used to raise or display plants, shall not exceed 8,000 square feet.
2. Items displayed outdoors are limited to plants, soils, gravel, soil amendments and fertilizer.

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HOME OCCUPATIONS

Home occupations, as defined in Chapter 87 of the City of Mesa Zoning Ordinance, are permitted as specified in Section D, limited by the following:

- A. For properties within the Fiesta Redefined Site, the following standards apply:
 1. There is no nonresident employee working at the Home Occupations site,
 2. There is no commercial storage on the Home Occupations site, interior or exterior,
 3. The Home Occupations site is not used for day-long or other long-term parking of vehicles used by non-resident employees, or clients for personal or business use; and
 4. Any short-term employee or client parking that is needed occurs on the Home Occupations property or on the street immediately in front of the residence.

HOSPITALS AND CLINICS

Hospitals and Clinics, as described in Section 11-86-3 of the City of Mesa Zoning Ordinance, shall be located, developed, and operated in compliance with the land use regulations in Section E and the following standards:

A. Patient Entrances: Patient entrances shall:

1. Be clearly distinctive from the remainder of the building, and be readily visible from the public street;
2. Be identified by directional signage in conformance with requirements of Article 5 of the Mesa Zoning Ordinance; and
3. Include an extended foundation base to provide a patient drop-off area of a minimum 900 sq. ft., extending a minimum 20-foot measured perpendicular from the patient entrance door.

B. Emergency Room Access

Emergency room access shall be separate and distinct from the patient entrance(s), with directional signage in conformance with the requirements of Article 5 of the Mesa Zoning Ordinance. Vehicle access drives leading to the Emergency Room shall be direct from the street and separated from parking lanes and spaces by intervening buildings, extruded curbs and landscape islands.

C. Storage of Liquid Chemicals and Bulk Materials

Liquid oxygen and other similar materials stored outdoors and in bulk shall be screened from ground-level view by the building, screen wall, or screen walls in combination with landscape materials. If landscape materials are used, the mature height of the plant according to ANA standards may be taken into consideration, provided the size of the tree at planting is a minimum of 36-inch box.

D. Heliports

Heliports associated with a hospital are permitted, and shall be located in a manner to minimize noise impacts on abutting residential uses, according to the following preferences:

1. **First Preference:**
Ground on side of building opposite any abutting residential areas.
2. **Second Preference:**
Roof level of building less than the highest point on side of building away from residential areas.
3. **Third Preference:**
Roof at top of building.

E. Mixed Use

Hospitals and Clinics are not permitted as a standalone use and must be located within a mixed-use building.

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URGENT CARE FACILITIES

Urgent Care Facilities, as described as “Clinics” in Section 11-86-3 in the City of Mesa Zoning Ordinance, are allowed as part of a mixed-use building:

- A. Facilities other than hospitals where patients are admitted for examinations and treatment by one (1) or more physicians, on either a “walk-in” or “appointment” basis. Patients are treated on an outpatient basis and are not admitted for overnight treatment or observation. This classification includes emergency medical services offered exclusively on an out-patient basis, such as urgent care centers.
- B. **Mixed Use**
Urgent Care Facilities are not permitted as a standalone use and must be located within a mixed-use building.

LIVE/WORK UNITS

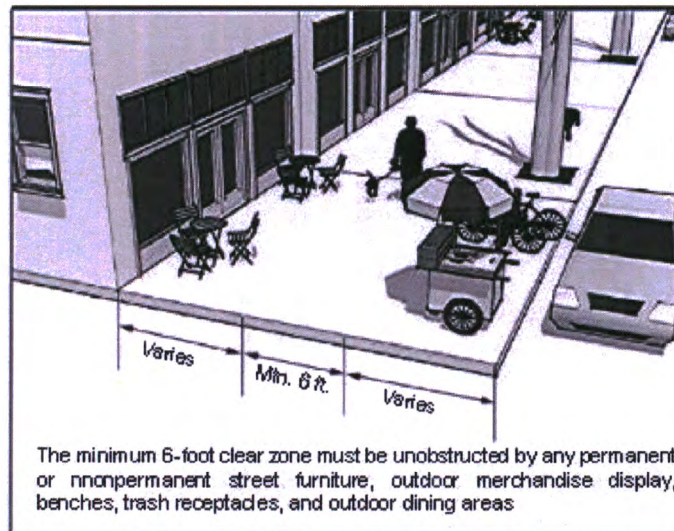
A commercial unit with incidental residential accommodations that includes adequate working space reserved for office or commercial use and regularly used for such purpose by 1 or more persons residing in the unit and a cooking space and sanitary facilities in conformance with applicable building standards. Up to 67 percent of the gross floor area may be reserved for and primarily used as living space.

OUTDOOR EATING AREAS

Outdoor eating areas in conjunction with an eating and drinking establishment, as described in Section 11-86 of City of Mesa Zoning Ordinance, shall be located, developed, and operated in compliance with the land use regulations in Section E and the following standards:

Outdoor Eating Figure

Exhibit J



A. Location

Within the Fiesta Redefined Site an outdoor eating area is permitted only in the following locations:

1. Within the buildable area of the lot; within private streets, sidewalks, and parallel parking spaces, provide a minimum 6' wide clear path.
2. Within the right-of-way, on a public sidewalk, provided a minimum six (6) foot wide contiguous portion of the public sidewalk remains unobstructed for pedestrian use. Review and approval of an encroachment permit by the City Engineer is required for any outdoor eating area located on a public sidewalk. Encroachment into adjacent designated landscape area permitted.

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B. Outdoor eating area barriers

Barriers are meant to demarcate the section provided for an outdoor eating area, for both temporary and permanent outdoor eating areas. Barriers, such as but not limited to, fencing, decorative planters, or other architectural enclosures of the outdoor eating area, must comply with the following standards.

1. Applicability

Barriers must be provided at the following outdoor eating areas:

- a. Outdoor eating areas with more than four (4) tables or more than eight (8) seats unless approved through an encroachment permit.
- b. Outdoor eating areas with alcohol service.

2. Barrier height

An outdoor eating area barrier within the right-of-way or within the required front setback may have a maximum height of 36 inches.

3. Design

Outdoor eating area barriers shall consist of durable, high-quality materials, shall compliment the architecture of the building which they serve, and adhere to any design guidelines established for the area in which the eating and drinking establishment is located.

4. Prohibited barriers

Outdoor eating area barriers may not be constructed with chain link fencing, chicken wire, cyclone fencing, sway ropes, fabric, or canvas.

C. Fixtures

Fixtures, such as but not limited to, furniture, awnings, umbrellas, planters, heaters, lighting fixtures, enclosure legs or supports, may be used in conjunction with an outdoor eating area and must comply with the following standards:

1. Location

Fixtures shall not be located or project beyond the outdoor eating area barrier, if present. Fixtures shall not encroach into the pedestrian walkway zone.

2. Overhead fixtures

Permanent, attached shade structures must be adequately secured and shall comply with the provisions of the Mesa Building Code, Title 4 of the Mesa City Code.

3. Refuse storage area

Trash receptacles and enclosures must comply with this section of the IIP and may not be located within the right-of-way unless approved through an encroachment permit.

OUTDOOR DISPLAY

1. An outdoor display is permitted only in conjunction with a lawfully established primary business.

2. An outdoor display shall only contain goods sold by the primary business.

3. Location

An outdoor display shall be located adjacent to the front facade of the primary business.

- a. Multi-tenant building. When located outside of a multi-tenant building, an outdoor display shall not extend beyond the tenant frontage of the primary business.
- b. An outdoor display may be located within the right-of-way, on a public sidewalk, provided a minimum six (6) foot wide contiguous portion of the public sidewalk remains unobstructed for pedestrian use.
- c. An outdoor display may not be located within landscape areas, parking lots, drive-aisles, loading zones, or fire lanes.

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4. Hours of operation

Outdoor displays may only operate during the hours of operation of the primary business. All structures, signs, equipment, and displays associated with an outdoor display must be stored indoors at all times when the primary business is closed to the public, unless the outdoor display is permitted as a permanent location on an approved site plan.

RESEARCH AND DEVELOPMENT

Research and Development, as described in section 11-86-5 of the City of Mesa Zoning Ordinance, shall be placed within enclosed buildings. Individual developments should include well-designed buildings on sites that may or may not have campus-like setting; areas visible to the general public include well-designed landscape areas.

SCHOOLS

Schools, shall be located, developed, and operated in compliance with the following standards:

A. **Accessory Uses**

Accessory uses customarily found in conjunction with schools, including classrooms, dormitories, stadiums, and auditoriums are permitted provided such accessory uses are located on the same lot or contiguous lot with the school.

SERVICE STATIONS

Service Stations, as described in Section 11-86-4 of the City of Mesa Zoning Ordinance, shall be located, developed and operated in compliance with the following standards:

A. **Scale**

Maximum number of two service stations permitted within the IIP.

B. **Minimum Frontage**

100 feet on each street.

C. **Pump Canopy**

Pump islands shall be covered by a canopy that matches or complements the design of the main structure.

D. **Landscaping**

Landscaping shall comprise a minimum 10 percent of the site area, exclusive of required setbacks, and include an irrigation system that is permanent, below-grade, and activated by automatic timing controls.

E. **Fencing**

Masonry only.

F. **Lighting**

All exterior light sources, including canopy, perimeter, and flood, shall be stationary, and shielded or recessed within the roof canopy to ensure that all light is directed away from adjacent properties and public rights-of-way. No lens of any lighting fixture may extend below the shielding device. Lighting shall not be of a high intensity so as to cause a traffic hazard, be used as an advertising element, or adversely affect adjacent properties.

G. **Litter**

A minimum of 1 permanent, non-flammable trash receptacle shall be installed at each pump island.

H. **Service Station Location Restriction**

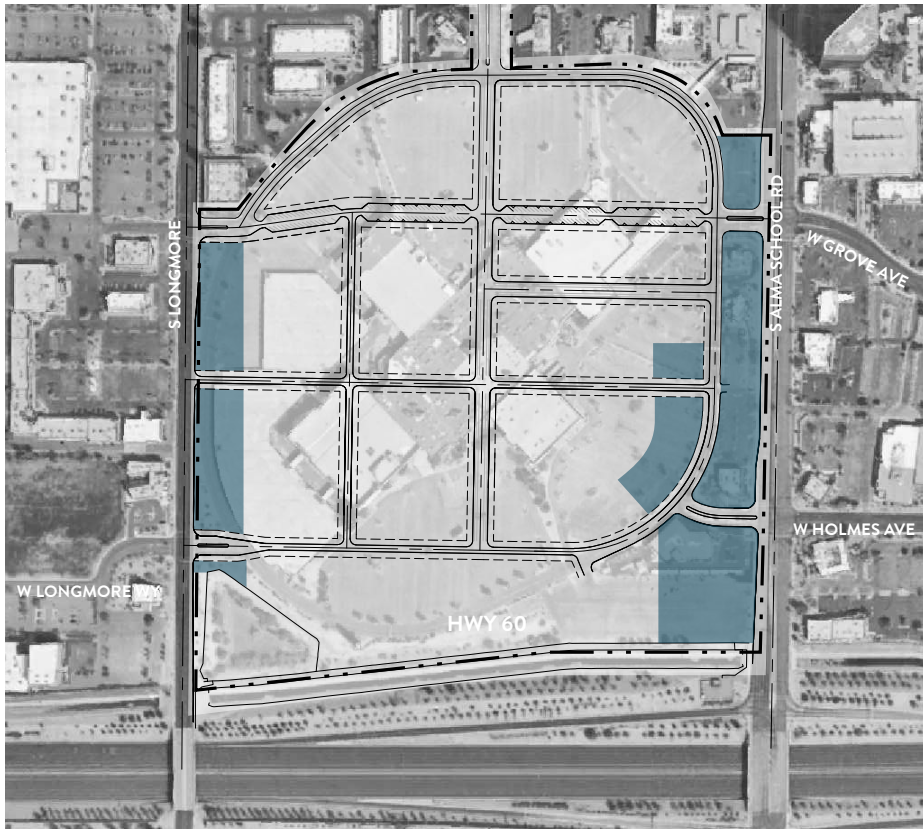
Service Station Facilities in the Fiesta Redefine IIP will only be allowed in the sections defined in Exhibit K: Permitted Service Station Locations.

