



**METSO USA INC.  
BUILDING EXPANSION  
PLANNED AREA DEVELOPMENT**

**8223 East Pecos Road  
Case No. ZON24-00137  
Associated Design Review Case No. DRB24-00175**

**Submitted: May 6, 2024  
Resubmittal: June 5, 2024**

**METSO USA INC.**  
**BUILDING EXPANSION**  
**PLANNED AREA DEVELOPMENT**

**Development Team**

**Landowner / Developer:** Metso USA Inc.  
8223 East Pecos Road  
Mesa, AZ 85212  
Contact: Michael Granato  
t. (717) 309-9121  
e. [michael.granato@mogroup.com](mailto:michael.granato@mogroup.com)

**Architect / Civil Engineer:** Ware Malcomb  
2777 East Camelback Road, Suite 325  
Phoenix, AZ 85016

Contacts:

Albert Madrid, Project Manager (Architect)  
t. (602) 641-7088  
e. [amadrid@waremalcomb.com](mailto:amadrid@waremalcomb.com)

Tirso Gonzalez, Project Manager (Engineer)  
t. (480) 767-1001 ex 1980  
e. [gonzalez@waremalcomb.com](mailto:gonzalez@waremalcomb.com)

**Applicant / Legal Representative:** Gammage & Burnham, PLC  
40 North Central Avenue, 20th Floor  
Phoenix, AZ 85004

Contacts:

Linday C. Schube, Esq.  
t. 602-256-4471  
e. [lschube@gblaw.com](mailto:lschube@gblaw.com)

Dennis M. Newcombe  
Senior Land Use Planner  
t. (602) 256-4446  
e. [dnewcombe@gblaw.com](mailto:dnewcombe@gblaw.com)

**METSO USA INC.**  
**PLANNED AREA DEVELOPMENT**

**Table of Contents**

I.	Project Overview	1
II.	Relationship to Adjacent Properties	6
III.	Planned Area Development (PAD)	7
IV.	Quality Development Design Guidelines Compliance	12
V.	Alternative Compliance	16
VI.	Phasing	17
VII.	Summary	17

## I. PROJECT OVERVIEW

Metso USA Inc, ("Metso") is proposing to expand their existing ±10-acre site/facility at 8223 East Pecos Road, Maricopa County Assessor Parcel Number: 304-61-014B (the "Property"). The Property is located within proximity to the Phoenix-Mesa Gateway Airport (i.e. north of the Property) and Pecos Advanced Manufacturing Zone. The site is surrounded by mostly industrial/warehouse as well as some office/storage type facilities. The property was originally zoned to Light Industrial ("LI") along with an approved companion design review case in 2013 for the existing Metso's facility.

The proposed expansion, and due to the changes in the City's Zoning Code City since the original 2013 approval, requires the addition of a Planned Area Development ("PAD") overlay to accommodate the light industrial development. The PAD will amend typical and commonly requested industrial development standards (e.g., parking, setbacks, design, etc.) to accommodate this light industrial user. As a companion to this PAD application, we are also seeking concurrent Preliminary Site Plan and Design Review approvals for Metso's proposed expansion/overall site on the Property.

Metso has been operating successfully for many years in Mesa and they are looking forward to expanding their facilities to accommodate their needs and demand.

### ❖ Metso USA Inc.

More specifically, Metso established the Mesa service center in 2015. A total of 127 employees are based out of this location, with an additional seven (7) open job postings. The current headcount is a significant increase since July of 2022 when there were 63 employees. This location is one of many Metso service centers throughout the world. The Mesa location was strategically picked due to its centralized proximity to Arizona's Mines and the southwest regions mineral processing facilities.

Due to an increase demand for mineral products and to meet the need from their mining customers Metso needs to expand the existing Mesa service center. This expansion will allow for the installation of two (2) large Computer Numerical Control ("CNC") machining centers as well as additional assembly bays, inspection bays, quality areas, and welding systems. Two (2) new indoor overhead cranes will be installed and the existing 65 ton indoor overhead cranes will be upgraded with features that will improve safety and efficiency. Besides safety improvements to the cranes, existing high bay lights will be replaced by LED lights to increase light levels, \$400,000 has been set for guarding and general safety improvements, and the additional space will decrease congestion.

Another core value at Metso is sustainability, along with converting the existing 96 high-bay lights to LED which will eliminate the equivalent Carbon dioxide ("CO<sub>2</sub>") emissions estimated at 55 metric tons of CO<sub>2</sub>, a solar system will be installed which will also eliminate the equivalent approximately 375 metric tons of CO<sub>2</sub> emissions per year. The service center which predominantly repairs and rebuilds large castings and fabrications also plays a major impact on the circular economy. With the proposed expansion, sales are expected to nearly double in the next 5 years. With the increased sales additional jobs will be necessary and created.

The proposed expansion includes an advanced and fully-equipped training center to bridge the knowledge gap between people, equipment, and operational goals. The new Metso Academy Training Center will support multiple ways of learning, outfitted with state-of-the-art simulators and digital training assets, in addition to classroom and hands-on learning areas. These trainings are on the newest technologies of which many are part of Metso's Planet Positive offerings. This equipment plays a crucial role in the processing of minerals for the clean energy transition. This will be Metso's first ground up dedicated training center in the world. The training center will attract up to 20 individuals per training with a target of 90 trainings per year.

The Mesa Metso location is favorable for both Arizona customers but will also attract a significant number of customers from domestic and international locations. Almost all are expected to stay in local hotels and dine at local restaurants. After full ramp up the expected financial impact including travel, lodging, rental cars, and dining is estimated to be \$6,300,000 to \$8,100,000 per year.

Finally, the total project budget is more than \$16,000,000. This expansion will increase the impact the city of Mesa has on the Arizona mining industries safety, sustainability, and success.

❖ Metso USA Inc. – The Sustainability Story.

Metso USA Inc. purpose is to "Enable sustainable modern life" and sustainability is at the heart of our strategy. A large part of their sustainability focus is on climate change and limiting global warming to 1.5 degrees. Climate change is one of the biggest challenges to sustaining our way of life, and Metso USA Inc. can play a significant role in not only addressing it but also accelerating the change.

Metso USA Inc. can create the biggest positive change by enabling their customers to achieve their sustainability goals. They are partnering with their customers, suppliers and communities for the drive towards net zero and the decarbonization of customer industries by accelerating the energy transition.

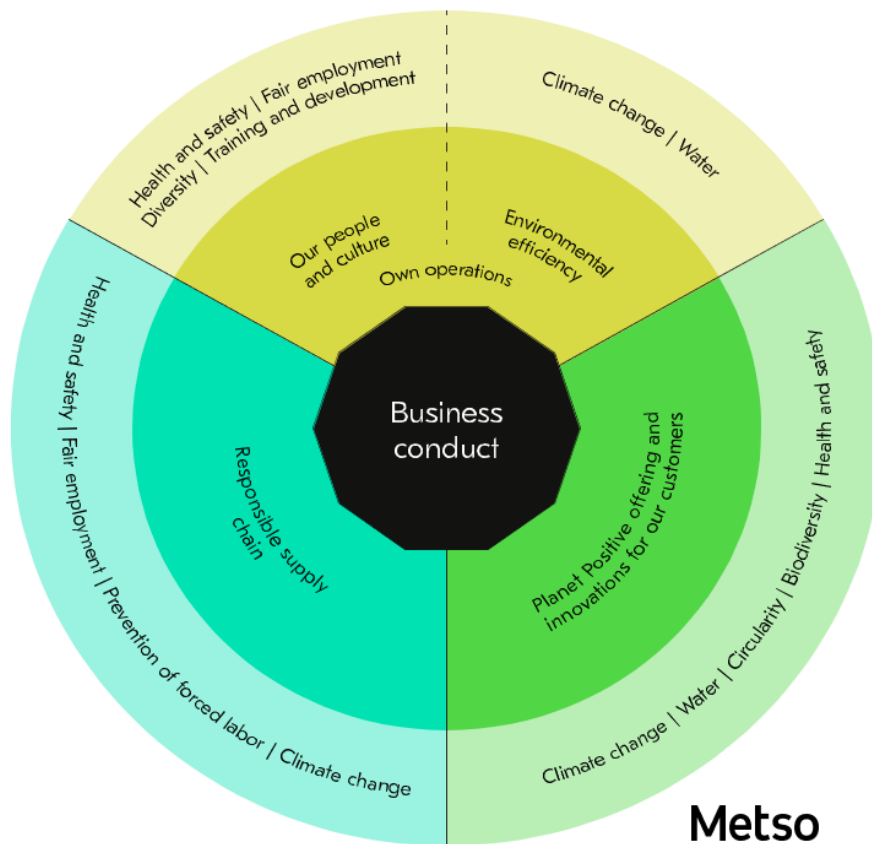
Limiting climate change to 1.5 degrees requires a major and rapid transformation. Metso USA Inc.'s goal is to work towards changing from carbon fuels towards renewables and other low-carbon technologies. To meet the challenge, significant technological innovation is needed – to make equipment more energy efficient and capable of operating effectively using full-time, stable, and interruptible renewable power supply, retrofitting, and incorporating new technologies into existing flowsheets and eliminating or drastically decreasing the carbon footprint and usage of virgin materials in consumables.

A move to net zero is likely to also require large amounts of carbon capture and storage, capturing methane emissions, and large-scale offsetting. It is therefore important for equipment and services suppliers like Metso USA Inc. to support the decarbonization of the mining industry by helping to ensure that a rapid increase in production of battery minerals is achieved, and equipment suppliers don't become a bottleneck in the transition.

Central to Metso USA Inc.'s sustainability efforts are their Planet Positive offering. Planet Positive products are demonstrably more energy or water-efficient compared to an industry benchmark or a previous generation product in the market, help their customers cut CO2 emissions, or achieve other sustainability priorities such as reducing pollution. Planet Positive Services can improve customers' processes to achieve similar benefits.

Metso USA Inc. defines the level of performance needed to qualify as Planet Positive to ensure that designated products and services can make a meaningful contribution to their customers' efforts toward reaching their own climate and other environmental targets. An important note is that the definition of which products are Planet Positive is based on objective metrics and has received limited assurance. It is however Metso USA Inc's label and not comparable to what other companies are selling as "green or low-carbon."

Metso USA Inc.'s proposal to expand its operations at their existing facility if Mesa, Arizona, adheres to the above sustainability principles mentioned. Moreover, the expansion will serve to continue to further these sustainability principles to the broader mining industry/market/public as well as being a company that embodies them as well.



## City of Mesa Plans/Zoning

The Property is designated as Mixed-Use Activity within the City's 2040 General Plan and is within the City's Pecos Advanced Manufacturing Zone ("PAMZ"), which envisions the area developing with high-skilled technical manufacturing and ancillary uses. The Property is also within the Gateway Area Business District and the Mesa Gateway Strategic Development Plan – the "Logistics and Commerce District." As previously approved in 2013, the proposed continuation/expansion by Metso is compatible within these city plans.



The Property is located within Airfield Overflight Area-3 ("AOA-3"), due to its proximity to the Phoenix-Mesa Gateway Airport. The Airfield Overflight Area is an overlay zone to provide compatibility and airspace protection for the airport. AOA-3 generally corresponds to the area covered by dense, low-altitude flights, and noise. The proposed Metso existing facility/expansion area fits within the AOA-3.

The City's LI zoning district accommodates the planned uses and development standards for the project, while the PAD overlay (as amended) seeks appropriate modifications for the Metso existing facility/expansion. The proposed modifications to the LI PAD zoning are consistent with the City's General Plan and the zoning of nearby properties now and in the future. Metso's proposed industrial use is well-suited for the immediate area and compatible with both planned and existing developments. The Property is ideally located just south of Phoenix-Mesa Gateway Airport – the second major airport serving the Greater Phoenix metro region – and within easy access to the nearby State Route 24 freeway extension and Loop 202 freeway, which are important regional transportation corridors.

As previously noted, the proposed Metso existing facility/expansion is consistent with the desired land uses for the area as identified in the City's planning and policy documents, which include manufacturing facilities, large warehouses, distribution facilities, and other similar uses. Simply put, uses in the area should be compatible with the increasing over-

flight activity of the adjacent airport as well as the need for continued growth of employment and businesses to this part of the city of Mesa.

The proposed Metso existing facility/expansion will be in conformance with the city of Mesa's many goals/objectives/policies for this area by providing for an appropriate, airport-adjacent use (i.e., the new Metso Academy Training Center and expansion of the increase demand for mineral products and to meet the need from their mining customers).

### **Site Layout**

The Metso existing facility will remain "as is" with the expansion area to be developed in a single phase. The overall development will include approximately 27,654 square feet of new space within along with approximately 9,000 square feet of potential space for "canopy shade mobile structures" in the rear portion of the outdoor area for keeping equipment, materials, etc. out of the sun. These future "canopy shade mobile structures" will be utilized during construction for materials, etc. and envisioned to continue beyond for Metso uses. However, the final number/size of these "canopy shade mobile structures" has not yet been determined but will be processed later. The existing two (2) direct access points along Pecos Road will remain.

These proposed expansion with the existing facility will require a new parking amount of 130 parking spaces. Additionally, new parking canopy structures will incorporate solar panels on top of them to provide a sustainable (energy) along with vehicular shade. These parking structures will mainly consist of painted vertical & horizontal steel supports to match the "Sand" color finish of the existing building along with B-decking roofing systems.

### **Building Design**

The PAD is seeking a 54-foot maximum height for the Property, which this height was previously approved in 2013. The height proposed is consistent with the approved LI PAD zoning. The design character of these proposed expansions is essential to the success of the project. The design approach will be to match the existing buildings façade as well as aligning with the City's quality development design guidelines. The expansions will share the same design language for a cohesive continued business park site. The goal is to provide street facing glazing and entries at the new office training facility with prominent design features that match the existing building due to the high visibility of the project along an arterial road. Site entrances off the major road will not be affected by any of these proposed project expansions. Service and parts addition will provide some egress man doors as well as an OH roll-up door. The pre-engineered metal building expansion will continue its same metal panel exterior & color finish along with adding some additional egress man doors.

### **Landscape and Amenity Concept**

The landscape design is devised to complement the use/existing building architecture/expansion, with landscaping improvements where necessary. The overall design will be an attractive, low-water landscaping solution. Landscape buffers are



provided along the street frontage and complemented with existing parking lot screen walls. The spacing and concentration of required planting quantities is strategic to enable desired views into the site while screening parking and other undesirable views. Where public viewing needs to be screened, a concentrated mix of deciduous and non-deciduous plant material will be provided as well as solid walls/opaque gates.

The Preliminary Landscape Plan illustrates a common amenity area will be located near the main building entry area and is logical/strategic for employees and guests to gather in comfort.

Plant material will be selected for color, texture, scale, and seasonal flowering and placed in a thematic pattern to reinforce the landscape theme. Final details of the project's landscape design will ultimately be discussed and resolved with the concurrent Design Review Board application request.

### **Infrastructure / Utilities & Drainage**

Water will be provided to the Property by the city of Mesa and is available from existing infrastructure within Pecos Road. Metso will upgrade, as needed, the necessary water facilities to adequately provide life-safety fire suppression for the development. Sewer connections exist to the site via the city of Mesa system and the expansion will be adequately served with existing sewer connection.

As previously stated, access to the Property will be provided by two (2) driveways from Pecos Road. Pecos Road, in front of and abutting has been improved per City standards. No additional work to the street frontage is necessary.

The grading and drainage for the Property will be designed to retain the 100-year, two-hour storm event in accordance with the City's drainage design guidelines. Storm drainage will be conveyed via internal drains or external downspouts designed for the building with overflows crossing the parking lots/paved areas into catch basins or curb openings that will outfall to a combination of surface and/or underground retention areas.

## **II. RELATIONSHIP TO ADJACENT PROPERTIES**

The Property is surrounded by vacant land and developing industrial projects. The area is zoned Light Industrial (LI), Employment Opportunity (EO) Floating Zone for the Pecos Advanced Manufacturing Zone, and General Industrial (GI) zoning districts. The area is heavily influenced by the Phoenix-Mesa Gateway Airport to the north (e.g., noise, overflight patterns, compatibility of uses, etc.). The properties to the east/west/south are planned or approved to accommodate industrial projects of similar size/scale. The Metso Project has been and will continue to be a natural fit/expansion with the adjacent industrial developments/ airport and will continue to spur additional business opportunities along this corridor.

It is worth noting, the Pecos Industrial Rail Access and Train Extension ("PIRATE") Project is anticipated to be about 1/2-mile north of the Property. PIRATE is a public/private opportunity to invest in high-skilled American manufacturing jobs while reducing greenhouse gas emissions and local air pollution by taking over 29,000 truckloads off U.S.

highways and local roadways each year. The Metso project (expansion) is, and will continue to be, a compatible use with this future rail extension and this extension will be a catalyst for the area’s further rapid development.

With that being said, the Metso project is consistent with, and compatible with, the existing and anticipated uses in the immediate area.

**III. PLANNED AREA DEVELOPMENT (PAD)**

The purpose of this application is to request modifications to accommodate Metso’s current development with a reasonable expansion for future growth/success. The Metso PAD is specifically tailored to provide a quality project, while also providing needed flexibility to accommodate their expansion.

**A. Permitted Uses:**

All uses allowed under the current city of Mesa Light Industrial (LI) zoning district are permitted within this proposed PAD.

**B. Development Standards & Table:**

The development standards of the Light Industrial (LI) district shall apply unless otherwise modified by this PAD and specifically this section. The table on the following page provides the common development standards for development in the LI district along with the proposed PAD standards. Deviations from the LI district are noted with double asterisk (\*\*). Further detail and justification for the deviations are provided in Section C below.

<b>Employment District – LI Development Standards (Table 11-7-3)</b>		
<b>** Denotes deviation requested via PAD</b>		
<b>Standards</b>	<b>LI Zoning Ordinance Standards</b>	<b>Proposed PAD Standards</b>
<b>Lot and Density Standards</b>		
Minimum Site Area (acre)	1.0	1.0
Minimum Lot Width (ft)	100	100
Minimum Lot Depth (ft)	100	100
<b>Building Form and Location</b>		
Maximum Height (ft)	40	<b>**54</b>

Minimum Setback along Property Lines or Building and Parking Areas		
Front and Street Facing Side	<p><b>Arterial Street:</b> 15 ft</p> <p><b>Major or Midsection Collector:</b> 20 ft</p> <p><b>Industrial/Commercial Collector:</b> 20 ft</p> <p><b>Local Street:</b> 20 ft</p> <p><b>Freeways:</b> 30 ft for buildings, 15 ft for parking structures</p>	<p><b>Pecos Road</b> is a 4-lane Arterial Street with a 15 ft requirement.</p>
Interior Side and Rear: Adjacent to AG, RS, RSL or RM Districts	1 ft. of setback for each foot of building height with minimum 20 ft. setback.	1 ft. of setback for each foot of building height with minimum 20 ft. setback.
Interior Side and Rear: Adjacent to Commercial and PEP Districts	1 ft. of setback for each foot of building height with minimum 20 ft. setback.	1 ft. of setback for each foot of building height with minimum 20 ft. setback.
Interior Side and Rear: Adjacent to LI, GI, or HI Districts	0 (none) for a building setback	0 (none) for a building setback
Minimum Separation between Buildings on Same Lot (ft.)	0 (none)	0 (none)
General Site Development Standards (Chapter 11-30)		
<b>Screening</b>	<p><b>Parking Areas:</b> <b>11-30-9(H):</b></p> <p>Parking areas and drive aisles shall be screened from street(s) with masonry wall, berm or combination of walls/berms.</p> <p><b>11-30-9(H).6:</b></p> <p>When using a screen wall there shall be a landscaped setback of at least 5 feet between the screen wall and the parking area.</p>	<p><b>Parking Areas:</b> <b>11-30-9(H):</b></p> <p>Parking areas and drive aisles shall be screened from street(s) with masonry wall, berm or combination of walls/berms.</p> <p><b>**11-30-9(H).6:</b></p> <p>When using a screen wall there shall be a landscaped setback of at least <b>2 feet</b> between the screen wall and the parking area.</p>

<p><b>Screening (Continued)</b></p>	<p><b>Trash and Refuse Collection Areas:</b></p> <p><b>Section 11-30-12:</b></p> <p>1. General Applicability Requirements. Solid waste and recycling container enclosures are required for new dwelling groups consisting of 4 or more dwelling units and for all commercial or industrial developments in which the aggregate gross floor area exceeds 10,000 square feet.</p>	<p><b>Trash and Refuse Collection Areas</b></p> <p><b>**Section 11-30-12:</b></p> <p>1. General Applicability Requirements. <b>Solid waste and recycling container enclosures are not required when located within truck loading, trailer parking courts, and/or behind screen walls.</b> Enclosures located outside of these areas will follow standards requirements or approved alternatives of Section 11-30-12.</p>
<p><b>Screening (Continued)</b></p>	<p><b>Truck Docks, Loading and Service Areas:</b></p> <p><b>Section 11-30-13(C):</b></p> <p>Docks, loading and service areas in any district except the GI and HI districts shall be screened from public view. Screening shall consist of a solid masonry wall at least 8 feet in height or opaque automated gates.</p>	<p><b>Truck Docks, Loading and Service Areas:</b></p> <p><b>**Section 11-30-13(C):</b></p> <p>Docks, loading, and service areas <b>visible from Pecos Road</b>, behind a solid masonry wall.</p> <p><b>The screening used or combination of screening used to be at least 6 feet in height.</b></p> <p><b>A combination thereof of landscaping, solid masonry wall, and/or screening option may be used.</b></p> <p><b>Existing 6-foot high walls/roll gates to remain.</b></p>
<p><b>On-Site Parking, Loading and Circulation (Chapter 11-32)</b></p>		
<p><b>Vehicle Parking Spaces Required</b></p>	<p><b>Table 11-32-3.A: Group Industrial Building &amp; Uses:</b></p> <p>75% at 1 space per 500 sqft plus 25% at 1 space per 375 sqft (779 spaces required)</p>	<p><b>**Table 11-32-3.A: Group Industrial Building &amp; Uses:</b></p> <p>130 employee &amp; visitor parking spaces</p> <p><b>No parking required for the "canopy toppers over outdoor storage containers" in the rear ½ of the property (the storage area) as these will not be conditioned structures and are considered storage.</b></p>

Landscaping (Chapter 11-33)		
<p><b>Interior Parking Lot Landscaping</b></p>	<p><b>11-33-4 (A) Applicability.</b></p> <p>The interior parking lot landscaping standards of this Section apply to all off-street parking lots containing 10 or more parking spaces. They do not apply to vehicle/ equipment storage lots or vehicle and equipment sales lots. In addition, refer to Chapter 32 for additional parking lot standards.</p>	<p><b>**11-33-4 (A) Applicability:</b></p> <p>The interior parking lot landscaping standards of this Section apply to all off-street parking lots containing 10 or more parking spaces. <b>They do not apply to vehicle/equipment storage areas, or truck parking, or docking areas.</b> In addition, refer to Chapter 32 for additional parking lot standards.</p>
<p><b>Foundation Base along Exterior Walls</b></p>	<p><b>11-33-5 (A).1 Exterior Walls with Public Entrances.</b> A 15-foot-wide foundation base shall be provided, measured from face of building to face of curb along the entire length of the exterior wall. For buildings with corner entries, both adjacent walls require a 15-foot-wide foundation base.</p>	<p><b>**11-33-5 (A).1 Exterior Walls with Public Entrances.</b> <b>A minimum 9'-6" wide</b> foundation base shall be provided, measured from face of building to face of curb along the entire length of the exterior wall. For buildings with corner entries, both adjacent walls require a 15-foot-wide foundation base.</p>
<p><b>Landscaping</b></p>	<p><b>11-33-3 (B). 2: - REQUIRED LANDSCAPE YARDS.</b></p> <p>Non-Group C-O-I Development. Properties that are not part of a group C-O-I Development, as defined in Chapter 87, must provide a 15-foot landscape yard except where a cross-access drive aisle occurs within the required landscape yard.</p>	<p><b>**11-33-3 (B). 2: - REQUIRED LANDSCAPE YARDS.</b></p> <p>Non-Group C-O-I Development. Properties that are not part of a group C-O-I Development, as defined in Chapter 87, must provide <b>a minimum 5-foot landscape</b> yard except where a cross-access drive aisle occurs within the required landscape yard.</p>

<b>Landscaping (Continued)</b>	<b>11-33-5 (b): FOUNDATION BASE</b>	<b>**11-33-5 (b): FOUNDATION BASE</b>
	A minimum 5-foot-wide foundation base shall be provided, measured from face of building to face of curb along the entire length of the exterior wall adjacent to drive aisles as illustrated.	<b>No minimum foundation base shall be required behind the screen walls/gate (i.e., the side and rear yards).</b>
	<b>**Tree Exception</b>	<b>**Installed solar parking canopies shall maintain a 10-foot clear zone with no trees to maintain proper solar capture and maintenance. All other low-level landscaping and groundcovers shall be provided</b>

**C. Justification for PAD Standards**

Below is a summary of the development standard modifications being requested for this PAD along with some justifications for the deviations.

**1. Screening of Parking Areas.**

To clarify this is just along Pecos Road only and provides flexibility of design.

**2. Screening and Location of Truck Docks, Loading and Service Areas.**

Metso will have adequate screening storage, loading, parking, and bay doors from Pecos Road. The proposed screening is visually appealing; however, Metso is proposing to revise screening standard to allow for the existing walls/opaque gate on the Property. The existing 6-foot-tall screening and/or landscaping has proven to be sufficient and adequate due to the elongated lot. The intended visual relief along Pecos Road has been and will continue to be accommodated.

**3. Parking Spaces Required.** Due to the nature of Metso’s operations and the need for future “canopy toppers over outdoor storage containers” in the rear ½ of the Property, there shall be no parking required for them since they are not conditioned structures. Metso is committed to designing functional, useful spaces for their employees and visitors, and they want to ensure that there is reasonable and ample parking based on their anticipated needs while also avoiding unnecessary (heat generating) surface parking areas. The request is warranted and necessary for Metso and their proposed development.

4. Site Planning and Design Standards. By virtue of the construction type (and the functional use (warehouse / training facility) with an existing/approved building/site a strict adherence to all Design Standards is not practical. Specifically, per Ordinance Section 11-7-3, not more than 50% of the total façade may be covered within one (1) single material. Obviously, this is an impossibility for a pre-engineered building. The building structural perimeter is largely comprised of metal and colored block except for openings for doorways, glazing, loading doors, etc. Hence a 50% veneer coverage is challenging and counter to the preferred aesthetic appeal or context of the area and existing building/site.

Accordingly, Metso proposes the **following amendments to the City's Site Planning and Design Standards:**

- a. Building facades that are in areas behind screen walls, berms, and/or gates shall not be considered 'publicly visible'.
- b. Use of concrete colored block and paint changes as well as the metal buildings themselves shall be considered separate and distinct materials.
- c. At least one (1) color variation is to be considered as a separate and distinct material.
- d. Reveals on the building and exposed downspouts in the rear shall be considered part of the subdividing of areas to meet wall articulation requirements.
- e. Installed solar parking canopies shall maintain a 10-foot clear zone with no trees to maintain proper solar capture and maintenance. All other low-level landscaping and groundcovers shall be provided.

#### **IV. QUALITY DEVELOPMENT DESIGN GUIDELINES COMPLIANCE**

In accordance with the City's Quality Development Design Guidelines for industrial developments, the Metso project will utilize effective site planning, architectural design, landscaping and shade, and other design elements to create an attractive, functional development and mitigate any potential visual impacts. The specific design elements utilized to comply with the city's Quality Development Design Guidelines are provided below:

##### **A. Site Design:**

###### Building Placement and Orientation

The building has been oriented to provide a strong relationship with the street while screening truck/storage areas from public right-of-way. Outdoor public space is provided. The main entrance has been placed along the northern façade, facing Pecos Road, to create a clear point of entry as well as a visually appealing view from the street frontage.

### Parking Loading and Vehicular Access

The proposed development will have a visitor adjacent to the north façade and and employee parking areas towards the rear/side of the building screened from view via opaque gates/walls. The visitor/employee parking areas are specifically designed to minimize the potential for accidents and provide a safe environment for cars and pedestrians. Perimeter parking will be buffered with walls and landscaped setbacks obscuring views of these parking areas, as much as possible.

Loading and service areas will be clearly delineated to avoid conflicts, as much as possible.

### Landscaping and Shading

The streetscape and onsite additional landscaping will blend naturally with their existing landscaping installed previously. The landscape theme has been prepared as a Preliminary Landscape Plan that illustrates the layout, quantities, and sizes of plant material. The placement and massing are intended to show compatibility with the project's architectural design.

**Note:** The landscape plans and details in the PAD are preliminary only and may be modified as reviewed and approved by the city during the Design Review process.

The goals for the project landscape include the following:

- Create an attractive low water landscape design that presents the appearance of a lush and distinctive landscape palette while enhancing the arterial frontage and screening the interior truck/storage area as much as possible.
- Allow for the spacing and concentration of required quantities at strategic locations to enhance pedestrian visual cues/relief from hard surfaces as well as shade opportunities that blends well with the architectural features. Where utilitarian uses/equipment needs to be screened then a concentration of a mix of plant material (where appropriate and reasonable) is provided to assist with blocking/deflecting one's view.
- Hardscape and common open areas will complement the proposed architecture/site plan along Pecos Road in a meaningful and complementary manner.
- Make the pedestrian sidewalks along Pecos Road highly visible and safe, while providing convenient shading opportunities.
- Plant material selected for color, texture, scale, and seasonal flowering used can reinforce the landscape theme and visual relief throughout the site.
- Plantings shall be cognizant of the future solar parking canopies and designed to enhance the solar panels usefulness, longevity and minimize opportunities conflict with trees.



The selection of landscape materials prescribed for trees, shrubs, groundcovers, and accents are selected from the Arizona Department of Water Resources low water use plant list for the Phoenix Active Management Area (Phoenix AMA). A conceptual master plant schedule has been prepared and included with the Preliminary Landscape Plan.

The landscaped area for calculation purposes shall include landscape setbacks, parking lot landscaping, retention basins, street frontage landscape, foundation planting areas, and all other areas of the Property not containing buildings, structures, or pavement.

Final design details will be discussed and confirmed with the concurrent Design Review Board application submittal package.

#### Exterior Lighting

Building lighting will comply with Ordinance Section 11-30-5 and the fixture design will complement the architectural theme. The building entry areas will be accentuated with accent lighting to help create a focal point. Energy efficient lighting, such as LED, will be used throughout the project and glare will be minimized using soft or reflected lighting. Reasonable levels of lighting will help create a sense of security.

### **B. Architectural Design:**

#### General Design

The proposal is to have different heights, but the PAD is seeking a 54-foot maximum height for the Property, which this height was previously approved in 2013. The height proposed is consistent with the approved LI PAD zoning. The design character of these proposed expansions is essential to the success of the project. The design approach will be to match the existing buildings façade as well as aligning with the City's quality development design guidelines. The expansion will share the same design language for a cohesive continued business park site. The goal is to provide street facing glazing and entries at the new office training facility with prominent design features that match the existing building due to the high visibility of the project along an arterial road. Site entrances off the major road will not be affected by any of these proposed project expansions. Service and parts addition will provide some egress man doors as well as an OH roll-up door. The pre-engineered metal building expansion will continue its same metal panel exterior & color finish along with adding some additional egress man doors.

The overall expansion fits nicely with the existing facility. This includes windows, offsets, colored block, colors, metal building, and varied building heights where possible. The building colors have been selected to create a clean design that will stand the test of time and match the existing structure.

### Massing and Scale

The massing and scale of the buildings will be broken up using wall texture, color, material changes, shadow lines, and other façade treatments. The building massing and scale is compatible with existing and anticipated developments in the area which will primarily be industrial and manufacturing in nature.

### Wall Articulation

The design provides architectural interest and variety that relate to human scale in the following ways.

- Changes in plane - As identified and visually appropriate along Pecos Road, the building plans provides nice offsets along the facades and create both push-and-pull as well as "flow" to break up the façades and add visual depth/movement.
- Change in texture - Through use of concrete color block and metal as well as paint colors.
- Pattern – Corrugated building material, colored block, metal, and windows utilized to significantly break up large wall expanses along Pecos Road. Within and behind the building are more utilitarian in design consistent with the use.
- Windows - Low windows, and clerestory windows are utilized.
- Equivalent Elements:

**Pre-Engineered Metal Buildings:** They are integral part of this specific user and make up a significant percentage of the façade. They are a separate and distinct material from the typical block or concrete walls. They provide interest and subdivide the overall façades which help to reduce the scale.

### Roof Articulation

The design incorporates elements that have a vertical modulation and/or create the appearance of such. There are height changes appropriate located with the existing and proposed expansion.

### Materials and Colors

The building will be constructed of durable, high-quality materials appropriate for the arid climate and intense sun exposure.

### Service Areas and Utilities

A combination of screen walls and/or landscaping will be used to screen and soften these areas.

## **V. ALTERNATIVE COMPLIANCE**

It is worth noting, Metso also proposes the following amendments to design standards.

- 1.** Building facades that are in areas behind screen walls, berms, and/or gates shall not be considered 'publicly visible'.
- 2.** Use of concrete colored block and paint changes as well as the metal buildings themselves shall be considered separate and distinct materials.
- 3.** At least one (1) color variation is to be considered as a separate and distinct material.
- 4.** Reveals on the building and exposed downspouts in the rear shall be considered part of the subdividing of areas to meet wall articulation requirements.

In addition to all previously stated Amendments to Design Standards (IV.C.), Metso is seeking Alternative Compliance for the following provisions from Section 11-7-3.B of the Mesa Zoning Ordinance:

- a.** Publicly visible facades (i.e., viewed from rights-of-way or private property), may not have blank, uninterrupted wall lengths exceeding 50-feet without including at least two (2) of the following: change in plane, change in texture or masonry pattern, windows, or an equivalent element that subdivides the wall into human scale proportions.
- b.** Vary building height, providing at least two (2) changes in height or roof forms that are varied over different portions of the building through changes in pitch, plane, and orientation.
- c.** All parapets must have detailing such as cornices, moldings, trim, or variations in brick coursing.
- d.** Primary entrances along major facades shall be clearly defined with facade variations, porticos, roof variations, recesses or projections, or other integral building forms.
- e.** To reduce the apparent massing and scale of buildings, facades shall incorporate at least three (3) different and distinct materials.
- f.** No more than fifty percent (50%) of the total façade may be covered with one (1) single material.

Due to the existing building and future expansion for Metso and standard method of construction for these types of buildings, it is challenging to create the same type of detailing that is used on smaller commercial buildings. Multiple changes in plane are not conducive to this type/size of industrial building. The design team has used a combination of design characteristics (i.e., forms, color, texture, and material where logical and appropriate) to give the building visual interest and appropriate scale and "flow," where possible. The primary entry on Pecos Road has been designed as a focal point with additional forms, materials, and glazing.

The following proposals shall be considered as Alternative Compliance:

- a. We propose a “change in articulation” in lieu of 50-feet due to the large scale and practical function of the building. The building has been designed with ample articulation along the façades. This articulation includes use of windows, changes in tonality and pattern (e.g., concrete color block, paint, corrugate metal) and the provision of building height changes (appropriate located) to enhance the visual overall appeal of the building to add visual interest.
- b. Change in plane happens at offset panels which create shadow lines and plane change. Changes in pitch, plane and orientation are achieved through the incorporation of color, forms, paint, and textures in the façade design as well as height changes.
- c. The proposed elevations include a table with a detailed breakdown of the various façade elements. It is worth noting, pre-engineered/corrugate metal buildings are an integral part of the proposed use/user and make up a significant percentage of the façade, but they break up the façade help visual enhance the appearance as well as reduce the scale.
- d. The design team has worked diligently to ensure that there are visual elements of interest via the color, material and/or texture, windows, etc. along the façades where logical and most appropriate (i.e., Pecos Road).

## **VI. PHASING**

It is anticipated that the expansion will occur in a single phase.

## **VII. SUMMARY**

In summation, the Property is appropriately situated to accommodate Metso’s operations. This area has long been anticipated as a major employment/industrial hub and this application represents a significant step towards continuing and enhancing that vision. The minor deviations via the PAD and Preliminary Site plan are consistent with this project and the area. The Metso PAD will continue to complement the surrounding area and provide substantial benefits and employment opportunities to the city of Mesa.

