

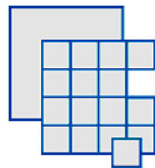
**Jardinero**  
38th Place and McDowell  
**Project Narrative**

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*Submitted by:*

**Pew & Lake, PLC**

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1744 S. Val Vista Drive, Ste. 217  
Mesa, AZ 85204  
Phone: 480-461-4670



**Pew & Lake, P.L.C.**  
Real Estate and Land Use Attorneys

*On behalf of:*

**E.W. Gardner Family Limited Partnership No. 2**

**August 29, 2024**

## Introduction

Pew & Lake PLC, on behalf of the E.W. Gardner Family Limited Partnership No. 2, is pleased to submit this project narrative, Conceptual Site Plan and Preliminary Plat for Jardinero. The proposed development is a 23-Lot single family, custom home subdivision on 20.06 gross acres. The Property is located on the south side of McDowell Road, at the 38<sup>th</sup> Place alignment. The property is known as Maricopa County Parcel Number 141-27-009D. The approximate boundaries of the proposed development site are shown below in *Figure 1*.

*Figure 1 – Site Aerial*



## Existing General Plan Land Use Designation & Zoning

As shown in *Figure 2* on the next page, the project site is currently designated in the City of Mesa General Plan Map as a Neighborhood with a Citrus sub-type. PER Chapter Seven (7) of the Mesa 2040 General Plan, this character type is characterized as having large lots with single-residence homes. The goal of Chapter 7 of the General Plan is to foster a development pattern that creates and maintains a variety of great neighborhoods and grows a diverse, stable economy. The citrus Sub Area Plan intends for new developments to be compatible with existing custom-built homes and citrus style landscaping.

The goal of these sub-areas is to promote Mesa’s identity by encouraging revitalization, preservation, and development. The proposed development is within a special sub-area plan that requests estate-type residential uses and characteristics. The purpose of the Special Citrus Sub Area is to accommodate modern lifestyle, while maintaining the rural character that is historically known in the area. Currently, the property is in the RS-35 zoning district as shown on *Figure 3* the City of Mesa zoning map on the next page.

Figure 2- City of Mesa General Plan Land Use Map

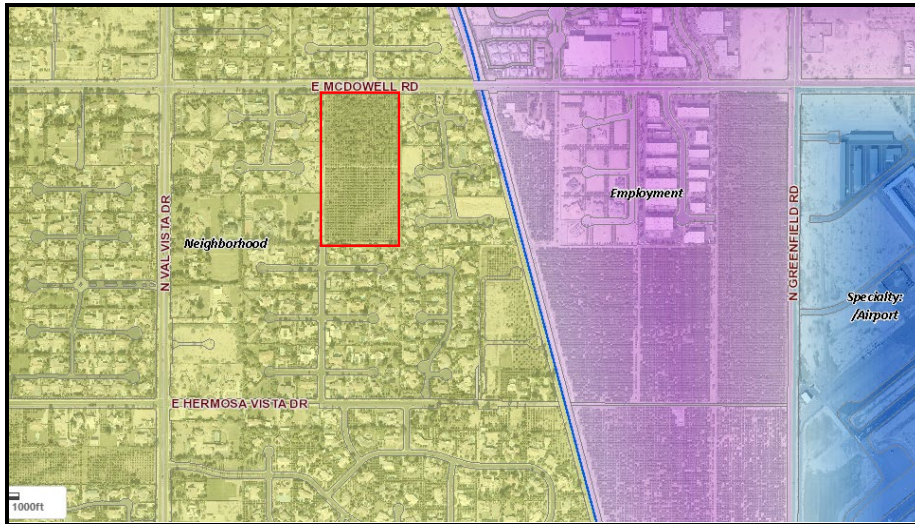
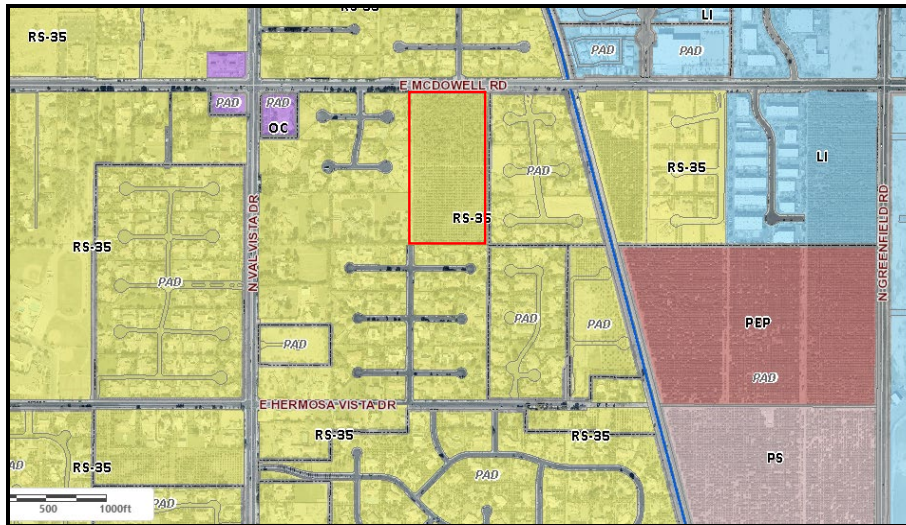


Figure 3- City of Mesa Zoning Map



## Relationship to Surrounding Properties

As shown in the table below, the site is bound on all four sides by residential properties.

Table 1- Relationship to Surrounding Properties

Direction	General Plan Designation	Zoning	Existing Use
North	Neighborhood	RS-35	Somerset Estates - <b>Residential</b>
South	Neighborhood	RS-35	El Camino Dolce- <b>Residential</b>
East	Neighborhood	RS-35	Rosewood Estates- <b>Residential</b>
West	Neighborhood	RS-35	Ladyhawke Estates - <b>Residential</b>
<b>Project Site</b>	<b>Neighborhood</b>	<b>RS-35</b>	<b>Vacant</b>

## Utilities and Services

Utilities and services are available to the site by the providers as shown below:

*Table 2- Utility Service Providers*

Utility	Provider
Electric	Salt River Project
Water	City of Mesa
Sewer	City of Mesa
Solid Waste	City of Mesa or Other
Telephone	Century Link or Cox
Internet	Cox Communication
Law Enforcement	City of Mesa
Emergency Services	City of Mesa

## Requests

Our requests to the City of Mesa:

- 1) Rezoning from RS-35 to RS-35 PAD and
- 2) Preliminary Plat Approval

Upon approval, Jardinero will develop into a custom home subdivision with 23 lots, and a density of 1.2 du/ac. The proposed development will be compatible with the existing custom-built homes and lush green landscaping to retain the charm of the existing community and heritage of the area.

## Preliminary Plat

The Preliminary Plat is submitted concurrently with the zoning process. Final engineering reports and associated documents will be submitted and reviewed by the City during the Final Plat process.

## Compliance with General Plan

As previously stated, the site is currently designated in the City of Mesa 2040 General Plan as a neighborhood with a citrus sub type. This specific area highlights a unique character and history that promotes Mesa's identity. Per the Sub Area Plan, the purpose is to provide for estate-type residential uses and characteristics associated with the large lot, residential development. Furthermore, the Sub Area Plan encourages transition to urban-type single residence uses from large lot, semi-rural, residential.

**Jardinero will help implement the Mesa 2040 General Plan in the following ways;**

- The ultimate design and configuration of the site will complement the Citrus Sub-Area Plan by adhering to planting guidelines set in MZO Section 11-33.



- The development will adhere to the sustainability standards that are set within the City of Mesa’s Design Guidelines. The proposed development will include a community amenity area. The amenity area is specifically designed to allow community members to have access to the amenities they are accustomed to, without the maintenance of a larger lot.
- The entry, perimeter wall, and connectivity to the surrounding community will meet the requirements of MZO Section 11-5-3(B)(1).
- Additionally, Jardinero will contribute to the General Plan goal of “creating and maintain a variety of Great Neighborhoods.” This new community will add to the custom homes that are in high demand within the area.

## Compliance with Planned Area Development Overlay District

Section 11-22-1 of the City of Mesa Zoning Ordinance specifies that the use of a Planned Area Development (PAD) Overlay District is to allow for innovative design and flexibility in projects of sufficient size that are planned for development as a cohesive unit. The intent of the district is to provide for creative, high-quality development incorporating:

1. Well designed and integrated open space and/or recreational facilities held in common ownership and of a scale that is proportionate to the use;
2. Options for the design and use of private or public streets;
3. Preservation of significant aspects of the natural character of the land;
4. Building design, site design, and amenities that create a unique and more sustainable alternative to conventional development;
5. Sustainable property owners’ associations;
6. Maintenance of property held in common ownership through the use of recorded covenants, conditions, and restrictions; and
7. Single or multiple land use activities organized in a comprehensive manner and designed to work together in common and in a synergistic manner to the benefit of both the project and the neighboring area.