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Permitted Service Station Locations

Exhibit K



SERVICE STATION MAP KEY

— Permitted Location

This exhibit defines the area within the IIP where Service Station facilities can be located.

SINGLE RESIDENCE ATTACHED

Single Residence Attached as described in Section 11-86-2 of City of Mesa Zoning Ordinance: A single residence dwelling unit, located singly on a lot, but attached through common vertical walls to one or more dwellings on abutting lots. An attached single residence dwelling unit is sometimes referred to as a “townhome” or a “rowhouse.”

A. Minimum Open Space

1. A minimum of 400 square feet of individual, private outdoor space for each dwelling unit provided adjacent to the dwelling unit.

SPECIAL EVENTS

- A. Special events, as described in Chapter 87 of the City of Mesa Zoning Ordinance, are permitted on the Site provided that:
 1. The event complies with the provisions of Title 5 of the Mesa City Code;
 2. The duration of the event does not exceed the time period specified in the special event license or a maximum of 7 consecutive days, whichever is less;
 3. No more than 26 events are conducted on the same premises during the calendar year;
 4. The site of the event is adequately served by utilities and sanitary facilities; and

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5. The event will not present a safety hazard or public disturbance and will not cause substantial adverse impacts on surrounding properties or land uses by creating excessive noise, glare, heat, dust, odors, or pollutants as determined by the Director and Fire Marshal.
- B. Special events shall be conducted only on a lot that has an approved dust proof parking surface with permanent driveway access. Decomposed granite or Aggregate Base Course (ABC) gravel surfacing may be substituted for paving subject to approval by the Director and Fire Marshal.
- C. Facilities, structures, and utilities shall be installed and maintained in conformance with all applicable building, fire, traffic, and zoning regulations.
- D. The maximums specified in subsections A(2) and (3) of this Section may be exceeded only as authorized by approval of a Temporary Use Permit in accordance with City of Mesa Zoning Ordinance Section 11-70-4.

TEMPORARY PARKING LOTS

- A. Stadiums, performing arts centers, competitive aquatics facilities, and similar public event facilities, with a required parking count of at least 300 spaces, are permitted to utilize temporary or overflow parking lots off-site.
- B. A temporary parking lot may be approved if:
 1. Has an approved dust-proofed surface;
 2. Is screened from an adjacent residential use by an opaque fence or similar feature at least 6 feet in height;
 3. Has lighting that is fully screened to prevent light spillover onto adjacent properties, if lighting is provided on the temporary parking lot;
 4. Is located within 1,200 feet of the public facility being served or from the site area, that is regularly used as a parking lot. The 1,200 feet shall be measured directly from the nearest edge of the property lines between the proposed temporary parking lot and the public event facility;
 5. Is in conformance with City Council policies; and
 6. Is compatible with, and not detrimental to, adjacent properties or the neighborhood in general.

TEMPORARY USES

A. Temporary outdoor sales

Temporary outdoor sales, as described, requires approval of a Temporary Use Permit in compliance with City of Mesa Section 11-70-4 and must be located, developed, and operated in compliance with the land use requirements in Section E and subject to the requirements in this section.

1. **Placement within the Site**

Temporary outdoor sales, including associated temporary displays and structures, may occur within the right-of-way, on a public sidewalk, provided a minimum six (6) foot wide contiguous portion of the public sidewalk remains unobstructed for pedestrian use.

2. **Temporary structures**

A temporary structure such as a tent, pop-up, umbrella or covering, measuring over 1,000 square feet requires the issuance of a building permit and approval by the Fire Marshal.

3. **Signs**

All signs associated with a temporary outdoor sale must comply with: Sign Ordinance and must be removed upon cessation of the temporary use or upon expiration of the temporary use permit, whichever occurs first.

E: Development Standards

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4. Hours of operation

A temporary outdoor sale may only operate between 9:00 a.m. and 10:00p.m. All temporary structures, signs, equipment, and display of merchandise associated with the temporary outdoor sale must be removed from the site or otherwise stored in enclosed buildings at all times when the temporary outdoor sale is closed to the public.

5. Discontinuance of use

All temporary structures, equipment, temporary signs, and display of merchandise associated with the temporary outdoor sale must be removed from the site upon cessation of the temporary use or upon expiration of the temporary use permit, whichever occurs first.

6. Site restoration

The site must be restored to the same condition it was prior to commencement of the temporary outdoor sale, including but not limited to, the removal of all debris, litter, and other evidence of the temporary outdoor sale, within 72 hours of cessation of the temporary outdoor sale or upon expiration of the temporary use permit, whichever occurs first.

B. **Temporary outdoor entertainment**

Temporary outdoor entertainment must be located, developed, and operated in compliance with the land use requirements and not subject to restrictions limiting the number of events.

1. Placement.

- a. All areas, structures, and operational items associated with a temporary outdoor entertainment, such as but not limited to, parking areas, storage areas and structures, stands, stages, tents, restroom facilities, trash receptacles and enclosures, and lighting, must be located at least 50 feet from all residential districts except for residential districts which are a part of an approved mixed-use development.

2. Duration

A temporary outdoor entertainment is permitted to operate for up to 21 consecutive days. An additional 3 days is allowed before and after the event for set-up and take-down.

3. Hours of operation

A temporary outdoor entertainment may only operate between 9:00a.m. and 11:00 p.m.

4. Signs

All signs associated with a temporary outdoor entertainment must comply with Title 11, Article 5 of the Mesa Zoning Ordinance and must be removed upon cessation of the temporary use or upon expiration of the temporary use permit, whichever occurs first.

5. Site restoration

The site must be restored to the same condition it was prior to commencement of the temporary outdoor entertainment, including but not limited to, the removal of all debris, litter, and other evidence of the temporary outdoor entertainment, within 72 hours of cessation of the temporary outdoor entertainment or upon expiration of the temporary use permit, whichever occurs first.

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LARGE SCALE COMMERCIAL RECREATION AND COMMERCIAL ENTERTAINMENT

Large Scale Commercial Recreation and Commercial Entertainment uses, as defined in Section 11-86-4 of the Mesa Zoning Ordinance, that exceed 50,000 square feet shall exclusively follow the development standards and guidelines in the section below. If a conflict occurs between other standards listed in the IIP and this section, this section shall apply. Both Large Scale Commercial Recreation and Commercial Entertainment land uses shall not count towards the Land Use Budget. An updated traffic study will be required at the time of site-specific plan submittal.

TABLE E.1.1 LARGE SCALE COMMERCIAL RECREATION AND COMMERCIAL ENTERTAINMENT DEVELOPMENT STANDARDS	
Maximum Height	No Maximum
Maximum Lot Coverage	100% of Overall Net Site Plan Area ¹
Overall Site Minimum Open Space	15% of Overall Net Site Plan Area ^{1,3}
Land Use Budget	Not Applicable
Minimum Lot Width and Depth	No Minimum
Minimum Height	No Minimum
Block Size	No Maximum (exhibit C.6 and notes do not apply)
Block Layout	No Requirement (exhibits C.1-C.5 do not apply)
BUILDING AND LANDSCAPE SETBACKS	
Setbacks are measured from back of curb	
Arterial (Alma School, Longmore)	20 foot minimum, no maximum
Primary	20 foot minimum, no maximum
Secondary and Loop Road	20 foot minimum, no maximum
Tertiary	20 foot minimum, no maximum
Internal, Side, and Rear Property Lines	0 foot minimum
NOTES	
1. Net Site Plan Area measured from back of curb.	
2. Setbacks are measured from back of curb.	
3. Refer to Section 8 - Open Space for additional information.	
PARKING STANDARDS	
Shared parking and temporary parking off site is permitted up to 3,000 feet away from any entry.	
Parking reductions allowed based on a submittal of a qualified parking study.	
SHADE STANDARDS	
Minimum of 50% of private on-site sidewalks, pedestrian pathways, and common amenity areas shall be shaded through the use of landscaping, architectural features or projections, shade cast from a building, or other stand-alone structural shading devices.	
Shade calculation shall be based on tree maturity during the summer solstice at 12:00pm.	

E: Development Standards

Section 8: General Site Development Standards

PURPOSE AND APPLICABILITY

A. General Purposes of the Site Development Standards

1. Prescribe development and site regulations that establish a framework for diverse, comfortable, safe and sustainable neighborhoods;
2. Enhance existing community character and encourage transitions to more mixed- use community centers characterized by attractive urban design, high quality architecture, vibrant public spaces, and pedestrian amenities where appropriate;
3. Encourage orderly, well-planned development of individual sites;
4. Encourage development that fits seamlessly into attractive, viable neighborhoods and improves areas that are in transition;
5. Ensure appropriately designed and maintained site features that incorporate Community Policing Through Environmental Design (CPTED) principles and allow natural surveillance;
6. Ensure development functions efficiently and screens unsightly and utilitarian elements and uses from public view; and
7. Contribute to the pedestrian environment by prescribing a safe, shaded network of walkways that connect destinations on-site to destinations on the public street, and to adjacent development.

B. Applicability

These standards shall apply, except where otherwise modified within the IIP.

FENCES AND FREESTANDING WALLS

Awnings, eaves, overhangs, light shelves and basement window wells may encroach not more than 3 feet into any Pedestrian Walkway, Open Space, Landscape Area, or similar design objective.

Fences, freestanding walls, and similar structures shall comply with the standards of this section.

1. Maximum Height

a. Front Yards and Required Street Side Yards

No fence or freestanding wall within or along the exterior boundary of the required front yard shall exceed a height of 3.5-feet.

b. Rear Yards and Interior Side Yards

No fence or freestanding wall within or along the exterior boundary of the required interior side or rear yards shall exceed a height of 6- feet.

c. Building Area

When located in the buildable area, the maximum height for fences and freestanding walls is the maximum height allowable in the applicable district.

2. Fence Materials

a. Materials

Walls and fences shall be constructed of high-quality materials, such as tinted, textured blocks; brick; stone; or ornamental metal; and shall complement the design of an overall development and its surroundings.

i. Chain link may only be used when not visible from public view.

ii. Wood fencing is not allowed, except wood may be used in conjunction with metal frames for gates used in conjunction with required screening walls.

3. Fence Articulation

The maximum length of continuous, unbroken and uninterrupted fence or wall plane adjacent to right-of-way or private streets functioning as public roads shall be forty (40) feet. Articulation shall be provided through the use of columns, landscaping pockets and/or a change in plane or different materials.

E: Development Standards

Section 8: General Site Development Standards

LIGHTING AND ILLUMINATION

A. Applicability

The requirements of this Section shall apply to all projects

B. Parking Lot Illumination

1. Light standards shall be located only within the parking area or, where permitted, the outdoor storage area, and shall not encroach into required perimeter landscape areas.
2. House side shields shall be provided on all light standards adjacent to residential development.
3. Building mounted lights shall maintain the same heights as specified in C, below.
4. For additional standards refer to the Mesa Lighting and Electrical Code; Title 4, Chapter 4 of the Mesa City Code.

C. Maximum Height of Lighting Fixtures

Design Objective: Provide sufficient height to safely light areas without impacting adjacent residential development or contributing to light pollution.

1. Light Standard Heights

Maximum standard height shall be 20 feet when within 25 feet of the perimeter of the development and adjacent to a residential use. When adjacent to any other use, the maximum height shall be 30 feet within 25 feet of the perimeter. The maximum height shall be 30 feet everywhere else on the site.

2. Building mounted lights shall maintain the same heights as specified above.
3. Exceptions to the maximum height of lighting fixtures may be approved by the Zoning Administrator, after a review of a photometric study. Such exceptions may include requirements for use light control devices, such as fully shielded or full cut-off fixtures, to reduce glare and light-spillage onto abutting properties.

D. Exposed Exterior Building Illumination

Design Objective: Contribute to the safety of the nighttime environments and accentuate architectural elements.

1. Findings for Approval

The use of exposed neon, argon, LED or krypton tubing, exposed incandescent lighting, or other exposed artificial lighting to outline any structure or portion thereof may be authorized after review in accordance with administrative Review and Development Procedures for Design Review, as outlined in Section G of the IIP. Exposed building illumination shall be approved only upon a finding that such illumination:

- a. Constitutes a design component of the overall building architecture;
- b. Is integrated into the primary physical elements of the building or development, and is harmonious with the architectural style of the structure(s);
- c. Serves only for the purpose of embellishing the nighttime architecture of the building, and does not portray an advertising message; and
- d. Is compatible with the land use and architecture of adjacent developments.