**EXISTING PLANT MATERIAL SCHEDULE**

SYMBOL BOTANICAL NAME COMMON NAME

- TREES:**
- Existing Tree to Remain
- Parkinsonia florida* Blue palo Verde
- Olneya tesota* Ironwood
- Sophora secundiflora* Texas Mountain Laurel

ACCENTS, GRASSES AND CACTI

- Agave americana var. marginata* Variegated Century Plant
- Clumping Aloe* Clumping Aloe
- Dasylyrion wheeleri* Desert Spoon
- Hesperaloe parviflora* Red Yucca

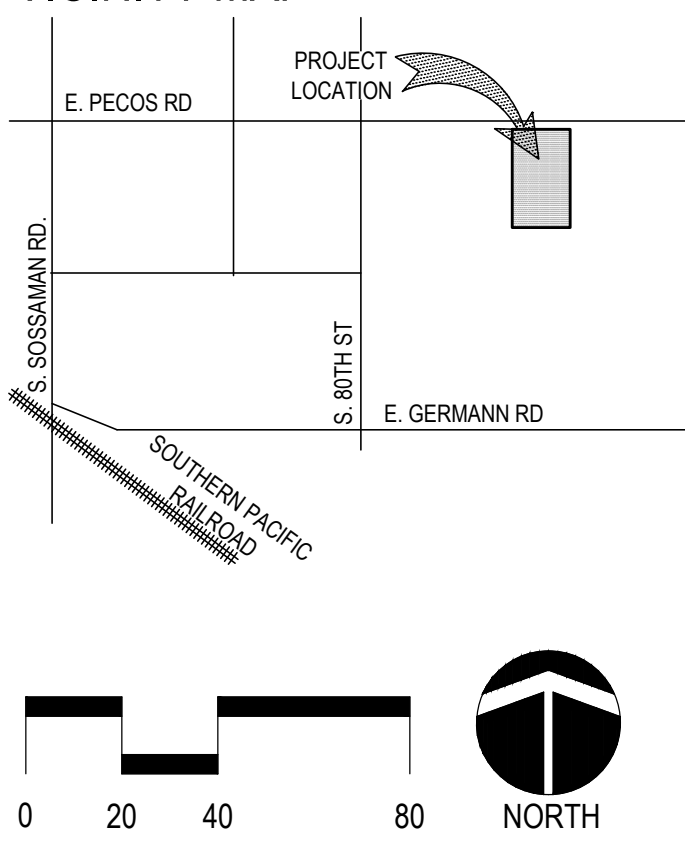
SHRUBS

- Ruellia pensularis* Desert Ruellia
- Tecoma x 'Orange Jubilee'* Orange Jubilee Tecoma Hybrid
- Leucophyllum frutescens* Texas Sage
- Caesalpinia pulcherrima* Red Bird of Paradise
- Baccharis sarothroides* Desert Broom

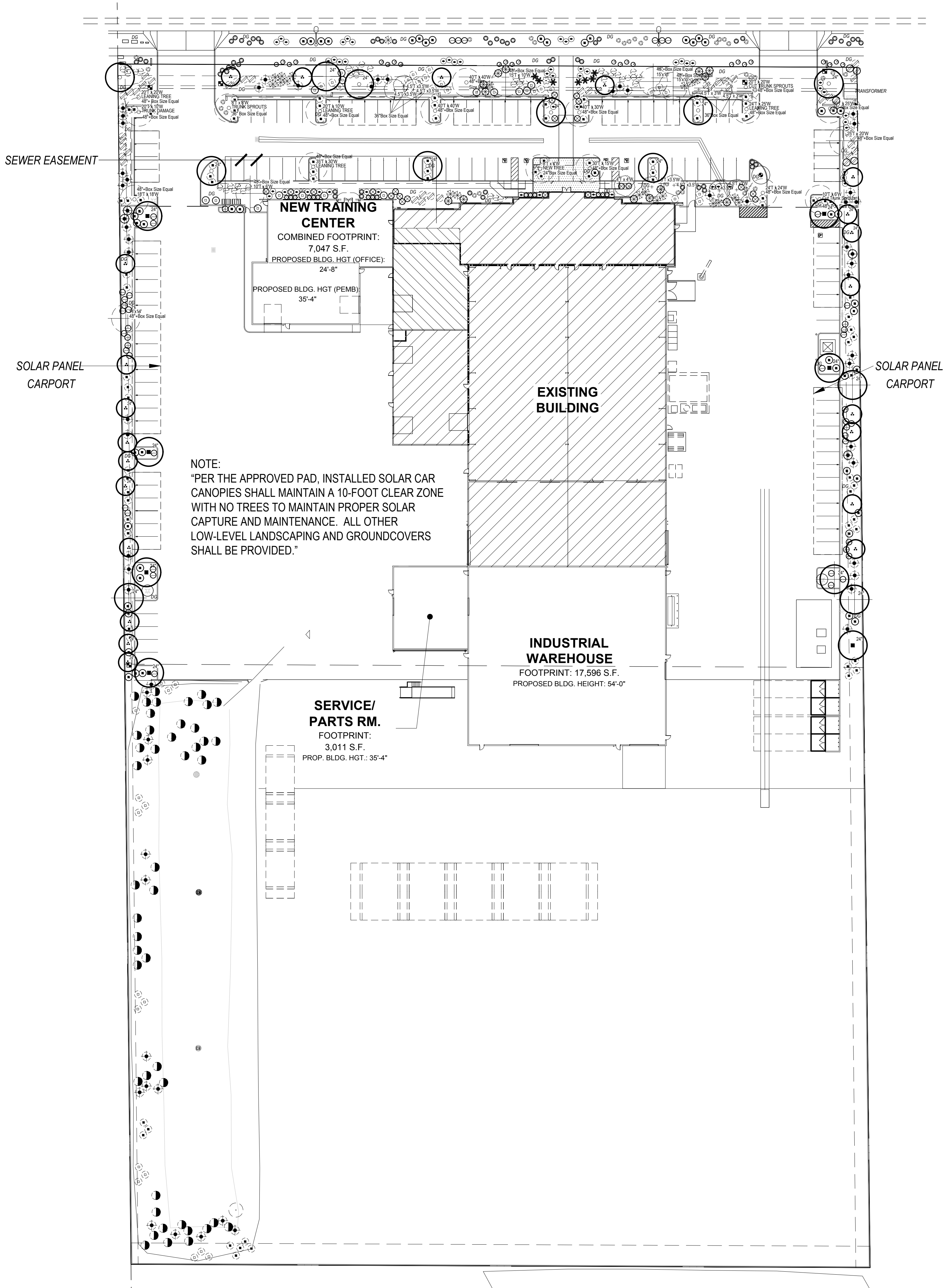
GROUNDCOVERS:

- Lantana 'New Gold'* New Gold Lantana

VICINITY MAP



**E. PECOS RD.**



**PLANT MATERIAL SCHEDULE**

SYMBOL BOTANICAL NAME COMMON NAME SIZE QTY COMMENTS

- TREES:**
- 24" *Quercus virginiana* Live Oak 24" box 8 STANDARD
- 24" *Olneya tesota* Ironwood 24" box 5 MULTI
- 24" *Chitalpa tashkentensis* Chitalpa 24" box 7 STANDARD
- 24" *Acacia aneura* Mulga 15 gal. 16 STANDARD
- 24" 24" box 6

ACCENTS, GRASSES AND CACTI

- Agave desmettiana* Smooth Agave 7
- Aloe x 'Blue Elf'* Blue Elf Aloe 15
- Dasylyrion wheeleri* Desert Spoon 13
- Hesperaloe parviflora* Red Yucca 45

SHRUBS

- Ruellia pensularis* Desert Ruellia 51
- Tecoma x 'Orange Jubilee'* Orange Jubilee Tecoma Hybrid 15
- Leucophyllum frutescens* Texas Sage 5
- Caesalpinia pulcherrima* Red Bird of Paradise 4
- Justicia californica* Chuparosa 22
- Eremophila hygrophana* Blue Bells 54
- Blue Bells

GROUNDCOVERS:

- Lantana 'New Gold'* New Gold Lantana 1 gallon 57
- Myoporum parvifolium* Myoporum 1 gallon 24

ROCK MULCH:

- |    |                                                                    |           |
|----|--------------------------------------------------------------------|-----------|
| DG | 1/2" Screened, ROCKPROS Apache Gold 2" Deep in all Landscape Areas | 38,260 SF |
|----|--------------------------------------------------------------------|-----------|

**LANDSCAPE CALCULATIONS:**

**TREE REQUIREMENTS STREET FRONTAGE**

QTY.	Required	% Provided
Total Trees: 18	1 @ 25'	1 @ 25'
Total Shrubs: 108	6 Per Tree	6 Per Tree

**TREE REQUIREMENTS PERIMETER (ADJACENT PROPERTY)**

QTY.	Required	% Provided
Total Trees: 26	3 @ 100'	3 @ 100'
Total Shrubs: 172	20 @ 100'	20 @ 100'

**TREE REQUIREMENTS BUILDING FOUNDATION**

QTY.	Required	% Provided
Total Trees: 2	1 @ 50'	1 @ 50'

**TREE REQUIREMENTS PARKING:**

QTY.	Required	% Provided
Total Trees: 25	1 tree per island	1 tree per island
Total Shrubs: 75	3 per tree	3 per tree

**PERCENTAGE:**

QTY.	% Required	% Provided
Total Trees: 25	-	-
15 gal	-	-
24" box	12	90%
36" box	13	10%

**STREET FRONTAGE TREES BY SIZE / PERCENTAGE:**

QTY.	% Required	% Provided
Total Trees: 18	-	-
15 gal	4	25%
24" box	4	50%
36" box	10	25%

**PERIMETER (ADJACENT PROPERTY) TREES BY SIZE / PERCENTAGE:**

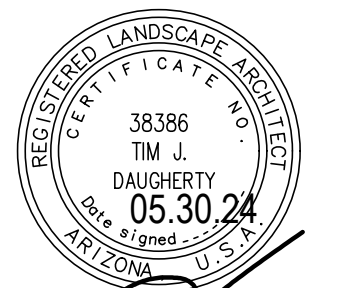
QTY.	% Required	% Provided
Total Trees: 26	-	-
15 gal	12	50%
24" box	14	50%
36" box	-	-

**FOUNDATION TREES BY SIZE / PERCENTAGE:**

QTY.	% Required	% Provided
Total Trees: 3	-	-
15 gal	-	-
24" box	1	90%
36" box	2	10%

**PARKING TREES BY SIZE / PERCENTAGE:**

QTY.	% Required	% Provided
Total Trees: 25	-	-
15 gal	-	-
24" box	12	90%
36" box	13	10%



DATE: 05.30.24

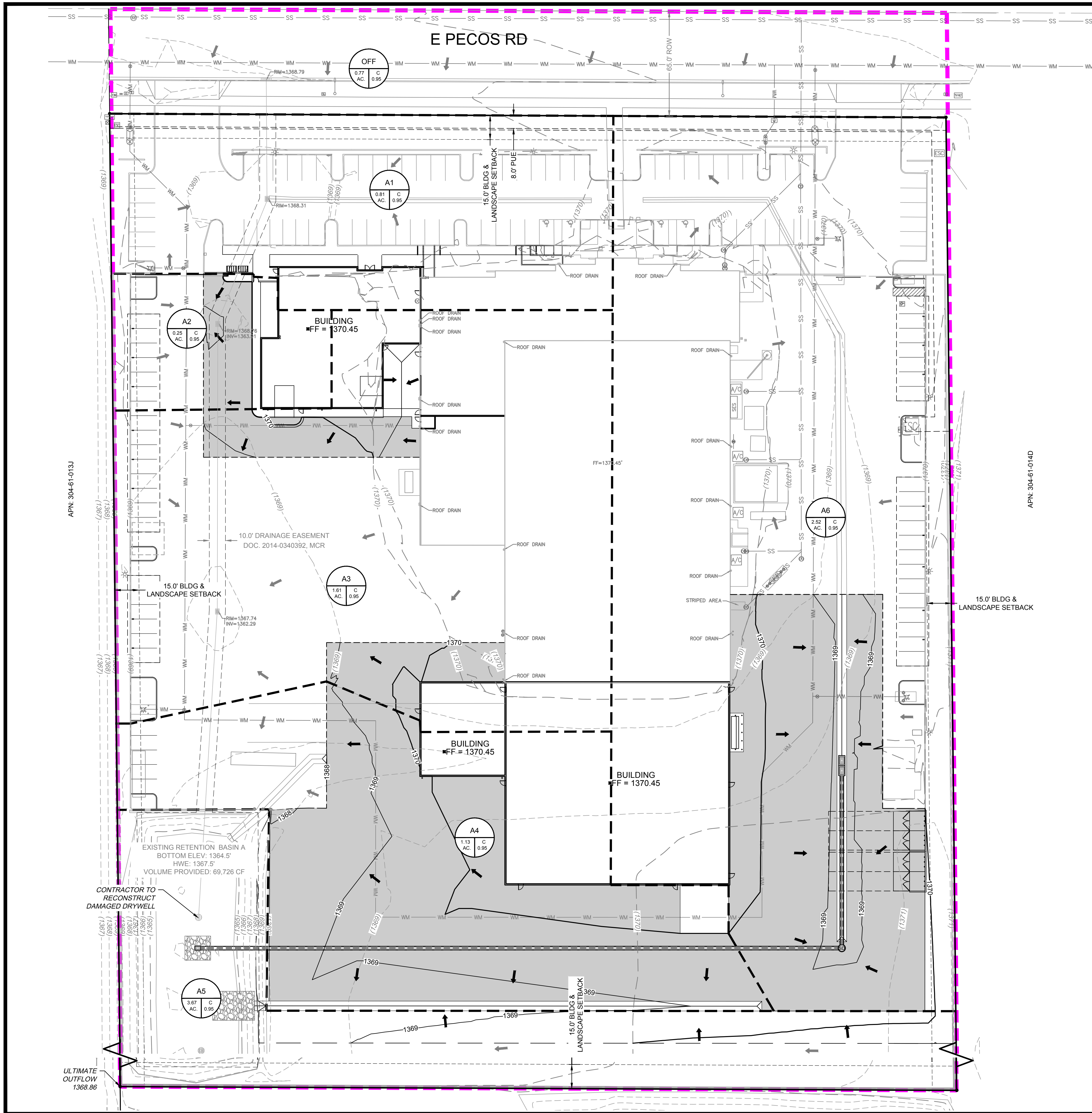
**METSO OUTOTEC USA**

PREPARED FOR: WARE MALCOLM  
8223 EAST PECOS ROAD MESA, ARIZONA 85212

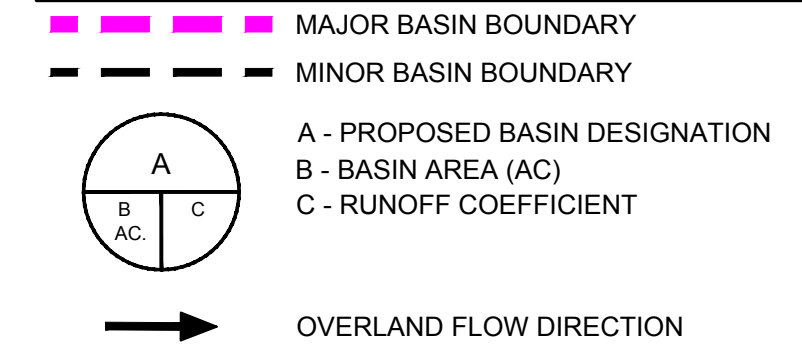
PRELIMINARY LANDSCAPE PLAN

DATE: REVISION: \_\_\_\_\_





**DRAINAGE LEGEND**



**EXISTING RETENTION TABLE**

BASIN	VOL. REQUIRED	VOL. PROVIDED
A	60,889	69,726

**CIVIL ENGINEER**

WARE MALCOMB  
2777 E. CAMELBACK ROAD, SUITE 325  
PHOENIX, AZ 85016  
480.767.1001  
TIRSO GONZALEZ, P.E.

**LEGEND**

EXISTING	BOUNDARY	PROPOSED
---	BOUNDARY	---
---	EASEMENT	---
---	CENTERLINE	---
---	CURB / GUTTER	---
---	BUILDING	---
---	SAWCUT	---
---	STORM DRAIN	---
---	SANITARY	SS
---	WATERLINE	WM
---	IRRIGATION	IRR
---	OVERHEAD UTILITY	OH
---	CABLE TV	CATV
---	BURIED ELECTRIC	E
---	FIBER OPTIC	FO
---	NATURAL GAS	NGAS
---	TELEPHONE	T
---	UNKNOWN UTILITY	N/A

**GRADING NOTES**

- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ELEVATIONS SHOWN ON THE PLANS. ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.
- SEE COVER SHEET FOR BENCHMARK, BASIS OF BEARINGS, AND SURVEY INFORMATION.
- ELEVATIONS ARE PER THE SURVEY DATUM, NOT PER ARCHITECTURAL FLOOR ELEVATIONS.
- ELEVATIONS ARE AT FINISHED SURFACE UNLESS OTHERWISE NOTED.
- CURB ELEVATIONS ARE AT FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- EXISTING UTILITY STRUCTURES TO BE ADJUSTED AS NECESSARY FOR PROPOSED GRADING.
- SIDEWALKS AND LANDINGS SHALL BE 2% MAX CROSS-SLOPE TOWARD ROADS, DRIVE LANES, AND PARKING AREAS UNLESS OTHERWISE NOTED.
- ACCESSIBLE PARKING STALLS AND LOADING AREAS TO BE 2% MAX SLOPE IN ANY DIRECTION.
- REFER TO THE GEOTECH REPORT FOR GROUNDWATER ELEVATIONS.
- GRADING OF LANDSCAPED AREAS AROUND BUILDINGS TO COMPLY WITH GEOTECH. REPORT.
- PEDESTRIAN GUARDRAILS TO BE INSTALLED WHERE REQUIRED BY LOCAL, STATE, OR FEDERAL REQUIREMENTS. RE: ARCHITECTURAL/LANDSCAPE PLANS.

**WARE MALCOMB**  
CIVIL ENGINEERING

2777 e. camelback rd.  
suite 325  
phoenix, az 85016  
p 480.767.1001  
waremalcomb.com



06/03/2024

FOR AND ON BEHALF OF WARE MALCOMB

**METSO**  
8223 E PECOS RD  
MESA, AZ 85212

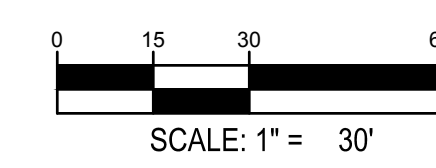
PRELIMINARY GRADING & DRAINAGE PLAN

REMARKS

JOB NO.:	PHX23-0173
PA / PM:	TG
DESIGNED:	TF
DATE:	
PLOT DATE:	06/03/24

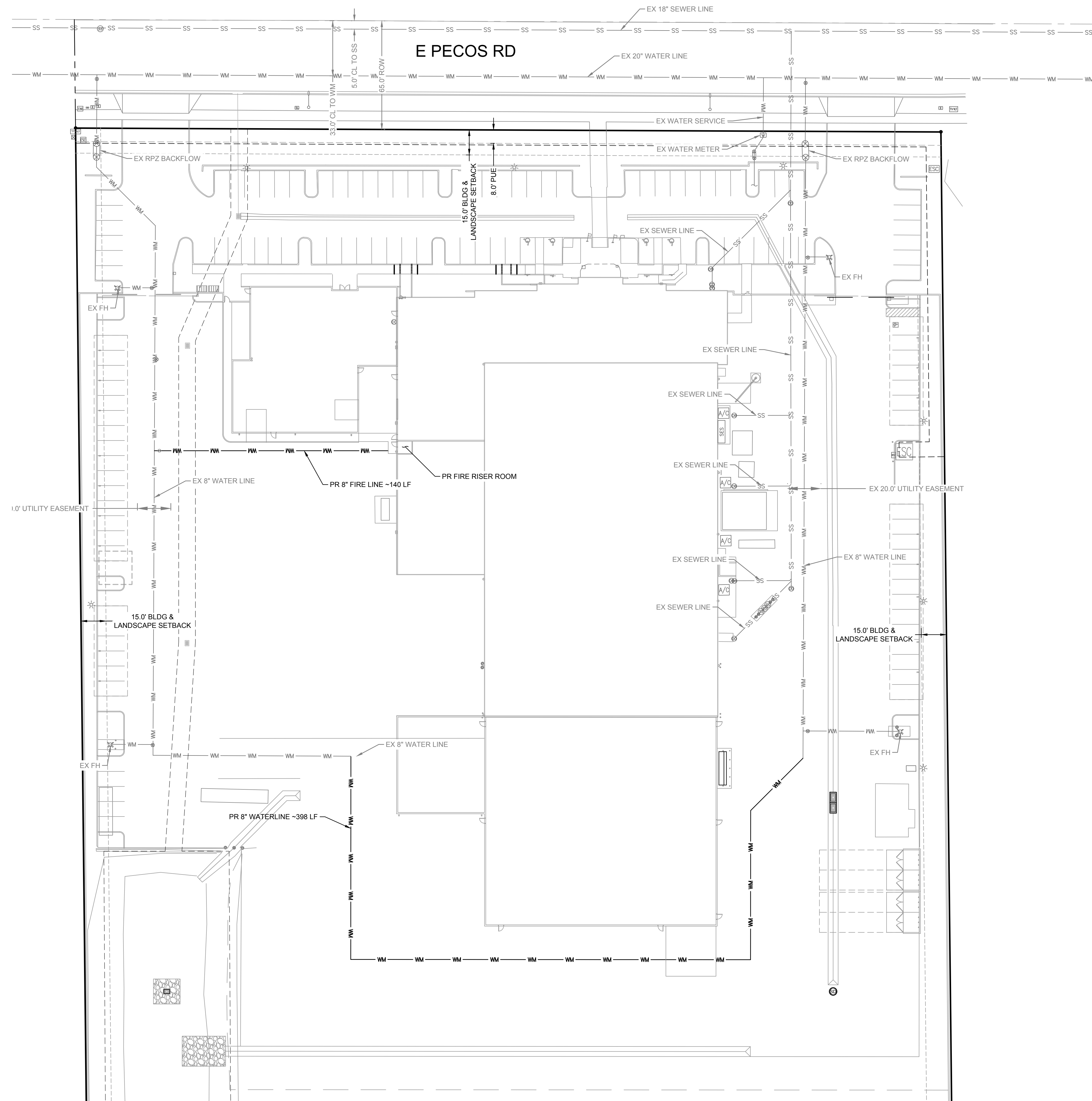
SHEET  
**PD-1**

Sheet 1 of 2



THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

NOT FOR CONSTRUCTION



EXISTING	PROPOSED
	BOUNDARY
	EASEMENT
	CENTERLINE
	CURB / GUTTER
	BUILDING
	SAWCUT
	STORM DRAIN
	SANITARY
	WATERLINE
	FIRE HYDRANT
	FDC
	BK FLOW PREV
	WATER VALVE
	WATER REDUCER
	WATER FITTINGS
	WATER METER
	WATER PLUG
	WATER MANHOLE
	WATER PRV
	WATER VAULT
	SANITARY CLEANOUT
	SANITARY MANHOLE
	SANITARY PLUG
	IRRIGATION
	OVERHEAD UTILITY
	CABLE TV
	BURIED ELECTRIC
	FIBER OPTIC
	NATURAL GAS
	TELEPHONE
	UNKNOWN UTILITY

**WARE MALCOLM**  
CIVIL ENGINEERING

2777 e. camelback rd.  
suite 325  
phoenix, az 85016  
p 480.767.1001  
waremalcomb.com



06/03/2024

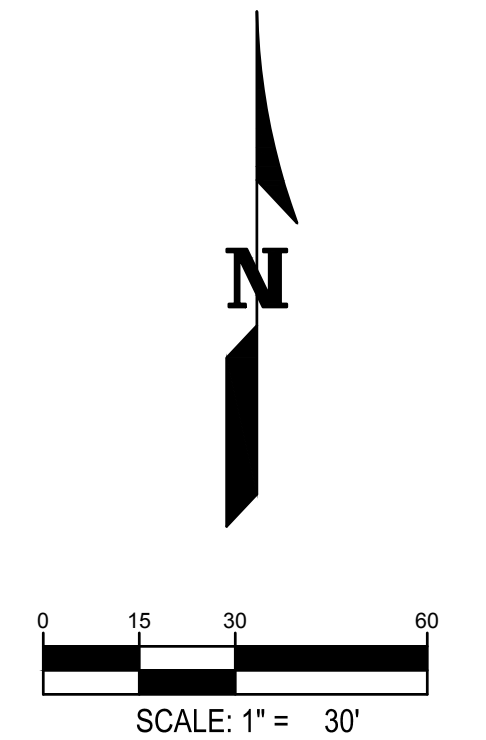
FOR AND ON BEHALF  
OF WARE MALCOLM

**METSO**  
8223 E PECOS RD  
MESA, AZ 85212

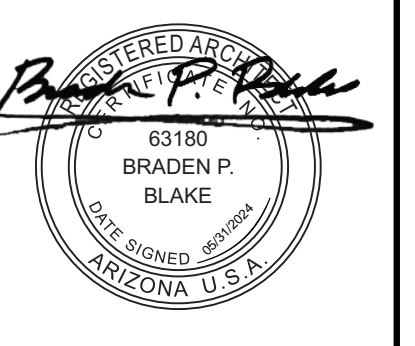
PRELIMINARY UTILITY PLAN	
NO.	REMARKS

JOB NO.:	PHX23-0173
PA / PM:	TG
DESIGNED:	TF
DATE:	
PLOT DATE:	06/03/24

SHEET  
**PU-1**  
Sheet 2 of 2



NOT FOR CONSTRUCTION



**EXTERIOR ELEVATIONS**

DATE	REMARKS
12/22/2023	PRESUBMITTAL
02/19/2024	P&Z SUBMITTAL
02/22/2024	DR SUBMITTAL
05/06/2024	DR AND P&Z RESUBMITTAL
06/05/2024	DR AND P&Z 2ND RESUBMITTAL

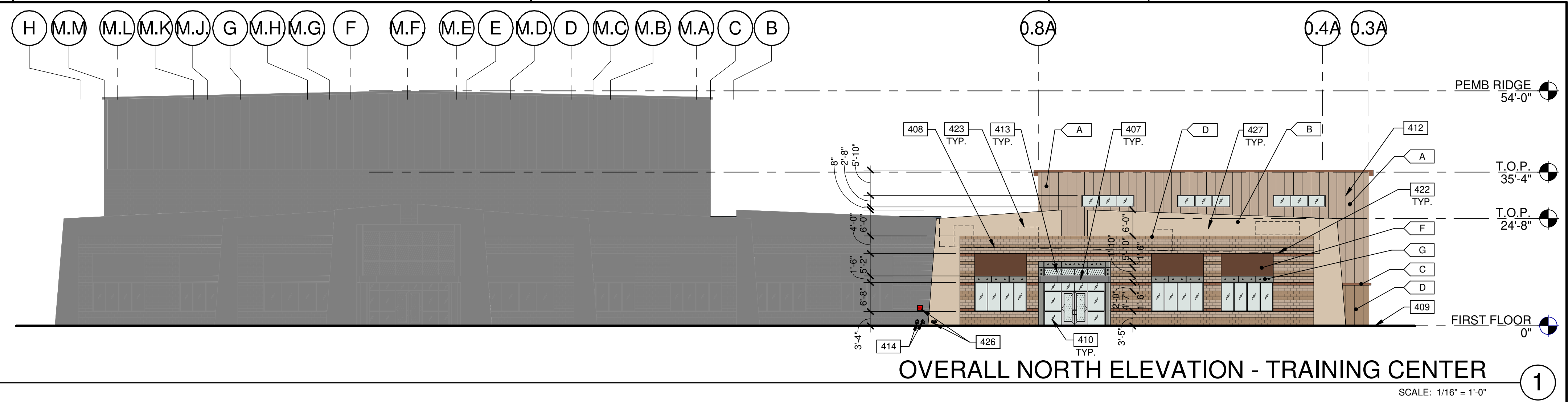
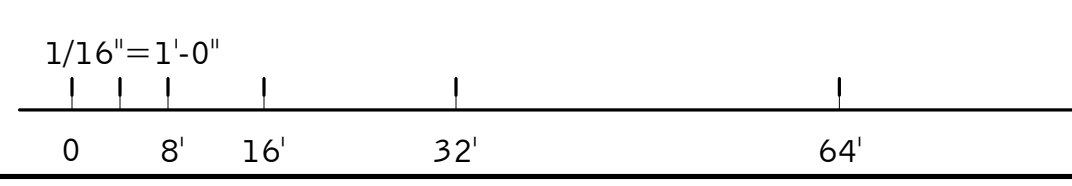
PA/PM: A.MADRID  
 DRAWN BY: A.M.  
 JOB NO.: PHX23-0173-00

**CALCULATION PER MATERIAL DETAILS**

\*A\* PAINTED CMU BLOCK - DEC6123 - TRAIL DUST = 498 SF = 14.9% OF ELEVATION  
 \*A\* PAINTED PEMB METAL PANEL - DEC6123 - TRAIL DUST = 771 SF = 23% OF ELEVATION  
 \*B\* PAINTED STUCCO OVER CMU BLOCK - DEC747 - SAHARA = 770 SF = 23% OF ELEVATION  
 \*C\* PAINTED CMU BLOCK - DE6105 - WEATHERED LEATHER = 62 SF = 1.9% OF ELEVATION  
 \*C\* PAINTED METAL ROOF - DE6105 - WEATHERED LEATHER = 41 SF = 1.2% OF ELEVATION  
 \*C\* PAINTED PEMB TRIM - DE6105 - WEATHERED LEATHER = 3 SF = 0.1% OF ELEVATION  
 \*D\* PAINTED CMU BLOCK - DEC718 - MESA TAN = 328 SF = 9.9% OF ELEVATION  
 \*D\* PAINTED PEMB METAL PANEL - DEC718 - MESA TAN = 53 SF = 1.6% OF ELEVATION  
 \*F\* RUSTED PATINA METAL = 186 SF = 5.6% OF ELEVATION  
 \*G\* METAL LINTEL WITH DECORATIVE BOLTS = 109 SF = 3.3% OF ELEVATION  
 METAL CANOPY = 25 SF = 0.7% OF ELEVATION  
 STOREFRONT SYSTEM GLAZING = 404 SF = 12.1% OF ELEVATION  
 CLERESTORY GLAZING = 96 SF = 2.9% OF ELEVATION  
 TOTAL ELEVATION AREA = 3,346 SF

**CALCULATION PER MATERIAL TYPES**

CMU BLOCK TOTAL COMBINED = 888 SF = 26.5% OF ELEVATION  
 PEMB TOTAL COMBINED = 827 SF = 24.7% OF ELEVATION  
 METAL TOTAL COMBINED = 361 SF = 10.8% OF ELEVATION  
 STUCCO TOTAL COMBINED = 770 SF = 23% OF ELEVATION  
 GLAZING TOTAL COMBINED = 500 SF = 15% OF ELEVATION  
 TOTAL ELEVATION AREA = 3,346 SF

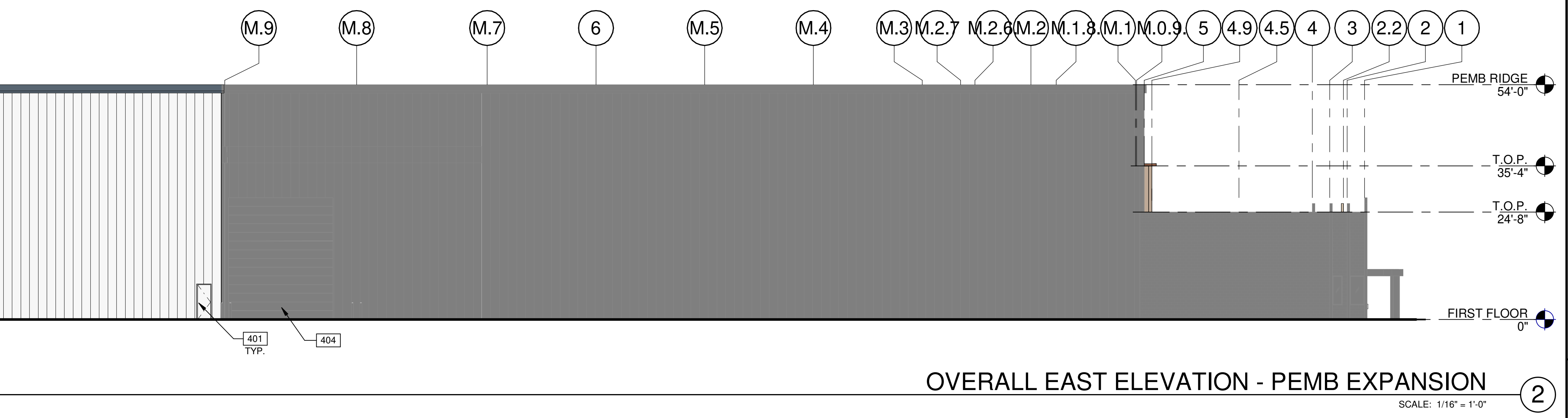
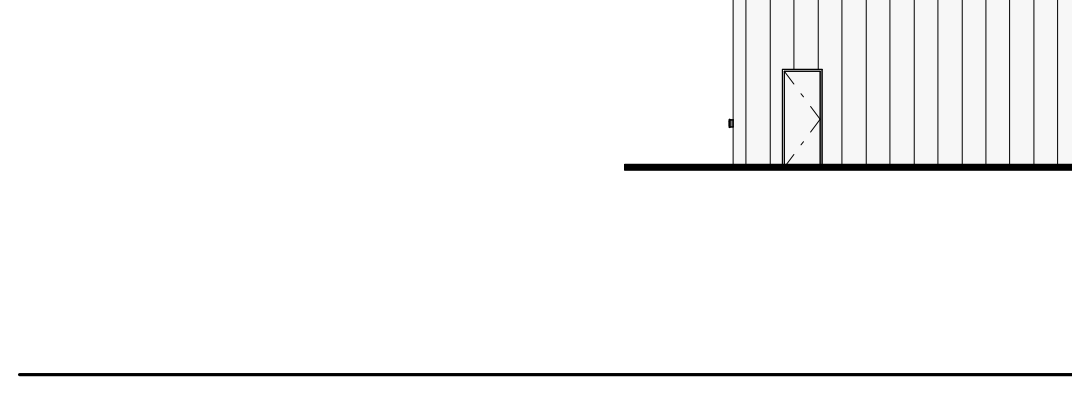


**CALCULATION PER MATERIAL DETAILS**

\*E\* PEMB METAL PANEL - MANUFACTURER WHITE FINISH = 6,433 SF = 93.1% OF ELEVATION  
 \*A\* PAINTED METAL ROOF - DE6105 - WEATHERED LEATHER = 248 SF = 3.6% OF ELEVATION  
 OVERHEAD & MAN DOORS = 226 SF = 3.3% OF ELEVATION  
 TOTAL ELEVATION AREA = 6,907 SF

**CALCULATION PER MATERIAL TYPES**

PEMB TOTAL COMBINED = 6,433 SF = 93.1% OF ELEVATION  
 METAL TOTAL COMBINED = 248 SF = 3.6% OF ELEVATION  
 DOOR TOTAL COMBINED = 226 SF = 3.3% OF ELEVATION  
 TOTAL ELEVATION AREA = 6,907 SF

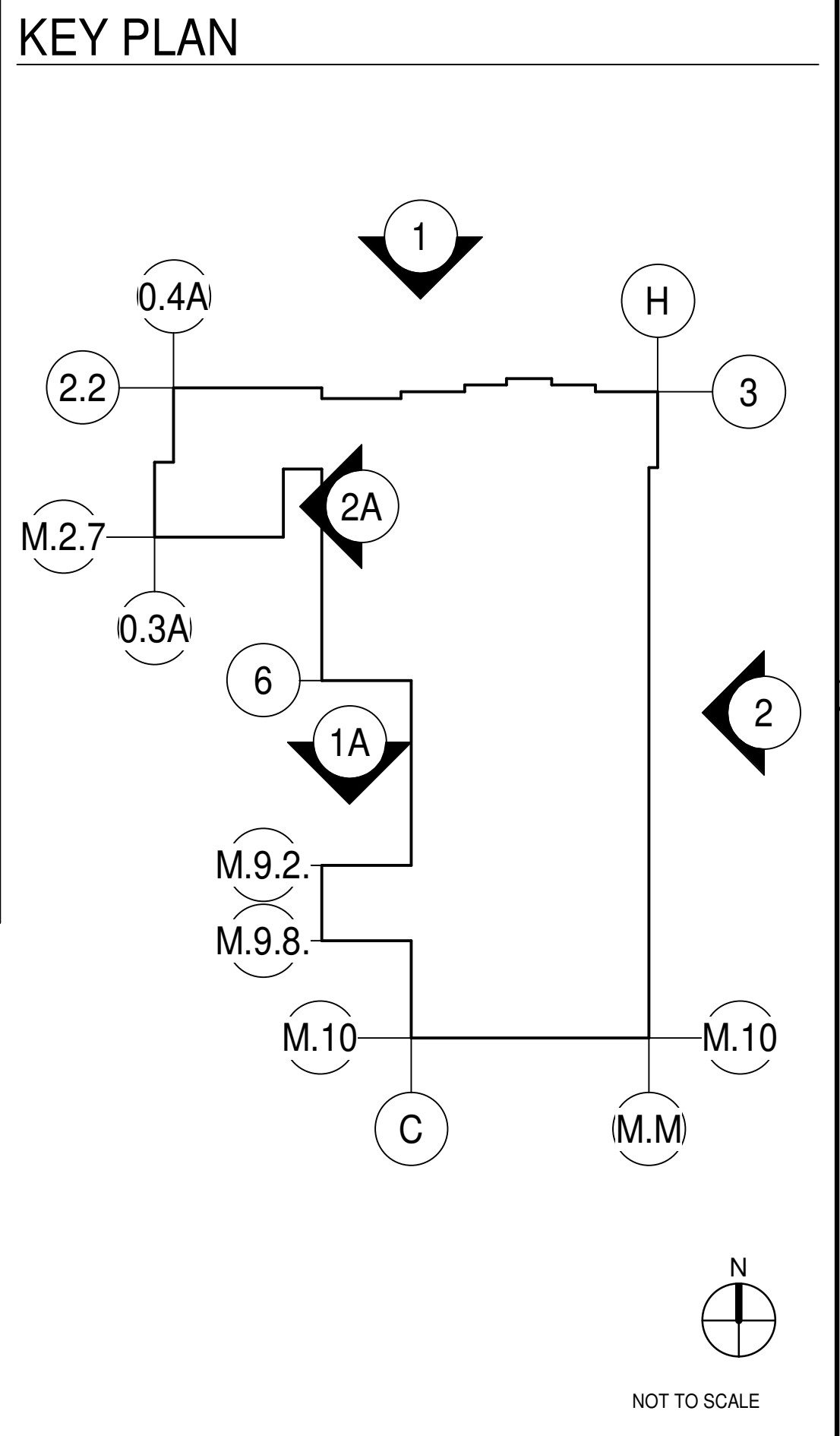
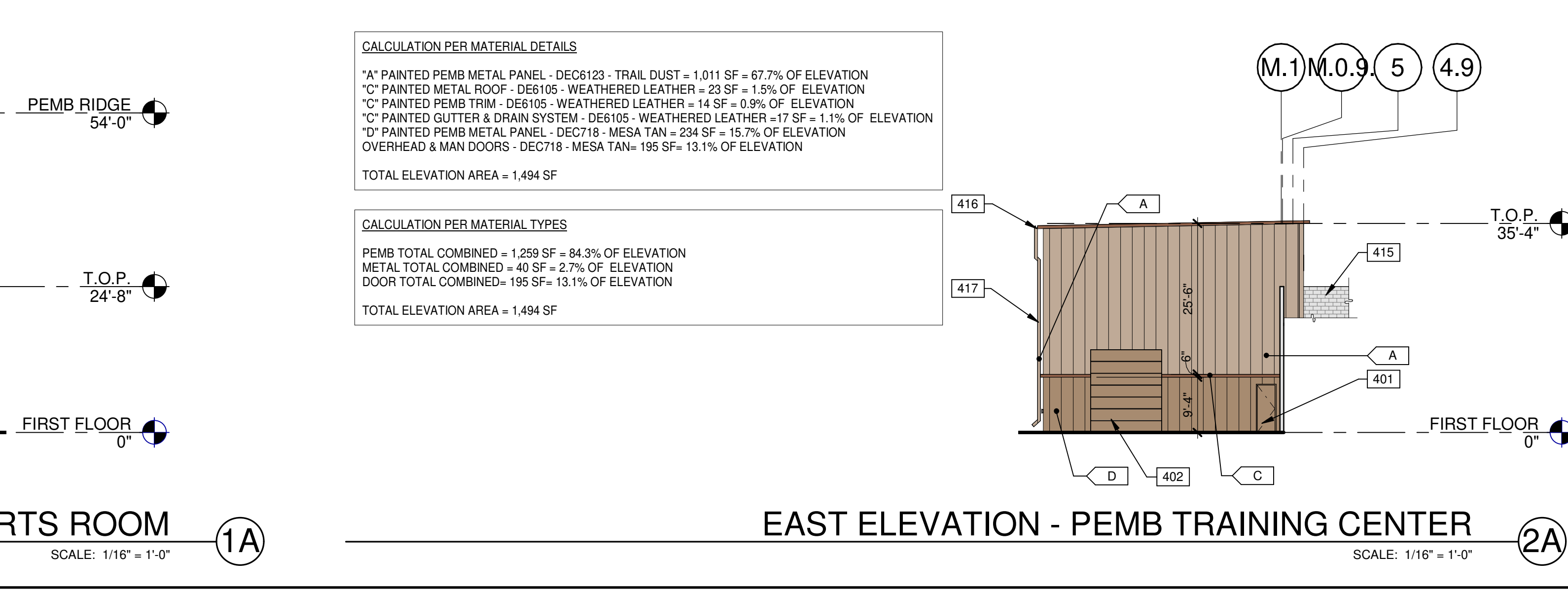


**CALCULATION PER MATERIAL DETAILS**

\*E\* PEMB METAL PANEL - MANUFACTURER WHITE FINISH = 1,258 SF = 96% OF ELEVATION  
 METAL ROOF = 29 SF = 2.2% OF ELEVATION  
 GLAZING = 24 SF = 1.8% OF ELEVATION  
 TOTAL ELEVATION AREA = 1,311 SF

**CALCULATION PER MATERIAL TYPES**

PEMB TOTAL COMBINED = 1,258 SF = 96% OF ELEVATION  
 METAL TOTAL COMBINED = 29 SF = 2.2% OF ELEVATION  
 GLAZING TOTAL COMBINED = 24 SF = 1.8% OF ELEVATION  
 TOTAL ELEVATION AREA = 1,311 SF



**LEGEND**

**COLORS:**  
 PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.  
 ALL WALLS TO BE PAINTED WITH BASE COLOR U.O.N.

A	DUNN EDWARDS DE6123 - "TRAIL DUST"
B	DUNN EDWARDS DEC747 - "SAHARA"
C	DUNN EDWARDS DE6105 - "WEATHERED LEATHER"
D	DUNN EDWARDS DEC718 - "MESA TAN"
E	PEMB PANEL - MANUFACTURER'S WHITE FINISH
F	RUSTED PATINA METAL
G	METAL LINTEL WITH 3" BOLT HEAD - DECORATIVE

**GLASS:**

(Diagonal lines)	VISION GLASS: 1" INSULATING BRONZE REFLECTIVE OLDCASTLE - IGU OB: 1/4" PPG SOLARCOOL BRONZE REFLECTIVE #2 AS: 1/2" (AIR FILL) IB: 1/4" PPG SOLARBAN 60 ON CLEAR LOW-E #3 U-FACTOR SUMMER DAYTIME: 0.27 SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.18
(Horizontal lines)	SPANDREL GLASS
(Dotted pattern)	TEMPERED GLASS

**KEYNOTES:**

217	SURFACE MOUNTED KNOX BOX LOCATION (REQ. AT ALL BUILDING EXIT DOORS, LOCATED ON DOOR STRIKE LEG SIDE).
401	HOLLOW METAL MAN DOOR.
402	OVERHEAD DOOR.
404	EXISTING OVERHEAD DOOR.
407	METAL CANOPY, FIELD APPLIED FINISH.
408	PAINTED CMU WALL.
409	FINISH GRADE VARIES.
410	ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
412	METAL PANEL 26 GA EMBOSSED 'VEE-PANEL' OR EQUAL - BY PEMB.
413	SPANDREL GLASS.
414	LAMBS TONGUE ROOF DRAINAGE DAYLIGHT LOCATIONS.
415	PARAPET WALL BEYOND.
416	DRAINAGE GUTTER SYSTEM.
417	DRAIN LEADER.
420	EXISTING BOLLARD.
422	LINE OF ROOF BEYOND.
423	PROPOSED SCREENED HVAC UNITS.
425	SHIPPING AND RECEIVING WINDOW.
426	FDC SIGNAGE TO INDICATE FDC BEHIND DECORATIVE WALL.
427	CMU WALL W/ STUCCO SMOOTH STUCCO FINISH.