The proposed development is appropriate for a Planned Area Development (PAD) Overlay District.

## Proposed Development

### 1. Community Entry

As shown on the Site Plan provided with this application, the entrance to Jardinero will be from McDowell Road. The entry will be landscaped to complement the surrounding neighborhoods and gated. From this access point a private drive proceeds through the community and wraps around the central amenity area at the rear of the subdivision.

## **2. Architectural Design Intent**

The custom lots proposed in this development will contribute to the in-demand inventory of custom home lots in the area. The lots in this community will accommodate sizable custom homes, providing an opportunity for those in the area who may wish to modestly downsize their lot size, without downsizing their actual home size.

## **3. Lot Size Summary**

There are 23 lots that range in size from approximately 20,000 sq. ft. to 32,000 sq. ft.

## **4. Amenities**

The facilities of the amenity areas include pickle ball courts, a pool, sports field, fire pit and ramada. The provided amenities will provide the quality lifestyle to which residents have become accustomed, without the maintenance worries of an on-lot pool or sports court. Additionally, residents of this neighborhood will be provided with an opportunity to grow and maintain a great neighborhood community.

## **5. Landscape and Open Space**

At a proposed density of just 1.2 du/ac, this new, custom-home community is consistent with the desired character of the sub-area. Streets and landscaped tracts will be planted with lush green landscaping and, in keeping with the rural theme, lighting will be minimal and masonry construction will be encouraged. Additionally, a row of lush green trees will be placed along the western boundary of the site and within the retention basin in the southeast corner of the community.

## **6. Parking and Solid Waste Program**

This community is designed with adequate parking for both residents and guests. Each home has at minimum, a two-car garage, with at least two driveway parking spots. The roadways are designed to allow for parking on both sides of the private street. Waste receptacles will be stored inside the garages and pulled to the curb on solid waste collection days. The solid waste trucks will have ample room to maneuver through the community, even with on-street parking provided.

## **Proposed Development Standards and Justification**

A Planned Area Development Overlay is being requested with this application to permit flexibility to zoning standards and requirements where it can be demonstrated that the proposed developments provide equivalent or superior standards. The conventional RS-35 development standards and Jardinero Proposed PAD standards are shown in *Table 3* on the next page.

Table 3- Proposed Development Standards

Development Standard	RS-35 Required	Jardinero Proposed RS-35 PAD
Minimum Lot Area (SF)	35,000 SF	<b>20,000 SF</b>
Minimum Lot Width	130 FT	<b>110 FT</b>
Minimum Lot Depth	150 FT	<b>130 FT</b>
Planned Area Development (PAD) Overlay district (du/ac)	1.24	<b>1.2</b>
Maximum Lot Coverage (% of lot)	50%	50%
Maximum Height	30 FT	30 FT <b>(and single story on perimeter lots)</b>
<b>Minimum Yards (ft.)</b>		
Front (Enclosed Livable Areas, Porches and Porte Cocheres)	22 FT	22 FT
Garages and Carports – front and side yards	30 FT	30 FT
Interior Side: Minimum either side	10 FT	10 FT
Interior Side: Minimum aggregate of 2 sides	30 FT	<b>20 FT</b>
Street Side	10 FT	10 FT
Rear	30 FT	30 FT
Rear Yard Abutting Arterial Street	30 FT	30 FT
Maximum Building Coverage (% of lot)	35%	<b>40%</b>
Detached Accessory Building Location	May be located in the required side/rear yard provided that they are within the rear-one quarter of the lot and do not exceed 10-feet in height. May be located in the required rear yard but outside of the required side yard provided that they do not exceed 15 feet in height.	<b>Detached Garages may not be located in the required rear yards</b>

## Phasing

The development phasing of Jardinero will be based upon real estate market conditions. Sequencing of development of individual phases will typically begin with site access, drainage and retention, utilities, right-of-way improvements, and common area site work for that phase, all followed by development of the buildings. Each phase will be required to stand alone in terms of complying with its share of the proposed open space and percentages and landscape densities under the approved site plan for Jardinero.

Although the actual timing and sequence of development is entirely reliant on upon unknown future market conditions, each project phase will provide for adequate access and circulation, drainage and retention, dust control facilities, as well as ample open space. Prior to permitting each phase, final phasing design will accommodate for the development of efficient infrastructure facilities between phases.

## Ownership and Maintenance

All private street, common areas and private onsite improvements including walls, landscaping and recreational amenities located within Jardinero will be dedicated to a Homeowner's Association (HOA) that will administer the ownership and maintenance of those elements. Public utilities and McDowell Road will be maintained by the City of Mesa and the corresponding utility provider.

## Conclusion

Jardinero will be a great addition to northeast Mesa. It will contribute to the diversity of housing options in the area while preserving the citrus character of the property. Proper care has been taken to provide appropriate transitions to surrounding residential communities, and the neighborhood has been designed to provide a high-quality living environment for its future residents. The applicant and developer look forward to receiving input on this Conceptual Site Plan and working with City staff to bring this new neighborhood to the City of Mesa.





**LANDSCAPE LEGEND**

- TREES**
- BOTANICAL NAME / COMMON NAME  
Citrus Tree / Varies
  - Pistacia Chinensis / Chinese Pistache
  - Pistacia x 'Red Push' / Red Push Pistache
  - Quercus Virginiana / Texas Live Oak
  - Chitalpa Tashkentensis / Chitalpa Tree

- SHRUBS**
- BOTANICAL NAME / COMMON NAME  
Bougainvillea 'Rosenka' / Pink Shrub
  - Bougainvillea
  - Caesalpinia Pulcherrima / Red Bird of Paradise
  - Cassia Artemisiodes / Feathery Cassia
  - Encelia Farinosa / Brittlebush
  - Dasylirion Wheeleri / Desert Spoon
  - Eremophila Maculata / Valentine Bush
  - Tecoma Alata / Orange Jubilee
  - Lantana 'Gold Mound' / Yellow Lantana
  - Leucophyllum Frutescens / Texas Sage

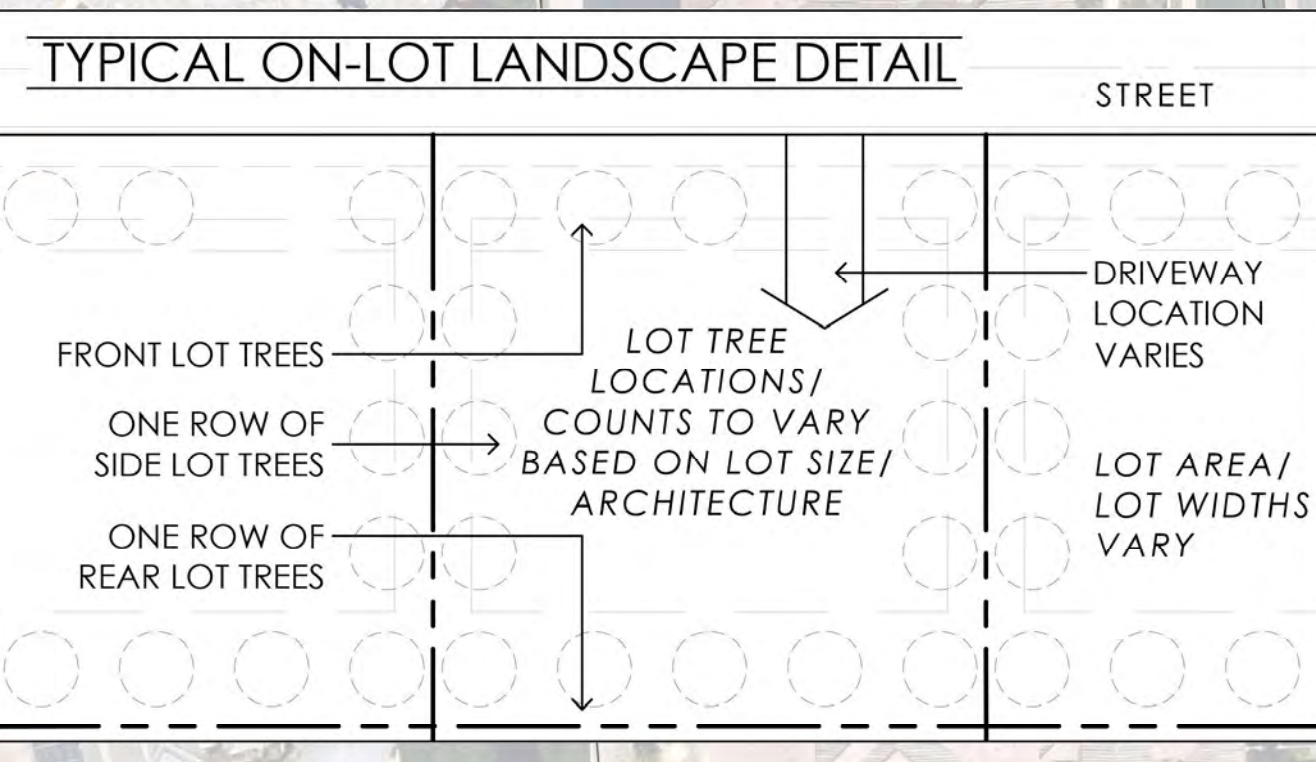
- ACCENTS**
- BOTANICAL NAME / COMMON NAME  
Agave Vilmoriniana / Octopus Agave
  - Hesperaloe Parviflora / Red Yucca
  - Pennisetum setaceum 'rubrum' / Purple Fountain Grass