2. Full Functionality Required for Use

If any component of the lighting system becomes nonfunctional, neither the entire lighting system, nor any portion thereof, may be illuminated until the entire lighting system is repaired.

E. Compliance with Mesa Lighting and Electrical Code

All lighting shall comply with the Mesa Lighting and Electrical Code (Title 4, Chapter 4 of the Mesa City Code).

E: Development Standards

Section 8: General Site Development Standards

F. Control of Light Trespass

Project lighting shall be designed to minimize glare and light trespass from the project site to adjacent residential properties.

G. Maximum Light Spillage

For light spillage, the light level at the boundary of the project, measured 36-inches above ground level, shall be not more than 0.5 foot candles (5 Lux) above ambient light level.

H. Illuminate Pedestrian Paths

Pedestrian paths connecting the project to the public sidewalks, connecting buildings on the same project, and the public pedestrian entry foundation base of the building shall be illuminated during the twilight and evening hours the project is active and open to the public.

I. Consistent Fixture Design

Fixture designs used shall be harmonious with the building design, and with the architectural theme of the overall project, including multiple building projects.

J. Gradual Transition of Exterior Lighting Levels

The relative brightness of light used may vary throughout the project, provided the transition from higher levels to lower levels of illumination shall be gradual, without extreme or abrupt degrees of change between higher levels of illumination and natural ambient darkness.

K. Highlight Building Entries

Focus attention on primary building entries with illumination directed to highlight the entry and adjacent architectural details. Generally, lighting levels at the primary public entry shall be higher than lighting levels away from the public entry.

L. Lighting to Enhance Design

Lighting shall embellish nighttime architecture by illuminating activity areas, calling attention to details of the building design; and highlighting the relief of building features and/or the texture of building materials.

OPEN SPACE

Design Objective: to provide a variety of public Open Space that is attractive, functional, fit for purpose, sustainable and integrated into the surrounding urban form in an aesthetic sense by involving attractive surroundings and creating visual surprises, thereby contributing towards the health, recreational and social needs.

Open Space is defined as “the area or areas of a lot or parcel intended to provide light and air, and designed for either scenic and/or recreational purposes, excluding buildings, parking, driveways and other vehicular surfaces.” Enhanced pedestrian connections, walkways, and sidewalks count as Open Space. Measured and delineated open space areas need to meet minimum standards for both Common Open Space and Private Open Space. Both of these variations are included in the composite calculation of Overall Site Minimum Open Space. The Overall Site Minimum Open Space calculation shall meet minimum area requirements in each submitted site plan. Common Open Space is not regulated by dimensional standards in this IIP.

The Village Green Open Space requirement is a singular allocation and development of a community focused Open Space amenity for the project. The Village Green Open Space required area for this project is one acre. Buildings intended to supply services, food and beverage, retail, and/or entertainment are permitted to be built within the designated area but shall not comprise more than 50% of the required area.

Applicable Definitions:

Village Green Open Space - Larger green space sized to hold a variety of community events at varying scales. Smaller buildings should be built at edges of the Open Space to promote enclosure and to provide services to patrons of the plaza.

Common Open Space - An Open Space intended for the shared, common use of the occupants of a development, including but not limited to walkways, trails, bike paths, patios, seating areas, art installations, etc...

Private Open Space - An Open Space intended for the exclusive use of the occupants of a dwelling unit.

-Refer to Development Standards tables E.1 and E.2 for quantitative measurements.

E: Development Standards

Section 8: General Site Development Standards

PEDESTRIAN CONNECTIONS

Design Objective: Encourage people to walk by providing safe, convenient, comfortable and efficient pedestrian connections. Pedestrian walkways shall be provided in office, employment, commercial, mixed-use and multifamily residential developments. These walkways shall be designed to serve internal pedestrian circulation needs, and shall connect to public sidewalks and transit stops. Pedestrian access must be provided according to Exhibit C- Circulation Plan.

A. Internal Connections

A system of pedestrian walkways shall connect all buildings on a site to each other, to on-site automobile and bicycle parking areas, and to any on-site recreational or open space areas or pedestrian amenities. See block development sections page 17.

B. Connections across Parking Areas

Pedestrian connections that are clearly defined and distinguished from roadway paving. Pedestrian connections across parking areas must be a different material than the roadway paving.

C. Materials and Width

Pedestrian walkways shall be at least 5 feet in width and paved with a hard, durable surface.

D. Shade at Entries

At customer entrances, walkways shall be provided with weather protection such as canopies, awnings, arcades and trellises.

SCREENING

Design Objective: Encourage attractive, safe buildings and sites by screening non-architectural elements and uses from public view and providing for transitions between uses.

A. Screening of Mechanical Equipment

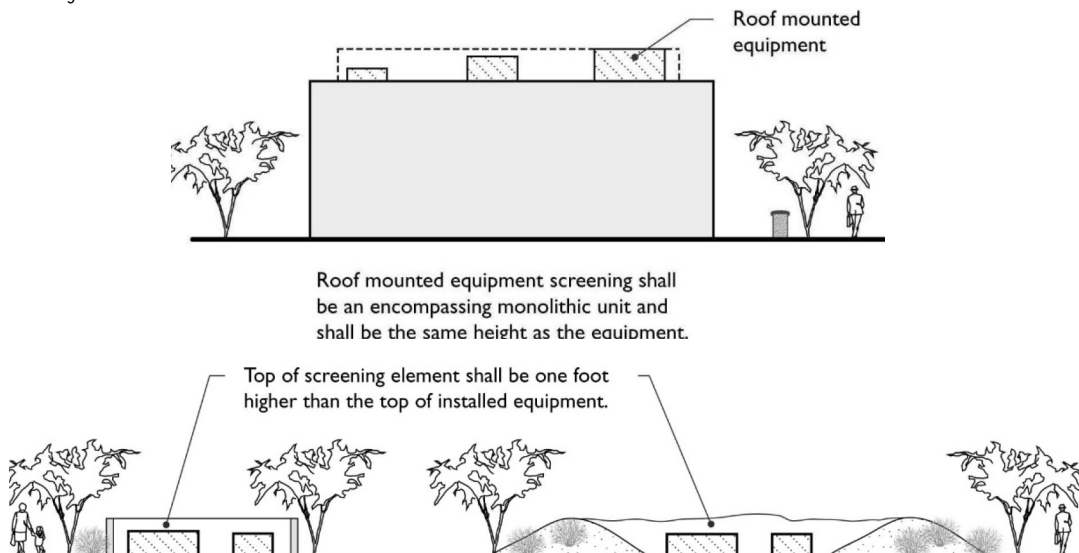
Design Objective: Integrate visual screening of necessary mechanical equipment into the architecture of buildings to ensure development is attractive, clutter-free and safe. Painting of equipment is an acceptable treatment if matching the design aesthetic of the development.

1. Roof-Mounted Equipment

Roof-mounted equipment screening shall be constructed as an encompassing monolithic unit, rather than as several individual screens (i.e., multiple equipment screens, or “hats,” surrounding individual elements shall not be permitted). The height of the screening element shall equal or exceed the height of the structure’s tallest piece of installed equipment.

Screening Exhibit

Exhibit L



E: Development Standards

Section 8: General Site Development Standards

2. Ground-Mounted Equipment

Ground-mounted equipment facing a street or not otherwise separated from the street by intervening building(s) shall be screened to a height of at least 12 inches above the equipment. Screening devices shall consist of decorative walls and/or berms (2:1 maximum slope) with supplemental plant materials including trees, shrubs and ground-covers. For screen walls that are 3 feet in height or lower, vegetative materials may be substituted for the screening device.

3. Exterior Wall Equipment

Wall-mounted equipment, including but not limited to electrical meters, electrical distribution cabinets, service entry section (SES), fire sprinkler equipment and similar valves and cabinets that face a street, or public parking and are not recessed and/or separated from the street by intervening building(s) shall be screened. Screening devices shall incorporate elements of the building design, e.g. shape, color, texture and material. Vegetative materials may be substituted, or decorative screen walls.

B. **Roof Access Ladders and Fire Sprinkler Risers**

Design Objective: Reduce visual clutter at the skyline. The location of roof-access ladders and fire sprinkler risers shall be, within the interior of the structure.

C. **Trash and Refuse Collection Areas**

Design Objective: Reduce visual clutter of trash and refuse collection areas and integrate screening device with project theme. Trash and refuse collection areas shall be screened so as to not be visible from a public street or parking area. Latching gates shall be provided for trash enclosure openings where visible from street and/or public parking areas. Orient openings away from public right-of-way, where possible.

D. **Parking Areas**

Design Objectives: Reduce potential visual glare of headlights and reduce the visual clutter of parking fields with screening that is integral to the site and landscaping theme.

Parking areas and drive aisles shall be screened from street(s) with masonry wall, berm or combination of walls/berms and densely planted landscaping or “vertical wire trellis panels”. No more than 60 percent of the screening shall be accomplished with dense landscaping.

1. Screen walls shall vary in height from 32 to 40 inches and shall be offset or staggered by at least 24 inches at intervals of no more than 50 feet.
2. The screening device shall vary in height from 12 to 18 inches when lawful display of automobiles, trucks, recreational vehicles, manufactured homes, boats, motorcycles, and utility trailers is adjacent to public streets.
3. Screen walls shall be composed of brick, stone, stucco, or other quality durable material that complements the theme of the project and shall include a decorative cap or top finish as well as edge detail at wall ends.
4. Berms shall be contoured and covered with a combination of vegetative and inert ground cover. If a contoured screening berm is installed, 24” box trees may be substituted for required 36” box trees.
5. Screen wall and/or berm height shall be measured from the finish grade of the parking lot.
6. When using a screen wall there shall be a landscaped setback of at least 5 feet between the screen wall and the edge of the parking area.
7. A setback of at least 5 feet shall be provided between the screen wall and the right-of-way.

E. **Roof-mounted Solar Equipment**

Design Objective: Allow solar panels and other solar equipment to be placed on roofs in a manner that is aesthetically pleasing without creating excess shadows on the equipment.

Solar equipment can be placed on flat roofs. It is encouraged to integrate solar panels into roof design.

E: Development Standards

Section 8: General Site Development Standards

SWIMMING POOLS

Swimming pools and other bodies of water must be developed in compliance with the following standards:

- A. A swimming pool shall not be located in the required front yard or a side yard required for vehicle access, required landscaped areas or closer than 4 feet from the water's edge to any lot line.
- B. Contained bodies of water either above or below ground level with the container being 18 inches or more in depth at any point or wider than 8 feet at any point, shall conform to the location and fencing requirements for swimming pools.
- C. Swimming pools shall be secured from unauthorized access by an enclosure as provided in Title 4:, Chapters 2 or 3, as applicable, of the Mesa Code of Ordinances.

TRASH AND REFUSE COLLECTION AREAS

A. General Applicability Requirements And Alternatives

1. General Applicability Requirements

Solid waste and recycling-container enclosures are required for new dwelling groups consisting of 4 or more dwelling units and for all commercial or industrial developments in which the aggregate gross floor area exceeds 50,000 square feet. Designs must meet Mesa Standard Details or as approved by Planning Director.

2. Alternatives

Alternatives to standard requirements may be considered by the Planning Director and Solid Waste Management Director.

B. Location

All enclosures shall comply with all applicable Building and Fire Codes and shall meet the following requirements.

- 1. The solid waste and recycling storage area shall be integrated with the building or within any required parking areas, or any other area required by the Mesa City Code to be constructed and maintained unencumbered according to fire and other applicable building and public safety codes.
- 2. Solid waste and recycling areas shall be consolidated to minimize the number of collection sites and located so as to reasonably equalize the distance from the building spaces they serve.
- 3. Storage areas shall be located so that the trucks and equipment used by the City of Mesa solid waste and recycling collector(s) have sufficient maneuvering areas.

C. Materials, Construction and Design.

1. Minimum Height of Screening

Solid waste and recycling storage areas located outside or on the exterior of any building shall be screened to a minimum height of 6-feet.