**CALCULATION PER MATERIAL DETAILS**

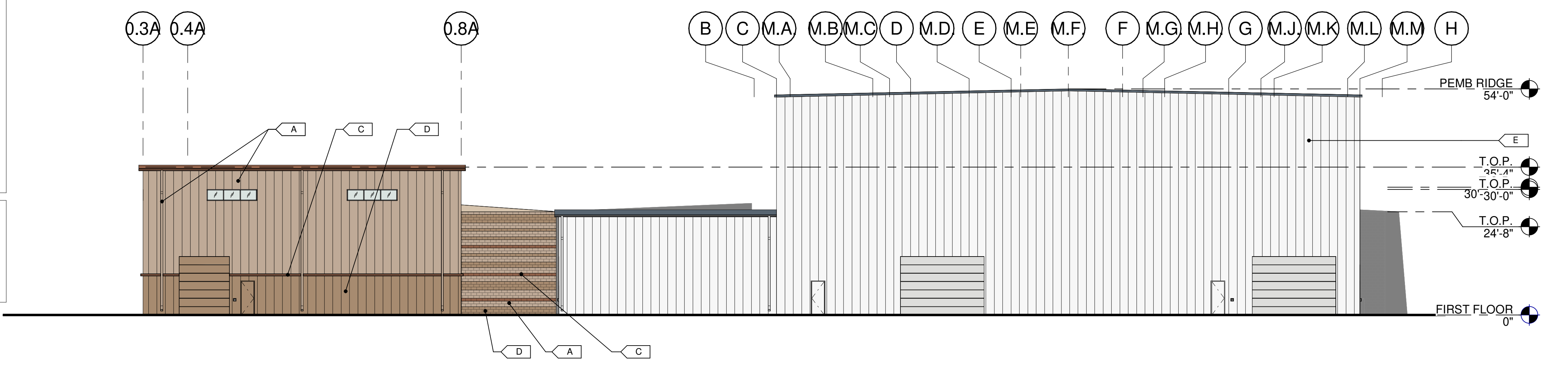
\*A PAINTED CMU BLOCK - DEC6123 - TRAIL DUST = 303 SF = 2.4% OF ELEVATION  
 \*A PAINTED PEMB METAL PANEL - DEC6123 - TRAIL DUST = 1,656 SF = 13.2% OF ELEVATION  
 \*C PAINTED CMU BLOCK - DE6105 - WEATHERED LEATHER = 45 SF = 0.4% OF ELEVATION  
 \*C PAINTED METAL ROOF - DE6105 - WEATHERED LEATHER = 108 SF = 0.9% OF ELEVATION  
 \*C PAINTED CUTTER & DRAIN SYSTEM - DE6105 - WEATHERED LEATHER = 83 SF = 0.7% OF ELEVATION  
 \*C PAINTED PEMB TRIM - DE6105 - WEATHERED LEATHER = 32 SF = 0.2% OF ELEVATION  
 \*D PAINTED CMU BLOCK - DEC718 - MESA TAN = 212 SF = 1.7% OF ELEVATION  
 \*E PAINTED PEMB METAL PANEL - DEC718 - MESA TAN = 558 SF = 4.4% OF ELEVATION  
 \*E PEMB METAL PANEL - MANUFACTURER WHITE FINISH = 8,496 SF = 67.6% OF ELEVATION  
 CUTTER & DRAIN SYSTEM = 45 SF = 0.3% OF ELEVATION  
 METAL ROOF = 162 SF = 1.3% OF ELEVATION  
 CLERESTORY GLAZING = 64 SF = 0.5% OF ELEVATION  
 OVERHEAD & MAN DOORS - MANUFACTURERS FINISH = 614 SF = 4.9% OF ELEVATION  
 OVERHEAD & MAN DOORS - DEC718 - MESA TAN = 195 SF = 1.5% OF ELEVATION

TOTAL ELEVATION AREA = 12,573 SF

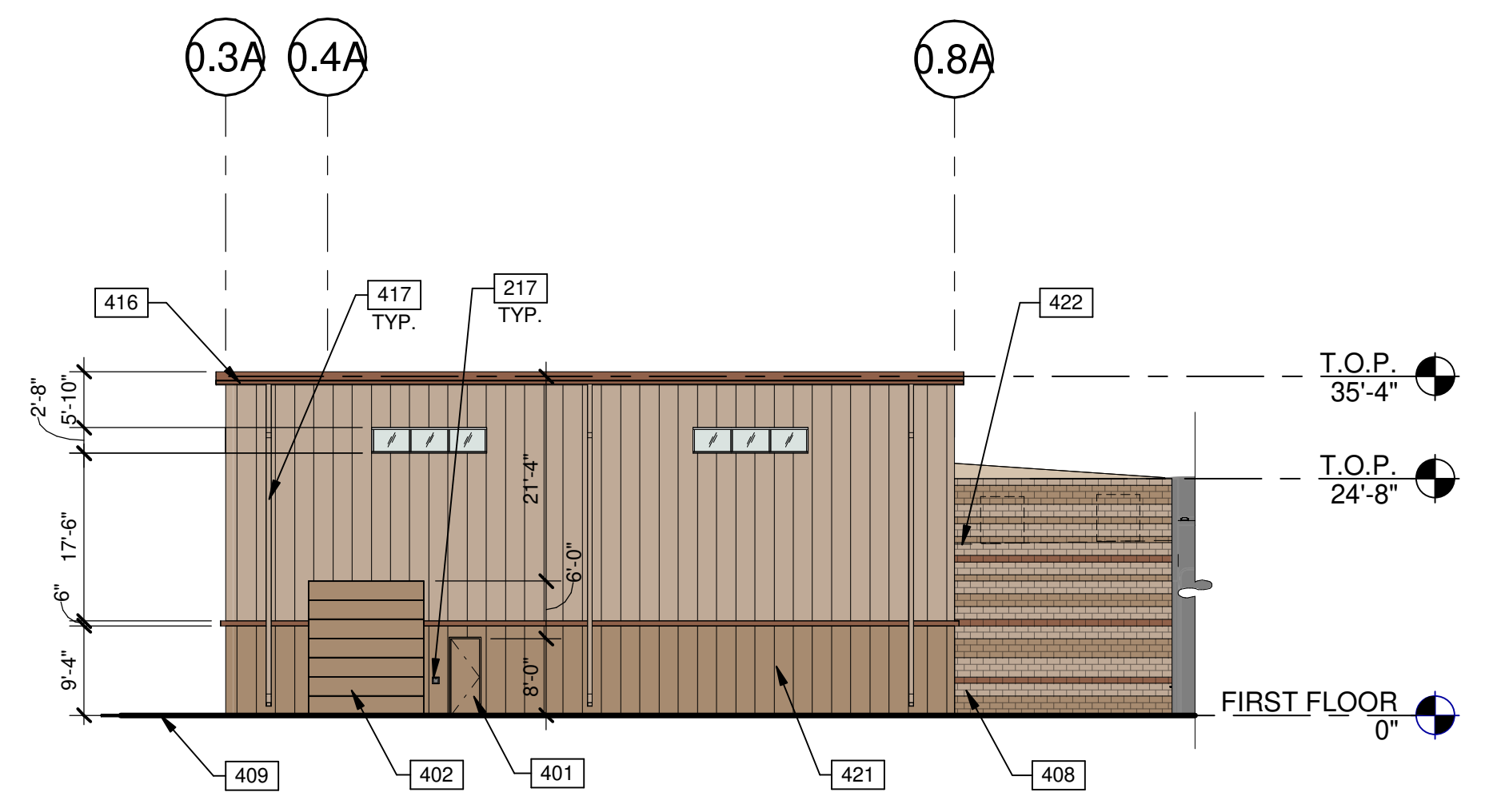
**CALCULATION PER MATERIAL TYPES**

CMU BLOCK TOTAL COMBINED = 560 SF = 4.5% OF ELEVATION  
 PEMB TOTAL COMBINED = 10,742 SF = 85.4% OF ELEVATION  
 METAL TOTAL COMBINED = 398 SF = 3.2% OF ELEVATION  
 GLAZING TOTAL COMBINED = 64 SF = 0.5% OF ELEVATION  
 DOOR TOTAL COMBINED = 809 SF = 6.4% OF ELEVATION

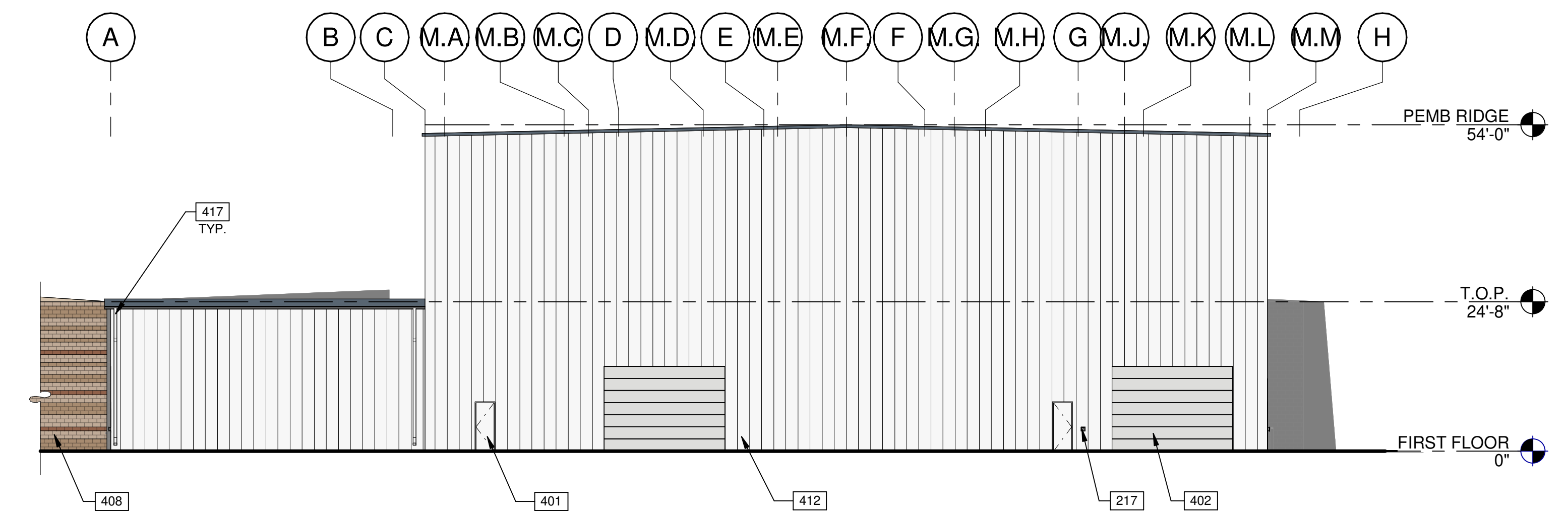
TOTAL ELEVATION AREA = 12,573 SF



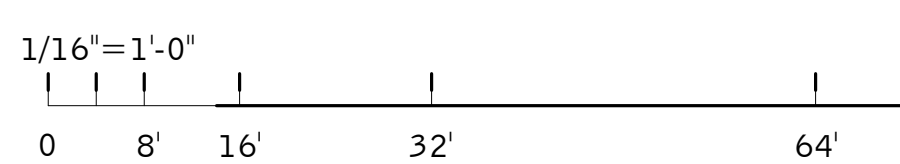
**OVERALL SOUTH ELEVATION** 3  
 SCALE: 1/16" = 1'-0"



**SOUTH ELEVATION - TRAINING CENTER** 3A  
 SCALE: 1/16" = 1'-0"



**SOUTH ELEVATION - PEMB EXPANSION** 3B  
 SCALE: 1/16" = 1'-0"



**LEGEND**

**COLORS:**  
 PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.  
 ALL WALLS TO BE PAINTED WITH BASE COLOR U.O.N.

A	DUNN EDWARDS DE6123 - "TRAIL DUST"
B	DUNN EDWARDS DEC747 - "SAHARA"
C	DUNN EDWARDS DE6105 - "WEATHERED LEATHER"
D	DUNN EDWARDS DEC718 - "MESA TAN"
E	PEMB PANEL - MANUFACTURER'S WHITE FINISH
F	RUSTED PATINA METAL
G	METAL LINTEL WITH 3" BOLT HEAD - DECORATIVE

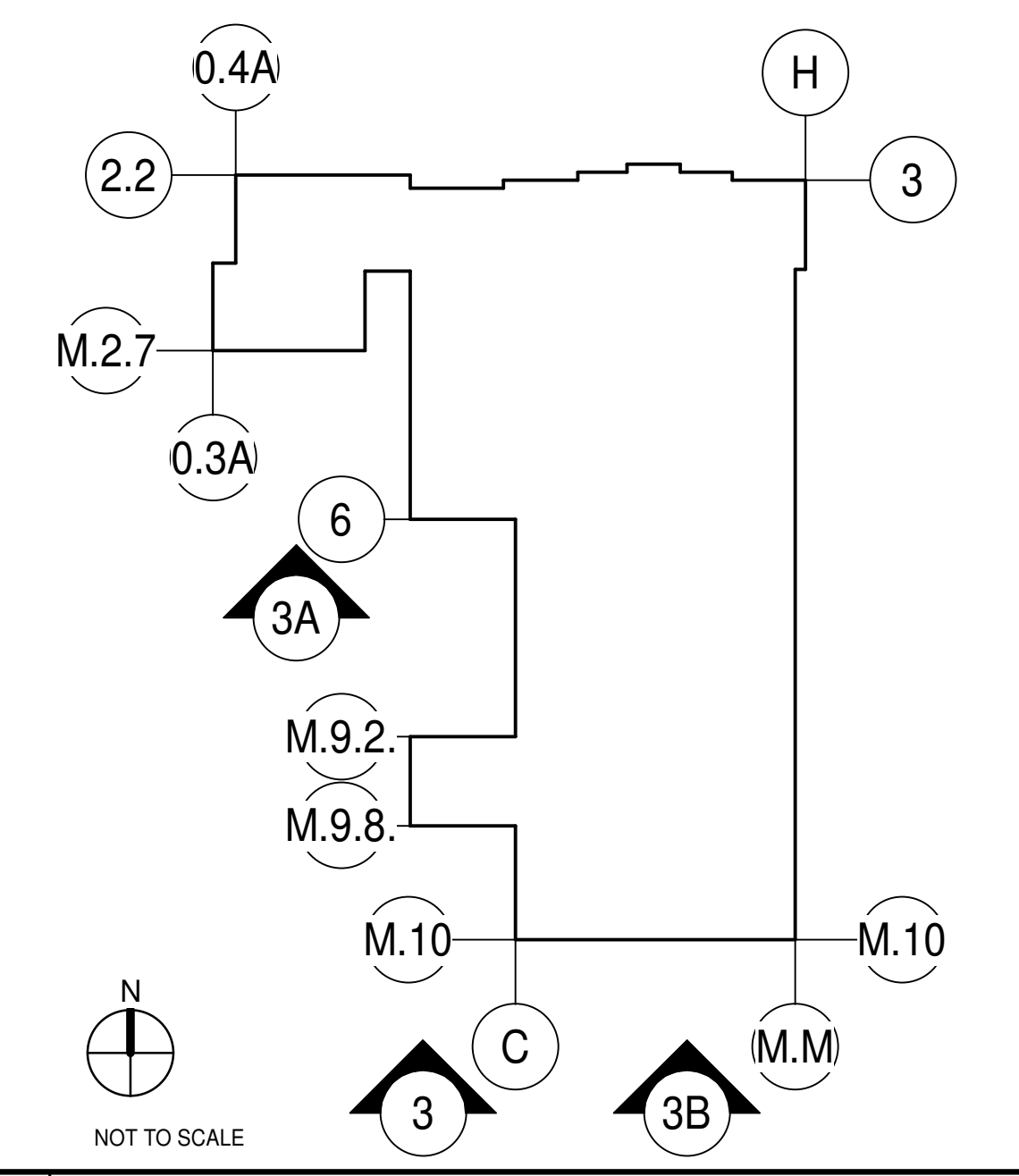
**GLASS:**

	VISION GLASS: 1" INSULATING BRONZE REFLECTIVE OLDCASTLE - IGU OB: 1/4" PPG SOLARCOOL BRONZE REFLECTIVE #2 AS: 1/2" (AIR FILL) IB: 1/4" PPG SOLARBAN 60 ON CLEAR LOW-E #3 U-FACTOR SUMMER DAYTIME: 0.27 SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.18
	SPANDREL GLASS
	TEMPERED GLASS

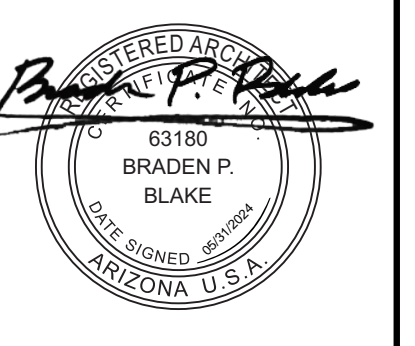
**KEYNOTES:**

- 217 SURFACE MOUNTED KNOX BOX LOCATION (REQ. AT ALL BUILDING EXIT DOORS, LOCATED ON DOOR STRIKE LEG SIDE).
- 401 HOLLOW METAL MAN DOOR.
- 402 OVERHEAD DOOR.
- 408 PAINTED CMU WALL.
- 409 FINISH GRADE VARIES.
- 412 METAL PANEL 26 GA EMBOSSED 'VEE-PANEL' OR EQUAL - BY PEMB.
- 416 DRAINAGE GUTTER SYSTEM.
- 417 DRAIN LEADER.
- 421 PAINTED PEMB.
- 422 LINE OF ROOF BEYOND.

**KEY PLAN**



**WARE MALCOMB**  
 CIVIL ENGINEERING  
 ARCHITECTURE  
 PLANNING  
 INTERIORS  
 2777 L Camelback Rd Suite #325  
 Phoenix, AZ 85016  
 P 480.767.1001



**METSO EXPANSION**  
 8223 EAST PECOSS ROAD  
 MESA, ARIZONA, 85212

**EXTERIOR ELEVATIONS**

DATE	REMARKS
12/22/2023	PRESUBMITTAL
02/19/2024	P&Z SUBMITTAL
02/22/2024	DR SUBMITTAL
05/06/2024	DR AND P&Z RESUBMITTAL
05/05/2024	DR AND P&Z 2ND RESUBMITTAL

PA/PM: A.MADRID  
 DRAWN BY: A.M.  
 JOB NO.: PHX23-0173-00

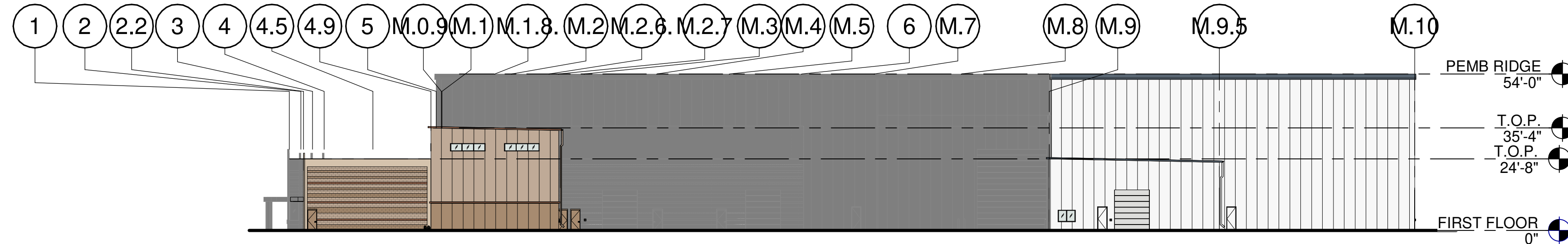
SHEET  
**A211**

CALCULATION PER MATERIAL DETAILS

\*A\* PAINTED CMU BLOCK - DEC6123 - TRAIL DUST = 513 SF = 5.4% OF ELEVATION
\*A\* PAINTED PEMB METAL PANEL - DEC6123 - TRAIL DUST = 1,038 SF = 10.9% OF ELEVATION
\*B\* PAINTED STUCCO OVER CMU BLOCK - DEC747 - SAHARA = 176 SF = 1.9% OF ELEVATION
\*C\* PAINTED CMU BLOCK - DE6105 - WEATHERED LEATHER = 80 SF = 0.8% OF ELEVATION
\*C\* PAINTED GUTTER & DRAIN SYSTEM - DE6105 - WEATHERED LEATHER = 83 SF = 0.7% OF ELEVATION
\*D\* PAINTED PEMB TRIM - DEC6105 - WEATHERED LEATHER = 23 SF = 0.2% OF ELEVATION
\*D\* PAINTED CMU BLOCK - DEC718 - MESA TAN = 292 SF = 3.1% OF ELEVATION
\*D\* PAINTED PEMB METAL PANEL - DEC718 - MESA TAN = 411 SF = 4.3% OF ELEVATION
\*E\* PEMB METAL PANEL - MANUFACTURER WHITE FINISH = 6,266 SF = 65.7% OF ELEVATION
GUTTER & DRAIN SYSTEM = 12 SF = 0.1% OF ELEVATION
GLAZING = 88 SF = 0.9% OF ELEVATION
OVERHEAD & MAN DOORS = 296 SF = 3.1% OF ELEVATION
METAL ROOF = 278 SF = 2.9% OF ELEVATION
TOTAL ELEVATION AREA = 9,536 SF

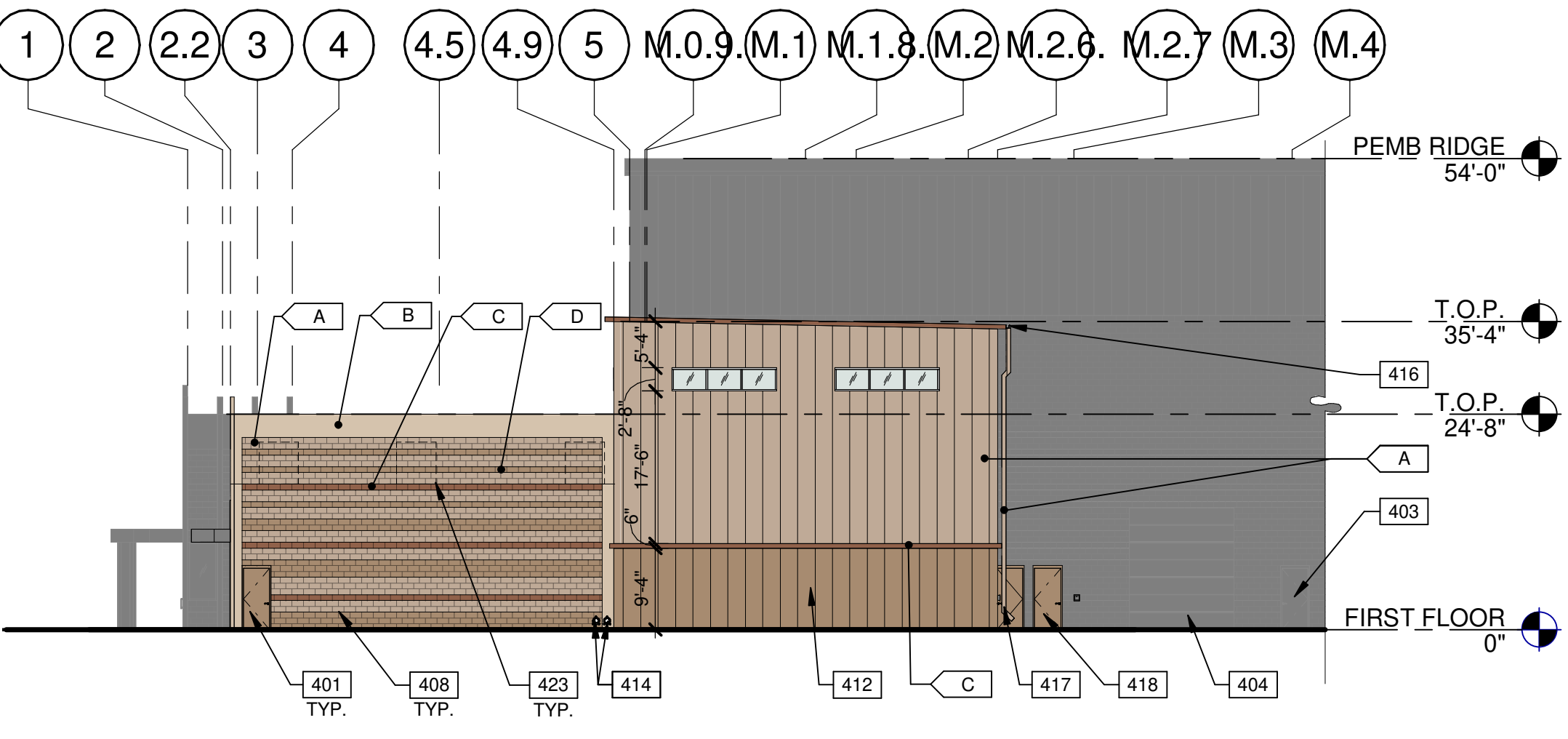
CALCULATION PER MATERIAL TYPES

CMU BLOCK TOTAL COMBINED = 885 SF = 9.3% OF ELEVATION
STUCCO TOTAL COMBINED = 176 SF = 1.9% OF ELEVATION
PEMB TOTAL COMBINED = 7,738 SF = 81.1% OF ELEVATION
METAL TOTAL COMBINED = 353 SF = 3.7% OF ELEVATION
GLAZING TOTAL COMBINED = 88 SF = 0.9% OF ELEVATION
DOOR TOTAL COMBINED = 296 SF = 3.1% OF ELEVATION
TOTAL ELEVATION AREA = 9,536 SF



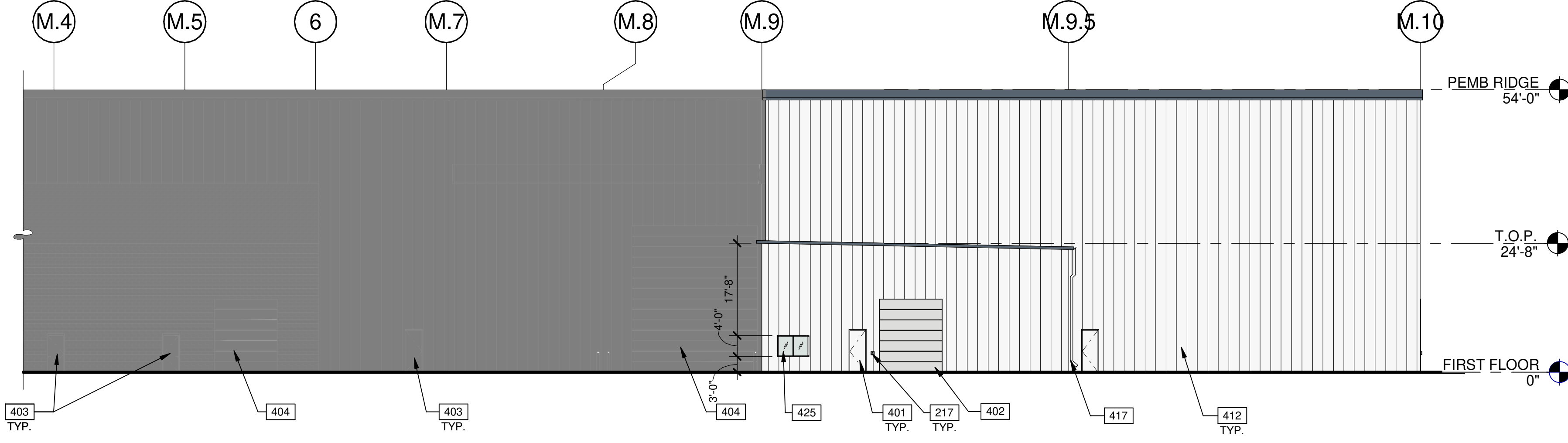
OVERALL WEST ELEVATION

SCALE: 1" = 30'-0"



WEST ELEVATION - TRAINING CENTER

SCALE: 1/16" = 1'-0"



WEST ELEVATION - PEMB EXPANSION & SERVICE/PARTS ROOM

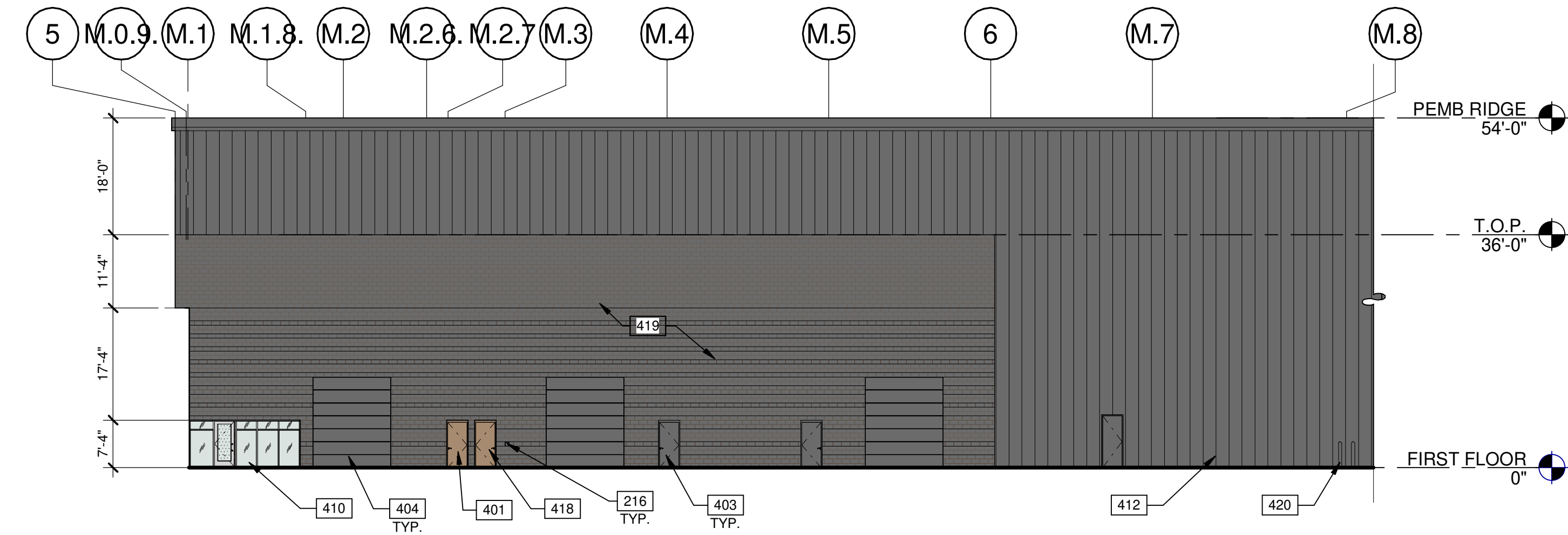
SCALE: 1/16" = 1'-0"

CALCULATION PER MATERIAL DETAILS

STOREFRONT GLAZING = 126 SF = 72% OF ELEVATION
MAN DOORS = 49 SF = 28% OF ELEVATION
TOTAL ELEVATION AREA = 175 SF\*
\*PROPOSED SCOPE OF WORK ONLY NOT INCLUDING EXISTING

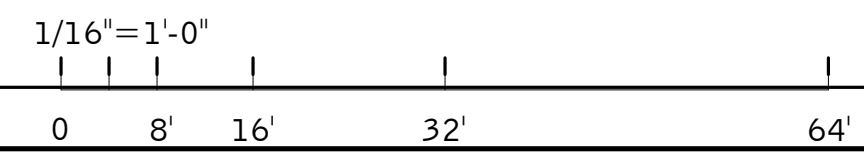
CALCULATION PER MATERIAL TYPES

GLAZING TOTAL COMBINED = 126 SF = 72% OF ELEVATION
DOOR TOTAL COMBINED = 49 SF = 28% OF ELEVATION
TOTAL ELEVATION AREA = 175 SF\*
\*PROPOSED SCOPE OF WORK ONLY NOT INCLUDING EXISTING



WEST ELEVATION - EXISTING BUILDING

SCALE: 1/16" = 1'-0"



LEGEND

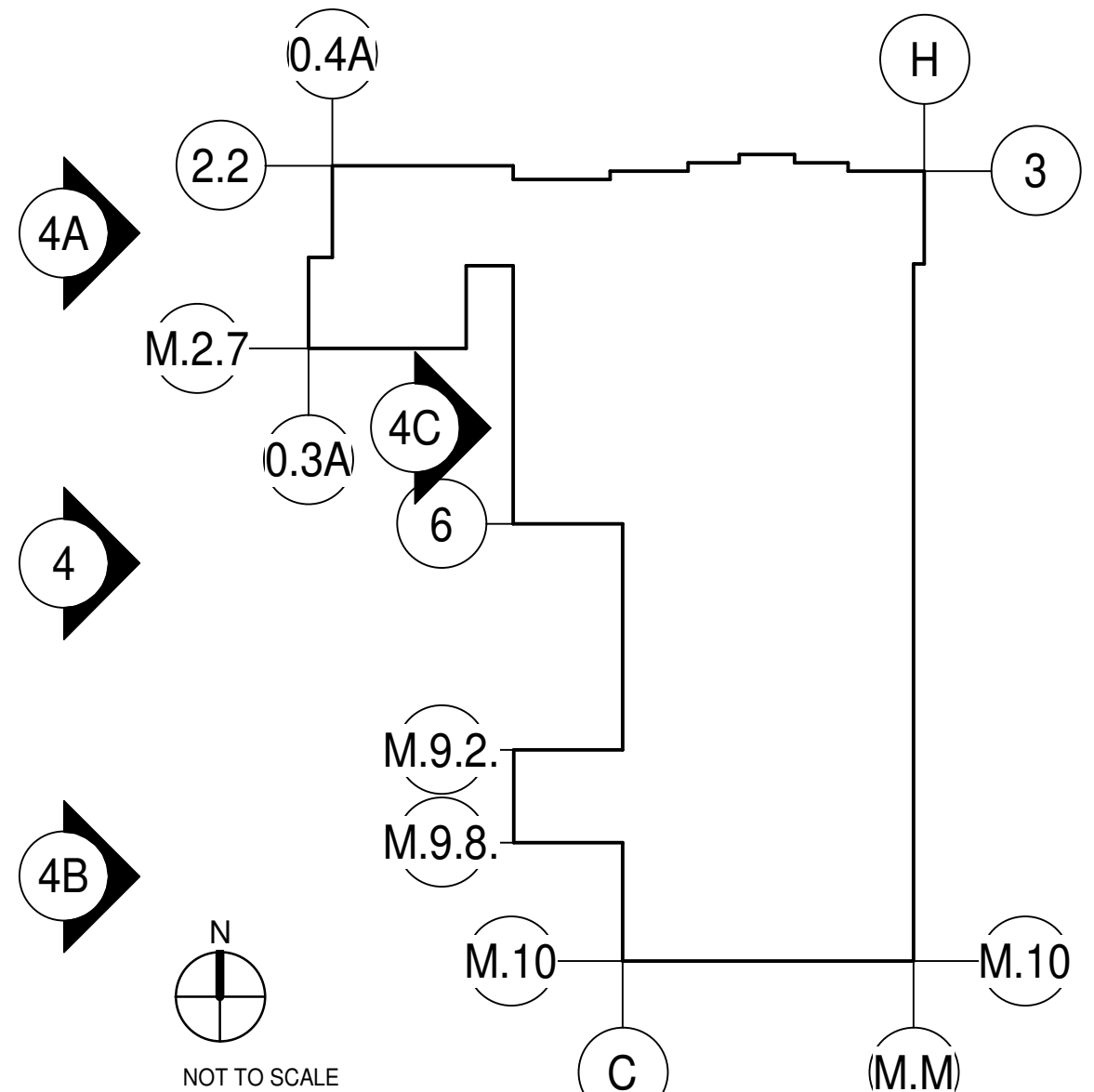
- COLORS:
PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
ALL WALLS TO BE PAINTED WITH BASE COLOR U.O.N.
A DUNN EDWARDS DE6123 - "TRAIL DUST"
B DUNN EDWARDS DEC747 - "SAHARA"
C DUNN EDWARDS DE6105 - "WEATHERED LEATHER"
D DUNN EDWARDS DEC718 - "MESA TAN"
E PEMB PANEL - MANUFACTURER'S WHITE FINISH
F RUSTED PATINA METAL
G METAL LINTEL WITH 3" BOLT HEAD - DECORATIVE

- GLASS:
VISION GLASS: 1" INSULATING BRONZE REFLECTIVE OLDCASTLE - IGU
OB: 1/4" PPG SOLARCOOL BRONZE REFLECTIVE #2 AS-12 (AIR FILL)
IB: 1/4" PPG SOLARBAN 60 ON CLEAR LOW-E #3 U-FACTOR SUMMER DAYTIME: 0.27 SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.18
SPANDREL GLASS
TEMPERED GLASS

KEYNOTES:

- 216 RECESSED KNOX BOX LOCATION (REQ. AT ALL BUILDING EXIT DOORS AND FIRE PUMP ROOM. LOCATED ON DOOR STRIKE LEG SIDE).
217 SURFACE MOUNTED KNOX BOX LOCATION (REQ. AT ALL BUILDING EXIT DOORS. LOCATED ON DOOR STRIKE LEG SIDE).
401 HOLLOW METAL MAN DOOR.
402 OVERHEAD DOOR.
403 EXISTING HOLLOW METAL MAN DOOR.
404 EXISTING OVERHEAD DOOR.
408 PAINTED CMU WALL.
410 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
412 METAL PANEL 26 GA EMBOSSED 'VEE-PANEL' OR EQUAL - BY PEMB.
414 LAMBS TONGUE ROOF DRAINAGE DAYLIGHT LOCATIONS.
416 DRAINAGE GUTTER SYSTEM.
417 DRAIN LEADER.
418 HOLLOW METAL MAN DOOR ACCESS TO PROPOSED FIRE RISER ROOM.
419 GRAY HATCH INDICATES EXISTING BUILDING THAT IS TO REMAIN.
420 EXISTING BOLLARD.
423 PROPOSED SCREENED HVAC UNITS.
425 SHIPPING AND RECEIVING WINDOW.

KEY PLAN



WARE MALCOMB
CIVIL ENGINEERING
ARCHITECTURE
PLANNING
INTERIORS
2777 E Camelback Rd Suite #325
Phoenix, AZ 85016
P: 480.767.1001

BRADEN P. BLAKE
REGISTERED ARCHITECT
63180 BRADEN P. BLAKE
DATE SIGNED: 05/06/2024
ARIZONA U.S.A.

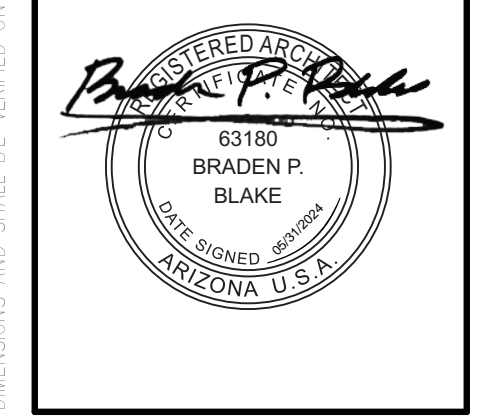
METSO EXPANSION
8223 EAST PECOSS ROAD
MESA, ARIZONA, 85212

Table with 2 columns: DATE, REMARKS. Rows include 12/22/2023 PRESUBMITTAL, 02/19/2024 PAZ SUBMITTAL, 02/22/2024 DR SUBMITTAL, 05/06/2024 DR AND PAZ RESUBMITTAL, 06/05/2024 DR AND PAZ 2ND RESUBMITTAL.