- VINES**
- BOTANICAL NAME / COMMON NAME  
Macfadyena Unguis-Cati / Cat Claw Vine

- GROUNDCOVER**
- BOTANICAL NAME / COMMON NAME  
Annual Color

- MATERIALS**
- DESCRIPTION  
Pool Deck
  - Concrete Sidewalk  
Color: Natural Gray
  - Decomposed Granite (All Planting Areas)  
3/4" Screened, Apache Brown, 2" Depth Min.
  - Grass
  - Artificial Turf







NOTE: RURAL CITRUS CHARACTER OF THE AREA TO BE MAINTAINED, AS PRACTICABLE, COMPATIBLE WITH EXISTING CITRUS STYLE LANDSCAPING. THE DEVELOPER SHALL PLANT TWO ROWS OF CITRUS STYLE TREES ALONG THE MCDOWELL ROAD FRONTAGE TO MATCH THE EXISTING CHARACTER. ONE ROW OF CITRUS STYLE TREES SHOULD BE PLANTED ALONG THE SIDE AND REAR LOT LINES OF EACH LOT. FRONT LOT CITRUS STYLE TREES TO BE PLANTED, AS FEASIBLE, BASED ON VARYING WIDTHS OF LOT FRONTAGES.



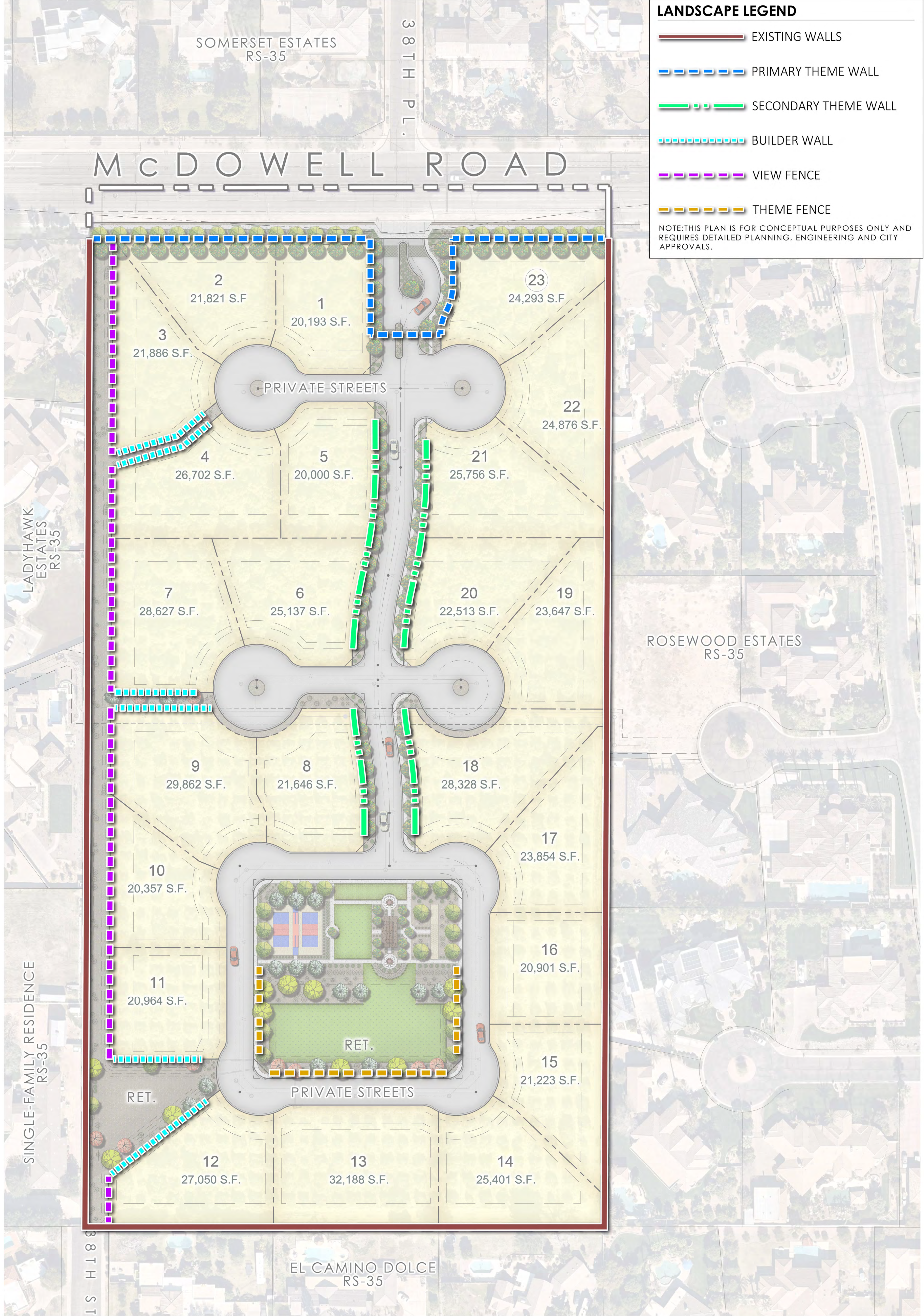
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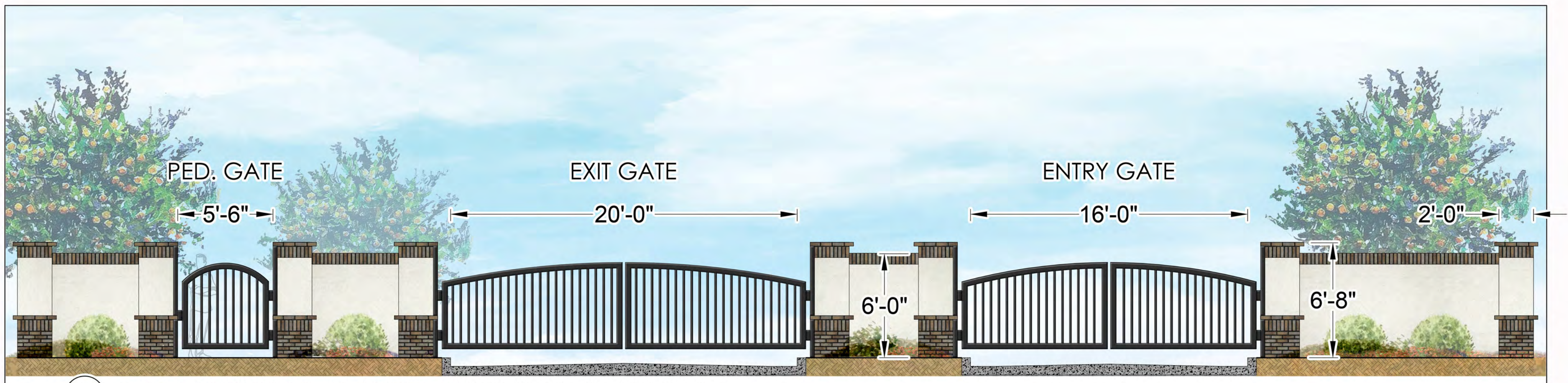
**LANDSCAPE LEGEND**

-  EXISTING WALLS
-  PRIMARY THEME WALL
-  SECONDARY THEME WALL
-  BUILDER WALL
-  VIEW FENCE
-  THEME FENCE

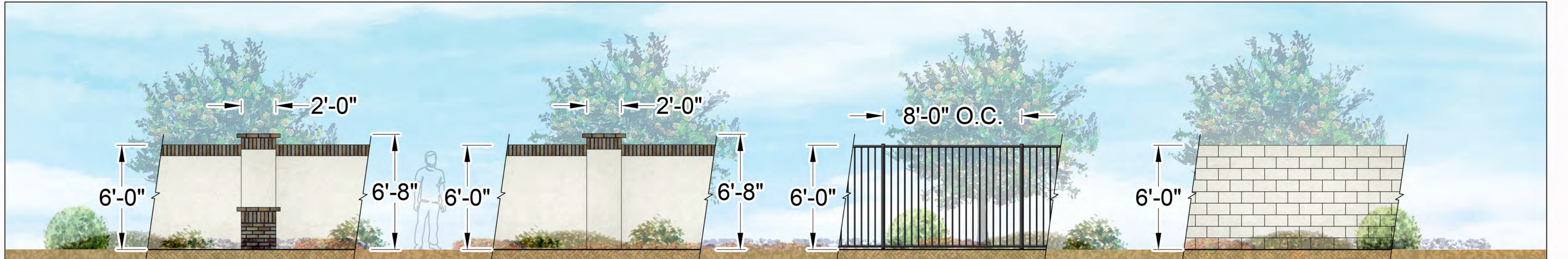
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① CONCEPTUAL GATED ENTRY ELEVATION - NTS