2. Enclosure Material

Enclosure material shall be solid masonry or concrete tilt- up with decorated exterior-surface finish compatible to the main structure(s).

3. Gate Material

Gate material shall be decorative, solid, heavy-gauge metal or a heavy-gauge metal frame with a covering of a view-obscuring material.

4. Access to Enclosure from Residential Projects

Each solid waste and recycling enclosure serving a residential project shall be designed to allow walk-in access without having to open the main enclosure gate.

E: Development Standards

Section 8: General Site Development Standards

5. **Protection for Enclosures**
Concrete curbs or equivalent shall protect enclosures from adjacent vehicle parking and travel ways.
6. **Landscaping**
When feasible the perimeter of the recycling and trash enclosure shall be planted with drought resistant landscaping, including a combination of shrubs and/or climbing evergreen vines.
7. **Lighting**
All trash collection areas shall be well lit with a minimum 1 foot candle.

TRUCK DOCKS, LOADING AND SERVICE AREAS

Design Objectives: Reduce the negative impact of noise and activity associated with truck docks, loading and service areas on quieter activities of adjacent properties. Minimize the impact of visual clutter associated with open bay doors and parked trucks being loaded and unloaded from adjacent lots and street rights-of-way.

Truck docks, loading, and service areas shall be located and screened as follows:

A. Screening

Truck docks, loading areas, and service areas shall be screened and located at the rear or side of buildings. Docks, loading and service areas in any district shall be screened from public view. Screening shall consist of a solid masonry wall at least 8 feet in height or opaque automated gates or architecturally integrated to the building.

VISIBILITY AT INTERSECTIONS

Notwithstanding any other provisions of this section, no fence, wall, shrubbery, sign or other obstruction to vision between a height of 3 feet and 8 feet above the centerline grades of the intersecting public streets shall be erected, placed, planted, allowed to grow or maintained within the triangular yard space formed by the intersecting center lines and a line joining points on such center lines 80 feet from the point of intersection. Private streets do not need to meet the requirements of the visibility triangle.



Design Standards and Guidelines

F: Design Standards and Guidelines

Section 1: General Architectural Character

The following Design Standards and Guidelines for The Fiesta Redefined IIP will serve as the regulatory design criterion for all proposed developments as defined in this IIP. These standards and guidelines will replace all design presumptions and requirements listed within the City of Mesa Zoning Ordinance.

General Architectural Character

The Fiesta Redefined Development will be characterized by contemporary regional architecture with an approachable, human scale. Architectural character of individual buildings will be influenced by the type of use. The architecture of The Fiesta Redefined Development, like its occupants, will be characterized as progressive, creative, diverse, and respectful of the natural environment. Successful building projects will integrate nature, art, sustainability, access, and community into a balanced composition.

The Fiesta Redefined Development will be characterized, and individual buildings measured, by the ability to model a new paradigm for contemporary, sustainable, and visionary architecture that is designed specifically to reinforce the City of Mesa's Fiesta District.

This new development will create an outdoor mixed-use environment with users and visitors living, working, and walking in spaces that will offer recreational activities and quiet respite for the community. The increased connectivity and pedestrian realm will be a hallmark of this rejuvenated community in Mesa.

To ensure the development meets the highest standards of sustainability and design, the community has established comprehensive guidelines that fully replace the previous design guidelines. These guidelines cover all aspects of the development, including architecture, landscaping, and infrastructure, and are designed to promote sustainability, functionality, and aesthetic appeal. By adhering to these guidelines, the community is committed to creating a vibrant and sustainable environment that meets the needs of residents while also promoting a healthy and active lifestyle.

F: Design Standards and Guidelines

Section 2: Residential Site Design

Multiple residence buildings promote a walkable, healthy neighborhood by engaging the street, offering sidewalks and pedestrian paths, and using attractive design that reflects the scale and character of adjacent buildings. Multiple residence buildings in mixed use districts support the density of an urban center and create vibrant, active, walkable neighborhoods to live, work, socialize, and relax.

Neighborhood Character

- Common open spaces provide residents with places to gather and foster community. Since community between residents will impact the character of the space, designers will strive to make spaces that will encourage togetherness.
- Architectural choices will incorporate design elements consistent with their own design logic and stylistic aesthetic of the development.
- A strong sense of arrival will be accomplished through the use of carefully planned entryways including monument signs, special landscaping, specialty pavement, architectural features, etc.
- Private drives should terminate at public spaces to create focal points for each area of development when appropriate.
- Open spaces and pedestrian thoroughfares shall include amenities such as shaded landscape walkways, structures, arcades, benches and tables, bike racks, bike lanes, etc.
- Main pedestrian walkways shall connect with surrounding amenities, developments, and existing pathways to ensure easy access throughout the neighborhood.

Building Placement and Orientation

- One building entrance shall face the primary streets on which the building is located while still addressing any side streets on either side.
- Residential buildings shall utilize minimum and maximum setbacks to better define the public and private realms. This type of design helps activate an interesting and pedestrian-friendly streetscape resembling those of dense, successful, walkable cities.
- Facades should be offset from each other on all floors to create a more vibrant street edge. While offset from each other, building facades should use as small of a setback as possible keeping in mind relevant architectural styles.
- Both existing Site topography and surrounding buildings should be considered when determining the height and relationships of new developments.
- Building facades shall be articulated with balconies and porches.
- Walkways and setbacks between buildings shall be considered in the overall pedestrian circulation plan of the community.
- Building placement and architectural elements should be used to mitigate solar heat gains throughout the summer months.
- All mechanical, electrical, and service stations and devices shall be hidden from public view and screened with landscape, art, or architecturally appropriate elements.



This is an illustration of actively engaged pedestrian thoroughfares.



This is an illustration of offset facades with balconies and porches.

F: Design Standards and Guidelines

Section 2: Residential Site Design

Parking and Garage Placement

- To maintain curb appeal and continuous public spaces parking lots shall be located near the back or center of developments and not directly adjacent to the street. When developments are surrounded by streets on all sides, parking shall not be located next to Primary Streets.
- Resident parking stalls should be located near units so users will not have lengthy walks between parked vehicles and their unit entry doors.
- Resident and visitor parking shall be clearly identified.
- Pedestrian walkways should be separate from driveways when possible. Alternatives may include incorporating landscaping or other types of buffers.
- Expansive, flat walls shall be avoided. Windows, balconies, and changes in facade materials and depths should be used both in residential buildings and exposed parking garages, except at party wall conditions.
- Carports and garages shall be architecturally continuous in design aesthetic to the main buildings on the Site and be integrated into the main building structure when possible.
- Guest and handicap parking should be conveniently and equitably distributed throughout the Site.
- Pick-up and drop-off zones should be intuitive and easily accessible to riders and ride-share organizations.

Landscaping and Shading

- Landscaping shall be used to highlight building and Site elements such as entrances, walkways, and other focal points.
- Existing trees, topography, washes, and vegetation should be incorporated when possible.
- Storm water retention basins shall be incorporated into the Site plan and usable by residents when not flooded. Existing retention basins are exempt to this requirement.
- Sun-shading and weather protection such as overhangs and built in canopies are encouraged to mitigate the warm environment and seasonal storms.
- Shade structures or landscaping shall be provided at pedestrian points such as entrances and public spaces.

F: Design Standards and Guidelines

Section 3: Residential Architectural Design

The Fiesta Redefined Development provides a variety of architectural styles, and incorporate local materials and reflect the desert climate through form and design. Multiple residence developments should seek harmonious balance by selecting architectural design elements and details that complement each other. Multiple residence developments should contribute to the design of the neighborhood with regard to mass and scale, architectural style, and use of colors and materials.

Primary Entries

- Shared entries should be located towards the main streets of the individual development.
- Main entries should be indicated with a multi-story massing change in the building facade. Additional changes may include balconies, changes to roof, etc.
- Units shall be a clearly visible paved walkway from the primary entrance to a public sidewalk, walkway, or open space.

Massing and Scale

- Buildings should offset their massing along wall planes or step back on upper levels to provide spaces for balconies and to reduce the perceived size of the structure.
- Large, continuous buildings shall change materials or massing and architectural articulation a minimum of every 240 feet to prevent the appearance of contiguous developments.
- Step backs to transition between multiple residence buildings and attached single residence buildings shall be used to avoid overshadowing existing buildings.
- Building massing shall help define adjacent street edges.

Articulation

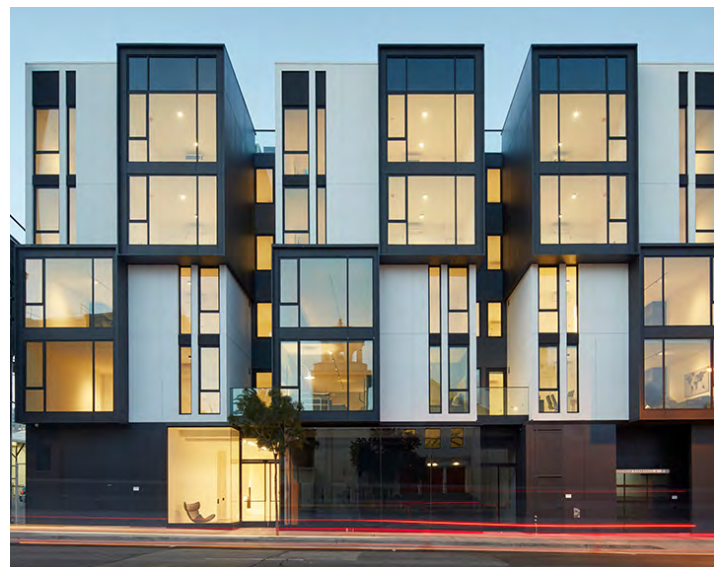
- Building facades shall contain variations of materials, colors, textures, artwork, pilasters, buildings lines, window articulation, etc.
- No facades shall remain under-designed and large, flat planes are to be avoided.
- Interesting window treatments such as awnings and trim are encouraged for facades facing streets, pedestrian walkways, and public spaces.

Materials

- Material changes should occur at inside corners of facades and changing wall planes or where architectural elements intersect.
- Building shall provide a minimum of three distinct materials.
- Building material selections shall provide visual and tectonic interest on the ground level as well as upper levels.
- Heavier materials should be used on the ground floor in most cases with accents on throughout the facade.
- Consideration of Mesa's desert climate shall be considered when selecting materials.
- Successful selections shall omit materials that weather easily in desert regions with extreme temperatures.
- Color palettes will be diverse.



This is an illustration of a larger building having massing and material changes.



This is an illustration of a building with an acceptable material palette.

F: Design Standards and Guidelines

Section 4: Commercial Site Design

Good site planning can minimize a project's impacts on its neighbors, continue existing desirable urban forms and patterns, that enhance the quality of existing development. Commercial and office developments should establish an overarching site design that contributes to the overall sense of place, promotes compatibility with adjacent uses and is pedestrian-friendly. Well organized buildings can promote walkability, encourage commerce, improve building performance and reinforce community identity.

Building Placement and Orientation

- Buildings shall be placed near the street to define the public realm and create a strong streetscape.
- Entrances, windows, and openings shall face main streets and pedestrian walkways. All street-adjacent facades of a building should provide pedestrian-scaled elements such as entrances, windows, and openings. Grocery use excluded.
- Buildings on the interior of a lot must provide pedestrian-friendly facade designs along street front. Architectural elements should anchor the building and create attractive paths to entries.
- Commercial development buildings shall be clustered together to create an easily walkable environment.
- Buildings clustered together shall include facades intentionally designed, conscious of the views from upper floors of adjacent buildings.

Lighting

Adds vibrancy to a space and creates engagement with the community.