PA/PM: A.MADRID
DRAWN BY: A.M.
JOB NO.: PHX23-0173-00

SHEET
A212

**WARE MALCOMB**  
 CIVIL ENGINEERING  
 ARCHITECTURE  
 PLANNING  
 INTERIORS  
 2777 E Camelback Rd, Suite #325  
 Phoenix, AZ 85016  
 P 480.767.1001



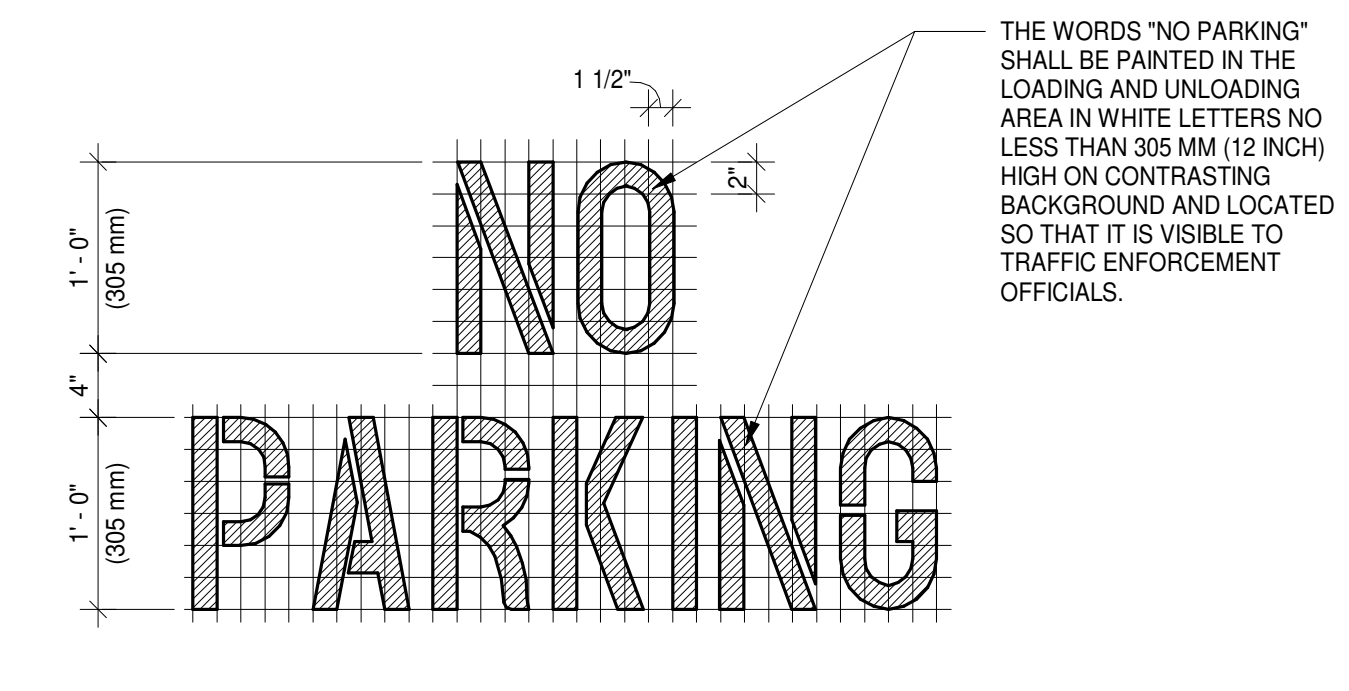
**METSO EXPANSION**  
 8223 EAST PECOSS ROAD  
 MESA, ARIZONA, 85212

**SITE DETAILS**

DATE	REMARKS
12/22/2023	PRESUBMITTAL
02/19/2024	P&Z SUBMITTAL
02/22/2024	DR SUBMITTAL
05/06/2024	DR AND P&Z RESUBMITTAL
06/05/2024	DR AND P&Z 2ND RESUBMITTAL

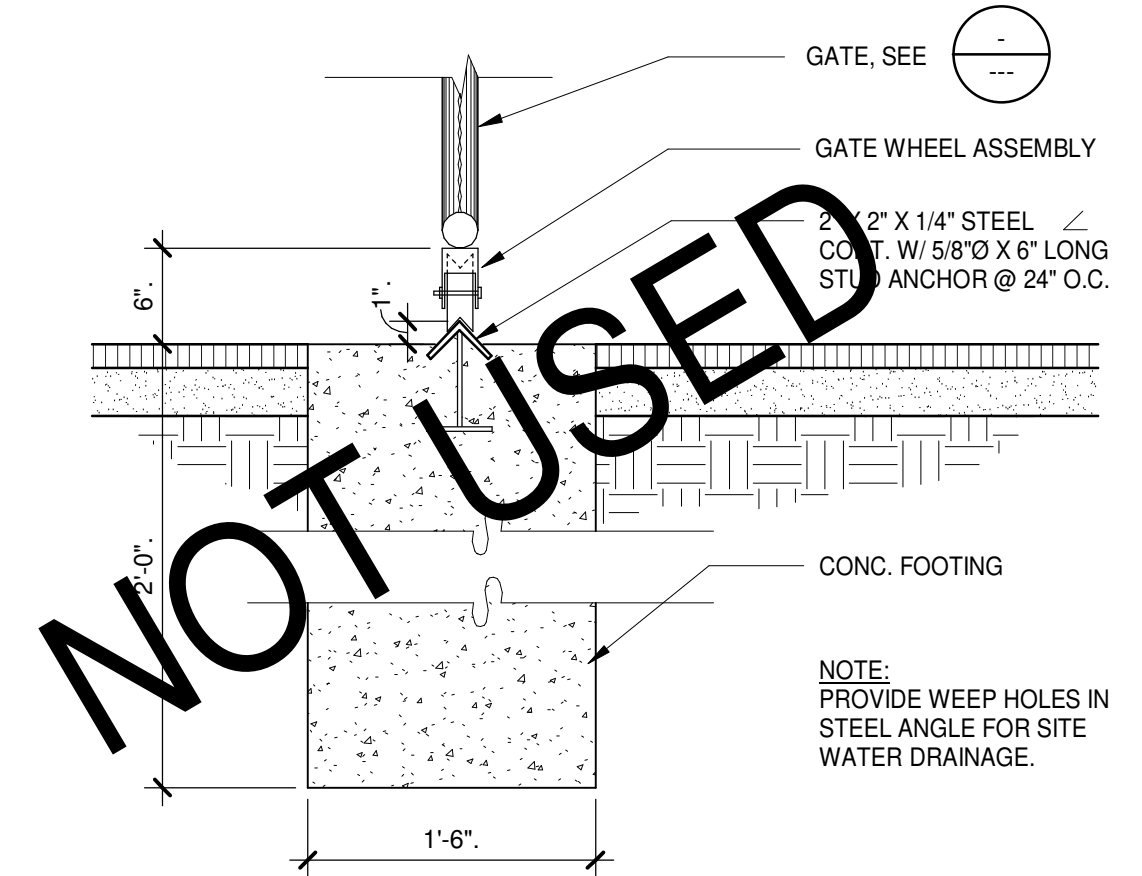
PA/PM: A.MADRID  
 DRAWN BY: A.M.  
 JOB NO.: PHX23-0173-00

SHEET  
**A510**



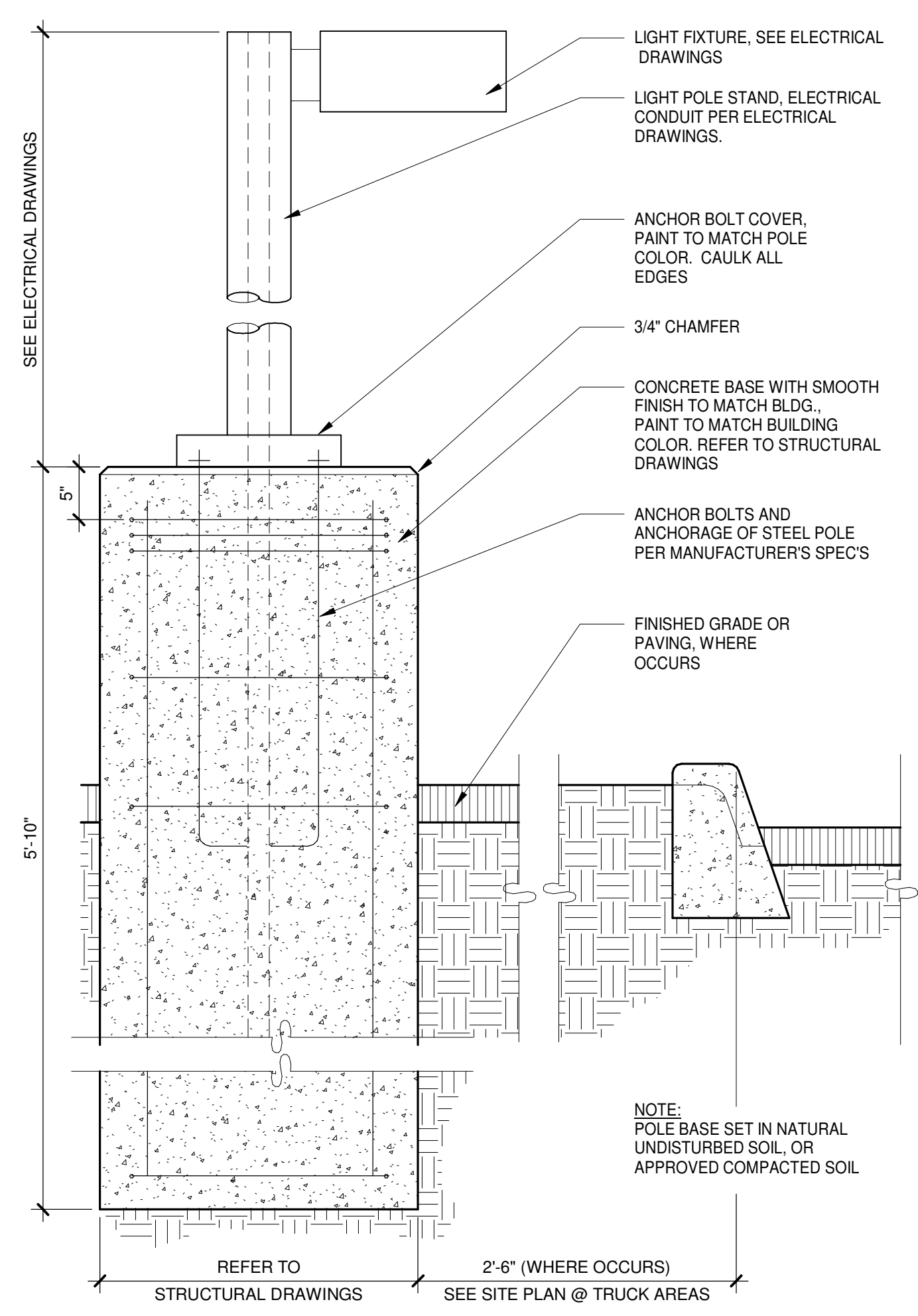
THE WORDS "NO PARKING" SHALL BE PAINTED IN THE LOADING AND UNLOADING AREA IN WHITE LETTERS NO LESS THAN 305 MM (12 INCH) HIGH ON CONTRASTING BACKGROUND AND LOCATED SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICIALS.

**"NO PARKING" PAVEMENT MARKING**  
 SCALE: 1" = 1'-0" **13**

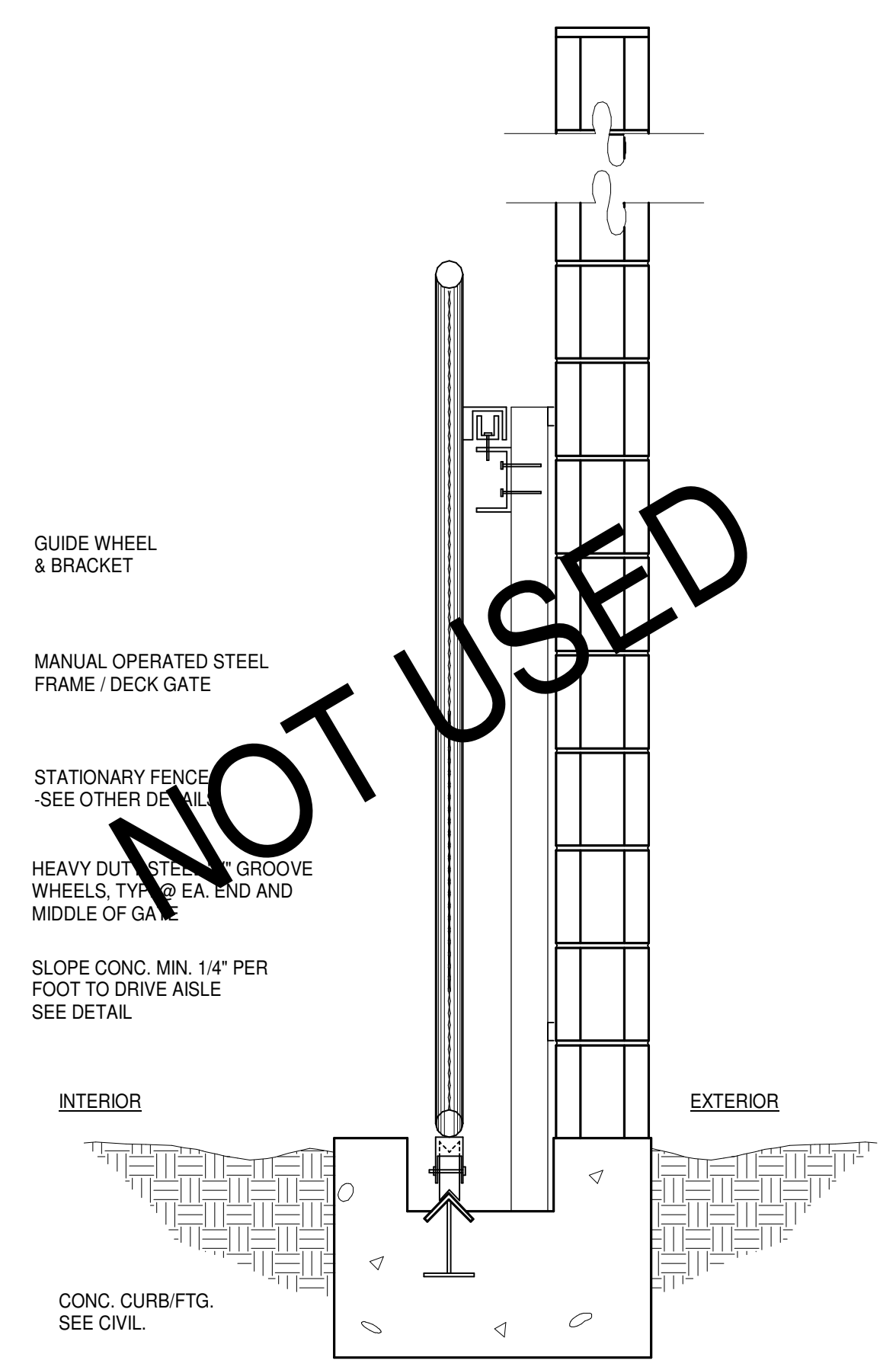


**NOT USED**

**SLIDING GATE - TRACK**  
 SCALE: 3/4" = 1'-0" **9**

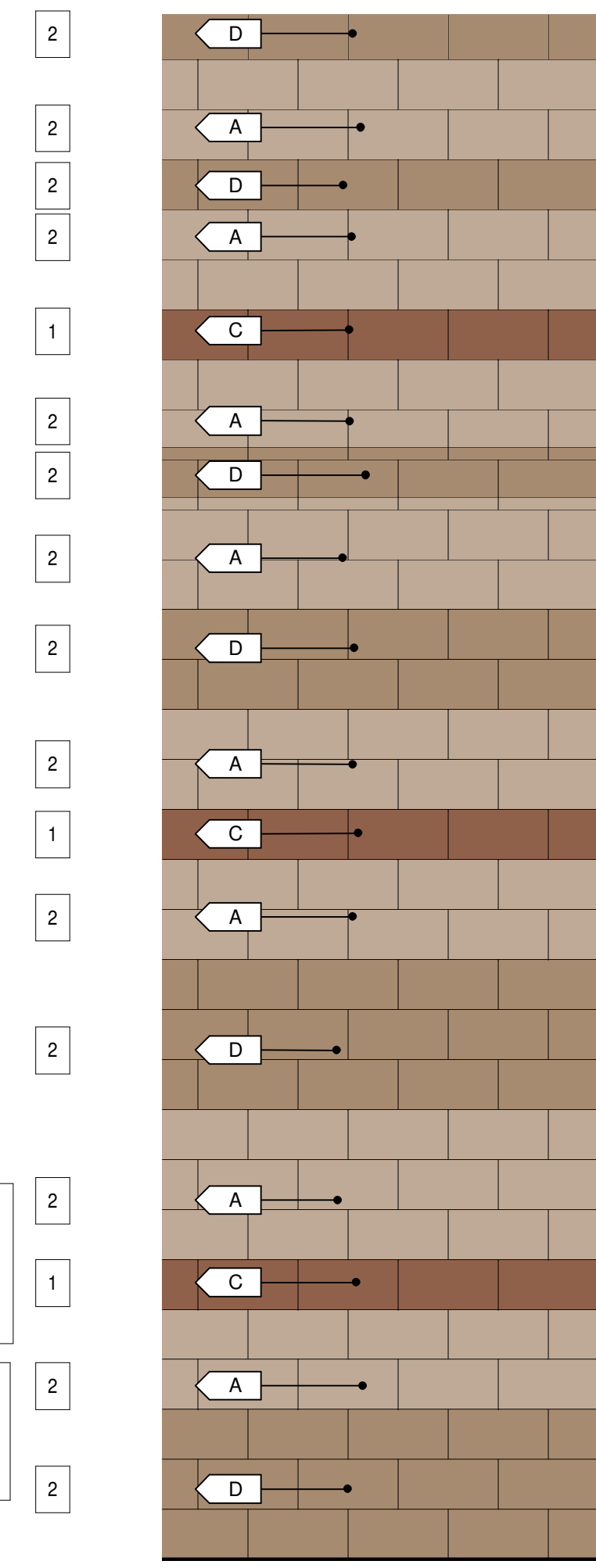


**LIGHT POLE BASE AND FOOTING**  
 SCALE: 1" = 1'-0" **15**



**NOT USED**

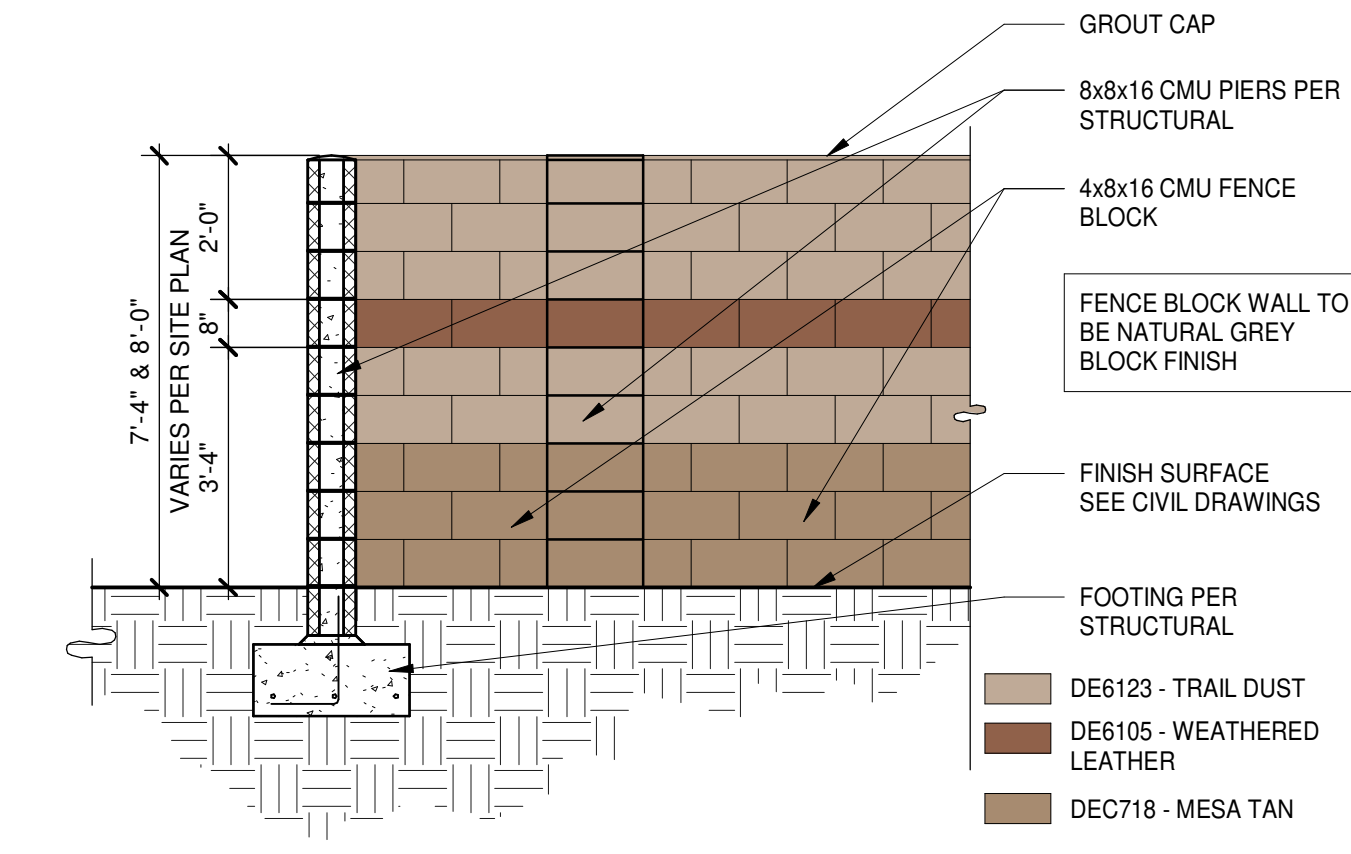
**SLIDING GATE SECTION**  
 SCALE: 1" = 1'-0" **11**



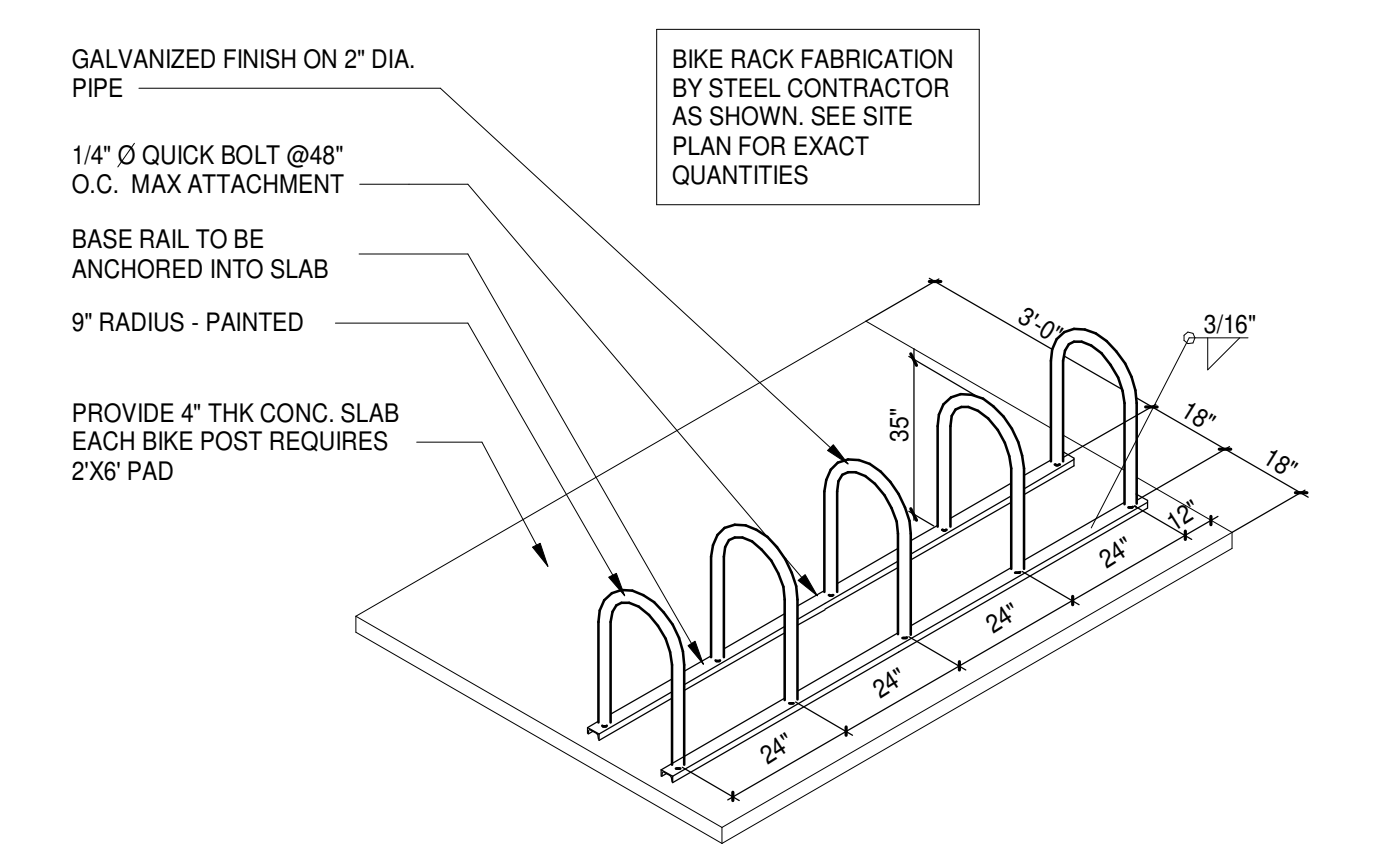
**COLOR KEY**  
 "A" - DUNN EDWARDS DE6123 - "TRAIL DUST"  
 "C" - DUNN EDWARDS DE6105 - "WEATHERED LEATHER"  
 "D" - DUNN EDWARDS DEC718 - "MESA TAN"

**MATERIAL KEY**  
 "1" - SPLIT FACE 8 X 8 X 16 CMU  
 "2" - SMOOTH FACE REGULAR STRUCK 8 X 8 X 16 CMU

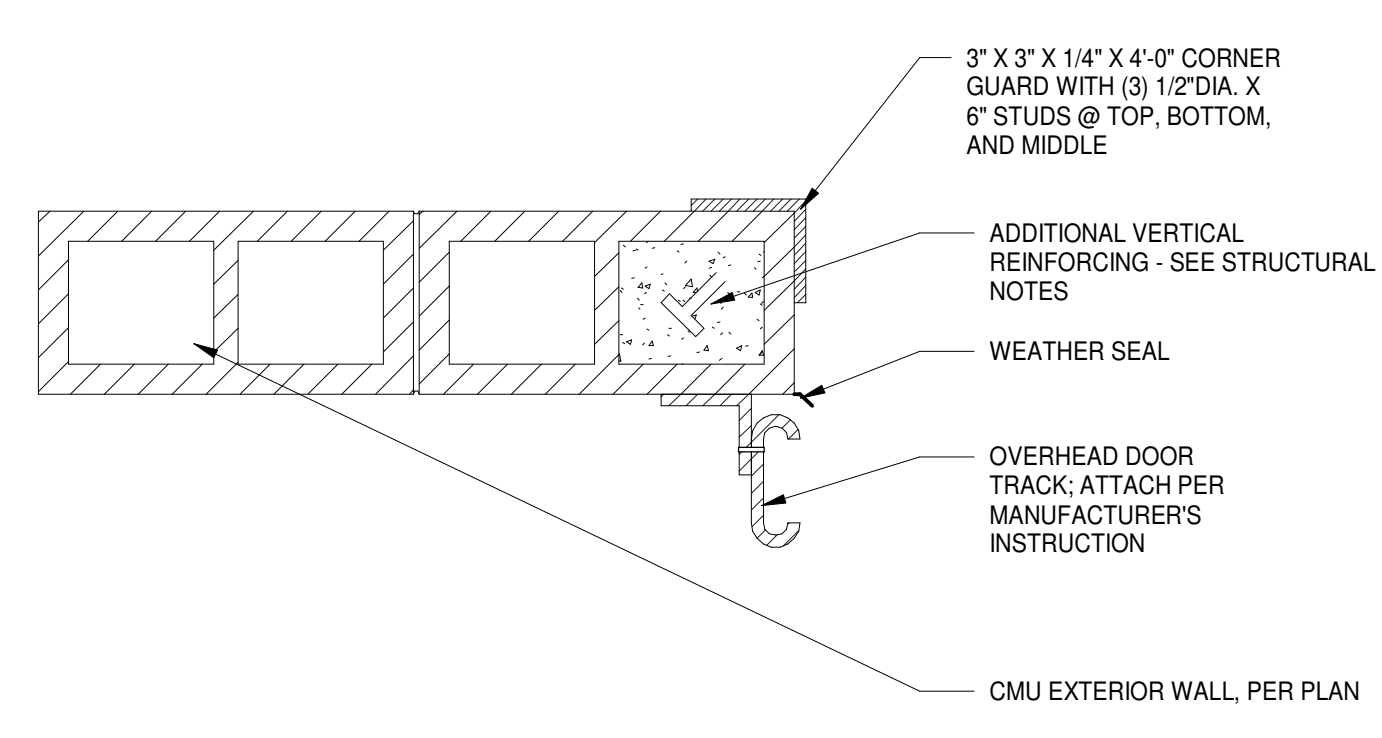
**TYPICAL COLOR BAND ELEVATION**  
 SCALE: 1/2" = 1'-0" **6**



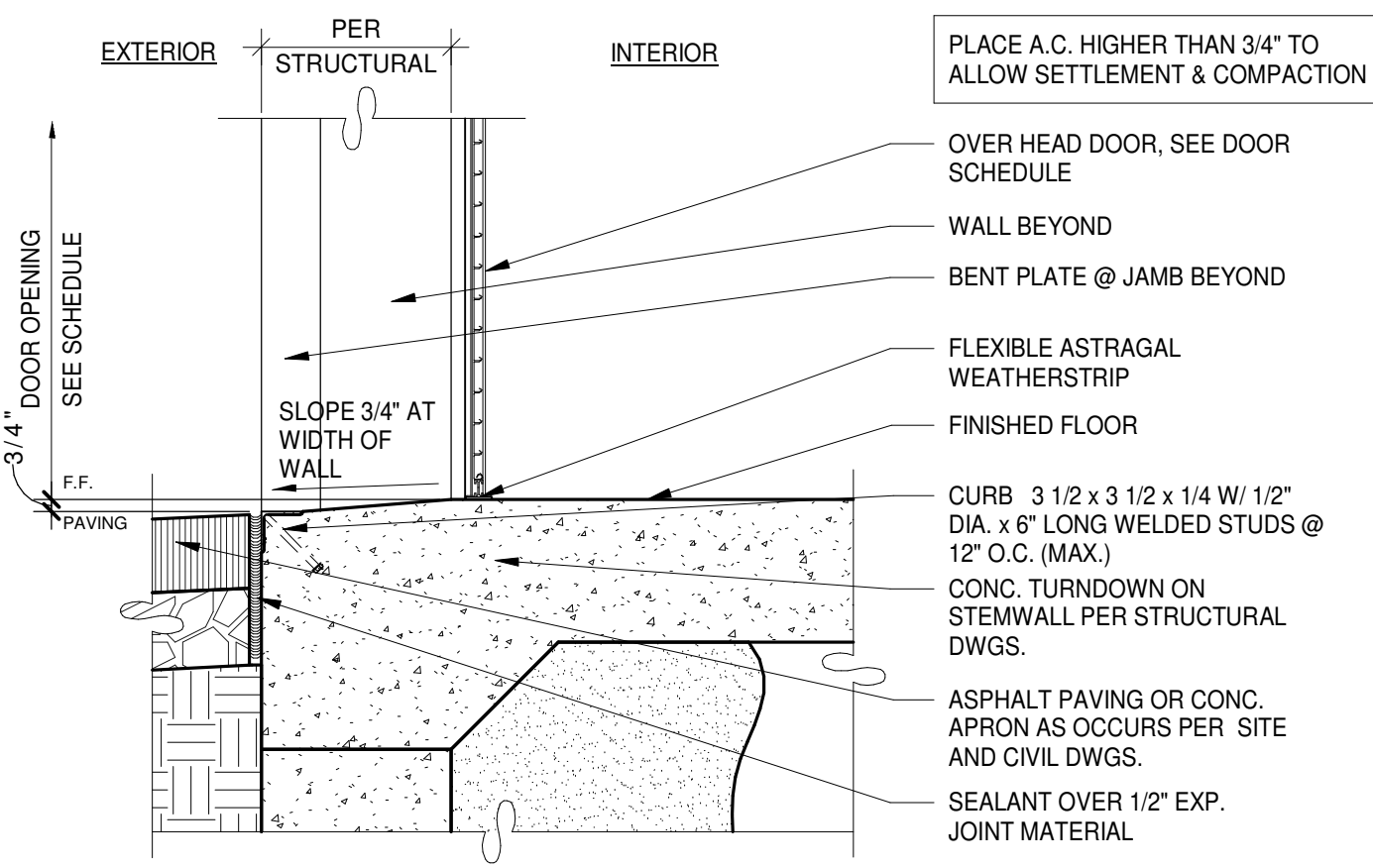
**YARD FENCE BLOCK - ELEVATION**  
 SCALE: 3/8" = 1'-0" **1**



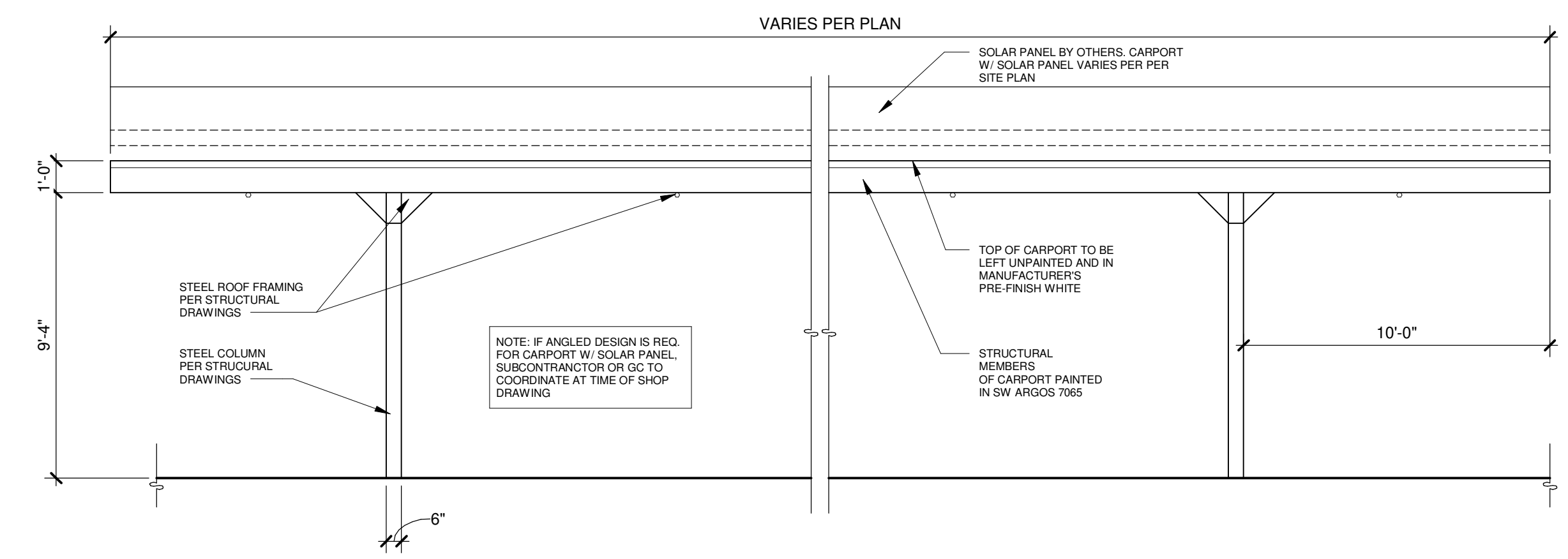
**BIKE RACK - ISOMETRIC VIEW**  
 SCALE: 1/4" = 1'-0" **2**



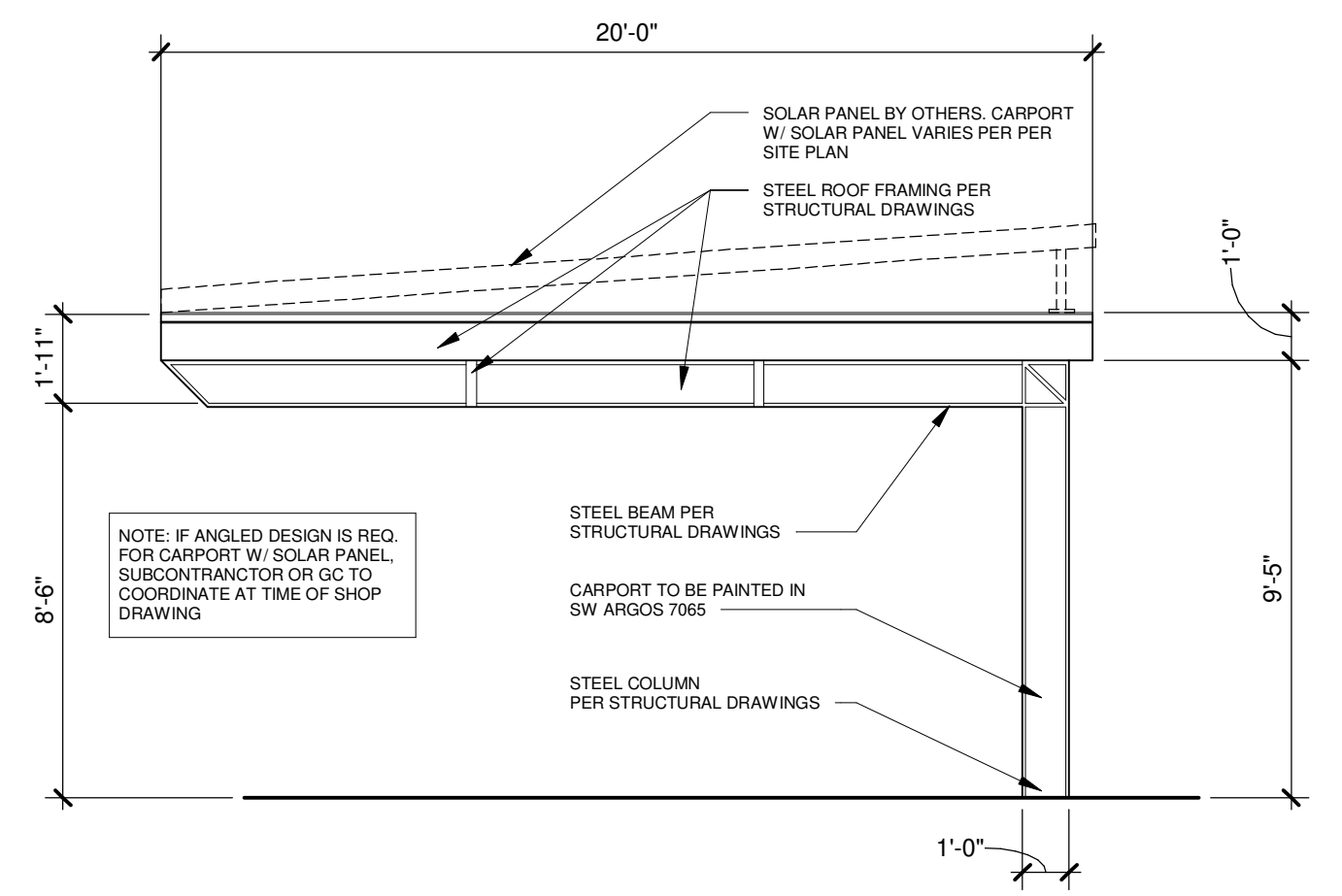
**OVERHEAD DOOR JAMB**  
 SCALE: 1 1/2" = 1'-0" **7**