② THEME WALL - NTS ③ SECONDARY THEME ④ VIEW FENCE - NTS ⑤ BUILDER WALL - NTS



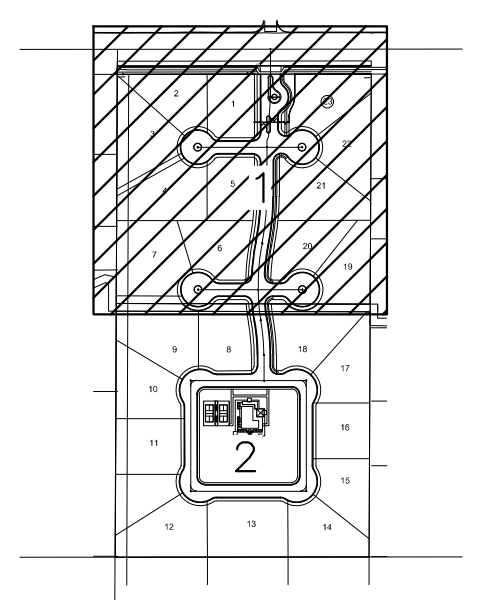
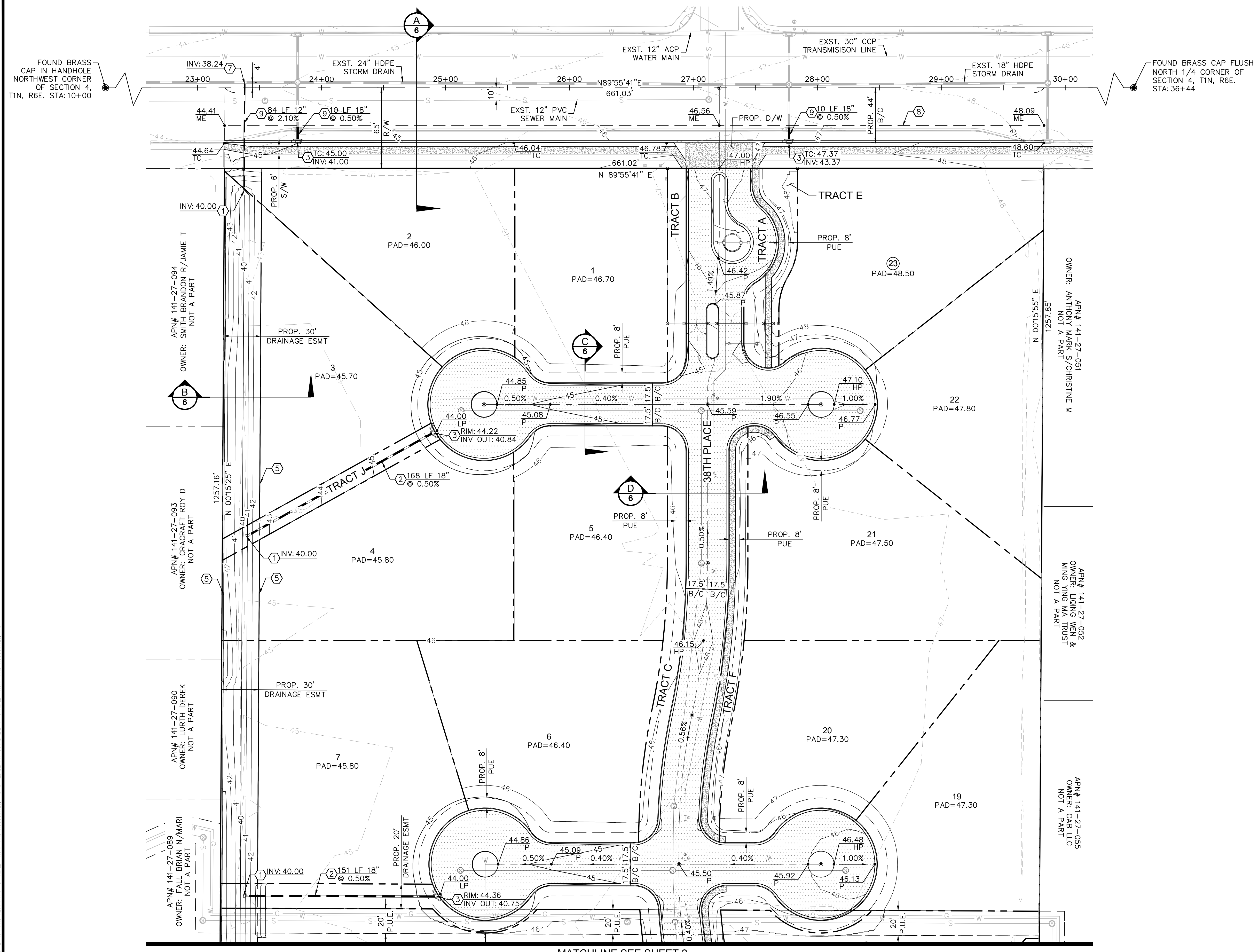
⑥ THEME FENCE - NTS ⑦ CONCEPTUAL MONUMENTATION - NTS



⑧ CONCEPTUAL AMENITY DESIGN - 1"=25'



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**FLOOD INFORMATION**

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C2280L DATED OCTOBER 16, 2013 THIS PROPERTY IS LOCATED IN FLOOD ZONE "X": AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

**LEGEND**

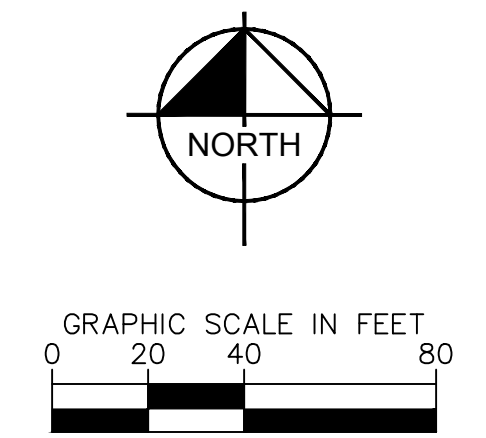
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- LP PROPOSED LOW POINT
- PROPOSED STORM DRAIN
- 12 PROPOSED CONTOUR
- 2 EXISTING CONTOURS
- 85.00 PROPOSED PAVEMENT ELEVATION
- ME MATCH EXISTING ELEVATION
- G GUTTER/GRADE ELEVATION
- FG FINISH GRADE ELEVATION
- P PAVEMENT ELEVATION
- TC TOP OF CURB ELEVATION
- SW SIDEWALK ELEVATION

**GRADING CONSTRUCTION NOTES**

- 1 PROPOSED FLARED END SECTION. INVERT PER PLAN.
- 2 PROPOSED HDPE STORM DRAIN PIPE. LENGTH, SLOPE, AND SIZE PER PLAN.
- 3 PROPOSED CATCH BASIN. RIM AND INVERT PER PLAN.
- 4 PROPOSED BEND CONNECTION. INVERT PER PLAN.
- 5 PROPOSED RETAINING WALL.
- 6 PROPOSED BLEED PIPE. LENGTH AND SLOPE PER PLAN.
- 7 CONNECTION TO BLEED OFF PIPE. INVERT PER PLAN.
- 8 PROPOSED SAWCUT LINE.
- 9 PROPOSED RCP STORM DRAIN PIPE. LENGTH, SLOPE, AND SIZE PER PLAN.

MATCHLINE SEE SHEET 2

Drainage Area	Area	Weighted C	Precipitation	Storage Required	Storage Provided
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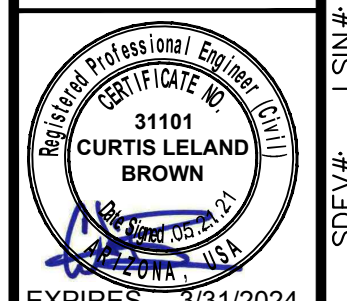


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 SCALE (V): NONE  
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 DRAWN BY: KER  
 CHECKED BY: CLB  
 DATE: 01/2024