- Exterior lighting shall be designed as an integral part of buildings and landscaping.
- Accent lighting should be used to highlight architectural and landscape features.
- Pedestrian areas must be well-lit, including walkways, open spaces, activity spaces, etc.
- Parking area lighting must be architecturally complimentary to development design style

Parking and Circulation

- Buildings shall be the focal point of each site with parking treated as a supplemental amenity. Parking lots and structures shall be focused to the sides or backs of structures.
- Centralized parking structures are to be designed to screen the parking and architecturally articulate the parking structure. The use of art, lights, and large format graphics are encouraged.
- Large parking lots must be split into smaller lots using landscape barriers and architectural elements. These designs will decrease the visual impact parking lots have on a site.
- Parking aisles are encouraged to be perpendicular to main entrances for ease of access for pedestrians.
- Durable materials other than asphalt such as pavers and decorative asphalt are encouraged to visually break up vehicle-oriented spaces.
- Pedestrian and vehicular circulation shall be separate with few intersections. Barriers such as landscaping and architectural elements are encouraged for separation.
- Shared parking and drives should be implemented to use a minimum amount of asphalt.
- Developments shall be connected to surrounding context by paved and convenient pedestrian walkways differentiated in material from parking surfaces
- Carpool spaces, electric vehicle charging stations, bike share, and ride-share pick-up/drop-off locations are encouraged.
- Surface parking lots shall incorporate hedges, walls, and screens to hide parked cars from pedestrian views.
- Shaded pedestrian pathways should be placed between pedestrian nodes such as building entrances, city sidewalks, and parking areas.
- Shaded areas and greenery shall be used to mitigate the "Heat Island" effect.



This is an illustration of public space lighting.



This is an illustration of entrances and opening facing primary streets.

F: Design Standards and Guidelines

Section 4: Commercial Site Design

Shade Structures

Shade plays a crucial role in reducing the risk of heat-related illnesses and improving overall well-being for residents and visitors alike. Moreover, shaded areas serve as vital communal spaces, encouraging outdoor activities and social interaction that foster a stronger sense of community. From a sustainable standpoint, strategically placed shade structures contribute to energy conservation by mitigating the urban heat island effect, reducing the need for excessive air conditioning and ultimately lowering energy consumption. In essence, shade in desert environments proves to be a vital component in ensuring livability, promoting health, and advancing sustainable practices.

- Where shade in the form of landscaping is not suitable, shade structures shall be implemented
- Shade structures may be standalone fixtures or attached to architectural elements of buildings
- Shading shall be concentrated in high-traffic pedestrian areas such as walkways and gathering spaces
- Fixtures attached to or above storefront systems are encouraged to prevent direct sunlight in retail spaces
- Structures shall be aesthetically appropriate and architecturally designed



This is an illustration of shade structures attached to buildings.

Public Spaces and Pedestrian Amenities

- Commercial developments should employ public open spaces adequate to the needs of the community
- Patios, plazas, paseos, parks, amphitheaters, and play areas can be used to make public spaces vibrant and full of life.
- Public spaces within developments shall be inviting, engaging, and pedestrian-friendly.
- Open areas shall include a variety of shading options including trees, trellises, canopies, and awnings for reduction of direct sunlight and excessive heat.

Landscaping and Shading

- Landscaping should be employed at and around building entrances, parking lots, and edges.
- Storm water should be used to water landscaping to reduce water consumption.
- Plants shedding excessive thorns, stickers, sharp leaves, flowers, or fruit should not be located near pedestrian walkways or nodes.
- Landscaping shall be considered to hide undesirable elements from public view such as mechanical equipment and service areas.
- Sun and rain protection such as overhangs, awnings, and canopies should be used with consideration of local climate.
- Misting systems and fountains are encouraged in pedestrian-heavy locations and walkways.



This is an illustration of patios as a vibrant public space.

F: Design Standards and Guidelines

Section 4: Commercial Site Design

Artwork

Incorporating art within The Fiesta Redefined Development will bring a multitude of benefits that enhance both the urban landscape and the overall community experience. Firstly, art fosters a sense of identity and cultural vibrancy. By integrating sculptures, murals, and installations into these spaces, Fiesta can establish a unique visual identity that resonates with residents and visitors alike. This artistic infusion celebrates the city's heritage, traditions, and diversity, creating a more engaging and memorable environment.

Art installations within The Fiesta Redefined Development can foster social interaction and a stronger sense of community. Public art installations provide natural gathering points, encouraging people to pause, converse, and connect. This communal aspect contributes to a more inviting atmosphere, as people appreciate not only the functional aspects of these developments, but also the aesthetic and emotional value that art brings. These spaces become more than just places to live, work, and shop; they become shared spaces that promote a sense of belonging and unity among the city's residents. In essence, art in mixed-use developments enriches the urban experience by fostering cultural pride and social cohesion, ultimately enhancing the overall quality of life for residents of Mesa, AZ.



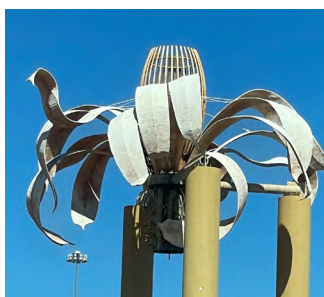
Temporary Art Installations

Temporary art installations will add vibrancy to a space and creates engagement with the community. The Fiesta Redefined Development has the opportunity to provide art in the public open space areas, and paseos.

Re-use Artwork

The Fiesta Redefined Development will make its best effort to re-use the existing Fiesta Mall Entry art sculptures and incorporate them into the overall development plan as a way of preserving and reusing these pieces to engage with memory and place-making for Mesa residents.

The reuse of public art is an important aspect of preserving cultural heritage and promoting sustainability. Public art often serves as a symbol of a community's identity and values, and reusing it can help to maintain that connection.



F: Design Standards and Guidelines

Section 5: Commercial Architectural Design

General Design

- Building design must be inviting, pleasant, promote safety to pedestrians, and activate storefronts.
- Facades must provide architecturally interesting details consistent with the context and use of the building.
- The apparent style of the surrounding community must be considered above a standardized corporate architectural template. This will place a higher emphasis on the context of the building which will aid in the overall development.

Building Entrances

- Main entrances must face the main street or walkway on which the building is located with supplemental entrances on the sides and rear where applicable.
- Entrances must use architectural elements to delineate hierarchy such as overhangs, recesses, projections, unique roof design, display windows, etc.
- Building entrances shall provide shelter to the space immediately outside the main door for pedestrians to queue without congesting circulation.
- Multi-tenant buildings must provide unique entrances to each tenant with a storefront. Structures must also allow for flexible design to accommodate alternative uses.
- Decorative paving, lighting, and landscaping should be used around pedestrian drop-off and pick-up areas.

Massing and Scale

- Massing shall relate to human scale and reduce its appearance.
- Step the facade back or include protruding bays that extend out to use shadows to highlight architectural elements.
- Avoid repetition along streets and use varying heights to break down the appearance of the structure.
- Buildings must include massing variations along the pedestrian levels such as porticoes, single story protruding lobbies, and transparent vestibules in pedestrian-heavy areas.
- Taller buildings in the desert can be located to provide shade and pedestrian comfort.
- Pedestrian-level facades shall include windows and glass doors to increase transparency. Material articulation or artistic displays shall be added to service areas or blank walls.
- Ground floors must include at least one band material change. Taller buildings must incorporate material and architectural changes to delineate ground levels from upper levels.
- Levels above a main level should employ fewer architectural changes and a simpler design strategy.
- Buildings that must include large, windowless walls to operate must include arcades, architectural details and screens, pergolas, or landscaped trellises for a more interesting appearance.

Facade Articulation

- All facades of a building must include architectural elements and features. However, the highest concentration of design should be at the front of a commercial building on the ground level.
- Large facades must be broken into several smaller facades to avoid monotonous and overly repetitive designs.



This is an illustration of a streetscape design with activated storefronts.

F: Design Standards and Guidelines

Section 5: Commercial Architectural Design



This is an illustration of a screened service area.

Service areas and Utilities

- Loading, storage, and service facilities and areas shall be hidden from public view by architectural elements or decorative screening. Screening materials should be reflective of the building itself. The use of landscaping around screening walls is encourage.
- Loading and service areas shall be placed in areas not commonly accessed by pedestrians. These areas should use vehicles for primary circulation.
- Trash enclosures must be architecturally similar to adjacent buildings and hidden from public sight.
- All mechanical equipment, electrical meters and service components, roof drainage systems, and similar utility devices whether on the ground floor, wall-mounted, or roof-mounted, must be screened and designed to appear as part of the architectural design. Painting can be an effective and approved way to conceal transformers and utilities.

Materials

- Material changes should occur at inside corners of facades and changing wall planes or where architectural elements intersect.
- Building shall provide a minimum of three distinct materials.
- Building material selections shall provide visual and tectonic interest on the ground level as well as upper levels.
- Heavier materials should be used on the ground floor in most cases with accents on throughout the facade.
- Consideration of Mesa's desert climate shall be considered when selecting materials.
- Successful selections shall omit materials that weather easily in desert regions with extreme temperatures.
- Color palettes will be diverse.

F: Design Standards and Guidelines

Section 6: Large Scale Commercial Recreation and Commercial Entertainment Site Design

Good site planning can minimize a project's impacts on its neighbors, continue existing desirable urban forms and patterns, that enhance the quality of existing development. Large scale commercial recreation and entertainment developments should establish an overarching site design that contributes to the overall sense of place, promotes compatibility with adjacent uses and is pedestrian-friendly. Well organized buildings can promote walkability, encourage commerce, improve building performance and reinforce community identity.

Building Placement and Orientation

- Buildings shall be placed to promote walkability, place making, define the public realm and create a strong streetscape.

Parking and Circulation

- Buildings shall be the focal point of each site with parking treated as a supplemental amenity. Parking lots and structures shall be focused to the sides or backs of structures.
- Centralized parking structures are to be designed to screen the parking and architecturally articulate the parking structure. The use of art, lights, and large format graphics are encouraged.
- Parking aisles are encouraged to be perpendicular to main entrances for ease of access for pedestrians.
- Pedestrian and vehicular circulation shall be separate with few intersections. Barriers such as landscaping and architectural elements are encouraged for separation.
- Developments shall be connected to surrounding context by paved and convenient pedestrian walkways differentiated in material from parking surfaces
- Carpool spaces, electric vehicle charging stations, bike share, and ride-share pick-up/drop-off locations are encouraged.
- Shaded pedestrian pathways should be placed between pedestrian nodes such as building entrances, city sidewalks, and parking areas.
- Shaded areas and greenery shall be used to mitigate the "Heat Island" effect.

Lighting

- Exterior lighting shall be designed as an integral part of buildings and landscaping.
- Accent lighting should be used to highlight architectural and landscape features.
- Pedestrian areas must be well-lit, including walkways, open spaces, activity spaces, etc.
- Parking area lighting must be architecturally complimentary to development design style

Public Spaces and Pedestrian Amenities

- Commercial developments should employ public open spaces adequate to the needs of the community
- Patios, plazas, paseos, parks, amphitheaters, and play areas can be used to make public spaces vibrant and full of life.
- Public spaces within developments shall be inviting, engaging, and pedestrian-friendly.
- Open areas shall include a variety of shading options including trees, trellises, canopies, and awnings for reduction of direct sunlight and excessive heat.

Landscaping and Shading

- Landscaping should be employed at and around building entrances, parking lots, and edges.
- Plants shedding excessive thorns, stickers, sharp leaves, flowers, or fruit should not be located near pedestrian walkways or nodes.
- Landscaping shall be considered to hide undesirable elements from public view such as mechanical equipment and service areas.
- Sun and rain protection such as overhangs, awnings, and canopies should be used with consideration of local climate.
- Misting systems and fountains are encouraged in pedestrian-heavy locations and walkways.

F: Design Standards and Guidelines

Section 7: Large Scale Commercial Recreation and Commercial Entertainment Architectural Design

General Design

- Building design must be inviting, pleasant, promote safety to pedestrians, and activate frontages.
- Facades must provide architecturally interesting details consistent with the context and use of the building.
- The apparent style of the surrounding community must be considered above a standardized corporate architectural template. This will place a higher emphasis on the context of the building which will aid in the overall development.

Building Entrances

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- Multi-tenant buildings must provide unique entrances to each tenant with a storefront. Structures must also allow for flexible design to accommodate alternative uses.
- Decorative paving, lighting, and landscaping should be used around pedestrian drop-off and pick-up areas.

Service areas and Utilities

- Visual impact of loading, storage, and service facilities and areas shall be mitigated by architectural elements, decorative screening, or landscaping. Screening materials should be reflective of the building itself.
- Loading and service areas shall be placed in areas not commonly accessed by pedestrians. These areas should use vehicles for primary circulation.
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- Color palettes will be diverse.