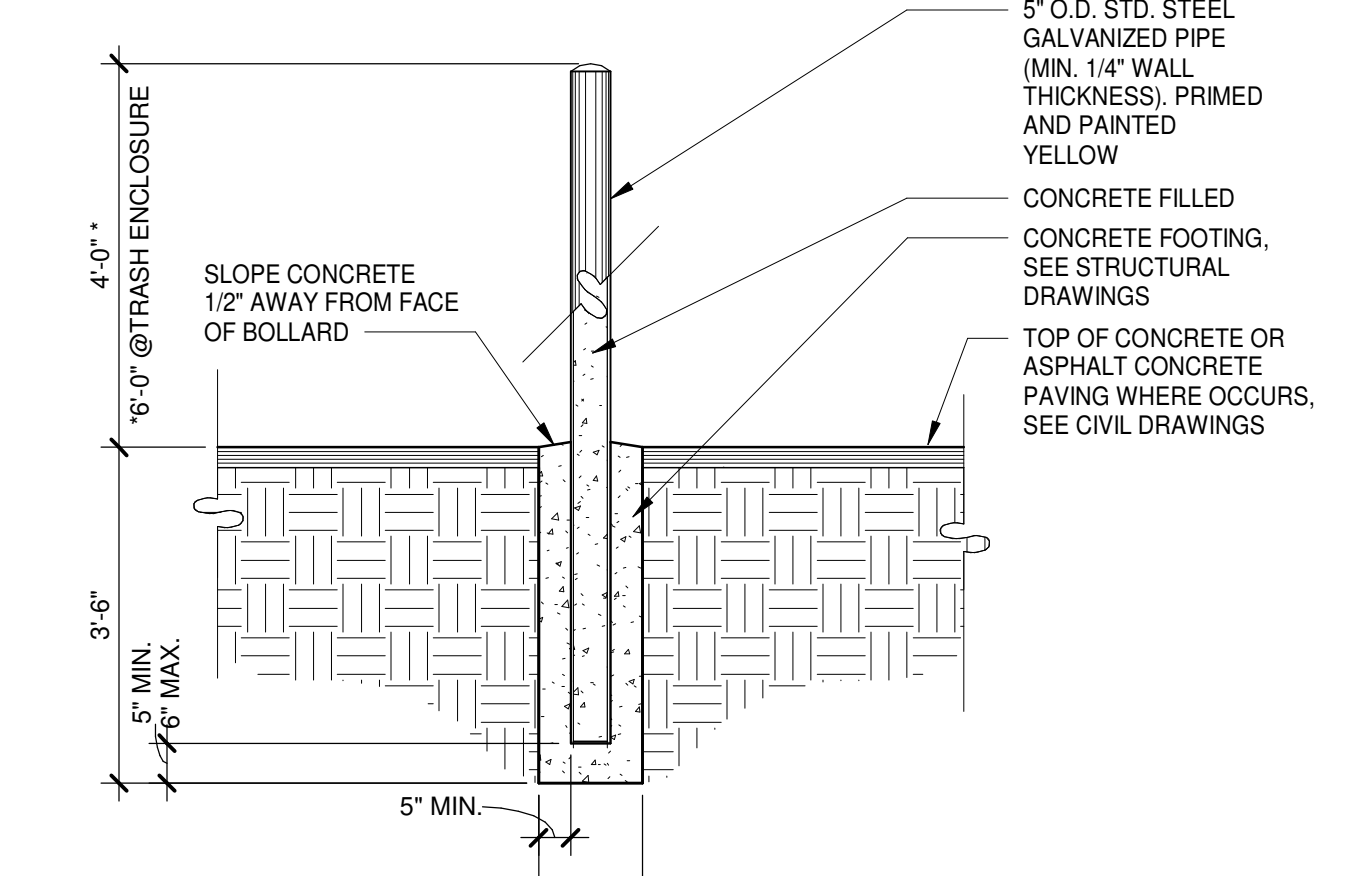
**ROLL-UP DOOR SILL AT GRADE**  
 SCALE: 1 1/2" = 1'-0" **3**



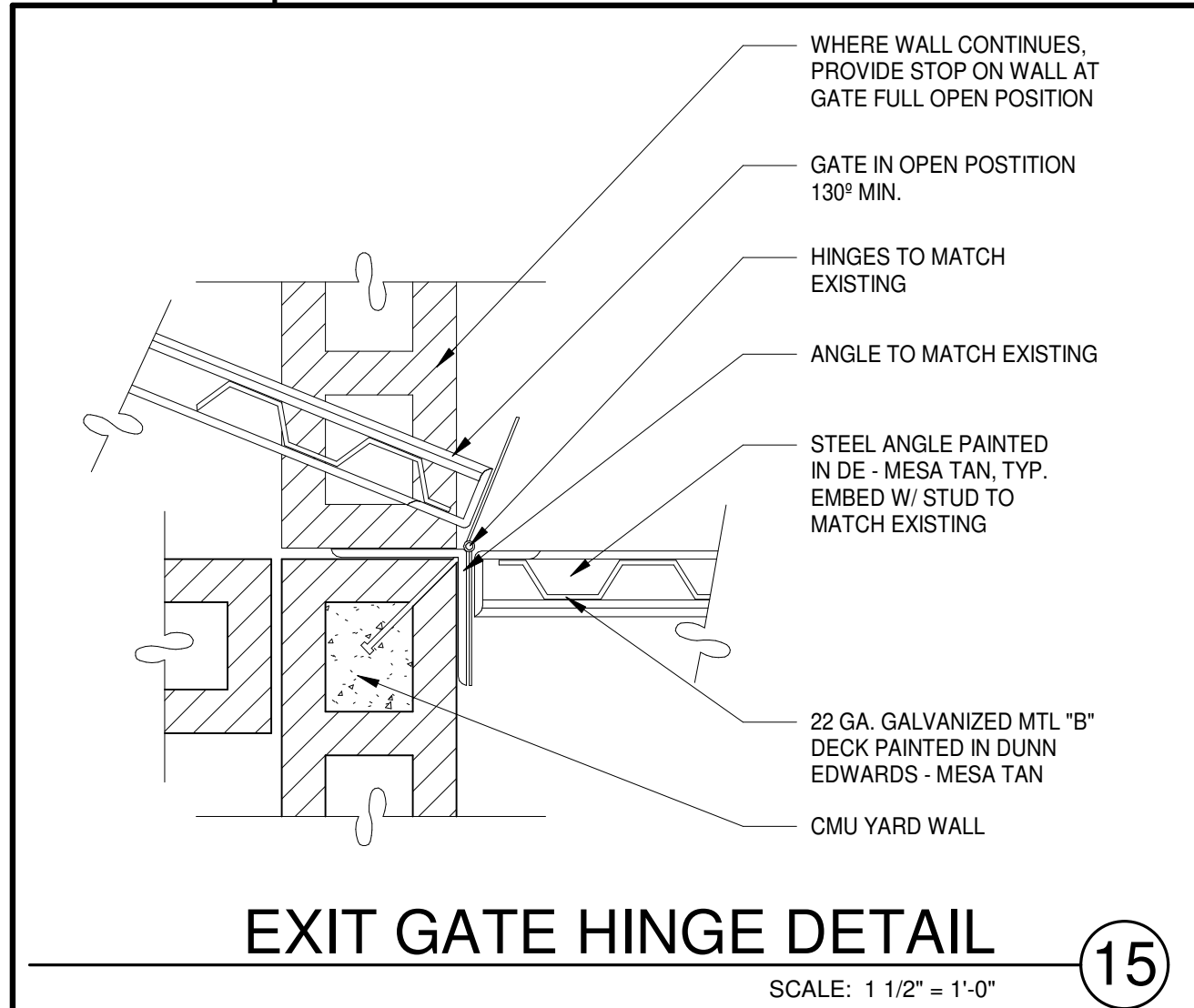
**CARPOT - ELEVATION**  
 SCALE: 1/4" = 1'-0" **12**



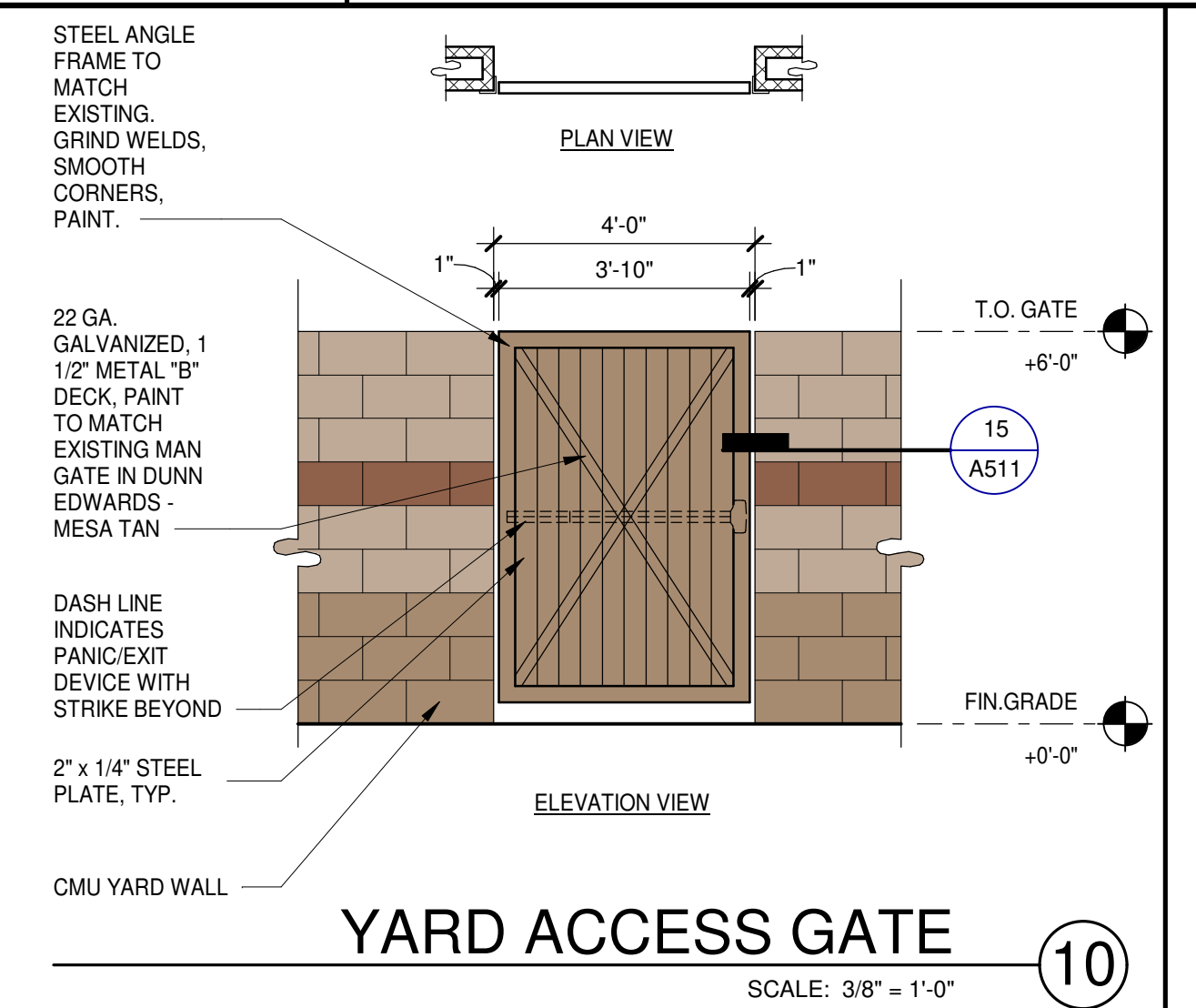
**CARPOT - SECTION**  
 SCALE: 1/4" = 1'-0" **8**



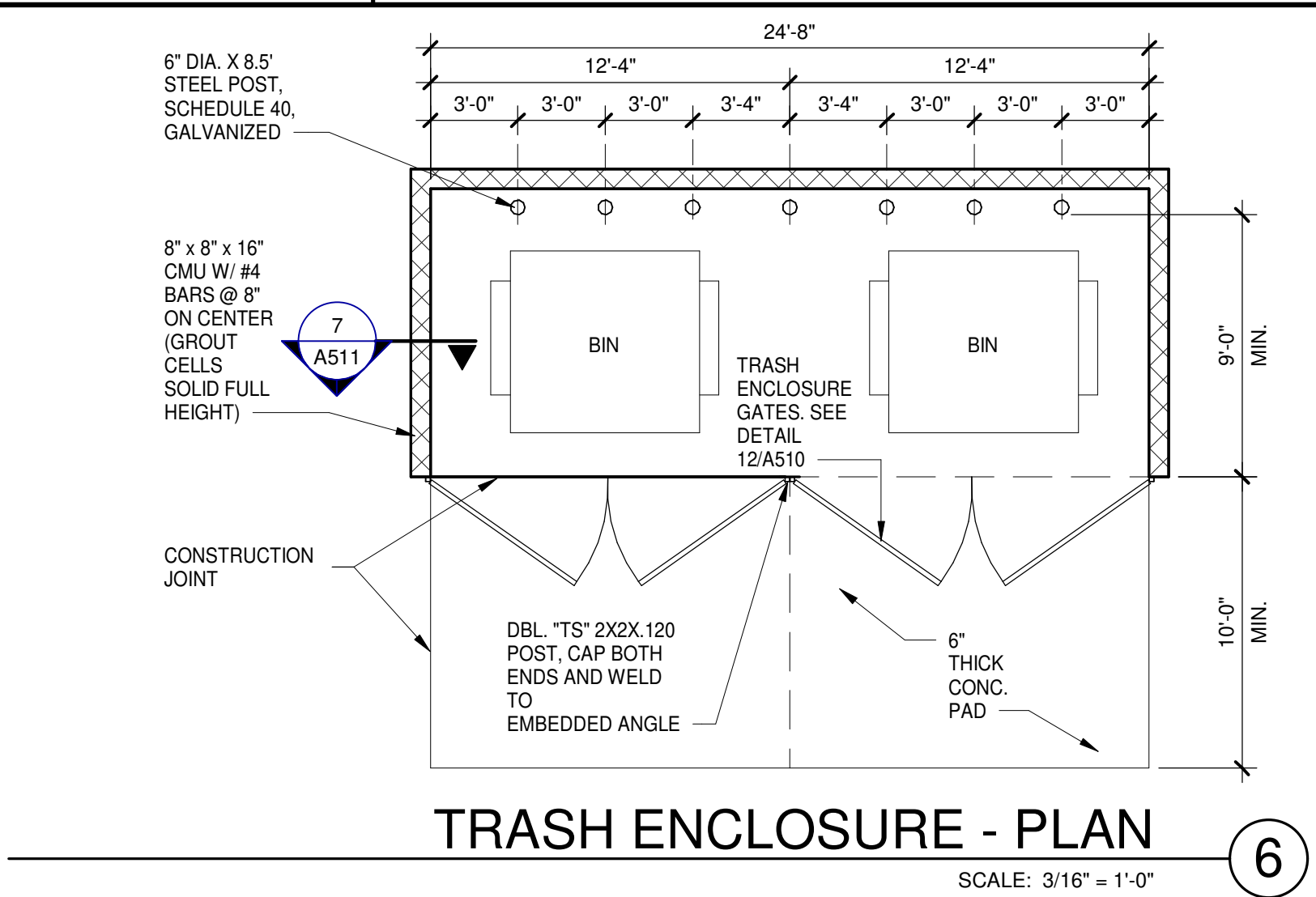
**BOLLARD**  
 SCALE: 1/2" = 1'-0" **4**



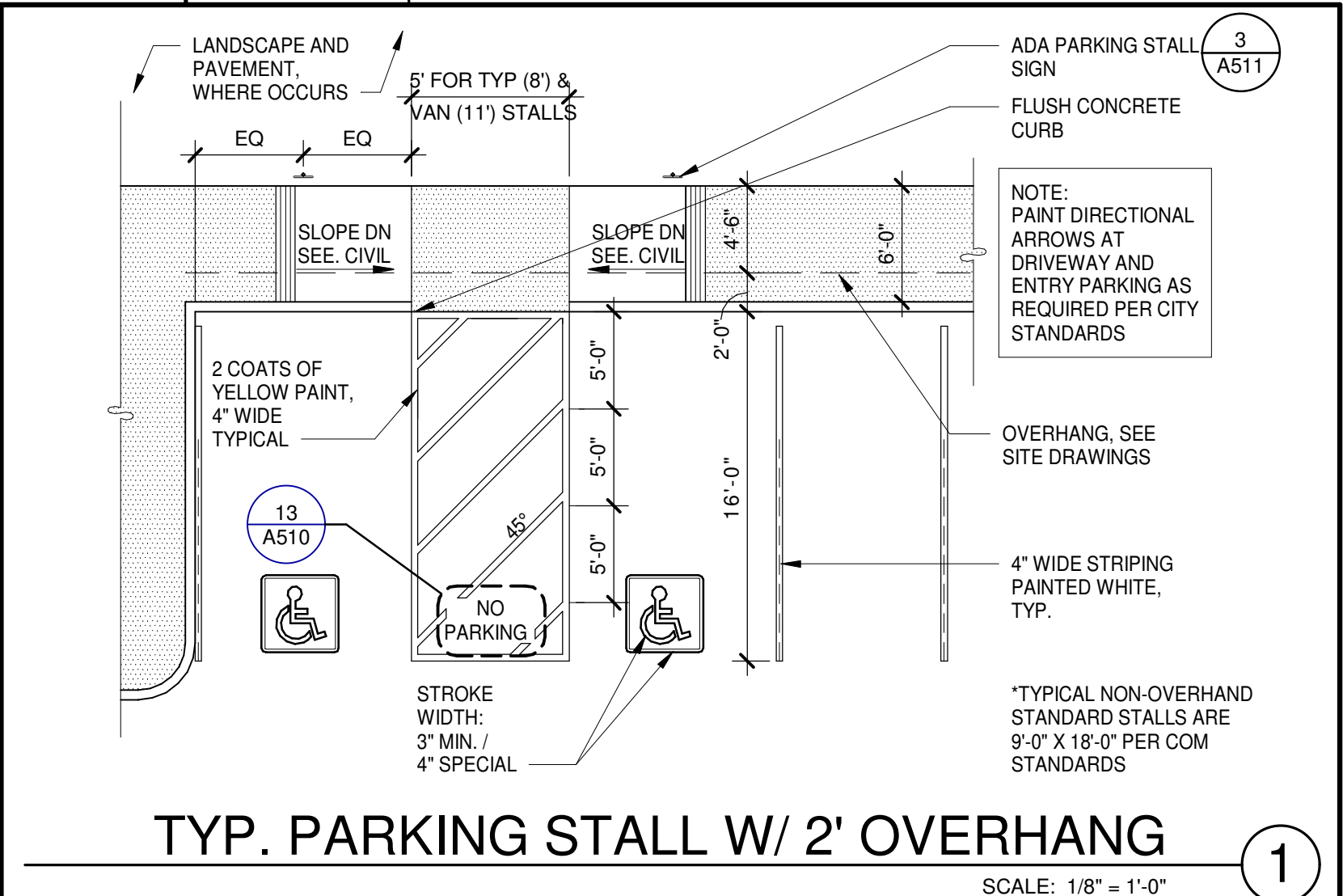
**EXIT GATE HINGE DETAIL**  
SCALE: 1 1/2" = 1'-0" **15**



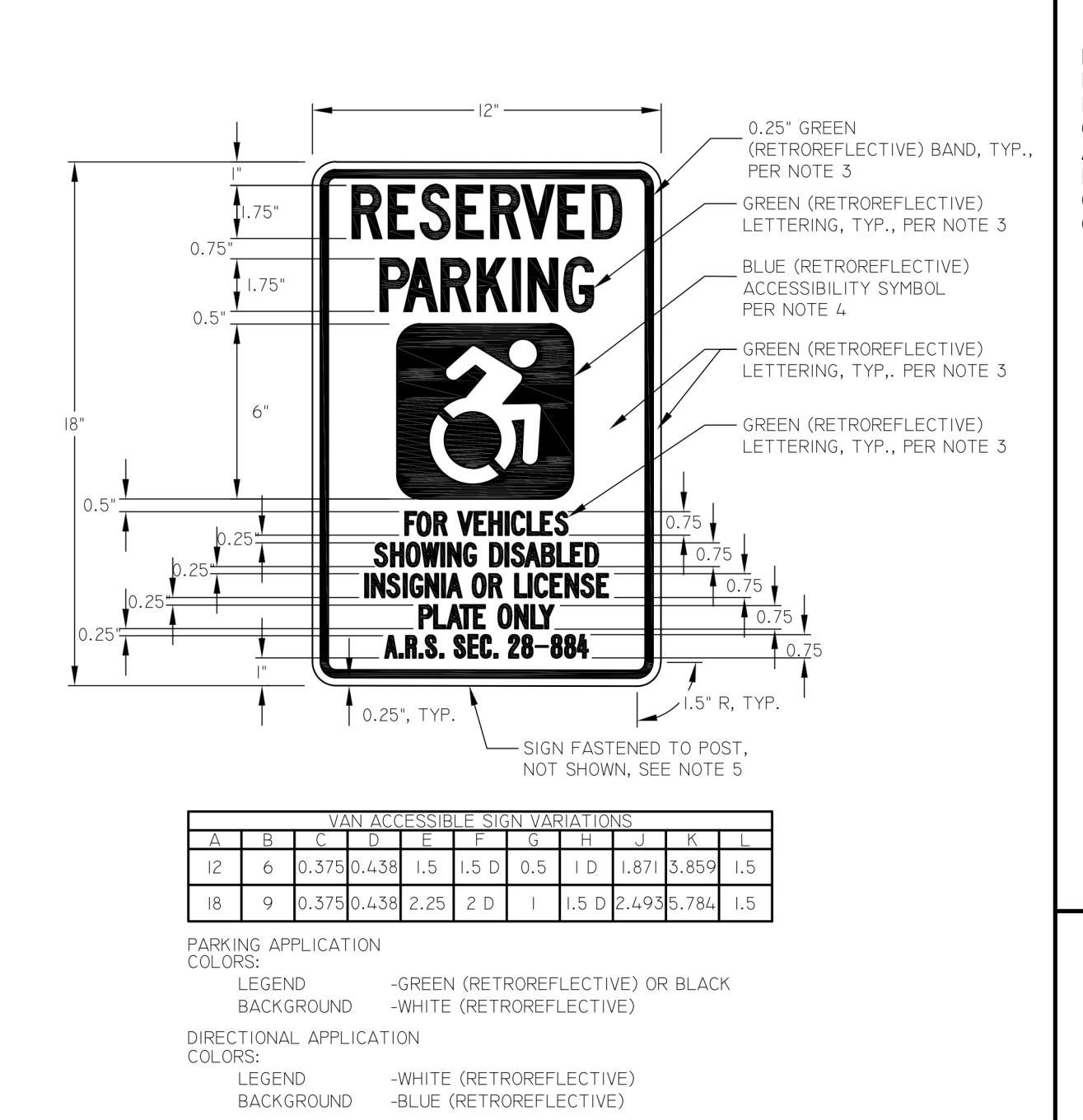
**YARD ACCESS GATE**  
SCALE: 3/8" = 1'-0" **10**



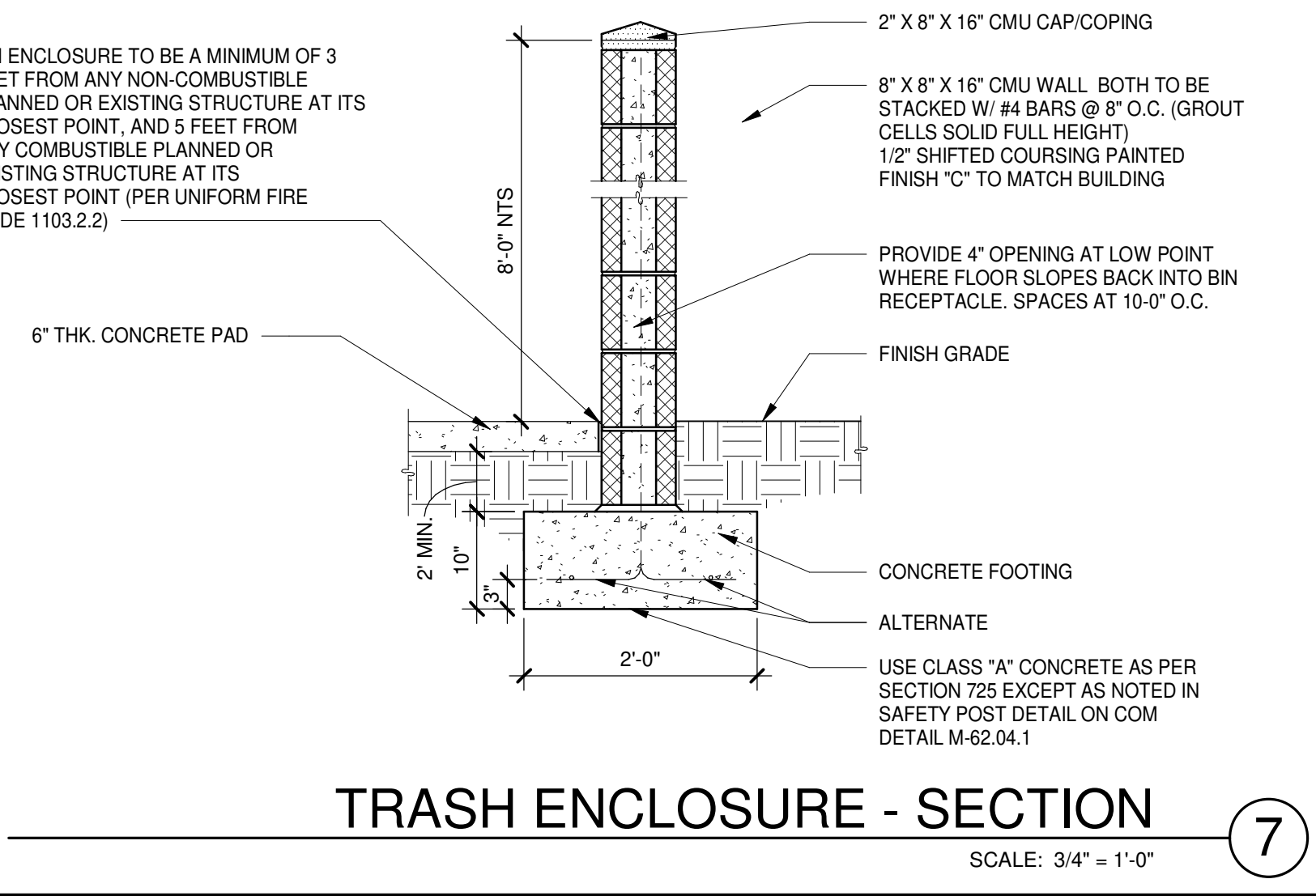
**TRASH ENCLOSURE - PLAN**  
SCALE: 3/16" = 1'-0" **6**



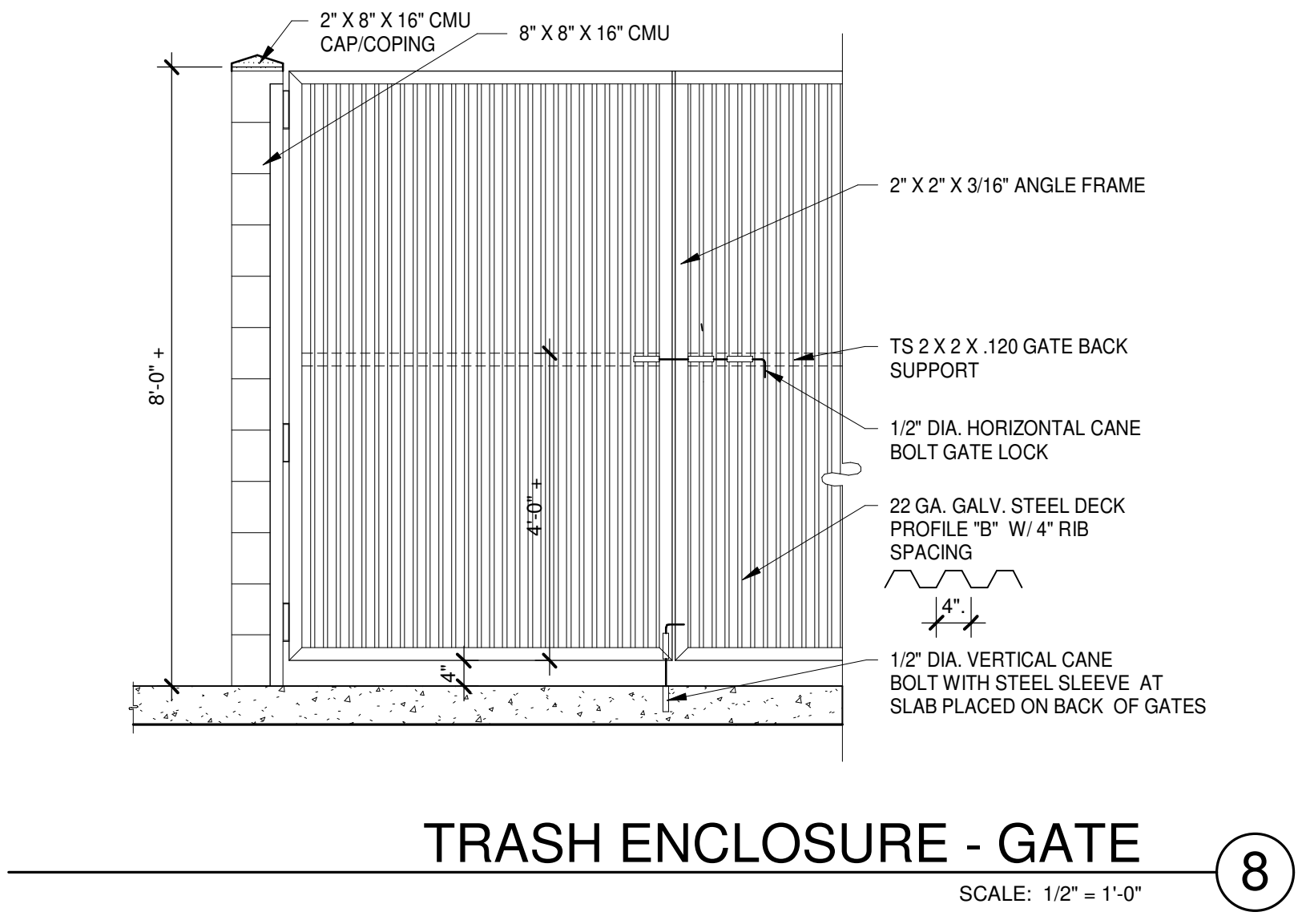
**TYP. PARKING STALL W/ 2' OVERHANG**  
SCALE: 1/8" = 1'-0" **1**



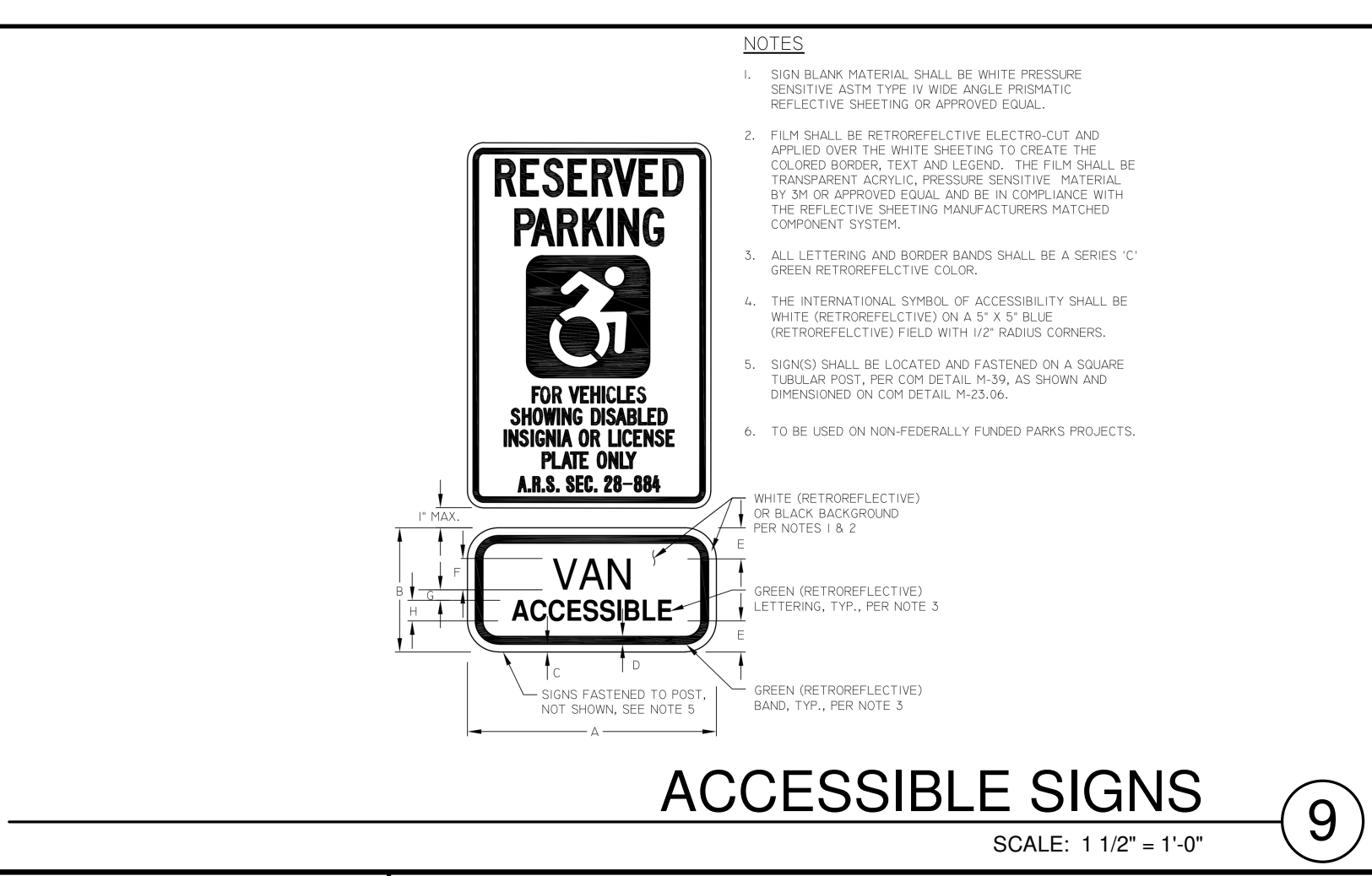
**VAN ACCESSIBLE SIGNAGE**  
SCALE: 1 1/2" = 1'-0" **12**



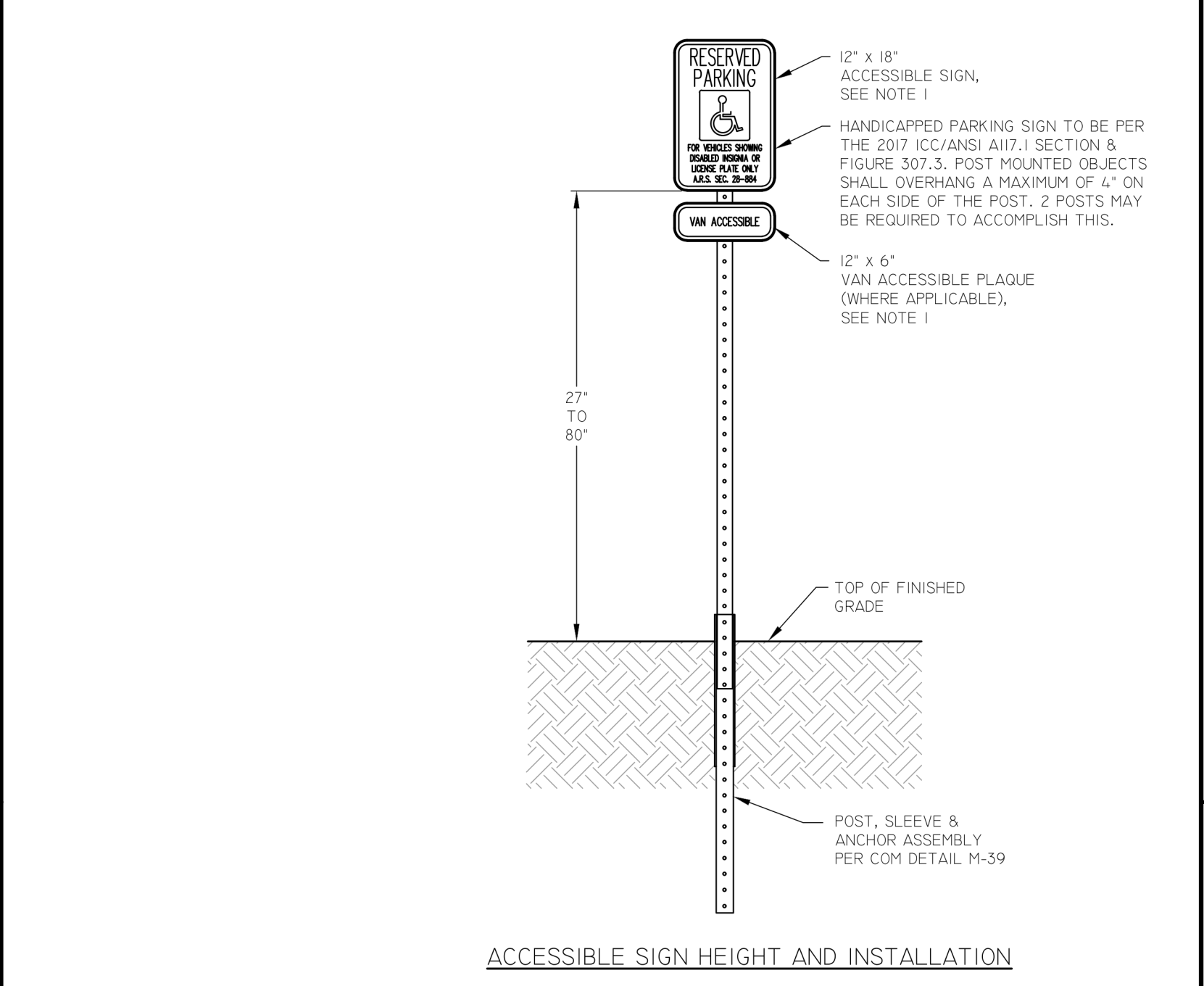
**TRASH ENCLOSURE - SECTION**  
SCALE: 3/4" = 1'-0" **7**



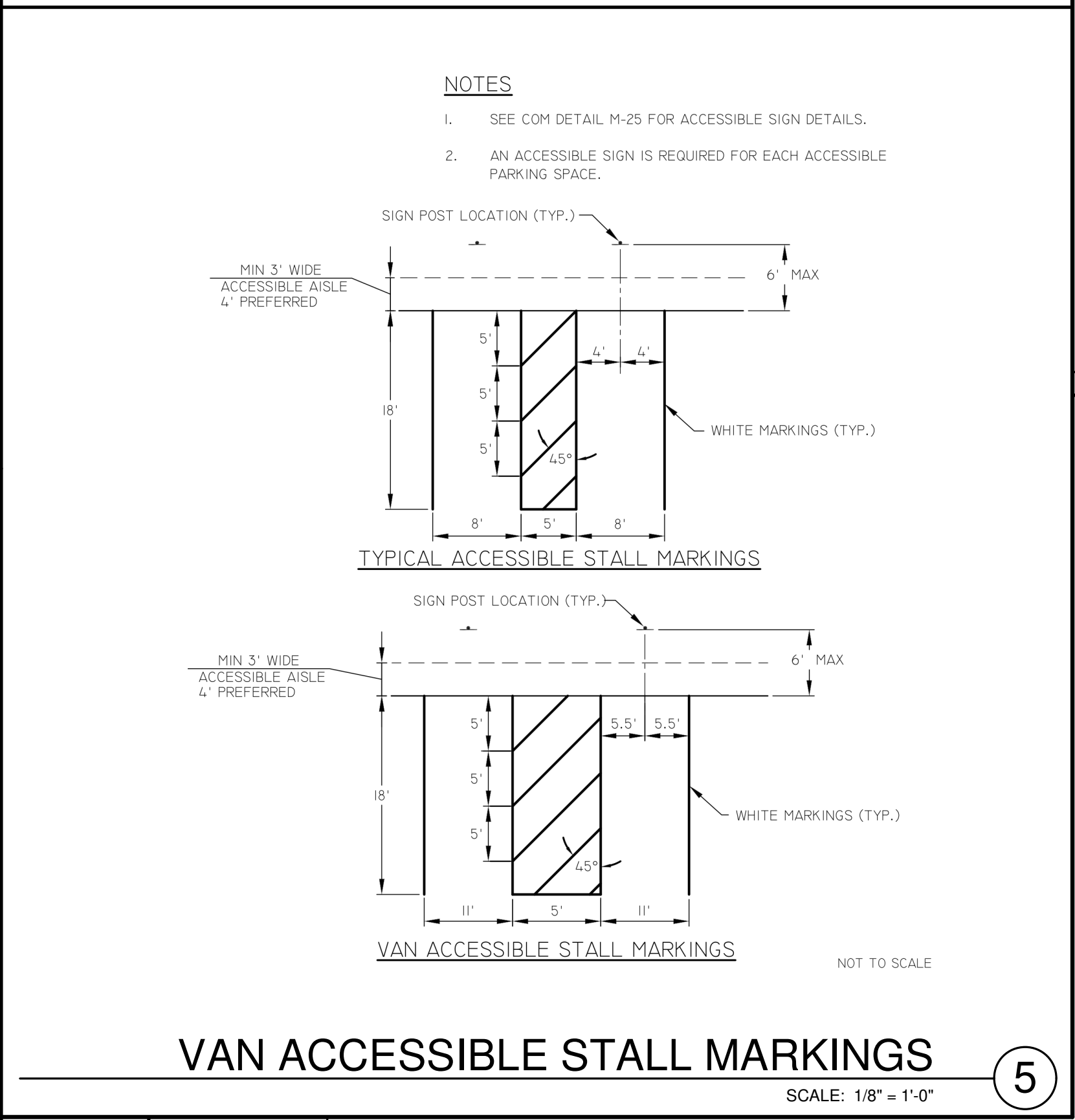
**TRASH ENCLOSURE - GATE**  
SCALE: 1/2" = 1'-0" **8**



**ACCESSIBLE SIGNS**  
SCALE: 1 1/2" = 1'-0" **9**



**ACCESSIBLE SIGN HEIGHT/INSTALLATION**  
SCALE: 3/4" = 1'-0" **3**



**VAN ACCESSIBLE STALL MARKINGS**  
SCALE: 1/8" = 1'-0" **5**

**WARE MALCOMB**  
CIVIL ENGINEERING  
ARCHITECTURE  
PLANNING  
INTERIORS  
2777 E Camelback Rd. Suite #325  
Phoenix, AZ 85016  
P 480.767.1001



**METSO EXPANSION**  
8223 EAST PECOSS ROAD  
MESA, ARIZONA, 85212

**SITE DETAILS**

DATE	REMARKS
12/22/2023	PRESUBMITTAL
02/19/2024	P&Z SUBMITTAL
02/22/2024	DR SUBMITTAL
05/06/2024	DR AND P&Z RESUBMITTAL
05/05/2024	DR AND P&Z 2ND RESUBMITTAL

PA/PM: Approver  
DRAWN BY: Author  
JOB NO.: PHX23-0173-00

SHEET  
**A511**



## **METSO**

8223 EAST PECOS ROAD  
MESA, ARIZONA

**CONCEPT RENDERINGS**  
**PHX23-0173-00**  
**05.06.2024**

**WARE MALCOMB**



EXISTING

This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed. Signage shown is for illustrative purposes only and does not necessarily reflect municipal code compliance. All colors shown are for representative purposes only. Refer to material samples for actual color verification.