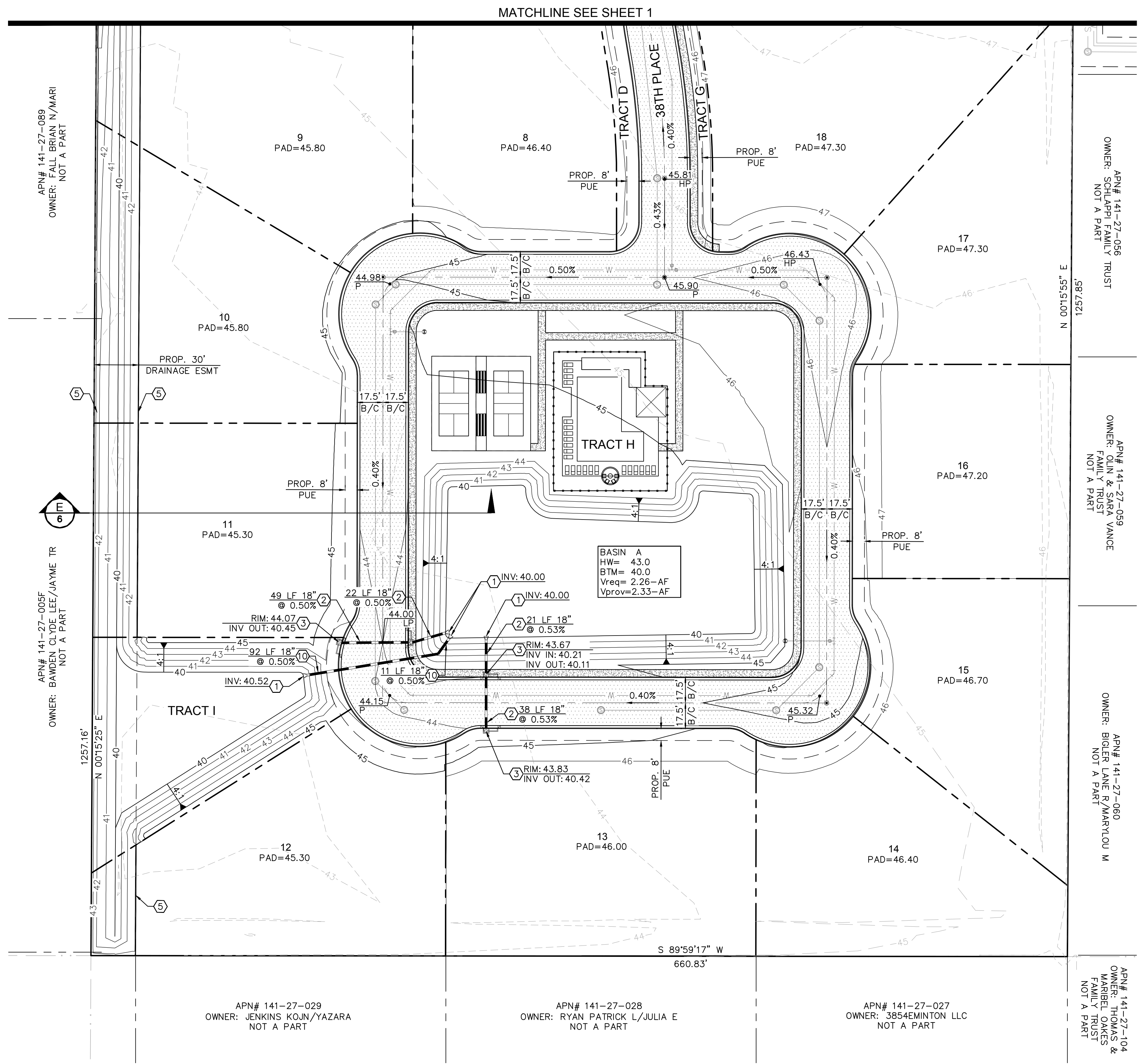
JARDINERO  
**PRELIMINARY GRADING PLAN**  
 38TH PL AND MCDOWELL RD  
 MESA, AZ 85215



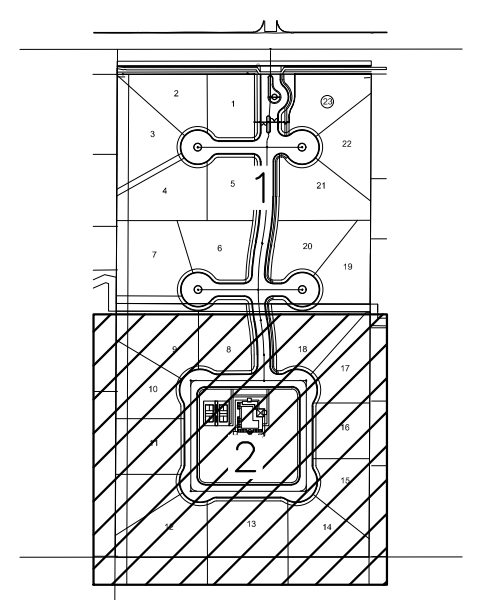
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MATCHLINE SEE SHEET 1



KEY MAP

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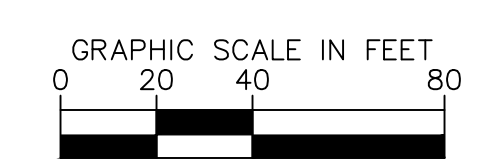
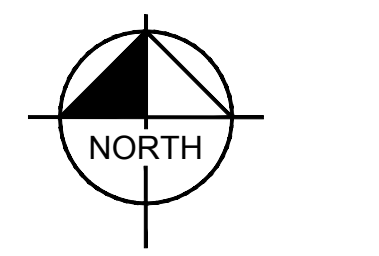
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**LEGEND**

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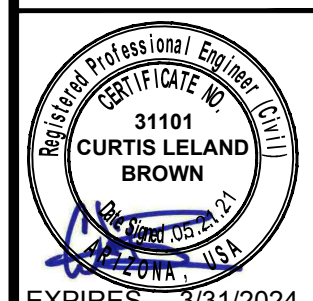
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- ⑧ PROPOSED SAWCUT LINE.
- ⑨ PROPOSED RCP STORM DRAIN PIPE. LENGTH, SLOPE, AND SIZE PER PLAN.