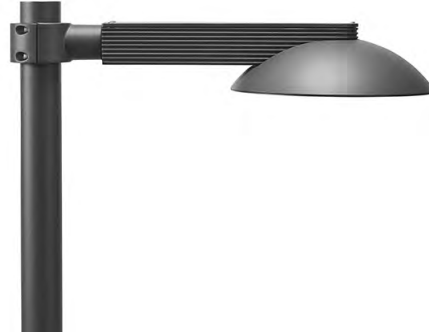
F: Design Standards and Guidelines

Section 8: Site Lighting Design

Recommended or Similar Products



Landscape Forms Rama



Landscape Forms Leo



Landscape Forms Torres



Forms + Surfaces Light Column
Pedestrian Lighting



Zurich IP66 LED Area Post Top
Luminaire



Landscape Forms Tumbler Lighting



Landscape Forms FGP Area Light



EXO SGB Sling
Round Bollard



Forms + Surfaces Light Column
Bollard



Forms + Surfaces Tangent
Bollard



Landscape Forms Profile
Bollard

F: Design Standards and Guidelines

Section 9: Site Furnishings

Recommended or Similar Products



Maglin 900 Series Backed Backless Bench



Maglin 500 Series Backed Backless Bench



Landscape Forms Generation 50 Bench



Forms + Surface Bike Garden Bike Rack



Landscape Forms Loop Bike Rack



Forms + Surface Bike Garden Bike Rack



Landscape Forms Ride Bike Rack



Landscape Forms Tonyo Litter



Landscape Forms FGP Litter



Maglin 650 Trash Containers



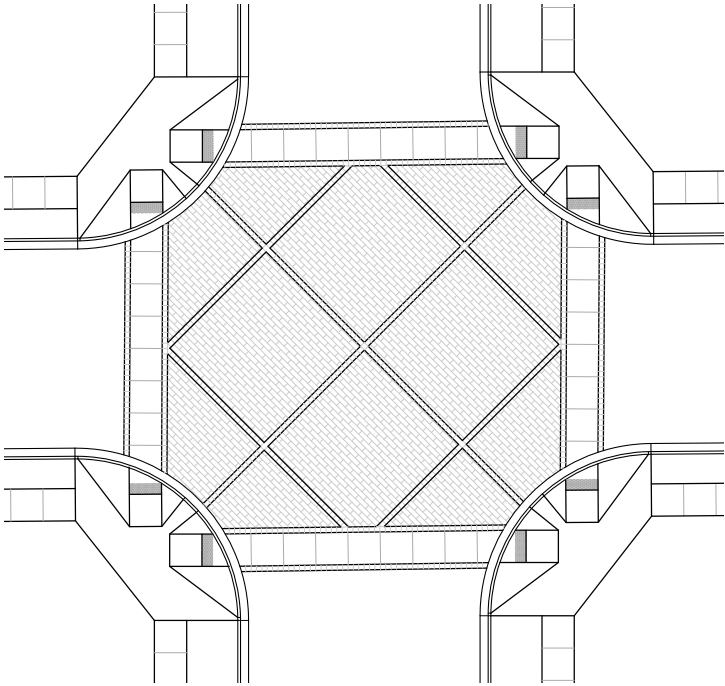
Landscape Forms Chase Park Litter

F: Design Standards and Guidelines

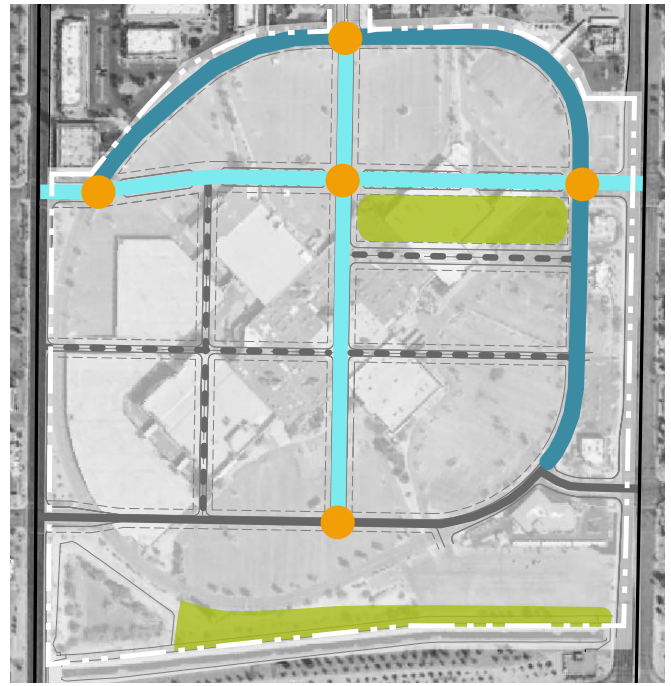
Section 10: Intersection Design

Recommended or Similar Products

Intersection Detail

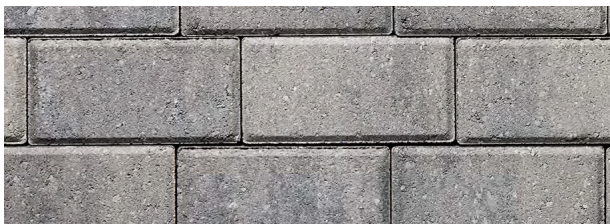


Intersection Key Plan



● Location of Intersection Detail

Intersection Detail location limited to instances of Primary Roads intersecting with Secondary and Loop Roads. The maximum number of Intersection Detail locations within the Fiesta Redefined IIP is 5.



Belgard Vehicular Pavers Holland Stone



Earth Stone Rock Aqualine Pavers



Belgard Moduline Concrete Pavers. Staggered running bond fields. Charcoal colored bands.



Patterned Pavers Sample



Colored Concrete Crosswalks



Review + Development Procedures

G: Review + Development Procedures

The IIP provides extensive Development Standards and Design Guidelines that will ensure high-quality, mixed-use development. The purpose of establishing the Infill Plan is to create certainty while providing flexibility needed in redeveloping a Site of this scale. This Infill Plan proposes to modify the framework of the City of Mesa Zoning Ordinance. All proposed development for the Site shall comply with this Infill Plan, including all Development Standards and Design Guidelines, and shall follow the process set forth in this Section G.

Section 1: Applicability of IP Development Standards & Design Guidelines

The Development Standards and Design Standards and Guidelines in the IIP shall apply to all development on the Site occurring after the adoption of the IIP, except as set forth in this Section G(1). The Development Standards and Design Standards and Guidelines in the IIP shall not apply to modifications to any building existing on the Site prior to the adoption of the IIP (i.e., existing building), unless the modification to an existing building modifies or expands the existing building's floor area by 50% or more. Modifications to an existing building that modify or expand the existing building's floor area by less than 50% shall comply with all standards for the LC zoning district in the City of Mesa Zoning Ordinance.

Section 2: Site Plan, Design Review and Modifications

A. Site Plan and Design Review Approval Required

All development within the Site boundaries shall require an approved site plan and design review.

B. Pre-Submittal Conference

A Pre-Submittal Conference with the Planning, Engineering, and other Department staff as needed is required prior to submittal of Site Plan Review, Design Review and Modifications.

C. Site Plan and Design Review

All Site Plan Review, Design Review and Modifications shall be reviewed and approved by the Planning Director through the administrative process. The staff review cycle shall match the customary time frame of the City of Mesa.

D. Review and Conditions

Site Plan Review, Design Review and Modifications shall be reviewed for consistency with the requirements of the IIP. Conditions may be imposed on the site plans, design review and modifications approval by the Planning Director to ensure that the site is designed in a way to facilitate compatibility with adjacent property, and to ensure that the development will be built in accordance with the approved IIP.

Required Information. All applications for Site Plan Review, Design Review and Modifications for development shall include:

- i. Identification of the proposed land use type and land use budget tracking table.
- ii. Drawings (drawn to scale), including a site plan, landscape plan, photometric, and building elevations in both color and black line;
- iii. Additional materials and plans as may be requested by the Planning Director to determine full compliance with the IIP.

E. Minor and Major Modifications to Site Plans and Design Reviews.

The Planning Director shall determine if a modification to an approved Site Plan or Design Review is minor or major. If the

Planning Director determines the modification to be major, the Notice and Public Participation requirements of Section 5(B) shall apply. If the Planning Director determines the modification to be minor, the Notice and Public Participation requirements of Section 5(B) shall not apply. If a modification is not determined to be minor according to the following, it will be determined to be major.

A modification will be determined to be minor if it meets the criteria in both of the following sections:

The modification meets at least one of the following:

- i. A change in landscape area or open space area that is less than 20% and not greater than 2.5 acres;
- ii. A change in the total building footprint (floor area, height, or dimensions) that is 20% or less; or
- iii. A minimal adjustment to: (a) the building footprint, location, or orientation; (b) the pad location; (c) the configuration of a parking lot, drive aisles, or roadway alignments; (d) project amenities such as, but not limited to, recreational facilities, pedestrian amenities, publicly accessible non-residential amenities, fencing or other screening material; (e) residential density; or (f) the approved phasing plan.

And the modification meets all of the following:

- i. Complies with all applicable requirements of the IIP;
- ii. Complies with all conditions of approval or stipulations on the property (regardless of whether the condition of approval was approved by ordinance, resolution, or otherwise);
- iii. Is generally consistent with the purpose and intent of the approved Site Plan or Design Review;
- iv. The proposed development does not require a Major Amendment to the IIP; and
- v. The change has not previously been determined to be a major modification.

G: Review + Development Procedures

Section 3: Expiration and Renewal of Site Plan and Design Review Approvals

A. Expiration

The approval of Site Plan Review, Design Review and Modifications located within the adopted Fiesta Redefined IIP shall expire 2 years following the date of the approval, unless a building permit has been issued and construction diligently pursued.

B. Extension

Site Plan Review, Design Review and Modifications approval may be extended once for a period of not more than an additional two years by the Planning Director. Application for an extension shall be made in writing not more than 30 days after the expiration of the original approval. The Planning Director may extend Site Plan Review, Design Review and Modifications approval if the Site Plan Review, Design Review and Modifications are consistent with the IIP, the General Plan, and all applicable specific plans.

C. New Application

If the approval of a Site Plan Review, Design Review and Modifications expires and an extension to the approval is not, or cannot be granted, a new application shall be required.

Section 4: Amendments to the Approved Infill Incentive Plan

A. Major Amendments

The Planning Director shall determine if the proposed amendment constitutes a major or minor amendment. If the Planning Director determines an amendment to be major, the amendment request shall be processed as rezoning to the Fiesta Redefined IIP, which shall require review and approval by the Planning and Zoning Board and City Council in accordance with the requirements of Chapter 67 of the City of Mesa's Zoning Ordinance. An amendment will be deemed major only if it involves a change or modification to any one of the following:

- i. Any change greater than 15% of the development standards in the IIP;
- ii. Any change within the Land Use Budget of more than 10% or delays in the Village Green Open Space as required in the Land Use Budget; or
- iii. Any proposed addition to the permitted land uses in the IIP that the Zoning Administrator did not determine is equivalent to or within a permitted land use in the IIP as set forth in Section D.

B. Minor Amendments

Amendments not meeting the criteria listed in subsection A above shall be considered minor. The Planning Director may administratively act on the amendment(s) that are consistent with the Development Goals and Project Vision of the IIP and attach stipulations or conditions.

Section 5: Administrative Process, Actions and Appeals

A. The following requests shall be reviewed on an administrative basis, unless referred by the Planning Director per Section 5(H).

- i. Site Plan Reviews;
- i. Site Plan Modifications;
- ii. Design Reviews;
- iii. Design Review Modifications;
- iv. Changes to the street network; and
- v. Minor Amendments to the IIP.

B. Notice and Public Participation

Mailed Notice

For all initial Site Plan Reviews, initial Design Reviews, Major Site Plan Modifications, and Major Design Review Modifications, notice shall be provided by first class mail to all owners of property within the Site. Notices shall be sent no later than the date of submitting the formal application. The public shall have 10 calendar days from the postmark on the notice to submit comments to the City Planning Division on the proposed project. All notices shall comply with the City Planning Division's standard procedures for mailed notices, with the exception that the applicant may mail the notice if an affidavit of mailing is provided to City Planning Division staff. Mailed notices shall include all the following:

- i. A general description of the proposed project and the location of the subject property;
- ii. The names of the applicant and the owner of the subject property;
- iii. A copy of the proposed plans for the proposed project;
- iv. The date, time, and location of the community meeting (if required); and
- v. A statement describing how to submit comments to City Planning Division staff regarding the proposed project and the deadline to submit comments.