NORTHWEST CORNER VIEW

METSO  
MESA, ARIZONA - PHX23-0173-00

**WARE MALCOMB**

05.06.2024

PAGE  
2



EXISTING

This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed. Signage shown is for illustrative purposes only and does not necessarily reflect municipal code compliance. All colors shown are for representative purposes only. Refer to material samples for actual color verification.

SOUTHWEST CORNER VIEW

METSO

MESA, ARIZONA - PHX23-0173-00

**WARE MALCOMB**

05.06.2024

PAGE  
3



EXISTING

This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed. Signage shown is for illustrative purposes only and does not necessarily reflect municipal code compliance. All colors shown are for representative purposes only. Refer to material samples for actual color verification.

TRAINING AREA VIEW

METSO

MESA, ARIZONA - PHX23-0173-00

**WARE MALCOMB**

05.06.2024

PAGE  
4



# WARE MALCOMB

ARCHITECTURE | CIVIL ENGINEERING  
 PLANNING | BRANDING  
 INTERIORS | BUILDING MEASUREMENT

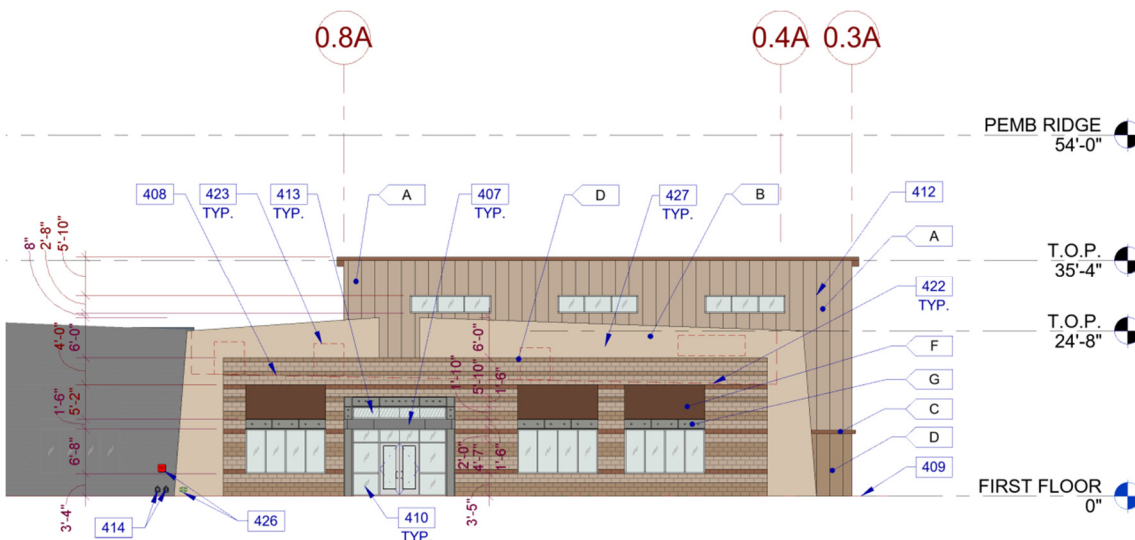
## Metso Expansion - Elevation Material Calculation Breakdown

Design Review Case#: DRB24-00175

Zoning Case#: ZON24-00137

Calculation breakdown tables can be found on elevation sheets A210 - A212 for more information. Please reference alternative compliance request in PAD Zoning narrative.

### Overall North Elevation – Training Center



#### CALCULATION PER MATERIAL DETAILS

"A" PAINTED CMU BLOCK - DEC6123 - TRAIL DUST = 498 SF = 14.9% OF ELEVATION  
 "A" PAINTED PEMB METAL PANEL - DEC6123 - TRAIL DUST = 771 SF = 23% OF ELEVATION  
 "B" PAINTED STUCCO OVER CMU BLOCK - DEC747 - SAHARA = 770 SF = 23% OF ELEVATION  
 "C" PAINTED CMU BLOCK - DE6105 - WEATHERED LEATHER = 62 SF = 1.9% OF ELEVATION  
 "C" PAINTED METAL ROOF - DE6105 - WEATHERED LEATHER = 41 SF = 1.2% OF ELEVATION  
 "C" PAINTED PEMB TRIM - DE6105 - WEATHERED LEATHER = 3 SF = 0.1% OF ELEVATION  
 "D" PAINTED CMU BLOCK - DEC718 - MESA TAN = 328 SF = 9.8% OF ELEVATION  
 "D" PAINTED PEMB METAL PANEL - DEC718 - MESA TAN = 53 SF = 1.6% OF ELEVATION  
 "F" RUSTED PATINA METAL = 186 SF = 5.6% OF ELEVATION  
 "G" METAL LINTEL WITH DECORATIVE BOLTS = 109 SF = 3.3% OF ELEVATION  
 METAL CANOPY = 25 SF = 0.7% OF ELEVATION  
 STOREFRONT SYSTEM GLAZING = 404 SF = 12.1% OF ELEVATION  
 CLERESTORY GLAZING = 96 SF = 2.9% OF ELEVATION

TOTAL ELEVATION AREA = 3,346 SF

#### CALCULATION PER MATERIAL TYPES

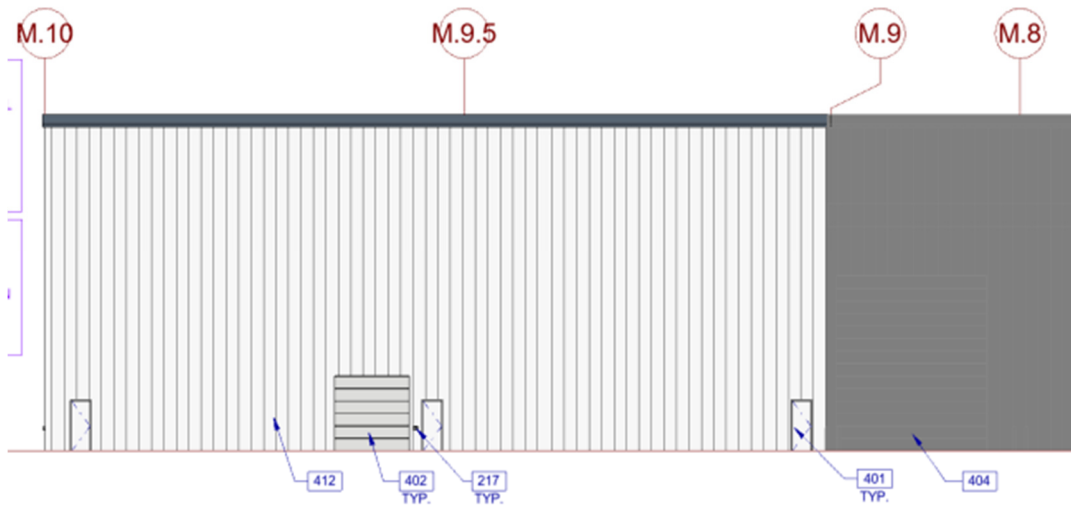
CMU BLOCK TOTAL COMBINED = 888 SF = 26.5% OF ELEVATION  
 PEMB TOTAL COMBINED = 827 SF = 24.7% OF ELEVATION  
 METAL TOTAL COMBINED = 361 SF = 10.8% OF ELEVATION  
 STUCCO TOTAL COMBINED = 770 SF = 23% OF ELEVATION  
 GLAZING TOTAL COMBINED = 500 SF = 15% OF ELEVATION

TOTAL ELEVATION AREA = 3,346 SF

# WARE MALCOMB

ARCHITECTURE | CIVIL ENGINEERING  
PLANNING | BRANDING  
INTERIORS | BUILDING MEASUREMENT

## Overall East Elevation – PEMB Expansion



### CALCULATION PER MATERIAL DETAILS

"E" PEMB METAL PANEL - MANUFACTURER WHITE  
FINISH= 6,433 SF = 93.1% OF ELEVATION  
METAL ROOF= 248 SF = 3.6% OF ELEVATION  
OVERHEAD & MAN DOORS= 226 SF= 3.3% OF  
ELEVATION

TOTAL ELEVATION AREA = 6,907 SF

### CALCULATION PER MATERIAL TYPES

PEMB TOTAL COMBINED = 6,433 SF = 93.1% OF  
ELEVATION  
METAL TOTAL COMBINED= 248 SF = 3.6% OF ELEVATION  
DOOR TOTAL COMBINED= 226= 3.3% OF ELEVATION

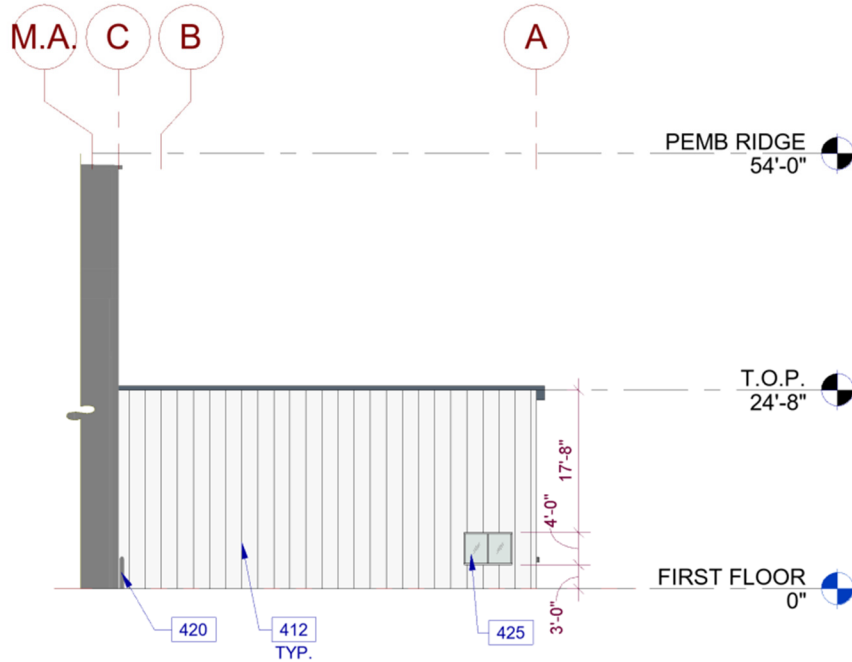
TOTAL ELEVATION AREA = 6,907 SF

# WARE MALCOMB

ARCHITECTURE  
PLANNING  
INTERIORS

CIVIL ENGINEERING  
BRANDING  
BUILDING MEASUREMENT

## North Elevation – Service Parts Room



### CALCULATION PER MATERIAL DETAILS

"E" PEMB METAL PANEL - MANUFACTURER  
WHITE FINISH = 1,258 SF = 96% OF ELEVATION  
METAL ROOF = 29 SF = 2.2% OF ELEVATION  
GLAZING = 24 SF = 1.8% OF ELEVATION

TOTAL ELEVATION AREA = 1,311 SF

### CALCULATION PER MATERIAL TYPES

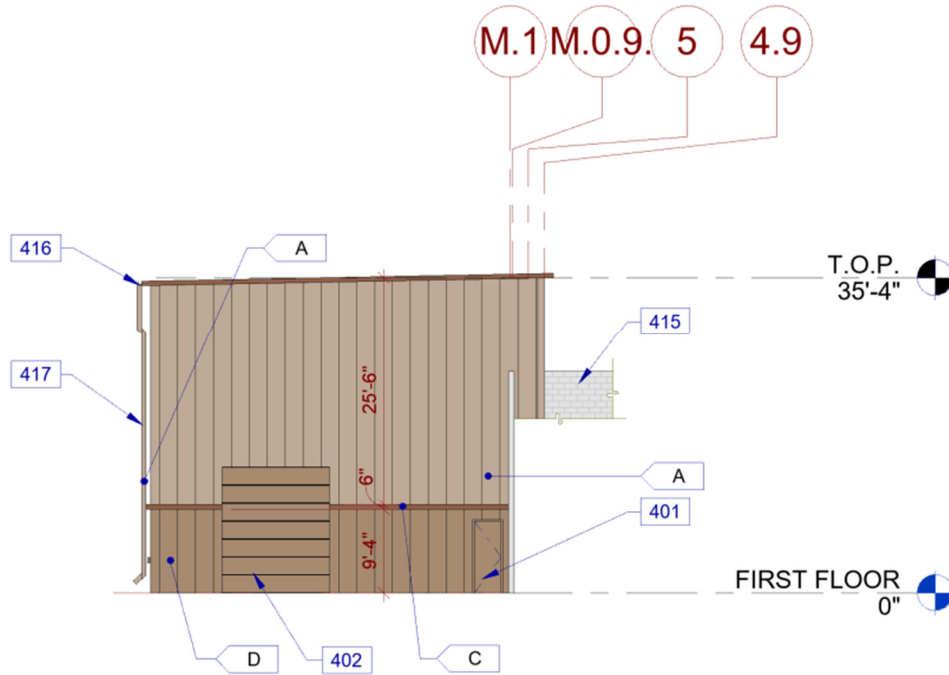
PEMB TOTAL COMBINED = 1,258 SF = 96% OF  
ELEVATION  
METAL TOTAL COMBINED = 29 SF = 2.2% OF  
ELEVATION  
GLAZING TOTAL COMBINED = 24 SF = 1.8% OF  
ELEVATION

TOTAL ELEVATION AREA = 1,311 SF

# WARE MALCOMB

ARCHITECTURE | CIVIL ENGINEERING  
 PLANNING | BRANDING  
 INTERIORS | BUILDING MEASUREMENT

## East Elevation – PEMB Training Center



### CALCULATION PER MATERIAL DETAILS

"A" PAINTED PEMB METAL PANEL - DEC6123 - TRAIL DUST = 1,011 SF = 67.7% OF ELEVATION  
 "C" PAINTED METAL ROOF - DE6105 - WEATHERED LEATHER = 23 SF = 1.5% OF ELEVATION  
 "C" PAINTED PEMB TRIM - DE6105 - WEATHERED LEATHER = 14 SF = 0.9% OF ELEVATION  
 "C" PAINTED GUTTER & DRAIN SYSTEM - DE6105 - WEATHERED LEATHER = 17 SF = 1.1% OF ELEVATION  
 "D" PAINTED PEMB METAL PANEL - DEC718 - MESA TAN = 234 SF = 15.7% OF ELEVATION  
 OVERHEAD & MAN DOORS - DEC718 - MESA TAN = 195 SF = 13.1% OF ELEVATION

TOTAL ELEVATION AREA = 1,494 SF

### CALCULATION PER MATERIAL TYPES

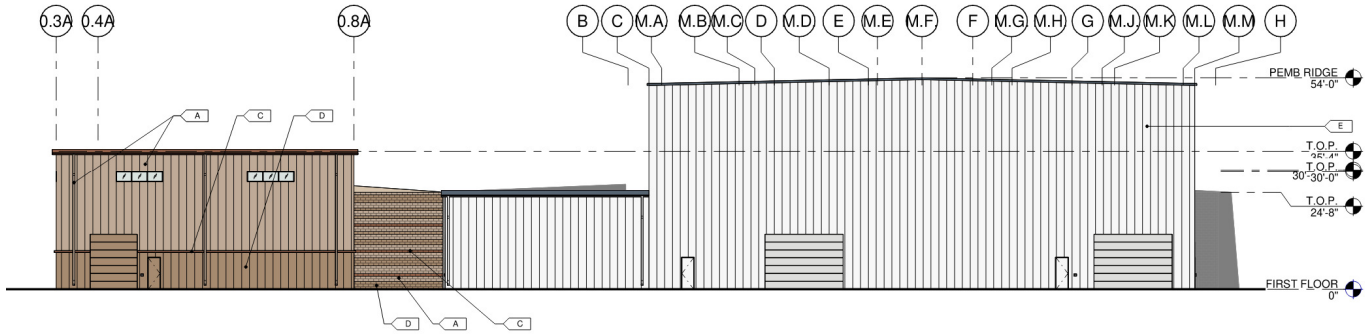
PEMB TOTAL COMBINED = 1,259 SF = 84.3% OF ELEVATION  
 METAL TOTAL COMBINED = 40 SF = 2.7% OF ELEVATION  
 DOOR TOTAL COMBINED = 195 SF = 13.1% OF ELEVATION

TOTAL ELEVATION AREA = 1,494 SF

# WARE MALCOMB

ARCHITECTURE    CIVIL ENGINEERING  
 PLANNING        BRANDING  
 INTERIORS        BUILDING MEASUREMENT

## Overall South Elevation



### CALCULATION PER MATERIAL DETAILS

"A" PAINTED CMU BLOCK - DEC6123 - TRAIL DUST = 303 SF = 2.4% OF ELEVATION  
 "A" PAINTED PEMB METAL PANEL - DEC6123 - TRAIL DUST = 1,656 SF = 13.2% OF ELEVATION  
 "C" PAINTED CMU BLOCK - DE6105 - WEATHERED LEATHER = 45 SF = 0.4% OF ELEVATION  
 "C" PAINTED METAL ROOF - DE6105 - WEATHERED LEATHER = 108 SF = 0.9% OF ELEVATION  
 "C" PAINTED GUTTER & DRAIN SYSTEM - DE6105 - WEATHERED LEATHER = 83 SF = 0.7% OF ELEVATION  
 "C" PAINTED PEMB TRIM - DE6105 - WEATHERED LEATHER = 32 SF = 0.2% OF ELEVATION  
 "D" PAINTED CMU BLOCK - DEC718 - MESA TAN = 212 SF = 1.7% OF ELEVATION  
 "D" PAINTED PEMB METAL PANEL - DEC718 - MESA TAN = 558 SF = 4.4% OF ELEVATION  
 "E" PEMB METAL PANEL - MANUFACTURER WHITE FINISH= 8,496 SF = 67.6% OF ELEVATION  
 GUTTER & DRAIN SYSTEM= 45 SF = 0.3% OF ELEVATION  
 METAL ROOF= 162 SF = 1.3% OF ELEVATION  
 CLERESTORY GLAZING= 64 SF = 0.5% OF ELEVATION  
 OVERHEAD & MAN DOORS - MANUFACTURERS FINISH= 614 SF= 4.9% OF ELEVATION  
 OVERHEAD & MAN DOORS - DEC718 - MESA TAN= 195 SF= 1.5% OF ELEVATION

TOTAL ELEVATION AREA = 12,573 SF

### CALCULATION PER MATERIAL TYPES

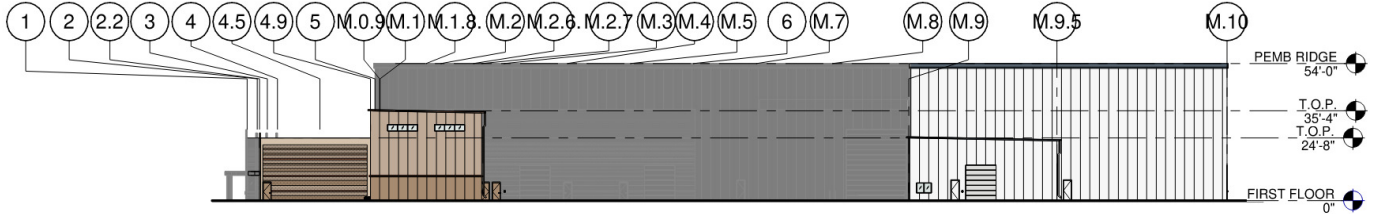
CMU BLOCK TOTAL COMBINED= 560 SF= 4.5% OF ELEVATION  
 PEMB TOTAL COMBINED= 10,742 SF= 85.4% OF ELEVATION  
 METAL TOTAL COMBINED= 398 SF= 3.2% OF ELEVATION  
 GLAZING TOTAL COMBINED= 64 SF= 0.5% OF ELEVATION  
 DOOR TOTAL COMBINED= 809 SF= 6.4% OF ELEVATION

TOTAL ELEVATION AREA = 12,573 SF

# WARE MALCOMB

ARCHITECTURE	CIVIL ENGINEERING
PLANNING	BRANDING
INTERIORS	BUILDING MEASUREMENT

## Overall West Elevation – PEMB Expansion & Service and Parts Room



### CALCULATION PER MATERIAL DETAILS

"A" PAINTED CMU BLOCK - DEC6123 - TRAIL DUST = 513 SF = 5.4% OF ELEVATION  
 "A" PAINTED PEMB METAL PANEL - DEC6123 - TRAIL DUST = 1,038 SF = 10.9% OF ELEVATION  
 "B" PAINTED STUCCO OVER CMU BLOCK - DEC747 - SAHARA = 176 SF = 1.9% OF ELEVATION  
 "C" PAINTED CMU BLOCK - DE6105 - WEATHERED LEATHER = 80 SF = 0.8% OF ELEVATION  
 "C" PAINTED GUTTER & DRAIN SYSTEM - DE6105 - WEATHERED LEATHER = 63 SF = 0.7% OF ELEVATION  
 "C" PAINTED PEMB TRIM - DEC6105 - WEATHERED LEATHER = 23 SF = 0.2% OF ELEVATION  
 "D" PAINTED CMU BLOCK - DEC718 - MESA TAN = 292 SF = 3.1% OF ELEVATION  
 "D" PAINTED PEMB METAL PANEL - DEC718 - MESA TAN = 411 SF = 4.3% OF ELEVATION  
 "E" PEMB METAL PANEL - MANUFACTURER WHITE FINISH = 6,266 SF = 65.7% OF ELEVATION  
 GUTTER & DRAIN SYSTEM = 12 SF = 0.1% OF ELEVATION  
 GLAZING = 88 SF = 0.9% OF ELEVATION  
 OVERHEAD & MAN DOORS = 296 SF = 3.1% OF ELEVATION  
 METAL ROOF = 278 SF = 2.9% OF ELEVATION

TOTAL ELEVATION AREA = 9,536 SF

### CALCULATION PER MATERIAL TYPES

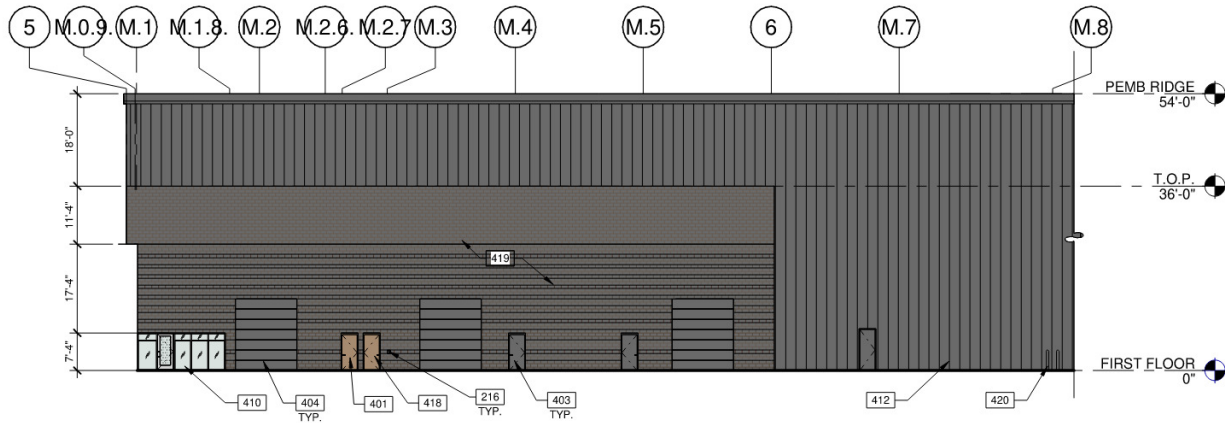
CMU BLOCK TOTAL COMBINED = 885 SF = 9.3% OF ELEVATION  
 STUCCO TOTAL COMBINED = 176 SF = 1.9% OF ELEVATION  
 PEMB TOTAL COMBINED = 7,738 SF = 81.1% OF ELEVATION  
 METAL TOTAL COMBINED = 353 SF = 3.7% OF ELEVATION  
 GLAZING TOTAL COMBINED = 88 SF = 0.9% OF ELEVATION  
 DOOR TOTAL COMBINED = 296 SF = 3.1% OF ELEVATION

TOTAL ELEVATION AREA = 9,536 SF

# WARE MALCOMB

ARCHITECTURE | CIVIL ENGINEERING  
 PLANNING | BRANDING  
 INTERIORS | BUILDING MEASUREMENT

## West Elevation – Existing Building



### CALCULATION PER MATERIAL DETAILS

STOREFRONT GLAZING = 126 SF = 72% OF ELEVATION  
 MAN DOORS = 49 SF = 28% OF ELEVATION

TOTAL ELEVATION AREA = 175 SF\*

\*PROPOSED SCOPE OF WORK ONLY NOT INCLUDING EXISITNG

### CALCULATION PER MATERIAL TYPES

GLAZING TOTAL COMBINED = 126 SF = 72% OF ELEVATION  
 DOOR TOTAL COMBINED = 49 SF = 28% OF ELEVATION

TOTAL ELEVATION AREA = 175 SF\*

\*PROPOSED SCOPE OF WORK ONLY NOT INCLUDING EXISITNG

# WARE MALCOMB

ARCHITECTURE  
PLANNING  
INTERIORS

CIVIL ENGINEERING  
BRANDING  
BUILDING MEASUREMENT

## CITIZEN PARTICIPATION PLAN FOR METSO EXPANSION

8223 E Pecos Rd, Mesa, AZ 85212

Pre-submittal application: PRS23-01047

Zoning Application: ZON24-00137

DRB Application: DRB24-00175

June 5<sup>th</sup>, 2024



### PURPOSE

On behalf of Metso (Owner), Ware Malcomb (Applicant) presents this Citizen Participation Plan (CPP) in conjunction with a Site Plan Approval for Metso Expansion, a 27,654 SF building expansion within a developed 10-acre light industrial site on East Pecos Road located South of the Airport and North of the East Germann Road.

The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighborhood associations, and other registered groups in the vicinity of the Property of this proposed project. This CPP is intended to notify the surrounding property owners and encourage them to participate in the process by providing an opportunity to learn about, comment, and share concerns.

### CONTACT/APPLICANT OF THE OWNER

Albert Madrid



# WARE MALCOMB

ARCHITECTURE | CIVIL ENGINEERING  
PLANNING | BRANDING  
INTERIORS | BUILDING MEASUREMENT

2777 E Camelback Rd, Suite 325  
Phoenix, AZ 85016  
602.641.7088  
Email: amadrid@waremalcomb.com

## PRESUBMITTAL CONFERENCE

The Pre-submittal Conference with City of Mesa Development Services staff was held on January 23<sup>rd</sup>, 2024. In accordance with the CCP process, notification letters will be sent to adjacent residents within 1000 ft, as well as to the registered HOA's and neighborhood interest groups encouragement to call and send e-mails with questions.

## ACTION PLAN

In order to provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts of the development that members of the community may have, including:

1. A contact list will be developed for citizens and agencies in this area including all property owners within 1000' of the Property. A surrounding 1000' ownership map with corresponding mailing labels will also be prepared and attached with this report. It is understood that the City will issue letters of notification with related exhibits seeking public comment for consideration prior to any public hearings. Public comments and questions may be directed to the applicant, Albert Madrid (Ware Malcomb), senior land use planner Dennis Newcombe (Gammage & Burnham) or to the designated Staff Planner, Jennifer Merrill, for the City of Mesa. Contacts will be recorded, and notes prepared for consideration and inclusion within the Citizen Participation Report.
2. All persons listed on the contact list will receive a letter describing the project, site plan, typical building elevation, and an invitation to call or contact our office to answer any questions regarding the proposed project. As the Land Use Planner for the Project, Gammage and Burnham will prepare a record of calls and correspondence from the surrounding property owners, neighbors, and any of the registered interest groups. This record will be included with the Citizen Participation Report.
3. Depending on the character of responses to the letters of notification, Ware Malcomb will review the comments with our clients and land use planner to determine their appropriate impact. Gammage and Burnham will include copies of requests and the project team responses and include those in the Citizens Participation Report.
4. Presentations will be made to groups of citizens or neighborhood associations upon request by virtual meetings. All materials such as sign-in lists, comments, and petitions received will be copied to the City of Mesa and included in the Citizen Participation Report.

## SCHEDULE

- |                               |                                             |
|-------------------------------|---------------------------------------------|
| 1. Pre-submittal Meeting:     | January 23, 2024                            |
| 2. P&Z Application Submittal: | February 19, 2024                           |
| 3. DRB Application Submittal: | February 29, 2024 (deadline March 4, 2024)  |
| 4. First Review Comments:     | March 5, 2024 (P&Z)<br>March 19, 2024 (DRB) |

# WARE MALCOMB

ARCHITECTURE  
PLANNING  
INTERIORS

CIVIL ENGINEERING  
BRANDING  
BUILDING MEASUREMENT

- 5. Post Application Meeting: March 11, 2024 (P&Z)  
April 2, 2024 (P&Z & DRB Follow up)
- 6. Follow up Submittal: May 6, 2024 (P&Z)  
May 6, 2024 (DRB)
- 7. Second Review Comments: May 20, 2024 (P&Z)  
May 22, 2024 (DRB)
- 8. Neighborhood Meeting: June 3, 2024 (Zoom/Virtual)
- 9. P&Z Hearing: July 24, 2024\*
- 10. DRB Meeting: June 9, 2024\*

\*Citizen Participation Report to be delivered no less than 30 days prior to hearing.

## **COMMUNICATION AND FEEDBACK WITH THE NEIGHBORS:**

With the distribution of the initial Notification Letter, neighbors, registered groups, and any other interested groups or individuals will be encouraged to call, e-mail, or schedule an appointment to meet with the Applicant, Albert Madrid. Our experience has taught us that open communication that responds quickly to these types of inquiries can be very effective in resolving issues and well as exposing legitimate site planning issues that warrant further consideration within the application. Recording these inquiries and responses is an effective check and balance when these same respondents appear at the public hearings. This first letter will typically include notification that the Property will be posted with signs indicating the dates for the Public Hearings.

## **COMMUNICATION WITH THE MESA PLANNING STAFF:**

As the Applicant, our office will record all incoming correspondence including telephone calls (dates, names, and issues), e-mails, and letters received from neighbors and interested groups. Copies will be scanned and forwarded to Jennifer Merrill, our designated Staff Planner assigned as the City's liaison for this P&Z and Site Plan Review Application.

# CITIZEN PARTICIPATION REPORT

Metso Expansion Project  
Proposed Rezoning/Site Plan Review & Design Review  
8223 East Pecos Road, Maricopa County Assessor Parcel Number: 304-61-014B

July 8, 2024

## **A. Case Ref. Numbers: ZON24-00137 & DRB24-00175**

**Overview:** The purpose of this Citizen Participation Report is to summarize how citizen participation was conducted for the ± 10-acre Metso USA Inc. (“Metso”) site/facility located at 8223 East Pecos Road, Maricopa County Assessor Parcel Number: 304-61-014B (the “Property”) which we are seeking approvals of the following: a Rezoning to Light Industrial with a Planned Area Development (“PAD”) Overlay/Site Plan Review, and Design Review for the expansion of their existing facility.

## **B. Contact Lists**

The Contact List for the cases are included as noted below. (See **Tab A.**)

1. A contact list will be developed for citizens and agencies within this area including:

- All property owners within 1,000 feet of the site as determined by the Maricopa County Assessor for all noticing regarding the Neighborhood Meeting, Design Review Board Meeting, and Planning and Zoning Board Hearing.
- Any Homeowners Associations within ½-mile of the project.
- Registered Neighborhoods within 1-mile and Interested Parties list provided from the City of Mesa.

## **C. Notice of Application Filed / Virtual Neighborhood Meeting & Public Meeting / Hearing Notifications**

### *Notice of Applications Filed / Virtual Neighborhood Meeting Letter*

On May 8, 2024, Gammage & Burnham, P.L.C. (the “Applicant”) mailed a Notice of Applications Filed / Neighborhood Meeting. The mailing list for the public hearing notification letter included all parties within 1,000 feet, Homeowners Associations within ½-mile, and Registered Neighborhoods within 1-mile and Interested Parties list (if any) provided from the City of Mesa. The content of the letter included a description of the request; case number; site location and acreage; the date, time, and directions for accessing the virtual neighborhood meeting; contact information for the Applicant and City planner assigned to the case; and copies of the site/landscape plan and building rendering for the proposed development. See **Tab B** for a copy of the applications filed/neighborhood meeting letter mailed.

**Note:** Only one (1) person attended / participated in the virtual neighborhood meeting (Jeff Arnold with Cedar Point Builders, LLC, located at 2500 South Power Road) held on June 3, 2024. Jeff Arnold was in support of the Metso expansion and wanted to express his support.

***Design Review Board Public Meeting Letter***

On June 24, 2024, the Applicant prepared and delivered copies to the city of Mesa Planning Division of the Notice of Public Meeting letter advising of the Design Review Board meeting. The mailing list for the public hearing notification letter included all parties within 1,000-feet (radius) of the Property. The content of the letter included a description of the request; case number; site location and acreage; the date, time, and location of the Design Review Board meeting; contact information for the Applicant and City planner assigned to the case; and copies of the site plan, landscape plan, and building renderings for the proposed development. See **Tab C** for a copy of the letter.

***Planning and Zoning Board Public Hearing Letter***

By July 8, 2024, the Applicant will prepare and deliver copies to the city of Mesa Planning Division of the Notice of Public Hearing letter advising of the Planning and Zoning Board hearing. The mailing list for the public hearing notification letter included all parties within 1,000-feet (radius) of the Property. The content of the letter included a description of the request; case number; site location and acreage; the date, time and location of the Planning and Zoning Board hearing; contact information for the Applicant and City planner assigned to the case; and copies of the site plan, landscape plan, and building renderings for the proposed development. See **Tab D** a copy of the notice of public hearing letter mailed.

***Site Posting***

By July 8, 2024, Dynamite Signs will install one (1) public hearing notification signs on the Property (along Pecos Road) identifying the scheduled public hearing. The notification sign conformed with the City’s standards, and site posting requirements and included information regarding the date, time, and location of the Planning and Zoning Board hearing for the Application, a summary of the request, and contact information for the Applicant. See **Tab E** for a copy of the affidavit of public hearing notification site posting, and photographic evidence of the sign posted.

**D. Inquiries / Response Procedures**

To date, the Gammage & Burnham, P.L.C. has not received any telephone calls, emails, letters, or other correspondence regarding the request/notices sent. Any future substantive inquiries regarding the request will be documented in a supplemental to this report.

**E. Summary of Schedule of Implementation**

Applications Filed:	February 2024
Notice of Apps. Filed / Virtual Neighborhood Mtg.:	May 22, 2024
Neighborhood Meeting (Virtual):	June 3, 2024
Mailings for Design Review Mtg.:	June 24, 2024
Citizen Participation Report Submitted:	June 26, 2024
Mailings for P&Z Board Hearing:	July 8, 2024
Site Posting for Planning and Zoning Board Hearing:	July 8, 2024
Design Review Board Meeting:	July 9, 2024
Planning and Zoning Board Hearing:	July 24, 2024

**TAB A**

Property Owners within 1,000 Feet					
Owner	Mailing Address	City	State	ZIP	Parcel Number
LPC MESA GATEWAY LP	1 N WACKER DR STE 1925	CHICAGO	IL	60606	304-61-001J
GATEWAY SOUTH LLC	2415 E CAMELBACK RD 700	PHOENIX	AZ	85016	304-61-002Y
UNBOUND PHASE I PROPERTY OWNER LLC	465 MEETING ST STE 500	CHARLESTON	SC	29403	304-61-006H
HERITAGE ACADEMY GATEWAY INC	32 S CENTER ST	MESA	AZ	85210	304-61-011J
GATEWAY QUADS LLC	440 W 1ST ST STE 201	TUSTIN	CA	92780	304-61-011K
WPC-H 8228 EAST GERMAN ROAD STORAGE LLC	802 N 3RD AVE	PHOENIX	AZ	85003	304-61-012S
CRP/PDC PECOS & HAWES OWNER LLC	450 NEWPORT CENTER DR 405	NEWPORT BEACH	CA	92660	304-61-012V 304-61-012W 304-61-014G
TGD 1 OWNER LLC	2500 S POWER RD STE 135	MESA	AZ	85209	304-61-013H
CENTRIS MESA 80TH AND PECOS LLC	448 N LASALLE DR FL 2	CHICAGO	IL	60654	304-61-013J
METSO MINERALS INDUSTRIES INC	20965 CROSSROADS CIR	WAUKESHA	WI	53186	304-61-014B
EAST COMSTOCK LLC	8303 E PECOS RD	MESA	AZ	85212	304-61-014D 304-61-014E
CRP/PDC EAST HAWES OWNER LLC	450 NEWPORT CENTER DR UNIT 405	NEWPORT BEACH	CA	92660	304-62-008J
HAWES OZ FUND LLC	433 N CAMDEN DR 1000	BEVERLY HILLS	CA	90210	304-62-008L
HAWES COMMERCE PARK LLC	10632 N SCOTTSDALE RD UNIT 200	SCOTTSDALE	AZ	85254	304-62-008N
SUNBELT MESA ELLSWORTH LP	8095 OTHELLO AVE	SAN DIEGO	CA	92111-3713	304-62-976
Other Interested Parties					
Organization / Contact	Mailing Address	City	State	ZIP	
Councilmember Scott Somers	PO Box 1466	Mesa	AZ	85211-1466	
Alicia Martinez	PO Box 1466	Mesa	AZ	85211-1466	
City of Mesa Development Services Department ATTN: Jennifer Merrill	PO Box 1466	Mesa	AZ	85211-1466	
Gammage & Burnham, PLC ATTN: Dennis M. Newcombe	40 N Central Ave, 20th Floor	Phoenix	AZ	85004	

**TAB B**

# GAMMAGE & BURNHAM, PLC

ATTORNEYS AT LAW

40 NORTH CENTRAL AVENUE

20TH FLOOR

PHOENIX, ARIZONA 85004

TELEPHONE (602) 256-0566

FACSIMILE (602) 256-4475

---

Dennis M. Newcombe

DIRECT (602) 256-4446

E-Mail Address: [dnewcombe@gblaw.com](mailto:dnewcombe@gblaw.com)

May 22, 2024

## VIA U.S. MAIL

Re: Notice of Applications Filed / Virtual Neighborhood Meeting.  
City of Mesa Reference Numbers: ZON24-00137 & DRB24-00175.  
Approximately +10-acre Metso USA Inc. - Site/Facility.  
Located at 8223 East Pecos Road.