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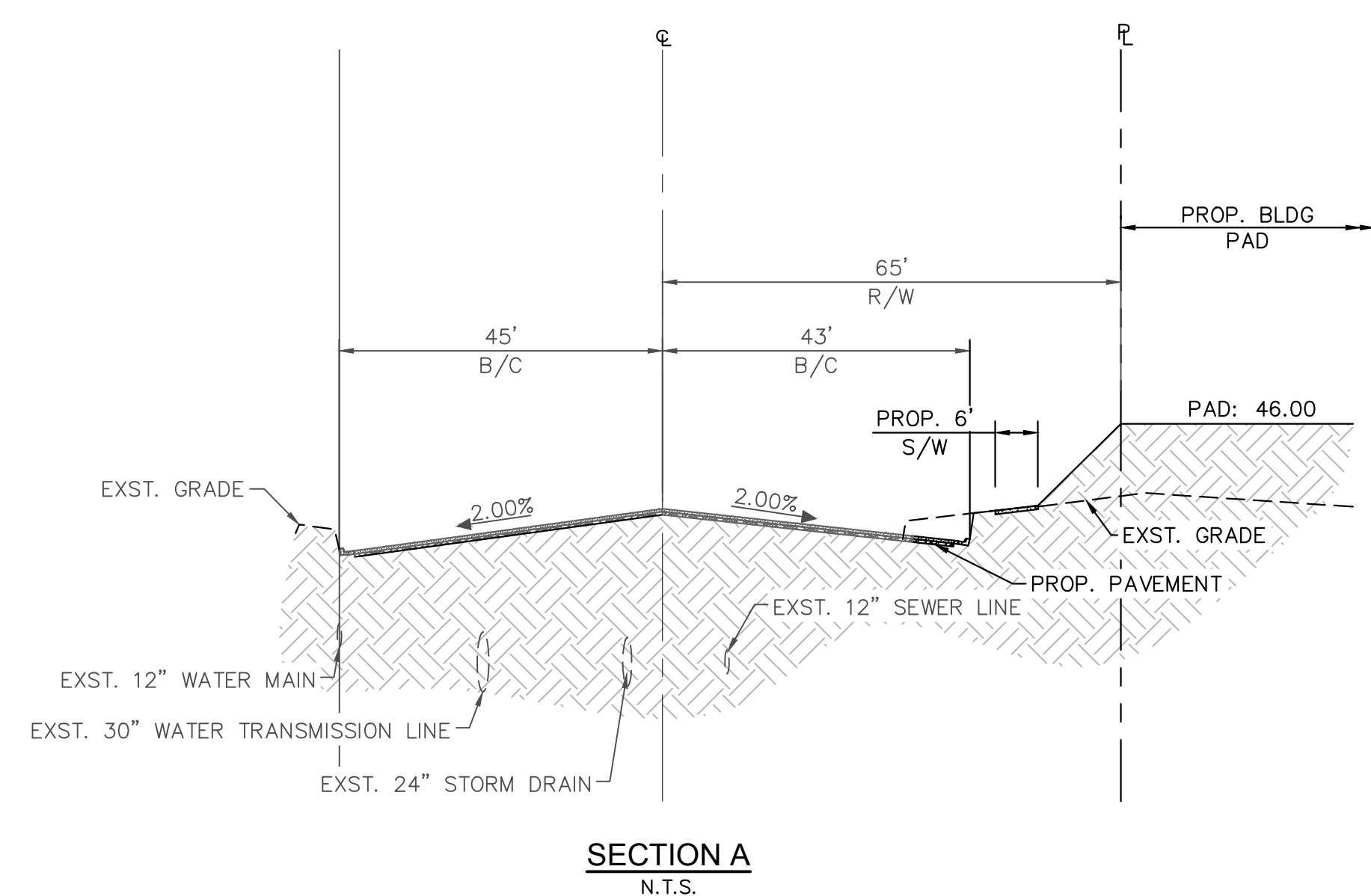
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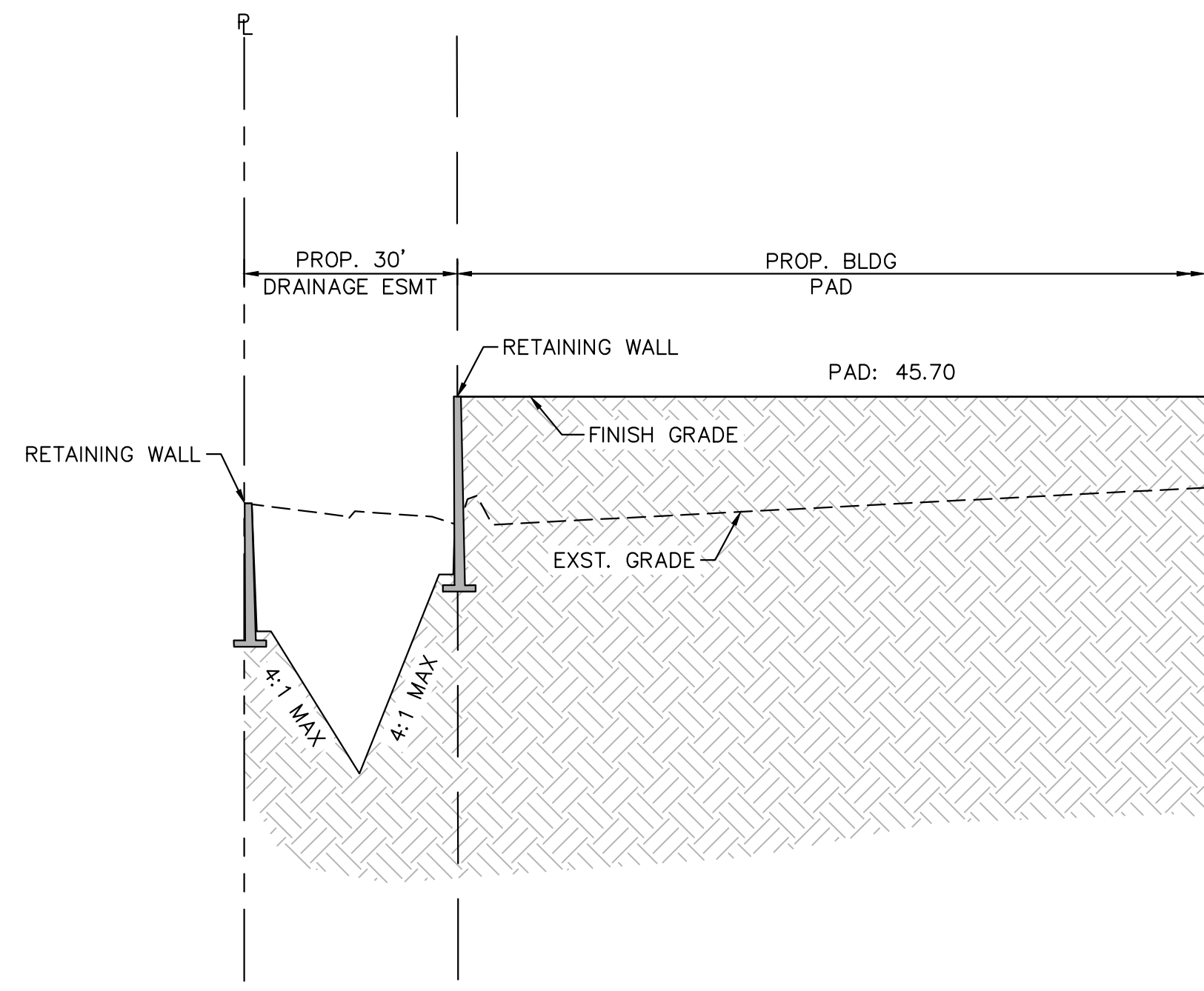