Notice Posted on Property

For all initial Site Plan Reviews, initial Design Reviews, Major Site Plan Modifications, and Major Design Review Modifications, the applicant shall post notice of the proposed project on the subject property in compliance with the City Planning Division's standard procedures for posting property. If a community meeting is required, the posted notice shall be placed on the subject property a minimum of 10 calendar days prior to the date of the community meeting, or five calendar days after the formal application has been submitted, whichever occurs first. If a community meeting is not required, the posted notice shall be placed on the subject property no later than five calendar days after the formal application has been submitted. Posted notices shall remain on the subject property until 15 calendar days after a final decision is made, including on all appeals.

G: Review + Development Procedures

Community Meeting

The Planning Director, in their sole discretion, shall determine if a community meeting is required for initial Site Plan Reviews, initial Design Reviews, Major Site Plan Modifications, and Major Design Review Modifications. This determination shall be made no later than the date of the Pre-Submittal Conference. If a community meeting is required, the following requirements apply.

The applicant shall hold a community meeting designed to inform interested members of the public about the proposed project and to solicit, consider, and respond to feedback regarding the proposed project. The community meeting shall be held no sooner than 10 calendar days after, but no more than 30 calendar days after, postmarking the mailed notices. Depending on when the mailed notices are postmarked, the community meeting may be held prior to submitting the formal application. The community meeting may be held in a publicly accessible building close to the subject property or may be held virtually.

The applicant shall submit a Citizen Participation Report to the Planning Director. If the community meeting is held prior to submitting the formal application, the Citizen Participation Report may be submitted concurrently with the formal application. If the community meeting is held after submitting the formal application, the Citizen Participation Report shall be submitted no later than 15 calendar days after holding the community meeting. The Citizen Participation Report shall include all the following:

- vi. The date, time, and location of the community meeting;
- vii. The number of attendees at the community meeting and a copy of the sign-in sheet (if applicable); and
- viii. A summary of attendee concerns and comments expressed at the community meeting and how those concerns and comments were, or will be, addressed by the applicant.

C. Administrative Decision Process

The Planning Director shall review the application and, following applicant meeting all requirements of Section 5(B) above, make a determination, which may include conditions of approval. Notice of the decision shall be sent to the applicant. Included with the decision notice, there shall be a statement of the ability to file an appeal of the decision, a description of the appeal process, and a deadline by which to file an appeal. The appeal deadline shall be set 15-calendar days from the date the decision notice is sent. In the event the 15-day appeal deadline falls on a weekend of recognized public holiday, the deadline shall be set as the next working day following the weekend or public holiday. The Planning Director's decision shall be final unless appealed.

D. Planning and Zoning Board Appeals

Any final action or decision by the Planning Director on Site Plan Reviews, Site Plan Modifications, changes to the street network, or Minor Amendments to the IIP may be appealed by the applicant; or

by an owner of property within the Site. The appeal shall include all information required in Sections 11-77-4(B)(1)(a) through (h) of the City of Mesa Zoning Ordinance. The appeal shall be filed within 15 calendar days from the date of the Planning Director's decision and shall be heard by the Planning and Zoning Board. The Planning and Zoning Board's decision shall be final unless appealed.

E. Design Review Board Appeals

Any final action or decision by the Planning Director on Design Reviews or Design Review Modifications may be appealed by the applicant, or by an owner of property within the Site. The appeal shall be filed within 15 calendar days from the date of the Planning Director's decision and shall be heard by the Design Review Board. The Design Review Board's decision shall be final unless appealed.

F. City Council Appeals

Any final action or decision by the Planning and Zoning Board or the Design Review Board may be appealed by the applicant, or by an owner of property located within the Site. The appeal shall include all information required in Sections 11-77-4(B)(1)(a) through (h) of the City of Mesa Zoning Ordinance. The appeal shall be filed within 15 calendar days from the date of the Planning and Zoning Board's decision and shall be heard by the City Council. The City Council's decision shall be final.

G. Evaluation of Administrative Action Appeals

Appeals of Administrative Action decisions shall be evaluated based on consistency with the IIP.

H. Referrals

The Planning Director may refer any application to the Planning and Zoning Board that meets one or more of the following criteria:

- i. The proposed project has received significant opposition or negative feedback, as determined by the Planning Director in their sole discretion, from owners of property within the Site, whether at the community meeting or through other correspondence to the applicant or City staff;
- ii. The proposed project is on real property that is larger than 15 acres; or
- iii. The proposed project is for Multiple Residence with greater than 700 units and is not part of a horizontal or vertical mixed-use development.

Referrals to the Planning and Zoning Board shall be scheduled for a public hearing within 30 calendar days from the date of submitting the formal application, unless the Planning Director and applicant agree otherwise.

Appendix

Exhibit B: Conceptual Landscape Plan

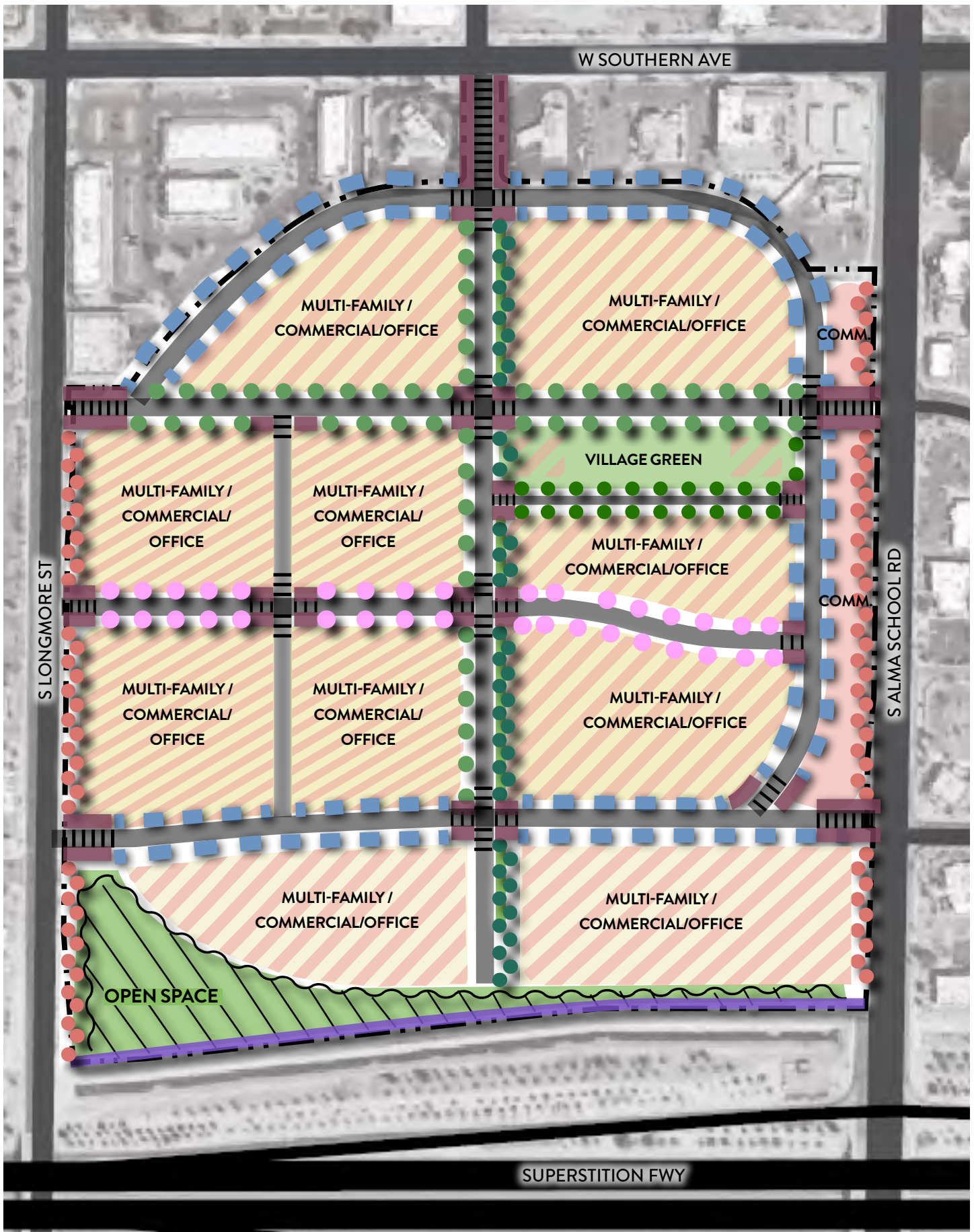


Exhibit B: Conceptual Landscape Plan (Key)

Landscape Zones



PERIMETER BUFFER

- Providing adjacent landscape buffer to existing Fiesta District streetscape.
- Plans to utilize the Fiesta District plant palette to blend with the district.
- Recommended Tree: *Ebenopsis ebano* (Texas Ebony Tree).



PRIMARY LOOP

- Providing internal vehicular and pedestrian circulation around the perimeter of the development.
- Street trees provide shade for pedestrians. Recommended
Tree: *Ulmus parvifolia* 'True Green' (True Green Elm Tree).
- Informal shrub massing will provide year-round color and interest.
- Site furnishings and rest nodes will be located at necessary intervals.



ENTRY DRIVE, MONUMENTALITY AND INTERSECTION ENHANCEMENT

- 6 points of entry into the project site.
- Contemporary monuments create a portal and provide project identification.
- Focal palms and shade trees frame the entry throats.
- Distinctive intersection treatments provide a threshold at each entry.
- Distinct road and landscape lighting creates nighttime identity.
- Entries to introduce a level of quality through high end materials and execution of construction.



PRIMARY SPINE AND VILLAGE GREEN

- Runs north to south, from Southern Avenue to the freeway boundary.
- Single row of street trees at west side.
Recommended Tree: *Quercus virginiana* (Southern Live Oak Tree).
- A double tree lined linear paseo on the east side provides a pedestrian route from north to south.
- A formal massing of shrubs and ground covers to create a bold palette of color.



LINEAR PARK DOUBLE TREE ROW

- Double Linear Row of Staggering Trees on Park Side.
Recommended Tree: *Quercus virginiana* (Southern Live Oak Tree) along street and *Pistacia x'Red Push'* (Red Push Pistache Tree) along developments/village green.



SECONDARY SPINE

- Flowering street trees to provide special lined access to project interior.
Recommended Tree: *Tabebuia impetiginosa* (Pink Trumpet Tree).
- Unique shrubs and accent plants provide a heightened visual experience.



FREEWAY BUFFER

- Dense planting of Trees and vegetation to mitigate freeway noise and pollution.



DECORATIVE PAVEMENT

- Concrete pavers create a threshold when entering the project.
- A variety of patterning will create visual interest and heavy textures will announce entering any major intersections or pedestrian crossings.



RETENTION BASIN OPEN SPACE

- Open space
- Large riparian shade trees offering relief from the heat.
- Hardy shrub material specified to survive the retention requirements of occasional flooding.



VILLAGE GREEN

- Traditional Park with open flexible lawn and event areas.
- Large shade trees ring the park and provide heat-relief within the active areas.
- The park will include shade ramadas, picnic areas, event lawns, play areas, and pedestrian pathways.