Dear Property Owner:

We represent Metso USA Inc, (“Metso”) who is proposing to expand their existing ±10-acre site/facility at 8223 East Pecos Road, Maricopa County Assessor Parcel Number: 304-61-014B (the “Property”). (See the Attached: Property Location Map) Metso established the Mesa service center in 2015. This location at 8223 East Pecos Road is one of many Metso service centers throughout the world. The Mesa location was strategically picked due to its centralized proximity to Arizona’s Mines and the southwest regions mineral processing facilities.

Due to an increase demand for mineral products and to meet the need from their mining customers Metso needs to expand the existing Mesa service center. The proposed expansion will allow for will improve safety and efficiency. The proposed expansion also includes an advanced and fully equipped training center to bridge the knowledge gap between people, equipment, and operational goals. The new “Metso Academy Training Center” will support multiple ways of learning, outfitted with state-of-the-art simulators and digital training assets, in addition to classroom and hands-on learning areas. These trainings are on the newest technologies of which many are part of Metso’s Planet Positive offerings. This equipment plays a crucial role in the processing of minerals for the clean energy transition. This will be Metso’s first ground up dedicated training center in the world. The training center will attract up to 20 individuals per training with a target of 90 trainings per year.

The proposed expansion as described above, and due to the changes in the City’s Zoning Code City since their original zoning/design approvals in 2013, requires the addition of a Planned Area Development (“PAD”) overlay to the existing Light Industrial (“LI”) zoning on the Property to accommodate. The PAD will amend typical and commonly requested industrial development standards (e.g., setbacks, design, landscaping, etc.) to accommodate this type of light industrial user. As a companion to this PAD application, we are also seeking concurrent Site Plan and Design Review approvals for Metso’s proposed expansion/overall site on the Property.

The proposal includes a new building expansion, reconfigured parking, revised landscaping, screening, etc. The site plan continues to orient the building (new/existing) towards Pecos Road with the rear of the property for storage/truck access/utilitarian type uses. The Property will have the same access points/overall circulation. The proposed building expansion is of a quality design and features similar materials to the existing building. (See Attached: Site Plan, Landscape Plan, & Perspective Rendering).



The zoning request and site plan/design for Metso is consistent with the City's plans for the area, the zoning/development occurring in the area, and future infrastructure improvements. Metso has been operating successfully for many years in Mesa and they are looking forward to expanding their facilities to accommodate their needs and demand.

With that said, please accept this letter as an invitation to attend a Virtual Neighborhood Meeting, which is being held to discuss our client's proposal. The details of the Virtual Neighborhood Meeting are as follows:

**VIRTUAL NEIGHBORHOOD MEETING**

**June 3, 2024, 6:00 PM**

To register for the Virtual Neighborhood Meeting, please visit [www.gblaw.com/metso](http://www.gblaw.com/metso). For assistance, contact Ellie Brundige, Gammage & Burnham, at (602) 256-4409 – or – [ebrundige@gblaw.com](mailto:ebrundige@gblaw.com).

**Please Note:** Specific formal city meeting/hearing dates have not yet been set. You should receive a subsequent mailing identifying the dates and locations of meetings/hearings when they have been scheduled.

In the meantime, should you have any questions or cannot attend the upcoming virtual neighborhood meeting and would like more information, please feel free to contact me at:

Dennis M. Newcombe with Gammage & Burnham  
(602) 256-4446 – or – via e-mail: [dnewcombe@gblaw.com](mailto:dnewcombe@gblaw.com)

If you require additional information from the City of Mesa Development Services Department, Planning Division, please contact our City representative.

Jennifer Merrill, Senior Planner  
(480) 644-6439 – or – via e-mail: [Jennifer.Merrill@MesaAZ.gov](mailto:Jennifer.Merrill@MesaAZ.gov)

We appreciate your time and consideration.

Very truly yours,  
**GAMMAGE AND BURNHAM, PLC**  
***Dennis M. Newcombe***

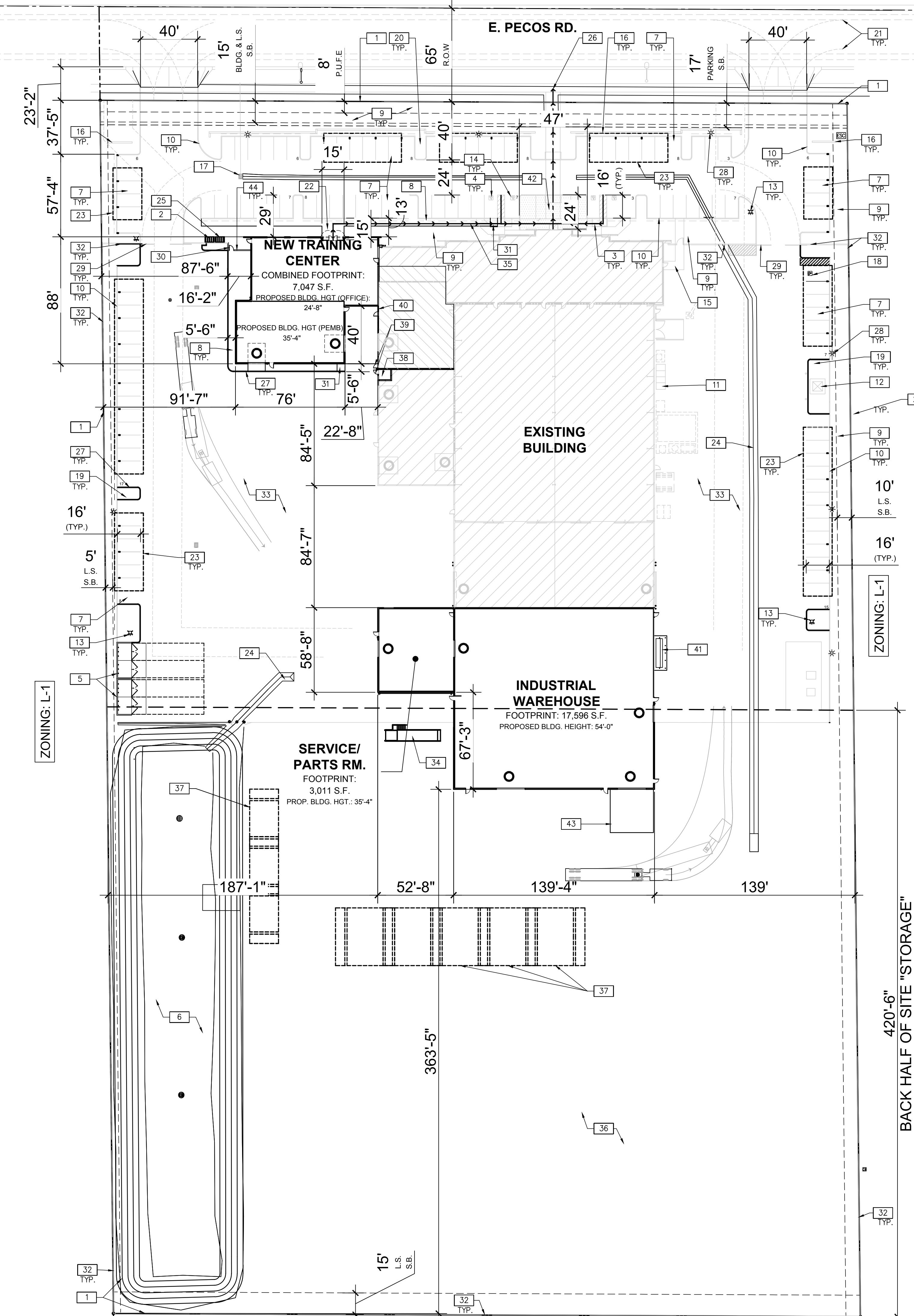
Dennis M. Newcombe  
Senior Land Use Planner

**Enclosures:** Property Location Map  
Site Plan, Landscape Plan, & Perspective Rendering

# Property Location Map



\\wma-arch.com\wma\PHX\23\0173\00\Architectural\Cad\DD\PLANNING\0173\_A100\_SITE\_PLAN - Alternate.dwg



### SITE LEGEND

- PROPOSED GRADE LEVEL TRUCK DOOR
- EXISTING GRADE LEVEL TRUCK DOOR
- ▨ INTERIOR REMODEL AREA
- ▨ EXISTING BUILDING

### PROJECT DESCRIPTION

THIS PROJECT INVOLVES THE EXPANSION OF AN EXISTING PRE-ENGINEERED METAL BUILDING AS WELL AS THE EXPANSION OF AN EXISTING MASONRY BUILDING ADDING A TRAINING FACILITY AND A SERVICE/PARTS BUILD-OUT. A 3,451 S.F. INTERIOR REMODEL IS ALSO PROPOSED. THIS PROJECT INCLUDES NECESSARY STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SCOPE, AND ASSOCIATED SITE IMPROVEMENTS, INCLUDING GRADING, DRAINAGE, UTILITIES, AND OFF-SITES AS REQUIRED.

### PROPERTY DATA

ADDRESS: 8223 E PECOS RD, MESA, AZ 85212  
 APN: 304-61-0148  
 GROSS SITE AREA: +/- 435,690 SF (+/- 10.00 ACRES)  
 ZONING: LI W/ PAD OVERLAY  
 MAX HEIGHT: 54'-00"  
 CONSTRUCTION: III-B/A.F.E.S.

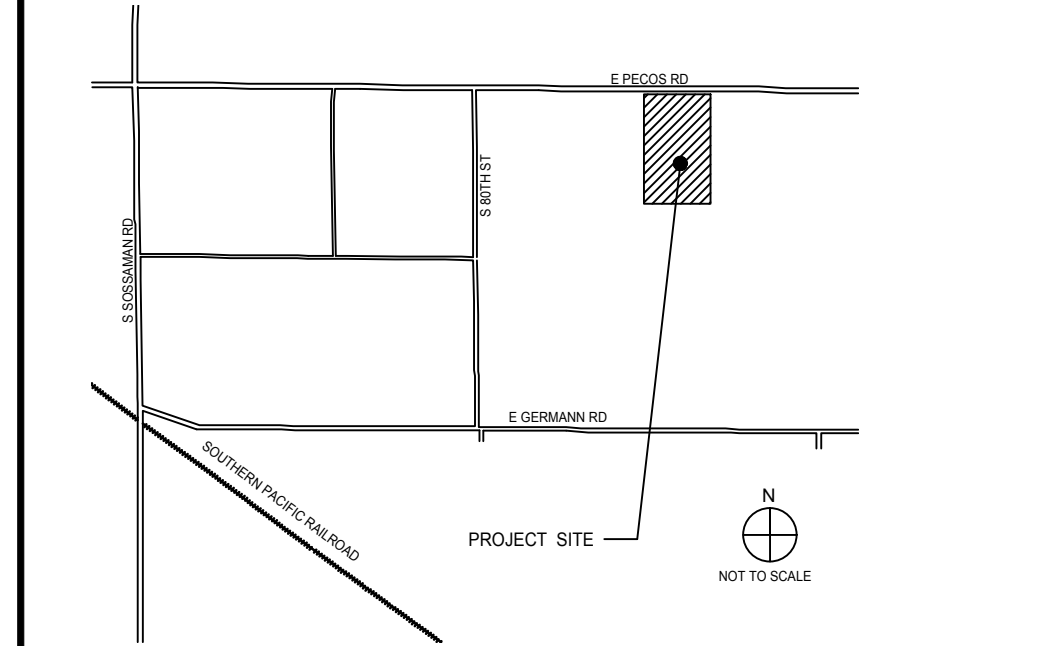
BUILDING AREA:	EXISTING	NEW	TOTAL
INDUSTRIAL/FACTORY (PROPOSED EXPANSION)	36,513	17,596	54,109
NEW TRAINING CENTER (PROPOSED EXPANSION)	7,047	7,047	14,094
SERVICE/PARTS STORAGE (PROPOSED EXPANSION)	3,011	3,011	6,022
<b>TOTAL FOOTPRINT:</b>	<b>46,571</b>	<b>27,654</b>	<b>74,225</b>
<b>TOTAL PROPOSED EXPANSION FOOTPRINT:</b>		<b>27,654</b>	<b>27,654</b>

LOT COVERAGE: EXISTING: 10% PROPOSED: 8.4% GROSS: 18.4%

PARKING TOTALS REQUIRED:	INDUSTRIAL/FACTORY (EXISTING)	OFFICE (EXISTING)	INDUSTRIAL/FACTORY (NEW EXPANSION)	SERVICE / PARTS STORAGE (NEW EXPANSION)	TRAINING+INT. REMODEL (NEW EXPANSION)	FACTOR	S.F.	TOTAL
	(1:600)	(1:375)	(1:600)	(1:900)	(1:375)		23,205	39
							8,234	22
							17,596	29
							3,011	4
							10,498	28
<b>TOTAL REQUIRED:</b>								<b>122</b>

PROVIDED: EXISTING 123 STALLS (INC. 4 ACCESSIBLE)  
 NEW 1 STALL (VAN ACCESSIBLE)  
 COMBINED TOTAL 124 STALLS  
 BIKE PARKING REQUIRED: 12 SPACES  
 BIKE PARKING PROVIDED: (2 RACKS = 20 SPACES (1 RACK EQUALS 10 BIKES EA.))

### VICINITY MAP



### SITE PLAN KEYNOTES

- 1 PROPERTY LINE, (---)
- 2 RELOCATED (EXISTING) BIKE RACK W/ CONC. SLAB. 1 RACK HOLDS UP TO 10 BIKES
- 3 EXISTING ADA SIDEWALK ACCESS RAMP (TYP.)
- 4 EXISTING ADA PARKING STALL W/ CROSS-HATCH LOADING ZONE (TYP.)
- 5 NEW CMU TRASH ENCLOSURE PER CITY OF MESA STANDARDS
- 6 RETENTION BASIN PER CIVIL DRAWINGS
- 7 EXISTING 9'-0" x 16'-0" W/ 2'-0" OVERHANG PARKING STALL. TYP.
- 8 PROPOSED 5'-0" WIDE SIDEWALK (TYP.)
- 9 EXIST. LANDSCAPE AREA (TYP.)
- 10 EXISTING 6" CURB (TYP.)
- 11 EXISTING EXTERIOR GRADE S.E.S.
- 12 EXISTING ELECTRICAL TRANSFORMER ON CONC. PAD WITH BOLLARD PROTECTION
- 13 EXISTING FIRE HYDRANT PER CIVIL DRAWINGS (TYP.)
- 14 EXISTING 11' WIDE ADA VAN PARKING STALL PER CITY OF MESA ZONING STANDARDS (TYP.)
- 15 EXISTING 5'-0" WIDE SIDEWALK
- 16 EXISTING STAGGERED & OFFSET 3'-4" HIGH CMU PARKING SCREEN WALL (TYP.) SEE DETAIL 4/A1.4 FOR MORE INFO.
- 17 EXIST. STORM DRAIN INLET. REFERENCE CIVIL DRAWINGS FOR MORE INFO.
- 18 NEW PROPOSED ADA PARKING STALL
- 19 PROPOSED LANDSCAPED PARKING ISLAND PER CITY OF MESA STANDARDS (TYP.)
- 20 EXISTING PARKING ISLAND (TYP.)
- 21 FIRE TURN LANE PER CITY OF MESA STANDARDS (20' WIDE; 35' INSIDE RADIUS, 55' OUTSIDE RADIUS, TYP.)
- 22 PROPOSED 15'x15' BASE FOUNDATION & ENTRY PLAZA AREA FOR TRAINING CENTER PER COM STANDARDS
- 23 DASHED LINE INDICATES PROPOSED CAR PORT LOCATION WITH SOLAR PANEL (TYP.)
- 24 EXISTING VALLEY GUTTER PER CIVIL DRAWINGS.
- 25 NEW BIKE RACK W/ CONC. SLAB. 1 RACK HOLDS UP TO 10 BIKES
- 26 EXISTING CONCRETE PEDESTRIAN CROSSING
- 27 NEW 6" CURB
- 28 EXISTING SITE LIGHT POLES PER ELECTRICAL (TYP.)
- 29 EXIST. 6'-0" SLIDING GATES (TYP.)
- 30 NEW MAN GATE. SEE DETAIL 10 & 15/A511 FOR MORE INFO.
- 31 PROPOSED ADA SIDEWALK ACCESS RAMP
- 32 EXISTING 6'-0" CMU SCREEN WALL (TYP.)
- 33 EXISTING PAVED EQUIPMENT YARD AREA
- 34 NEW PRE-MANUFACTURED MOBILE LOADING DOCK RAMP BY OWNER.
- 35 PATH OF TRAVEL TO R.O.W. FROM EXISTING & NEW PROPOSED EXPANSION.
- 36 EXISTING UNPAVED YARD AREA.
- 37 PROPOSED FUTURE OWNER PROVIDED CANOPY SHADE MOBILE STRUCTURE
- 38 FIRE RISER ROOM
- 39 NEW PROPOSED MAN DOOR IN EXISTING BUILDING WALL.
- 40 NEW PROPOSED GLAZING STOREFRONT IN EXISTING BUILDING WALL.
- 41 NEW EXTERIOR GRADE ELECTRICAL SES ON CONCRETE PAD W/ BOLLARD PROTECTION
- 42 EXISTING FOUNDATION BASE PLAZA AREA AT EXISTING ENTRANCE PER CITY OF MESA STANDARDS
- 43 NEW CONCRETE SLAB FOR FUTURE OWNER PROVIDED PREMANUFACTURED SAND BLAST & PAINT BOOTH. GC TO RUN ELECTRICAL CONDUITS TO LOCATION
- 44 NEW 6'-0" CMU SCREEN WALL (TYP.)

**SITE PLAN**  
 SCALE: 1"=40'-0"

**WARE MALCOLM**  
 Leading Design for Commercial Real Estate

2777 E. Camelback Rd, Suite 325  
 Phoenix, AZ 85016  
 Phone: 602.757.1001  
 Fax: 602.757.2256



**METSO EXPANSION**  
 8223 EAST PECOS ROAD  
 MESA, ARIZONA 85212

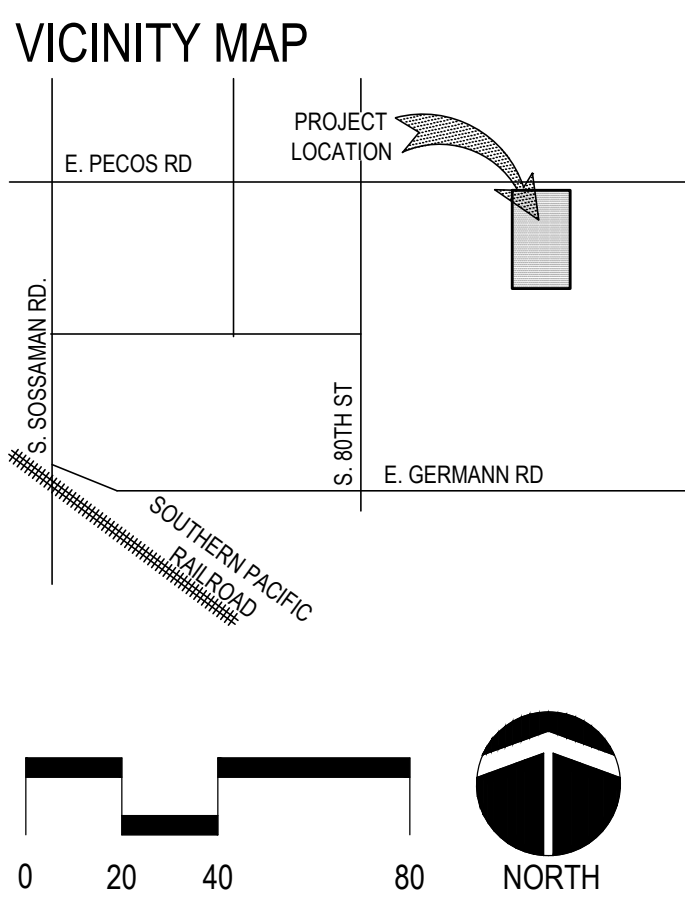
DATE	REMARKS
12/22/2023	PRESUBMITTAL
02/13/2024	1ST P&Z SUBMITTAL
02/28/2024	1ST DR. AND P&Z RESUBMITTAL
05/06/2024	DR. AND P&Z RESUBMITTAL

PA / PM: A.MADRID  
 DRAWN BY: A.M.J.  
 JOB NO.: PHX21-0133-00

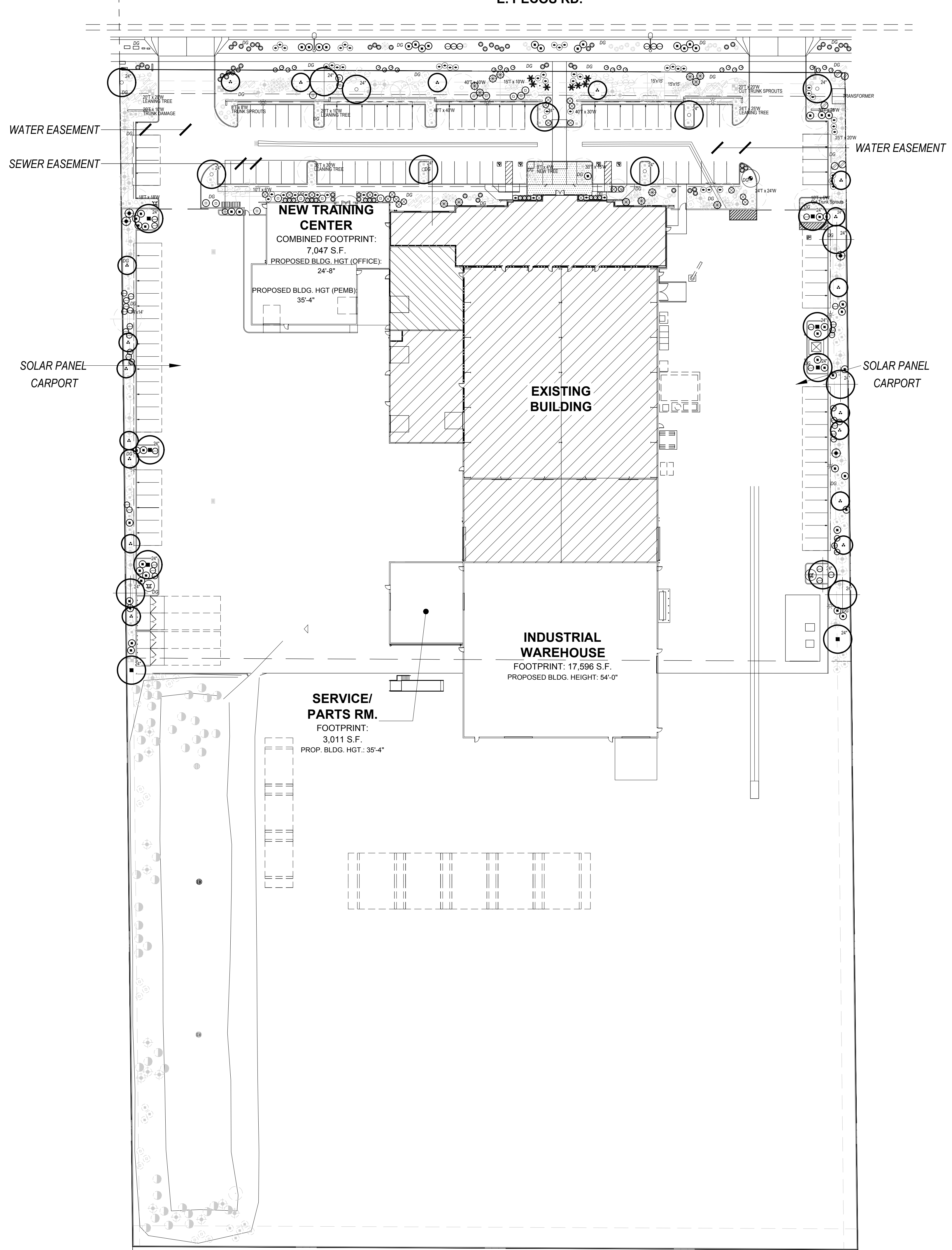
SHEET  
**A100**

**EXISTING PLANT MATERIAL SCHEDULE**

SYMBOL	BOTANICAL NAME
TREES:	
	Existing Tree to Remain
	<i>Parkinsonia florida</i> Blue palo Verde
	<i>Olneya tesota</i> Ironwood
	<i>Sophora secundiflora</i> Texas Mountain Laurel
ACCENTS, GRASSES AND CACTI	
	<i>Agave americana var. marginata</i> Variegated Century Plant
	Clumping Aloe
	Clumping Aloe
	<i>Dasyliiron wheeleri</i> Desert Spoon
	<i>Hesperaloe parviflora</i> Red Yucca
SHRUBS	
	<i>Ruellia peninsularis</i> Desert Ruellia
	<i>Tecoma x 'Orange Jubilee'</i> Orange Jubilee Tecoma Hybrid
	<i>Leucophyllum frutescens</i> Texas Sage
	<i>Caesalpinia pulcherrima</i> Red Bird of Paradise
	<i>Baccharis sarothroides</i> Desert Broom
GROUNDCOVERS:	
	<i>Lantana 'New Gold'</i> New Gold Lantana



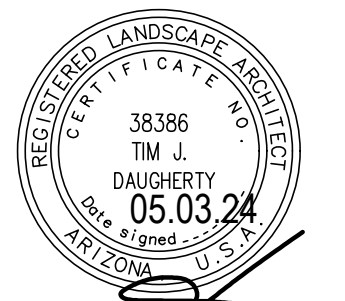
**E. PECOS RD.**



**PLANT MATERIAL SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	COMMENTS
TREES:					
	<i>Quercus virginiana</i>	Live Oak	24" box	8	STANDARD
	<i>Olneya tesota</i>	Ironwood	24" box	6	STANDARD
	<i>Chitalpa tashkentensis</i>	Chitalpa	24" box	8	STANDARD
	<i>Acacia aneura</i>	Mulga	15 gal. 24" box	16 2	STANDARD
ACCENTS, GRASSES AND CACTI					
	<i>Agave desmettiana</i>	Smooth Agave		7	
	<i>Aloe x 'Blue Elf'</i>	Blue Elf Aloe		15	
	<i>Dasyliiron wheeleri</i>	Desert Spoon		13	
	<i>Hesperaloe parviflora</i>	Red Yucca		46	
SHRUBS					
	<i>Ruellia peninsularis</i>	Desert Ruellia		53	
	<i>Tecoma x 'Orange Jubilee'</i>	Orange Jubilee Tecoma Hybrid		15	
	<i>Leucophyllum frutescens</i>	Texas Sage		5	
	<i>Caesalpinia pulcherrima</i>	Red Bird of Paradise		4	
	<i>Justicia californica</i>	Chuparosa		22	
	<i>Eremophila hygrophana</i>	Blue Bells		54	
GROUNDCOVERS:					
	<i>Lantana 'New Gold'</i>	New Gold Lantana	1 gallon	57	
	<i>Myoporum parvifolium</i>	Myoporum	1 gallon	24	
ROCK MULCH:					
	DG	1/2" Screened, ROCKPROS Apache Gold		38,260 SF	2" Deep in all Landscape Areas
LANDSCAPE CALCULATIONS:					
TREE REQUIREMENTS STREET FRONTAGE					
438.44 LINEAR FEET (LF):					
QTY.	Required	% Provided			
Total Trees:	18	1 @ 25'			
Total Shrubs:	108	6 Per Tree			
NOTE: Includes E. Pecos Road Frontage and all existing trees					
TREE REQUIREMENTS PERIMETER (ADJACENT PROPERTY)					
859.71 LINEAR FEET:					
QTY.	Required	% Provided			
Total Trees:	26	3 @ 100'			
Total Shrubs:	516	20 @ 100'			
NOTE: 3 Trees and 20 shrubs per 100 LF.					
TREE REQUIREMENTS BUILDING FOUNDATION					
88.66 LINEAR FEET:					
QTY.	Required	% Provided			
Total Trees:	2	1 @ 50'			
NOTE: Includes trees within 30' offset Including all existing trees.					
TREE REQUIREMENTS PARKING:					
QTY.	Required	% Provided			
Total Trees:	26	1 tree per Island			
Total Shrubs:	78	3 per tree			
NOTE: 26 Parking islands with 1 tree and 3 shrubs. This calculation includes existing trees.					
STREET FRONTAGE TREES BY SIZE / PERCENTAGE:					
	QTY.	% Required	% Provided		
Total Trees:	18	-	-		
15 gal	4	25%	22%		
24" box	4	25%	25%		
36" box	10	50%	50%		
PERIMETER (ADJACENT PROPERTY) TREES BY SIZE / PERCENTAGE:					
	QTY.	% Required	% Provided		
Total Trees:	26	-	-		
15 gal	12	50%	46.2%		
24" box	14	50%	53.8%		
36" box	-	-	-		
FOUNDATION TREES BY SIZE / PERCENTAGE:					
	QTY.	% Required	% Provided		
Total Trees:	2	-	-		
15 gal	-	-	-		
24" box	x	0%	0%		
36" box	2	100%	100%		
PARKING TREES BY SIZE / PERCENTAGE:					
	QTY.	% Required	% Provided		
Total Trees:	26	-	-		
15 gal	-	-	-		
24" box	13	90%	50%		
36" box	13	10%	50%		

**Studio DPA**  
 Planning and Landscape Architecture  
 P.O. Box 3489 - Gilbert, AZ 85299  
 480.577.5818 | 602.568.6606  
 www.studioDPA.com



DATE: 05.03.24

**PRELIMINARY LANDSCAPE PLAN**  
**METSO OUTOTEC USA**  
 PREPARED FOR: WARE MALCOMB  
 8223 EAST PECOS ROAD MESA, ARIZONA 85212

DATE:	REVISION:

Call at least two full working days before you begin excavation.

**ARIZONA 811**  
 Arizona Blue Stake, Inc.  
 Dial 8-1-1 or 1-800-STAKE-11 (782-5348)  
 In Maricopa County: (602) 263-1100

# METSO EXPANSION BUILDING EXPANSION

8223 EAST PECOSS ROAD  
MESA, ARIZONA, 85212



**TAB C**

# GAMMAGE & BURNHAM, PLC

ATTORNEYS AT LAW

40 NORTH CENTRAL AVENUE

20TH FLOOR

PHOENIX, ARIZONA 85004

TELEPHONE (602) 256-0566  
FACSIMILE (602) 256-4475

---

Dennis M. Newcombe  
DIRECT (602) 256-4446  
E-Mail Address: [dnewcombe@gblaw.com](mailto:dnewcombe@gblaw.com)

June 24, 2024

## **VIA U.S. MAIL**

Dear Property Owner, Neighborhood Representative, and/or Interested Resident:

On behalf of Metso USA Inc, (“Metso”) who is proposing to expand their existing  $\pm 10$ -acre site/facility at 8223 East Pecos Road, Maricopa County Assessor Parcel Number: 304-61-014B (the “Property”) (See the Attached: **Property Location Map**), we have submitted a Design Review request with the City of Mesa (Case No. DRB24-00175) for the proposed expansion. This letter is being sent to all property owners within 1,000-feet of the Property at the request of the City of Mesa Planning Division to advise that this request will be discussed at the Mesa Design Review Board meeting on **July 9, 2024**, further details regarding the meeting logistics are included in this letter.

Metso established the Mesa service center in 2015 at this location in Mesa and is one of many Metso service centers throughout the world. The Mesa location was strategically picked due to its centralized proximity to Arizona’s Mines and the southwest regions mineral processing facilities. With that said, due to an increase demand for mineral products and to meet the need from their mining customers Metso needs to expand the existing Mesa service center. The proposed expansion will allow for will improve safety and efficiency.

The proposed expansion includes an advanced and fully equipped training center to bridge the knowledge gap between people, equipment, and operational goals. The new “Metso Academy Training Center” will support multiple ways of learning, outfitted with state-of-the-art simulators and digital training assets, in addition to classroom and hands-on learning areas. This will be Metso’s first ground up dedicated training center in the world. The training center will attract up to 20 individuals per training with a target of 90 trainings per year. The proposal includes a new building expansion, reconfigured parking, revised landscaping, screening, etc. The site plan continues to orient the building (new/existing) towards Pecos Road with the rear of the Property for storage/truck access/utilitarian type uses. The Property will have the same access points/overall circulation. The proposed building expansion is of a quality design and features along with similar materials to the existing building. (See Attached: **Site Plan, Landscape Plan, & Perspective Rendering**)

Metso has been operating successfully for many years in Mesa and they are looking forward to expanding their facilities to accommodate their needs and demand.

As stated, this application is scheduled for consideration by the Mesa Design Review Board at their meeting held on **July 9, 2024**, in the City Council Chambers located at 57 East First Street. The Work Session will begin at 4:30 p.m. The public can attend the meeting either in-person or

electronically and telephonically. The live meeting may be watched via zoom <https://mesa11.zoom.us/j/82508085605>, or listened to by calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts.

If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/board-of-adjustment/online-meeting-comment-card> at least 1 hour prior to the start of the meeting. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call 888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call (480) 644-2099.

Should you have any questions or cannot attend the upcoming meeting and would like more information, please feel free to contact me.

Dennis M. Newcombe with Gammage & Burnham  
(602) 256-4446 – or – via e-mail: [dnewcombe@gblaw.com](mailto:dnewcombe@gblaw.com)

If you require additional information from the City of Mesa Development Services Department, Planning Division, please contact our City representative.

Jennifer Merrill, Senior Planner  
(480) 644-6439 – or – via e-mail: [Jennifer.Merrill@MesaAZ.gov](mailto:Jennifer.Merrill@MesaAZ.gov)

If you have sold your property in the interim, please forward this correspondence to the new owner.

Very truly yours,

**GAMMAGE AND BURNHAM, PLC**

*Dennis M. Newcombe*

Dennis M. Newcombe  
Senior Land Use Planner

**Enclosures:** Property Location Map, Site Plan, Landscape Plan, & Perspective Rendering

**QR Code**

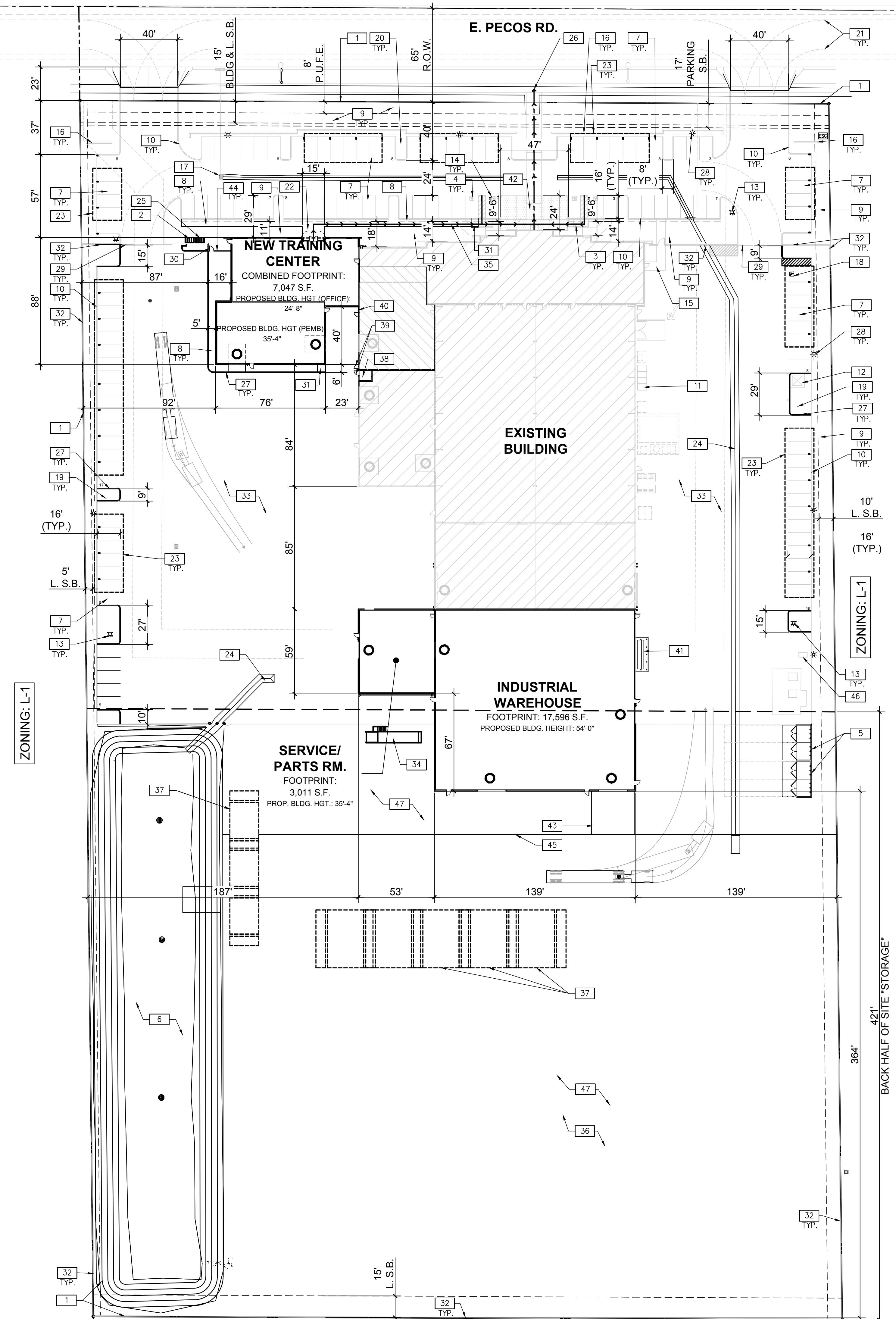




# Property Location Map



\\wma-arch.com\wma\PHX\23\0173\00\Architectural\Cad\DD\PLANNING\0173\_A100\_SITE\_PLAN - Alternate.dwg



### SITE LEGEND

- PROPOSED GRADE LEVEL TRUCK DOOR
- EXISTING GRADE LEVEL TRUCK DOOR
- ▨ INTERIOR REMODEL AREA
- ▨ EXISTING BUILDING

### PROJECT DESCRIPTION

THIS PROJECT INVOLVES THE EXPANSION OF AN EXISTING PRE-ENGINEERED METAL BUILDING AS WELL AS THE EXPANSION OF AN EXISTING MASONRY BUILDING ADDING A TRAINING FACILITY AND A SERVICE/PARTS BUILD-OUT. A 3,451 S.F. INTERIOR REMODEL IS ALSO PROPOSED. THIS PROJECT INCLUDES NECESSARY STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SCOPE, AND ASSOCIATED SITE IMPROVEMENTS, INCLUDING GRADING, DRAINAGE, UTILITIES, AND OFF-SITES AS REQUIRED.

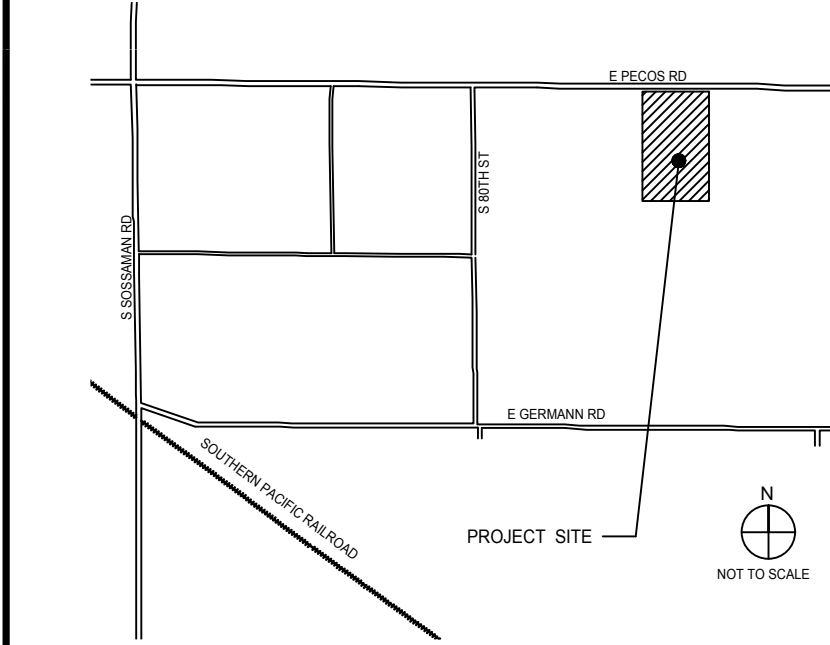
### PROPERTY DATA

ADDRESS: 8223 E PECOS RD, MESA, AZ 85212  
 APN: 304-61-014B  
 GROSS SITE AREA: +/- 435,690 SF (+/- 10.00 ACRES)  
 ZONING: LI W/ PAD OVERLAY  
 MAX HEIGHT: 54'-00"  
 CONSTRUCTION: III-B/A.F.E.S.