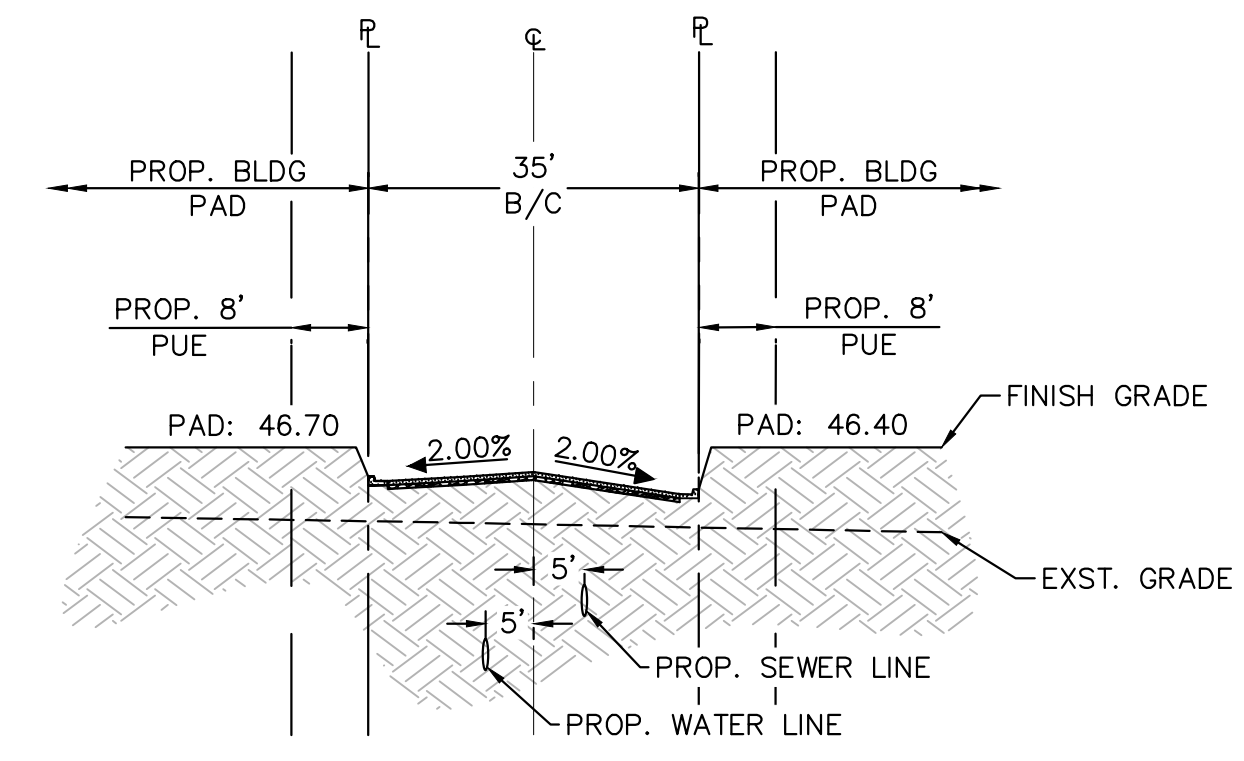
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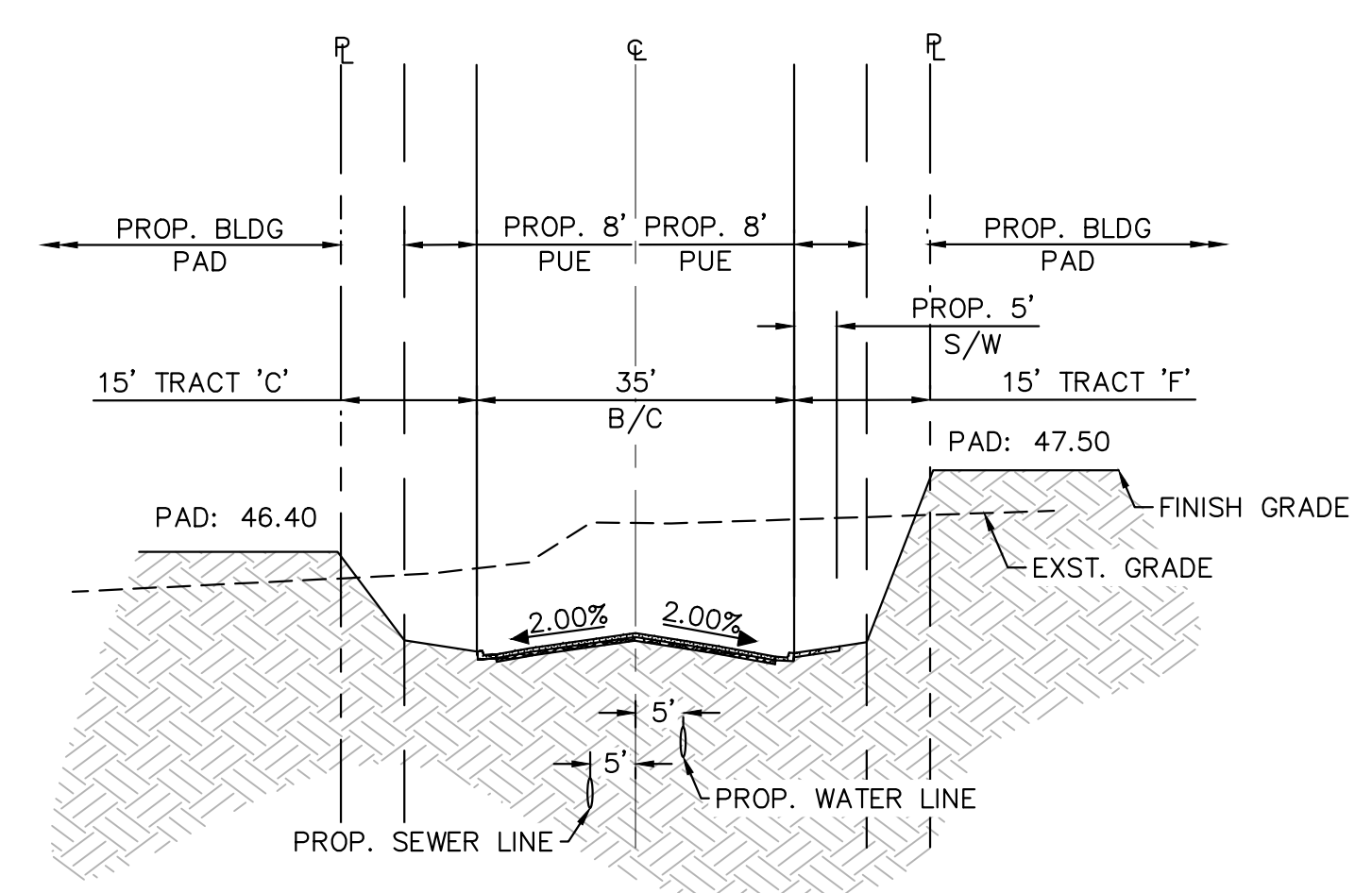
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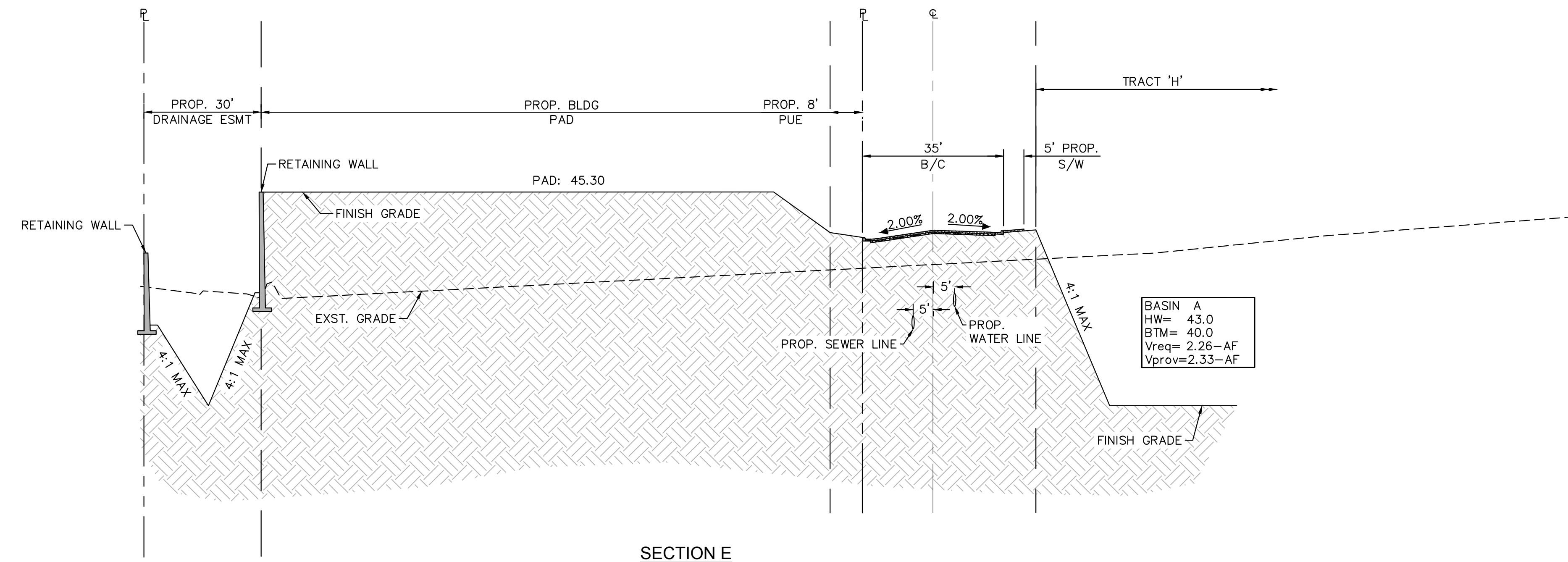
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SECTION C  
N.T.S.



SECTION D  
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SECTION E  
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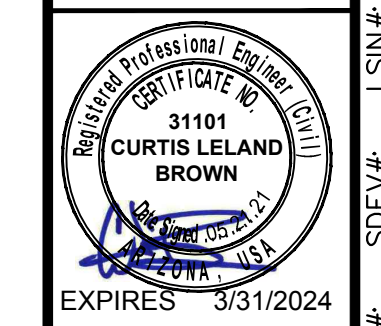


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 SCALE (V): NONE  
 DESIGNED BY: SLS  
 DRAWN BY: KER  
 CHECKED BY: CLB  
 DATE: 01/2024

JARDINERO  
 CROSS SECTIONS  
 38TH PL AND McDOWELL RD  
 MESA, AZ 85215



PROJECT NO.  
091331020  
 DRAWING NAME  
CROSS SECTIONS  
 3 OF 3

# CITIZEN PARTICIPATION PLAN

## JARDINERO

### McDOWELL ROAD & 38<sup>TH</sup>

#### Purpose:

The purpose of this Citizen Participation Plan is to provide the City of Mesa staff with information regarding the efforts to be made by the applicant to inform citizens and property owners in the vicinity concerning the applicant's requests to the City of Mesa for a Rezoning and Site Plan Review. These requests are for the proposed office development on the approximately 19.6 acres located at 38<sup>th</sup> Street and McDowell Road, which is east of Val Vista Drive and west of Greenfield Road and on the south side of McDowell. The Property is further identified on the Maricopa County Assessor's Map as parcel number 141-27-009D.

By providing opportunities for citizen participation, the applicant will ensure that those affected by this application have had an adequate opportunity to learn about and comment on the proposed plan. The applicant will provide neighborhood notice for a neighborhood meeting and future public hearings.

#### Contact Information:

Those coordinating the Citizen Participation activities are listed as follows:

##### **Sean B. Lake**

Pew & Lake, P.L.C.  
1744 S. Val Vista Drive, Ste. 217  
Mesa, Arizona 85204  
(480) 461-4670 (office)  
(480) 461-4676 (fax)  
[Sean.Lake@pewandlake.com](mailto:Sean.Lake@pewandlake.com)

##### **Sarah Prince**

Pew & Lake, P.L.C.  
1744 S. Val Vista Drive, Ste. 217  
Mesa, Arizona 85204  
(480) 461-4670 (office)  
(480) 461-4676 (fax)  
[sarah.prince@pewandlake.com](mailto:sarah.prince@pewandlake.com)

#### Action Plan:

To provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have relating to the proposed development:

1. A contact list has been developed for citizens and agencies in this area including:
  - a. All property owners within 1000+ feet from parent parcel, but may include more;
  - b. Registered neighborhood associations within 1 mile of the subject property and Homeowners Associations within 1/2 mile of the project (lists provided by the City).
2. Three neighborhood meetings have been held by the applicant to provide the opportunity for members of the public to discuss the proposed project. An attendance/participation

list and a summary of the meeting has been included with this application and submitted to the City.

3. Mr. Patrick Ryan has been the primary point of contact from the neighborhood as established in the 3<sup>rd</sup> neighborhood meeting. Mr. Lake and Mr. Ryan are in the process of setting up an additional meeting to discuss the proposed development restrictions.
4. The notification list for the neighborhood meeting includes the above-referenced contact list of all property owners within 1000+ ft. of the subject property, HOAs within ½ mile, and neighborhood associations within 1 mile (The HOAs and registered neighborhood contact lists provided by the City of Mesa). A copy of the notification letter for the neighborhood meeting and contact list is attached to this Plan.
5. Those who provide contact information to the applicant will be added to the public hearing notification list. A meeting summary and outline of the comments and issues provided to the applicant will be submitted to the City Staff along with the Citizen Participation Report for this case.
6. For public hearing notice, applicant will comply with City requirements, which requires posting a minimum of one (1) 4' x 4' sign(s) on the property. If additional signs are needed, the number of signs will be coordinated with Planning Staff. The sign(s) will be placed on the property on or before the Wednesday two weeks prior to the Planning & Zoning Board meeting in accordance with City requirements. A notarized document with attached photograph of the sign(s) will be submitted to the Planning Staff to be kept in the case file.