Exhibit C: Plant Inventory

	Entry Dive Monuments & Intersections	Primary Spine, Linear Park, Village Green	Primary Loop	Secondary Spine	Freeway Buffer	Perimeter Buffer	Retention Basin Open Space	Multi Family Office Retail
TREES								
ACACIA SPECIES Acacia			x					x
BAUHINIA VARIEGATA Purple Orchid Tree	x	x						x
BISMARCKIA NOBILIS Bismarck Plam	x	x						x
BRAHEA ARMATA Mexican Blue Palm	x							
CAESALPINIA SPECIES Mexican Bird		x	x	x	x	x		x
CHAMAEROPS HUMILIS Mediterranean Fan Palm								x
CHILOPSIS LINEARIS Desert Willow					x	x	x	x
CITRUS SPECIES Cirtus								x
DALBERGIA SISSOO Rosewood							x	
EBENOPSIS EBANO Texas Ebony						x	x	
FRAXINUS SPECIES Ash	x	x	x					x
LAGERSTROEMIA INDICA Crape Myrtle	x	x						x
LYSILOMA WATSONII Littleleaf False Tamarind					x	x	x	
NERIUM SPECIES Oleander					x	x		
OLEA EUROPAEA 'SWAN HILL' Swan Hill Olive	x	x	x	x	x	x	x	x
OLNEYA TESOTA Desert Ironwood					x	x	x	x
PARKINSONIA SPECIES Palo Verde					x	x	x	
PHOENIX CANARIENSIS Canary Island Date Palm	x	x	x					x
PHOENIX DACTYLIFERA 'MEDJOOL' Medjool Date Palm	x	x	x					x
PISTACIA SPECIES Pistacia	x	x	x	x				x
PLATANUS SPECIES Sycamore							x	x
PROSOPIS SPECIES Mesquite	x	x	x	x	x	x	x	x
PUNICA GRANATUM Pomegranate								x
PYRUS KAWAKAMII Evergreen Pear Multi-Trunk	x	x						x
QUERCUS VIRGINIANA Southern Live Oak	x	x	x	x	x	x	x	x
SCHINUS TEREBINTHIFOLIA Brazilian Pepper Tree						x	x	x
SOPHORA SECUNDIFLORA Texas Mountain Laurel	x						x	x
TABEBUIA IMPETIGINOSA Pink Trumpet Tree	x	x	x	x				x

Exhibit C: Plant Inventory

	Entry Dive Monuments & Intersections	Primary Spine, Linear Park, Village Green	Primary Loop	Secondary Spine	Freeway Buffer	Perimeter Buffer	Retention Basin Open Space	Multi Family Office Retail
SHRUBS								
ULMUS SPECIES	x	x	x	x				x
VITEX AGNUS-CASTUS Chaste Tree					x	x	x	
WASHINGTONIA FILIFERA California Fan Palm	x	x	x					x
BOUTELOUA GRACILIS 'BLONDE AMBITION' Blonde Ambition Blue Grama	x	x	x	x	x	x	x	x
BUDDLEJA DAVIDII Butterfly Bush	x	x	x	x	x	x	x	x
BUDDLEJA MARRUBIIFOLIA Wooly Butterfly Bush	x	x	x	x	x	x	x	x
CAESALPINIA GILLIESII Yellow Bird of Paradise	x	x	x	x	x	x	x	x
CAESALPINIA MEXICANA Mexican Bird of Paradise	x	x	x	x	x	x	x	x
CALLIANDRA CALIFORNICA Red Baja Fairy Duster	x	x	x	x	x	x	x	x
CALLIANDRA ERIOPHYLLA Fairy Duster	x	x	x	x	x	x	x	x
CARISSA GRANDIFLORA Natal Plum	x	x						x
CONVOLVULUS CNEORUM Bush Morning Glory	x	x	x	x	x	x	x	x
CORDIA BOISSIERI Anacahuita	x	x	x	x	x	x	x	x
CORDIA PARVIFOLIA Small-Leaf Geigertree	x	x	x	x	x	x	x	x
DALEA SPECIES Dalea	x	x	x	x	x	x	x	x
DIANELLA CAERULEA 'DBB03' Cassa Blue\U+2122 Flax Lily	x	x	x					x
DIETES BICOLOR Fortnight Lily	x	x	x					x
DODONAEA SPECIES Hopseed Bush	x	x	x	x	x	x	x	x
ENCELIA FARINOSA Brittlebush						x	x	
EREMOPHILA SPECIES Emu	x	x	x	x	x	x	x	x
ERICAMERIA LARICIFOLIA Turpentine Bush	x	x	x	x	x	x	x	x
EUPHORBIA BIGLANDULOSA Gopher Plant	x	x	x	x	x	x	x	x
GLANDULARIA RIGIDA Sandpaper Verbena	x	x	x	x	x	x	x	x
HAMELIA PATENS Firebush	x	x	x	x	x	x	x	x
HIBISCUS ROSA-SINENSIS Chinese Hibiscus								x
HIBISCUS ROSA-SINENSIS 'YELLOW TORCH' Yellow Torch Chinese Hibiscus								x
JASMINUM SAMBAC Arabian Jasmine								x
JUSTICIA SPECIES Honeysuckle	x	x	x	x	x	x	x	x

Exhibit C: Plant Inventory

	Entry Dive Monuments & Intersections	Primary Spine, Linear Park, Village Green	Primary Loop	Secondary Spine	Freeway Buffer	Perimeter Buffer	Retention Basin Open Space	Multi Family Office Retail
SHRUBS								
LANTANA SPECIES Lantana	x	x	x	x	x	x	x	x
LARREA TRIDENTATA Creosote Bush	x	x	x	x	x	x	x	x
LEUCOPHYLLUM SPECIES Texas Ranger	x	x	x	x	x	x	x	x
MUHLENGERGIA SPECIES Deer Grass	x	x	x	x	x	x	x	x
NERIUM SPECIES Oleander	x	x	x	x	x	x	x	x
OLEA EUROPAEA 'MONTRA' Little Ollie\U+00AE Olive	x	x	x	x	x	x	x	x
PENSTEMON SPECIES Penstemon	x	x	x	x	x	x	x	x
PEROVSKIA ATRIPLICIFOLIA Russian Sage	x	x	x	x	x	x	x	x
PLUMBAGO SPECIES Plumbago	x	x	x	x	x	x	x	x
PORTULACARIA AFRA Elephant Bush	x	x						x
ROSA SPECIES Rose								x
ROSMARINUS SPECIES Rosemary	x	x	x	x	x	x	x	x
RUPELLIA SPECIES Ruellia	x	x	x	x	x	x	x	x
SALVIA SPECIES Salvia	x	x	x	x	x	x	x	x
SENNA SPECIES Senna	x	x	x	x	x	x	x	x
SIMMONDSIA CHINENSIS Jojoba	x	x	x	x	x	x	x	x
SPHAERALCEA AMBIGUA Desert Globemallow	x	x	x	x	x	x	x	x
TECOMA SPECIES Tecoma	x	x	x	x	x	x	x	x
VIGUIERA DELTOIDEA Goldeneye	x	x	x	x	x	x	x	x
ZEPHYRANTHES CANDIDA Zephyrlily White Rain Lily								x
GROUNDCOVER								
ACACIA REDOLENS 'LOW BOY' Low Boy Bank Catclaw	x	x	x	x	x	x	x	x
BAILEYA MULTIRADIATA Desert Marigold	x	x	x	x	x	x	x	x
BULBINE FRUTESCENS SPECIES Bulbine	x	x	x	x	x	x	x	x
CALYLOPHUS HARTWEGII FENDLERI Hartweg's Sundrops	x	x	x	x	x	x	x	x
CARISSA MACROCARPA 'BOXWOOD BEAUTY' Boxwood Beauty Natal Plum	x	x	x	x	x	x	x	x
CARPOBROTUS EDULIS Iceplant	x	x	x	x	x	x	x	x
CONOCLINIUM DISSECTUM BOOTHILL (EUPATORIUM GREGGII) Boothill Butterflyplant	x	x	x	x	x	x	x	x

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	Entry Dive Monuments & Intersections	Primary Spine, Linear Park, Village Green	Primary Loop	Secondary Spine	Freeway Buffer	Perimeter Buffer	Retention Basin Open Space	Multi Family Office Retail
GROUNDCOVER								
<i>CHRYSACTINIA MEXICANA</i> Damianta	x	x	x	x	x	x	x	x
<i>DALEA GREGGII</i> Trailing Ingigo Bush	x	x	x	x	x	x	x	x
<i>EREMOPHILA SPECIES</i> Emu	x	x	x	x	x	x	x	x
<i>GAURA SPECIES</i> Gaura	x	x	x	x	x	x	x	x
<i>GLANDULARIA SPECIES</i> Verbena	x	x	x	x	x	x	x	x
<i>HYMENOXYS ACAULIS</i> Angelita Daisy	x	x	x	x	x	x	x	x
<i>LANTANA SPECIES</i> Lantana	x	x	x	x	x	x	x	x
<i>MELAMPIDIUM LEUCANTHUM</i> Blackfoot Daisy	x	x	x	x	x	x	x	x
<i>MYOPORUM SPECIES</i> Myoporum	x	x	x	x	x	x	x	x
<i>OENOTHERA SPECIES</i> Primrose	x	x	x	x	x	x	x	x
<i>ROSMARINUS OFFICINALIS 'PROSTRATUS'</i> Dwarf Rosemary	x	x	x	x	x	x	x	x
<i>RUPELLIA BRITTONIANA 'KATIE'</i> Katie Mexican Petunia	x	x	x	x	x	x	x	x
<i>RUPELLIA HUMILIS</i> Wild Petunia	x	x	x	x	x	x	x	x
<i>TRACHELOSPERMUM ASIATICUM</i> Asiatic Jasmine								x
<i>VERBENA RIGIDA</i> Sandpaper Verbena	x	x	x	x	x	x	x	x
<i>WEDELIA TRILOBATA</i> Yellow Dot	x	x	x	x	x	x	x	x
CACTUS								
<i>AGAVE SPECIES</i> Agave	x	x	x	x	x	x	x	x
<i>ALOE SPECIES</i> Aloe	x	x	x	x	x	x	x	x
<i>ASCLEPIAS SUBULATA</i> Rush Milkweed	x	x	x	x	x	x	x	x
<i>DASYLIRION SPECIES</i> Desert	x	x	x	x	x	x	x	x
<i>HESPERALOE SPECIES</i> Hesperaloe	x	x	x	x	x	x	x	x
<i>LOPHOCEREUS SCHOTTII MONSTROSUS</i> Totem Pole Cactus								x
<i>MALEPHORA CROCEA</i> Red Spike Ice Plant	x	x	x	x	x	x	x	x
<i>MALEPHORA LUTEA</i> Rocky Point Ice Plant	x	x	x	x	x	x	x	x
<i>OPUNTIA SPECIES</i> Prickly Pear	x	x	x	x	x	x	x	x
<i>PACHYCEREUS PRINGLEI</i> Cardon								x
<i>PACHYCEREUS SCHOTTII 'MONSTROSUS'</i> Totem Pole Cactus								x

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	Entry Dive Monuments & Intersections	Primary Spine, Linear Park, Village Green	Primary Loop	Secondary Spine	Freeway Buffer	Perimeter Buffer	Retention Basin Open Space	Multi Family Office Retail
CACTUS								
<i>PEDILANTHUS BRACTEATUS</i> Tall Slipper Plant	x	x	x	x	x	x	x	x
<i>PEDILANTHUS MACROCARPUS</i> Lady's Slipper	x	x	x	x	x	x	x	x
<i>Stenocereus thurberi</i> Organpipe Cactus	x	x	x	x	x	x	x	x
<i>Yucca baccata</i> Banana Yucca	x	x	x	x	x	x	x	x
<i>Yucca brevifolia</i> Joshua Tree								x
VINES								
<i>BIGNONIA CAPREOLATA 'TANGERINE BEAUTY'</i> Tangerine Beauty Cross Vine								x
<i>BOUGAINVILLEA SPECIES</i> Bougainvillea	x	x	x	x	x	x	x	x
<i>CAMPIS RADICANS</i> Trumpet Creeper								x
<i>FICUS PUMILA</i> Creeping Fig								x
<i>GELSEMIUM SEMPERVIRENS</i> Carolina Jessamine								x
<i>HARDENBERGIA VIOLACEA</i> Lilac Vine								x
<i>LONICERA JAPONICA 'HALLIANA'</i> Halls Honeysuckle Flowering Vine								x
<i>PARTHENOCISSUS X 'HACIENDA CREEPER'</i> Hacienda Creeper								x
<i>PODRANEA RICASOLIANA</i> Pink Trumpet Vine								x
<i>PYRACANTHA COCCINEA</i> Scarlet Firethorn								x
<i>ROSA BANKSIAE</i> Lady Banks Rose								x
<i>VIGNA CARACALLA</i> Snail Vine								x

FIESTA

REDEFINED: Infill Incentive Plan

Mesa, Arizona



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