BUILDING AREA:	EXISTING	PROPOSED	TOTAL
INDUSTRIAL/FACTORY (PROPOSED EXPANSION)	44,858	17,596	62,454
NEW TRAINING CENTER (PROPOSED EXPANSION)		7,047	7,047
SERVICE/PARTS STORAGE (PROPOSED EXPANSION)		3,011	3,011
<b>TOTAL FOOTPRINT:</b>	<b>44,858</b>	<b>27,654</b>	<b>72,512</b>
<b>TOTAL PROPOSED EXPANSION FOOTPRINT:</b>		<b>27,654</b>	<b>27,654</b>

LOT COVERAGE:	EXISTING: 10%	PROPOSED: 8.4%	GROSS: 18.4%
<b>PARKING TOTALS</b>			
REQUIRED:			
INDUSTRIAL/FACTORY (EXISTING)	(1:600)	31,550	53 STALLS
OFFICE (EXISTING)	(1:375)	8,234	22 STALLS
INDUSTRIAL/FACTORY (NEW EXPANSION)	(1:600)	17,596	29 STALLS
SERVICE / PARTS STORAGE (NEW EXPANSION)	(1:900)	3,011	3 STALLS
TRAINING CENTER-OFFICE (NEW EXPANSION)	(1:375)	3,883	10 STALLS
TRAINING CENTER-PEMB (NEW EXPANSION)	(1:900)	3,164	4 STALLS
INT. REMODEL (NEW EXPANSION)	(1:375)	3,451	9 STALLS
<b>TOTAL REQUIRED:</b>			<b>130 STALLS</b>
PROVIDED:			
EXISTING			123 STALLS (INC. 4 ACCESSIBLE)
NEW			7 STALLS (INCLUDING 1 VAN ACCESSIBLE)
<b>COMBINED TOTAL</b>			<b>130 STALLS</b>
BIKE PARKING REQUIRED:			12 SPACES
BIKE PARKING PROVIDED:			(2 RACKS = 20 SPACES (1 RACK EQUALS 10 BIKES EA.))

### VICINITY MAP



### SITE PLAN KEYNOTES

- 1 PROPERTY LINE, (———)
- 2 RELOCATED (EXISTING) BIKE RACK W/ CONC. SLAB. 1 RACK HOLDS UP TO 10 BIKES
- 3 EXISTING ADA SIDEWALK ACCESS RAMP (TYP.)
- 4 EXISTING ADA PARKING STALL W/ CROSS-HATCH LOADING ZONE (TYP.)
- 5 NEW CMU TRASH ENCLOSURE PER CITY OF MESA STANDARDS
- 6 RETENTION BASIN PER CIVIL DRAWINGS
- 7 EXISTING 9'-0" x 16'-0" W/ 2'-0" OVERHANG PARKING STALL. TYP.
- 8 NEW 5'-0" WIDE SIDEWALK (TYP.)
- 9 EXIST. LANDSCAPE AREA (TYP.)
- 10 EXISTING 6" CURB (TYP.)
- 11 EXISTING EXTERIOR GRADE S.E.S.
- 12 EXISTING ELECTRICAL TRANSFORMER ON CONC. PAD WITH BOLLARD PROTECTION
- 13 EXISTING FIRE HYDRANT PER CIVIL DRAWINGS (TYP.)
- 14 EXISTING 11' WIDE ADA VAN PARKING STALL PER CITY OF MESA ZONING STANDARDS (TYP.)
- 15 EXISTING 5'-0" WIDE SIDEWALK
- 16 EXISTING STAGGERED & OFFSET 3'-4" HIGH CMU PARKING SCREEN WALL (TYP.) SEE DETAIL 4/A1.4 FOR MORE INFO.
- 17 EXIST. STORM DRAIN INLET. REFERENCE CIVIL DRAWINGS FOR MORE INFO.
- 18 NEW PROPOSED ADA PARKING STALL
- 19 PROPOSED LANDSCAPED PARKING ISLAND PER CITY OF MESA STANDARDS (TYP.)
- 20 EXISTING PARKING ISLAND (TYP.)
- 21 FIRE TURN LANE PER CITY OF MESA STANDARDS (20' WIDE; 35' INSIDE RADIUS, 55' OUTSIDE RADIUS, TYP.)
- 22 PROPOSED 15'x15' BASE FOUNDATION & ENTRY PLAZA AREA FOR TRAINING CENTER PER COM STANDARDS
- 23 DASHED LINE INDICATES PROPOSED CAR PORT LOCATION WITH SOLAR PANEL (TYP.)
- 24 EXISTING VALLEY GUTTER PER CIVIL DRAWINGS.
- 25 NEW BIKE RACK W/ CONC. SLAB. 1 RACK HOLDS UP TO 10 BIKES
- 26 EXISTING CONCRETE PEDESTRIAN CROSSING
- 27 NEW 6" CURB
- 28 EXISTING SITE LIGHT POLES PER ELECTRICAL (TYP.)
- 29 EXIST. 6'-0" SLIDING GATES (TYP.)
- 30 NEW MAN GATE. SEE DETAIL 10 & 15/A511 FOR MORE INFO.
- 31 PROPOSED ADA SIDEWALK ACCESS RAMP
- 32 EXISTING 6'-0" CMU SCREEN WALL (TYP.)
- 33 EXISTING PAVED EQUIPMENT YARD AREA
- 34 NEW PRE-MANUFACTURED MOBILE LOADING DOCK RAMP BY OWNER.
- 35 PATH OF TRAVEL TO R.O.W. FROM EXISTING & NEW PROPOSED EXPANSION.
- 36 EXISTING UNPAVED YARD AREA.
- 37 PROPOSED OWNER PROVIDED CANOPY TOPPERS OVER OUTDOOR STORAGE CONTAINERS (NOT CONDITIONED SPACE/EXEMPT FROM REQUIRED PARKING) SEE CUTSHEET FOR MORE INFORMATION.
- 38 FIRE RISER ROOM
- 39 NEW PROPOSED MAN DOOR IN EXISTING BUILDING WALL.
- 40 NEW PROPOSED GLAZING STOREFRONT IN EXISTING BUILDING WALL.
- 41 NEW EXTERIOR GRADE ELECTRICAL SES ON CONCRETE PAD W/ BOLLARD PROTECTION
- 42 EXISTING FOUNDATION BASE PLAZA AREA (1,151 SF) AT EXISTING ENTRANCE PER CITY OF MESA STANDARDS
- 43 NEW CONCRETE SLAB FOR FUTURE OWNER PROVIDED PREMANUFACTURED SAND BLAST & PAINT BOOTH. GC TO RUN ELECTRICAL CONDUITS TO LOCATION
- 44 NEW 6'-0" CMU SCREEN WALL (TYP.)
- 45 NEW GRADING AND PAVEMENT EXPANSION. SEE CIVIL DRAWINGS FOR MORE INFO.
- 46 EXISTING GAS TANK.
- 47 EXISTING BACK-HALF OUTDOOR STORAGE AREA.

**WARE MALCOLM**  
 Leading Design for Commercial Real Estate

architecture  
 planning  
 interiors  
 graphics  
 civil engineering

2777 E. Camelback Rd, Suite 325  
 Phoenix, AZ 85016  
 P 602.757.1001  
 F 480.947.2286

**REGISTERED ARCHITECT**  
 Braden P. Blake  
 63180  
 BRADEN P. BLAKE  
 DATE SIGNED: 06/05/2024  
 ARIZONA U.S.A.

**METSO EXPANSION**

8223 EAST PECOS ROAD  
 MESA, ARIZONA 85212

DATE	REMARKS
12/22/2023	PRESUBMITTAL
02/13/2024	1ST P&Z SUBMITTAL
02/28/2024	1ST DR SUBMITTAL
05/06/2024	DR AND P&Z RESUBMITTAL
06/05/2024	DR AND P&Z 2ND RESUBMITTAL

PA / PM: A.MADRID  
 DRAWN BY: A.M.J.  
 JOB NO.: PHX21-0133-00

SHEET  
**A100**

**SITE PLAN**  
 SCALE: 1"=40'-0"



# METSO EXPANSION BUILDING EXPANSION

8223 EAST PECOSS ROAD  
MESA, ARIZONA, 85212



**TAB D**

GAMMAGE & BURNHAM, PLC

ATTORNEYS AT LAW

40 NORTH CENTRAL AVENUE

20TH FLOOR

PHOENIX, ARIZONA 85004

TELEPHONE (602) 256-0566

FACSIMILE (602) 256-4475

---

Dennis M. Newcombe

DIRECT (602) 256-4446

E-Mail Address: [dnewcombe@gblaw.com](mailto:dnewcombe@gblaw.com)

July 8, 2024

**VIA U.S. MAIL**

Dear Property Owner, Neighborhood Representative, and/or Interested Resident:

On behalf of Metso USA Inc, (“Metso”), who is proposing to expand their existing ±10-acre site/facility at 8223 East Pecos Road, Maricopa County Assessor Parcel Number: 304-61-014B (the “Property”) (See the Attached: **Property Location Map**) we have submitted with the City of Mesa Planning Division a rezone from Light Industrial (“LI”) to LI with a Planned Area Development Overlay (“LI-PAD”) and Site Plan Modification review/approval (Case No. ZON24-00137). This request will allow for an expansion to an existing industrial development.

As you may recall in prior notices mailed, Metso established the Mesa service center in 2015 at this location in Mesa and is one of many Metso service centers throughout the world. The Mesa location was strategically picked due to its centralized proximity to Arizona’s Mines and the southwest regions mineral processing facilities. With that said, due to an increase demand for mineral products and to meet the need from their mining customers Metso needs to expand the existing Mesa service center. The proposed expansion will allow for improved safety and efficiency. (See the Attached: **Site Plan and Landscape Plan**)

With that said, this letter is being sent to all property owners within 1,000-feet of the property at the request of the City of Mesa Planning Division. If you have any questions regarding this proposal/letter, please feel free to call me at **(602) 256-4446** or e-mail me at [dnewcombe@gblaw.com](mailto:dnewcombe@gblaw.com).

This application (Case No. ZON24-00137) is scheduled for consideration by the Mesa Planning and Zoning Board at their meeting to be held on **July 24, 2024**, in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at [Mesa11.com/live](https://www.mesa11.com/live) or [www.youtube.com/user/cityofmesa11/live](https://www.youtube.com/user/cityofmesa11/live), or listened to by calling **888-788-0099** or **877-853-5247 (toll free)** using meeting **ID 825 0808 5605** and following the prompts.

If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least **1 hour** prior to the start of the meeting.

Notice of Planning and Zoning Board Meeting

Case #: ZON24-00137

July 8, 2024

Page 2 of 2

If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099** or **877-853-5247 (toll free)** using meeting **ID 825 0808 5605** and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call (480) 644-2099.

The City Planner assigned to this case is Jennifer Merrill, Senior Planner. She can be reached at (480) 644-6439 or [Jennifer.Merrill@MesaAZ.gov](mailto:Jennifer.Merrill@MesaAZ.gov), should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Very truly yours,

**GAMMAGE AND BURNHAM, PLC**

*Dennis M. Newcombe*

Dennis M. Newcombe  
Senior Land Use Planner

**Enclosures:** Property Location Map, Site Plan, & Landscape Plan

QR Code

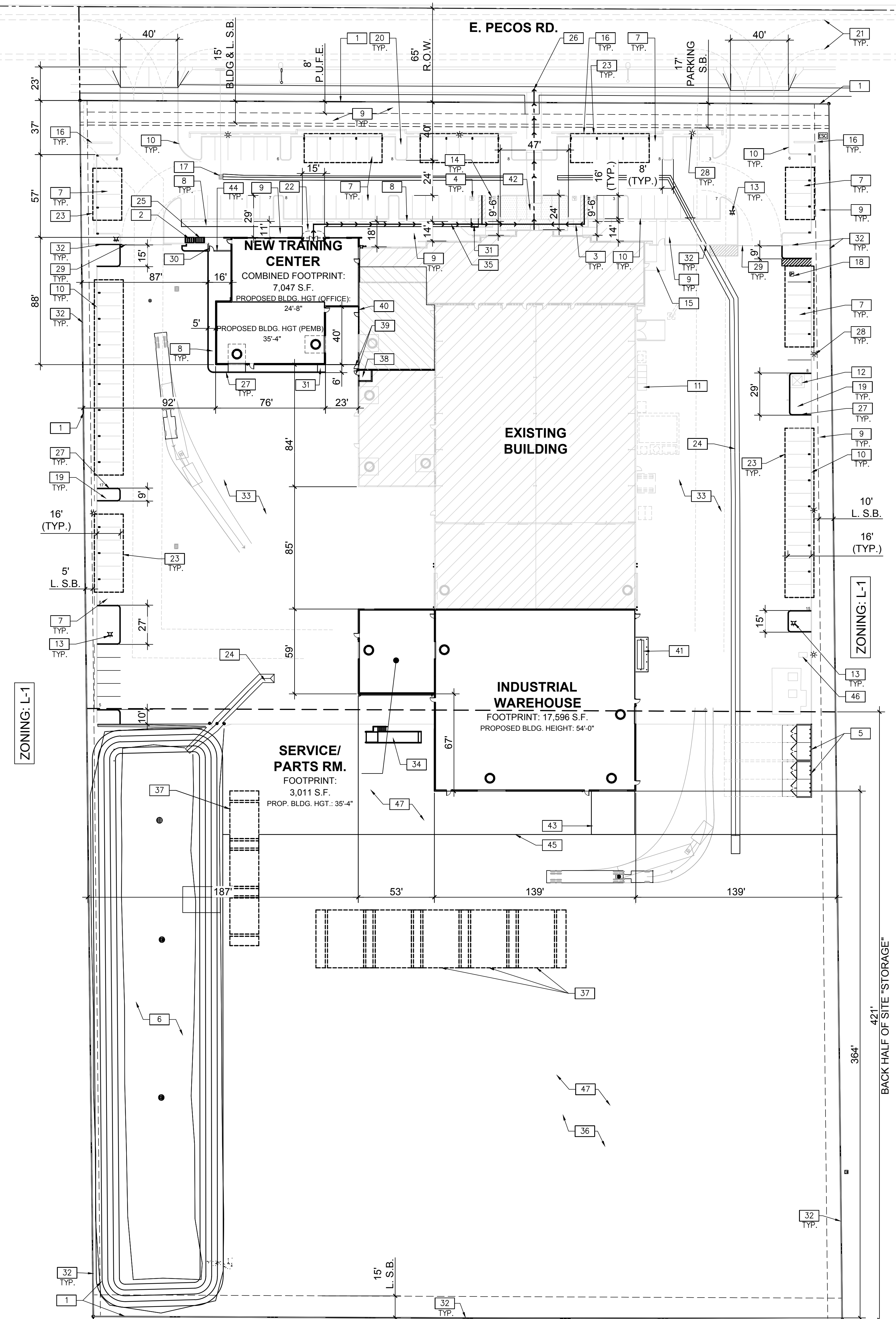


# Property Location Map





\\wma-arch.com\wma\PHX\23\0173\00\Architectural\Cad\DD\PLANNING\0173\_A100\_SITE\_PLAN - Alternate.dwg



### SITE LEGEND

- PROPOSED GRADE LEVEL TRUCK DOOR
- EXISTING GRADE LEVEL TRUCK DOOR
- ▨ INTERIOR REMODEL AREA
- ▨ EXISTING BUILDING

### PROJECT DESCRIPTION

THIS PROJECT INVOLVES THE EXPANSION OF AN EXISTING PRE-ENGINEERED METAL BUILDING AS WELL AS THE EXPANSION OF AN EXISTING MASONRY BUILDING ADDING A TRAINING FACILITY AND A SERVICE/PARTS BUILD-OUT. A 3,451 S.F. INTERIOR REMODEL IS ALSO PROPOSED. THIS PROJECT INCLUDES NECESSARY STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SCOPE, AND ASSOCIATED SITE IMPROVEMENTS, INCLUDING GRADING, DRAINAGE, UTILITIES, AND OFF-SITES AS REQUIRED.

### PROPERTY DATA

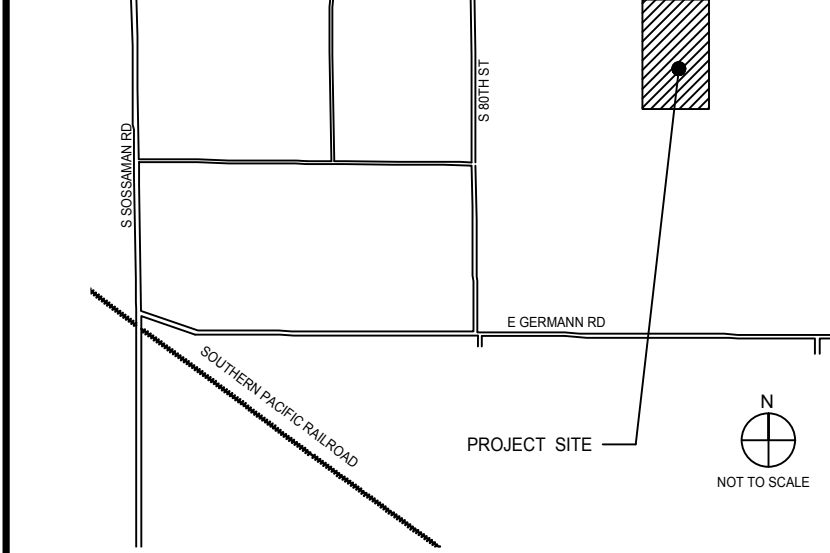
ADDRESS: 8223 E PECOS RD, MESA, AZ 85212  
 APN: 304-61-014B  
 GROSS SITE AREA: +/- 435,690 SF (+/- 10.00 ACRES)  
 ZONING: LI W/ PAD OVERLAY  
 MAX HEIGHT: 54'-00"  
 CONSTRUCTION: III-B/A.F.E.S.

BUILDING AREA:	EXISTING	PROPOSED	TOTAL
INDUSTRIAL/FACTORY (PROPOSED EXPANSION)	44,858	17,596	62,454
NEW TRAINING CENTER (PROPOSED EXPANSION)		7,047	7,047
SERVICE/PARTS STORAGE (PROPOSED EXPANSION)		3,011	3,011
<b>TOTAL FOOTPRINT:</b>	<b>44,858</b>	<b>27,654</b>	<b>72,512</b>
<b>TOTAL PROPOSED EXPANSION FOOTPRINT:</b>			<b>27,654</b>

LOT COVERAGE:	EXISTING: 10%	PROPOSED: 8.4%	GROSS: 18.4%
<b>PARKING TOTALS REQUIRED:</b>			
INDUSTRIAL/FACTORY (EXISTING)	(1:600)	31,550	53 STALLS
OFFICE (EXISTING)	(1:375)	8,234	22 STALLS
INDUSTRIAL/FACTORY (NEW EXPANSION)	(1:600)	17,596	29 STALLS
SERVICE / PARTS STORAGE (NEW EXPANSION)	(1:900)	3,011	3 STALLS
TRAINING CENTER-OFFICE (NEW EXPANSION)	(1:375)	3,883	10 STALLS
TRAINING CENTER-PEMB (NEW EXPANSION)	(1:900)	3,164	4 STALLS
INT. REMODEL (NEW EXPANSION)	(1:375)	3,451	9 STALLS
<b>TOTAL REQUIRED:</b>			<b>130 STALLS</b>

PROVIDED:  
 EXISTING: 123 STALLS (INC. 4 ACCESSIBLE)  
 NEW: 7 STALLS (INCLUDING 1 VAN ACCESSIBLE)  
 COMBINED TOTAL: 130 STALLS  
 BIKE PARKING REQUIRED: 12 SPACES  
 BIKE PARKING PROVIDED: (2 RACKS = 20 SPACES (1 RACK EQUALS 10 BIKES EA.))

### VICINITY MAP



### SITE PLAN KEYNOTES

- 1 PROPERTY LINE, (———)
- 2 RELOCATED (EXISTING) BIKE RACK W/ CONC. SLAB. 1 RACK HOLDS UP TO 10 BIKES
- 3 EXISTING ADA SIDEWALK ACCESS RAMP (TYP.)
- 4 EXISTING ADA PARKING STALL W/ CROSS-HATCH LOADING ZONE (TYP.)
- 5 NEW CMU TRASH ENCLOSURE PER CITY OF MESA STANDARDS
- 6 RETENTION BASIN PER CIVIL DRAWINGS
- 7 EXISTING 9'-0" x 16'-0" W/ 2'-0" OVERHANG PARKING STALL. TYP.
- 8 NEW 5'-0" WIDE SIDEWALK (TYP.)
- 9 EXIST. LANDSCAPE AREA (TYP.)
- 10 EXISTING 6" CURB (TYP.)
- 11 EXISTING EXTERIOR GRADE S.E.S.
- 12 EXISTING ELECTRICAL TRANSFORMER ON CONC. PAD WITH BOLLARD PROTECTION
- 13 EXISTING FIRE HYDRANT PER CIVIL DRAWINGS (TYP.)
- 14 EXISTING 11' WIDE ADA VAN PARKING STALL PER CITY OF MESA ZONING STANDARDS (TYP.)
- 15 EXISTING 5'-0" WIDE SIDEWALK
- 16 EXISTING STAGGERED & OFFSET 3'-4" HIGH CMU PARKING SCREEN WALL (TYP.) SEE DETAIL 4/A1.4 FOR MORE INFO.
- 17 EXIST. STORM DRAIN INLET. REFERENCE CIVIL DRAWINGS FOR MORE INFO.
- 18 NEW PROPOSED ADA PARKING STALL
- 19 PROPOSED LANDSCAPED PARKING ISLAND PER CITY OF MESA STANDARDS (TYP.)
- 20 EXISTING PARKING ISLAND (TYP.)
- 21 FIRE TURN LANE PER CITY OF MESA STANDARDS (20' WIDE; 35' INSIDE RADIUS, 55' OUTSIDE RADIUS, TYP.)
- 22 PROPOSED 15'x15' BASE FOUNDATION & ENTRY PLAZA AREA FOR TRAINING CENTER PER COM STANDARDS
- 23 DASHED LINE INDICATES PROPOSED CAR PORT LOCATION WITH SOLAR PANEL (TYP.)
- 24 EXISTING VALLEY GUTTER PER CIVIL DRAWINGS.
- 25 NEW BIKE RACK W/ CONC. SLAB. 1 RACK HOLDS UP TO 10 BIKES
- 26 EXISTING CONCRETE PEDESTRIAN CROSSING
- 27 NEW 6" CURB
- 28 EXISTING SITE LIGHT POLES PER ELECTRICAL (TYP.)
- 29 EXIST. 6'-0" SLIDING GATES (TYP.)
- 30 NEW MAN GATE. SEE DETAIL 10 & 15/A511 FOR MORE INFO.
- 31 PROPOSED ADA SIDEWALK ACCESS RAMP
- 32 EXISTING 6'-0" CMU SCREEN WALL (TYP.)
- 33 EXISTING PAVED EQUIPMENT YARD AREA
- 34 NEW PRE-MANUFACTURED MOBILE LOADING DOCK RAMP BY OWNER.
- 35 PATH OF TRAVEL TO R.O.W. FROM EXISTING & NEW PROPOSED EXPANSION.
- 36 EXISTING UNPAVED YARD AREA.
- 37 PROPOSED OWNER PROVIDED CANOPY TOPPERS OVER OUTDOOR STORAGE CONTAINERS (NOT CONDITIONED SPACE/EXEMPT FROM REQUIRED PARKING) SEE CUTSHEET FOR MORE INFORMATION.
- 38 FIRE RISER ROOM
- 39 NEW PROPOSED MAN DOOR IN EXISTING BUILDING WALL.
- 40 NEW PROPOSED GLAZING STOREFRONT IN EXISTING BUILDING WALL.
- 41 NEW EXTERIOR GRADE ELECTRICAL SES ON CONCRETE PAD W/ BOLLARD PROTECTION
- 42 EXISTING FOUNDATION BASE PLAZA AREA (1,151 SF) AT EXISTING ENTRANCE PER CITY OF MESA STANDARDS
- 43 NEW CONCRETE SLAB FOR FUTURE OWNER PROVIDED PREMANUFACTURED SAND BLAST & PAINT BOOTH. GC TO RUN ELECTRICAL CONDUITS TO LOCATION
- 44 NEW 6'-0" CMU SCREEN WALL (TYP.)
- 45 NEW GRADING AND PAVEMENT EXPANSION. SEE CIVIL DRAWINGS FOR MORE INFO.
- 46 EXISTING GAS TANK.
- 47 EXISTING BACK-HALF OUTDOOR STORAGE AREA.

**WARE MALCOLM**  
 Leading Design for Commercial Real Estate

architecture  
 planning  
 interiors  
 graphics  
 civil engineering

2777 E. Camelback Rd, Suite 325  
 Phoenix, AZ 85016  
 P 602.757.1001  
 F 480.947.2286

**REGISTERED ARCHITECT**  
 Braden P. Blake  
 63180  
 BRADEN P. BLAKE  
 DATE SIGNED: 06/05/2024  
 ARIZONA U.S.A.

**METSO EXPANSION**  
 8223 EAST PECOS ROAD  
 MESA, ARIZONA 85212

DATE	REMARKS
12/22/2023	PRESUBMITTAL
02/13/2024	1ST P&Z SUBMITTAL
02/29/2024	1ST DR SUBMITTAL
05/06/2024	DR AND P&Z RESUBMITTAL
06/05/2024	DR AND P&Z 2ND RESUBMITTAL

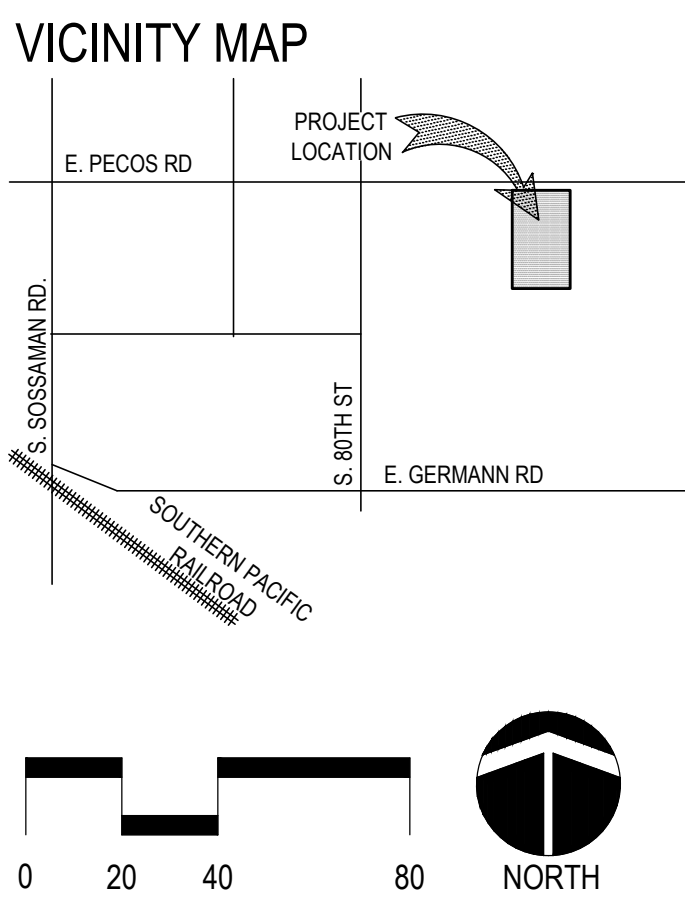
PA / PM: A.MADRID  
 DRAWN BY: A.M.J.  
 JOB NO.: PHX21-0133-00

SHEET  
**A100**  
 Mon, 05 Jun 2024

**SITE PLAN**  
 SCALE: 1"=40'-0"

**EXISTING PLANT MATERIAL SCHEDULE**

SYMBOL	BOTANICAL NAME COMMON NAME
<b>TREES:</b>	
	Existing Tree to Remain
	<i>Parkinsonia florida</i> Blue palo Verde
	<i>Olneya tesota</i> Ironwood
	<i>Sophora secundiflora</i> Texas Mountain Laurel
<b>ACCENTS, GRASSES AND CACTI</b>	
	<i>Agave americana var. marginata</i> Variegated Century Plant
	Clumping Aloe
	Clumping Aloe
	<i>Dasyliiron wheeleri</i> Desert Spoon
	<i>Hesperaloe parviflora</i> Red Yucca
<b>SHRUBS</b>	
	<i>Ruellia peninsularis</i> Desert Ruellia
	<i>Tecoma x 'Orange Jubilee'</i> Orange Jubilee Tecoma Hybrid
	<i>Leucophyllum frutescens</i> Texas Sage
	<i>Caesalpinia pulcherrima</i> Red Bird of Paradise
	<i>Baccharis sarothroides</i> Desert Broom
<b>GROUNDCOVERS:</b>	
	<i>Lantana 'New Gold'</i> New Gold Lantana



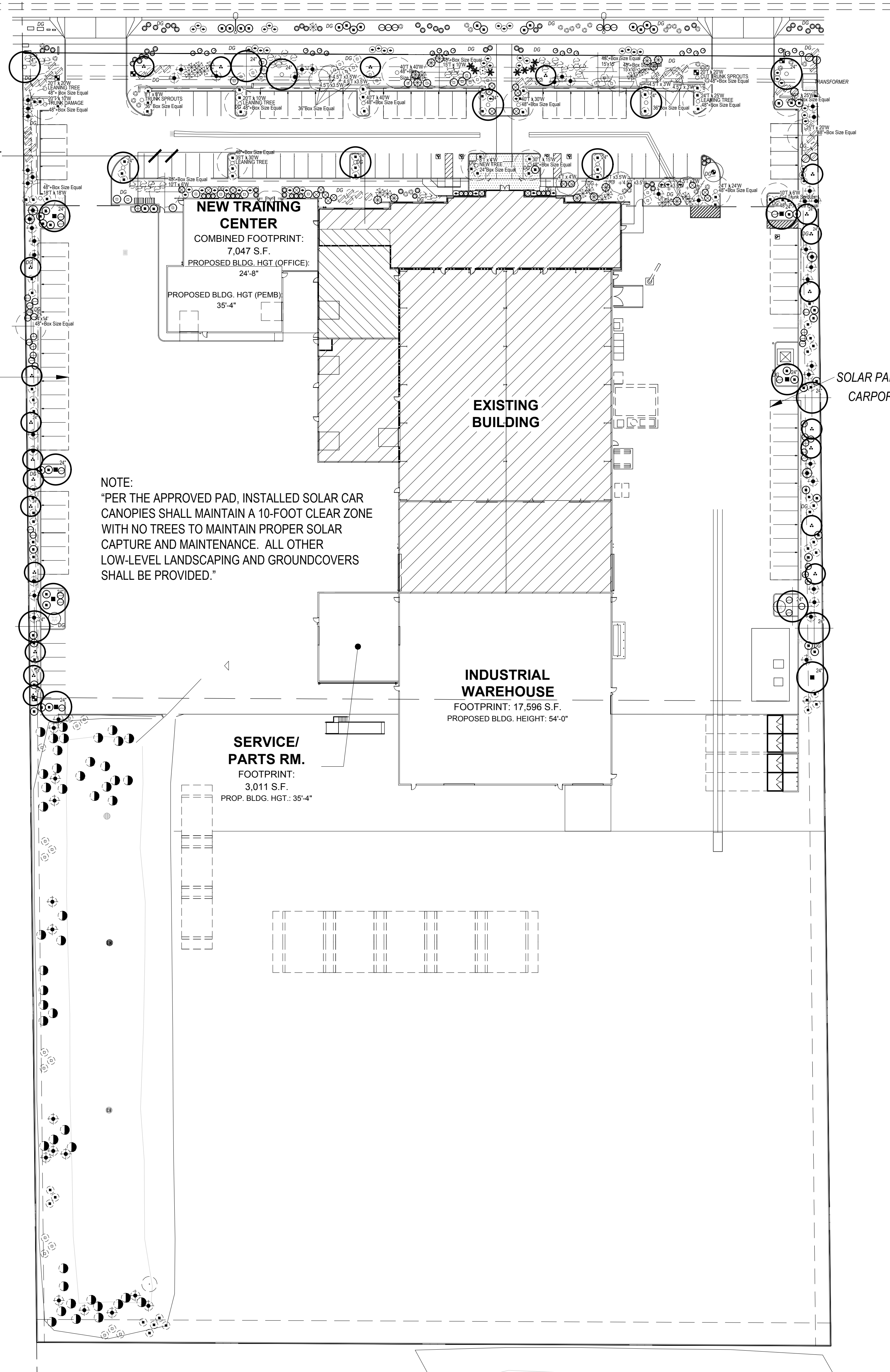
**E. PECOS RD.**

SEWER EASEMENT

SOLAR PANEL CARPORT

SOLAR PANEL CARPORT

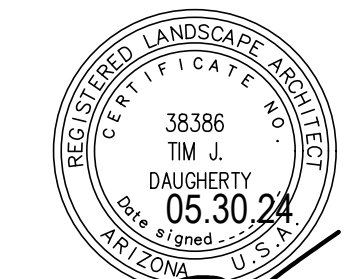
NOTE:  
"PER THE APPROVED PAD, INSTALLED SOLAR CAR CANOPIES SHALL MAINTAIN A 10-FOOT CLEAR ZONE WITH NO TREES TO MAINTAIN PROPER SOLAR CAPTURE AND MAINTENANCE. ALL OTHER LOW-LEVEL LANDSCAPING AND GROUNDCOVERS SHALL BE PROVIDED."



**PLANT MATERIAL SCHEDULE**

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY	COMMENTS
<b>TREES:</b>				
	<i>Quercus virginiana</i> Live Oak	24" box	8	STANDARD
	<i>Olneya tesota</i> Ironwood	24" box	5	MULTI
	<i>Chitalpa tashkentensis</i> Chitalpa	24" box	7	STANDARD
	<i>Acacia aneura</i> Mulga	15 gal. 24" box	16 6	STANDARD
<b>ACCENTS, GRASSES AND CACTI</b>				
	<i>Agave desmettiana</i> Smooth Agave		7	
	<i>Aloe x 'Blue Elf'</i> Blue Elf Aloe		15	
	<i>Dasyliiron wheeleri</i> Desert Spoon		13	
	<i>Hesperaloe parviflora</i> Red Yucca		45	
<b>SHRUBS</b>				
	<i>Ruellia peninsularis</i> Desert Ruellia		51	
	<i>Tecoma x 'Orange Jubilee'</i> Orange Jubilee Tecoma Hybrid		15	
	<i>Leucophyllum frutescens</i> Texas Sage		5	
	<i>Caesalpinia pulcherrima</i> Red Bird of Paradise		4	
	<i>Justicia californica</i> Chuparosa		22	
	<i>Eremophila hygrophana</i> Blue Bells Blue Bells		54	
<b>GROUNDCOVERS:</b>				
	<i>Lantana 'New Gold'</i> New Gold Lantana	1 gallon	57	
	<i>Myoporum parvifolium</i> Myoporum	1 gallon	24	
<b>ROCK MULCH:</b>				
	1/2" Screened, ROCKPROS Apache Gold 2" Deep in all Landscape Areas		38,260 SF	
<b>LANDSCAPE CALCULATIONS:</b>				
<b>TREE REQUIREMENTS STREET FRONTAGE</b> 438.44 LINEAR FEET (LF):				
QTY.	Required	% Provided		
Total Trees:	18	1 @ 25'	1 @ 25'	
Total Shrubs:	108	6 Per Tree	6 Per Tree	
NOTE: Includes E. Pecos Road Frontage and all existing trees				
<b>TREE REQUIREMENTS PERIMETER (ADJACENT PROPERTY)</b> 859.71 LINEAR FEET:				
QTY.	Required	% Provided		
Total Trees:	26	3 @ 100'	3 @ 100'	
Total Shrubs:	172	20 @ 100'	20 @ 100'	
NOTE: 3 Trees and 20 shrubs per 100 LF.				
<b>TREE REQUIREMENTS BUILDING FOUNDATION</b> 88.66 LINEAR FEET:				
QTY.	Required	% Provided		
Total Trees:	2	1 @ 50'	1 @ 50'	
NOTE: Includes trees within 30' offset including all existing trees.				
<b>TREE REQUIREMENTS PARKING:</b>				
QTY.	Required	% Provided		
Total Trees:	25	1 tree per island	1 tree per island	
Total Shrubs:	75	3 per tree	3 per tree	
NOTE: 25 Parking islands with 1 tree and 3 shrubs. This calculation includes existing trees.				
<b>STREET FRONTAGE TREES BY SIZE / PERCENTAGE:</b>				
QTY.	% Required	% Provided		
Total Trees:	18	-	-	
15 gal	4	25%	22.2%	
24" box	4	50%	22.2%	
36" box	10	25%	55.5%	
<b>PERIMETER (ADJACENT PROPERTY) TREES BY SIZE / PERCENTAGE:</b>				
QTY.	% Required	% Provided		
Total Trees:	26	-	-	
15 gal	12	50%	46.2%	
24" box	14	50%	53.8%	
36" box	-	-	-	
<b>FOUNDATION TREES BY SIZE / PERCENTAGE:</b>				
QTY.	% Required	% Provided		
Total Trees:	3	-	-	
15 gal	-	-	-	
24" box	1	90%	33%	
36" box	2	10%	66%	
<b>PARKING TREES BY SIZE / PERCENTAGE:</b>				
QTY.	% Required	% Provided		
Total Trees:	25	-	-	
15 gal	-	-	-	
24" box	12	90%	48%	
36" box	13	10%	52%	

**Studio DPA**  
Planning and Landscape Architecture  
P.O. Box 3489 - Gilbert, AZ 85299  
480.577.5818 | 602.568.6606  
www.studioDPA.com



DATE:  
05.30.24

PRELIMINARY LANDSCAPE PLAN  
**METSO OUTOTEC USA**  
PREPARED FOR: WARE MALCOMB  
8223 EAST PECOS ROAD MESA, ARIZONA 85212

DATE: REVISION:

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

Call at least two full working days before you begin excavation.  
**ARIZONA 811**  
Arizona Blue Stakes, Inc.  
Dial 8-1-1 or 1-800-STAKE-11 (782-5348)  
In Maricopa County: (602) 263-1100

**TAB E**

City of Mesa Planning Division

# AFFIDAVIT OF PUBLIC POSTING

Date:

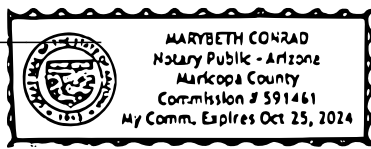
I, Meghan Liggett, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to case # , on . The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

**SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.**

Applicant's/Representative's signature:  *Meghan Liggett*

SUBSCRIBED AND SWORN before me on

*Marybeth Conrad*   
Notary Public



CITY OF MESA  
PUBLIC NOTICE  
**ZONING HEARING**

PLANNING & ZONING BOARD  
57 EAST FIRST STREET  
MESA, ARIZONA

TIME: 4:00 P.M. DATE: July 24, 2024  
CASE: ZON24-00137

REQUEST: Rezone from Light Industrial (LI)  
to LI with a Planned Area Development  
Overlay (LI-PAD) and Site Plan Modification.  
This request will allow for an expansion  
to an existing industrial development.

APPLICANT: Gammage & Burnham, PLC,  
Dennis M. Newcombe

PHONE: 602-256-4446  
Planning Division 480-644-2385

Posting date: 7/08/2024

July 8, 2024 at 9:11 AM  
+33.285077, -111.655497  
8251-8273 E Pecos Rd  
Mesa AZ 85212  
United States