## Proposed Schedule:

Pre-Submittal	July 18, 2022
Neighborhood Meeting	June 13, 2022
Neighborhood Meeting	September 6, 2022
Formal Submittal	May 16, 2023
Neighborhood Meeting	August 22, 2023
Follow up Submittal	January 17, 2024
Planning & Zoning Public Hearing	<i>TBD</i>

## Attached Exhibits:

- 1) Neighborhood Meeting notice letters, mailing lists, maps, sign in sheets, summaries, and correspondence with neighbors for both all three neighborhood meetings.





**Pew & Lake, P.L.C.**  
Real Estate and Land Use Attorneys

**W. Ralph Pew**

Certified Real Estate Specialist

**Sean B. Lake**

**Reese L. Anderson**

May 31, 2022

## NOTICE OF NEIGHBORHOOD MEETING

Dear Neighbor,

Together with our client, E.W. Gardner Family Limited Partnership No. 2, we are pleased to provide notice of a zoning application and citizen participation opportunities regarding the approximately 20.06-acre property located at 38<sup>th</sup> Place and McDowell Road, which is on the south side of McDowell between Val Vista Drive and Greenfield Road. Specifically, the request is to Rezone from RS-35 to RS-15 PAD with an average lot size 20,000 square feet and a Plat Approval to allow for a custom lot subdivision. The community will include open space and amenities for residents. The proposed project will remain in character with the Citrus area neighborhood and complement the existing architectural and landscape qualities.

Our project team has set up an in-person meeting where we will present the project and provide more information.

**Date:** June 13, 2022

**Time:** 6:30 p.m.

**Location:** Bush Elementary School  
Multi-Purpose Room  
4925 E Ingram St, Mesa, 85205

Should you have any questions, please contact me or Sarah Fitzgerald in my office by email at [sean.lake@pewandlake.com](mailto:sean.lake@pewandlake.com) or [sarah.fitzgerald@pewandlake.com](mailto:sarah.fitzgerald@pewandlake.com) or by phone at 480-461-4670. We welcome any comments and feedback on this case and would be happy to discuss it with citizens or groups upon request. All comments shared will be submitted to the City and incorporated into the reports and briefing that will be prepared for the public hearings for this case.

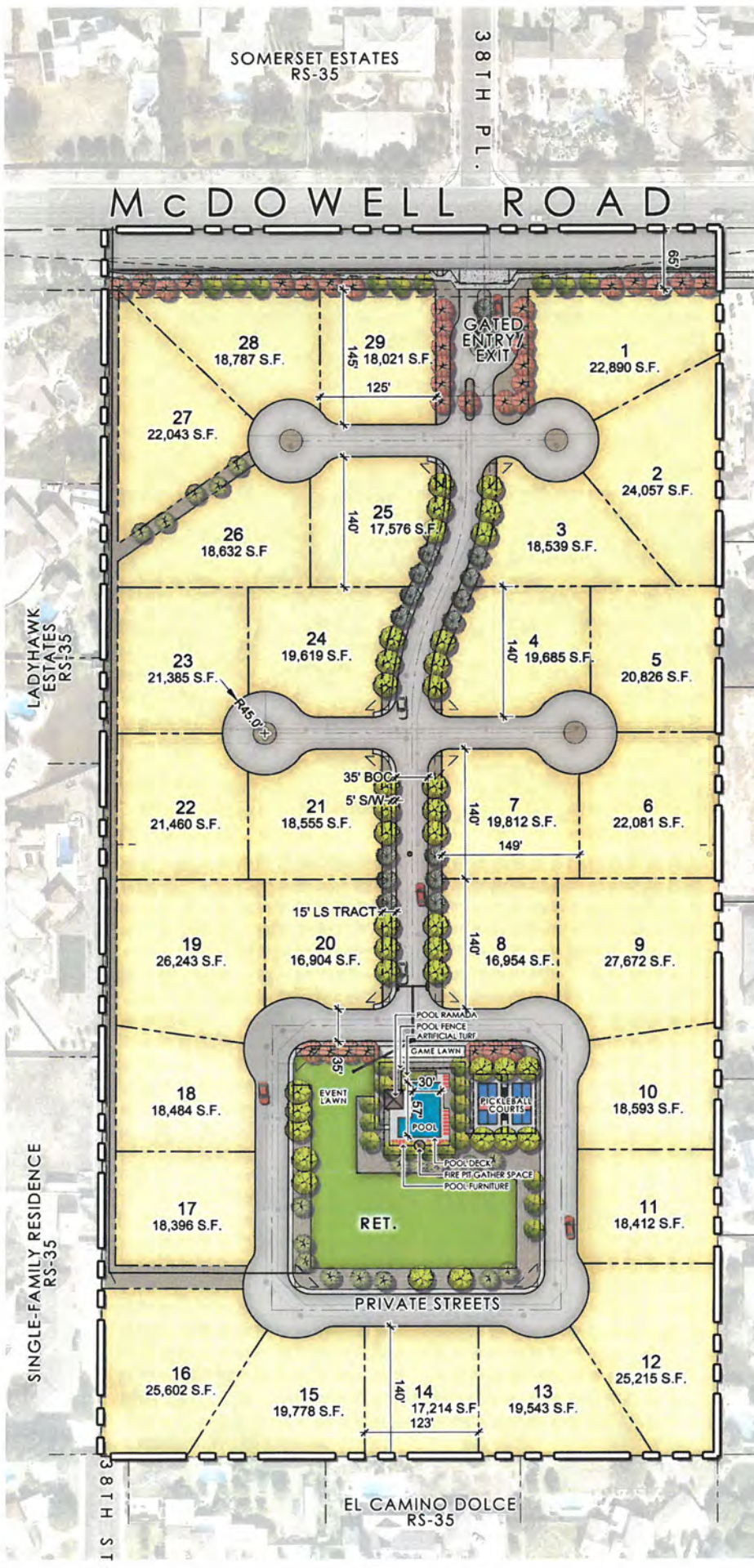
At this time, no public hearings before the City of Mesa have been scheduled. When any meeting date is known, the property will be properly noticed, and anyone who reaches out to us and provides their contact information will also be notified.

Sincerely,

Sean B. Lake  
**PEW & LAKE, PLC**

**Enclosures**

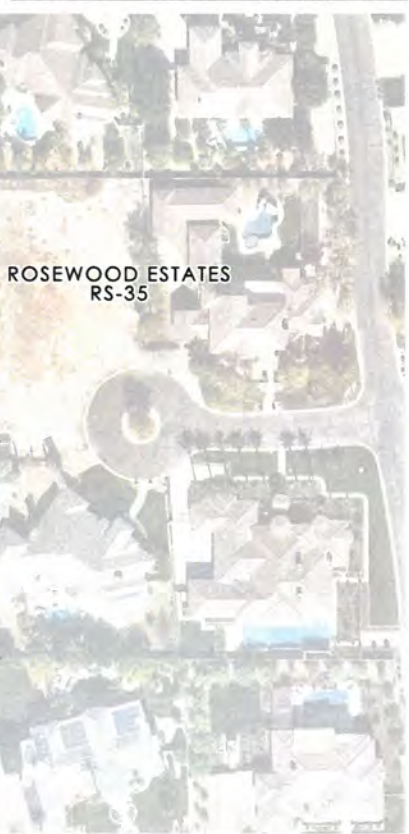




SITE PLAN SUMMARY		
EXISTING ZONING	RS-35	
PROPOSED ZONING	RS-15	
TOTAL GROSS AREA	± 19.06 ac.	
TOTAL NET AREA	± 19.06 ac.	
DENSITY (du./ac.)	1.52	
OPEN SPACE	± 2.50 ac.	13%
UNIT TYPE	UNIT COUNT	MIX
110' x 120' MIN. LOT	29	100%
<b>TOTAL</b>	<b>29</b>	<b>100%</b>

NOTE: THIS YIELD STUDY IS FOR CONCEPTUAL PURPOSES ONLY AND REQUIRES DETAILED SITE PLANNING, ENGINEERING, AND CITY APPROVALS. ACREAGE IS ESTIMATED.

LOT SIZE SUMMARY					
LOT #	LOT AREA	10	18,593 s.f.	20	16,904 s.f.
1	22,890 s.f.	11	18,412 s.f.	21	18,555 s.f.
2	24,057 s.f.	12	25,215 s.f.	22	21,460 s.f.
3	18,539 s.f.	13	19,543 s.f.	23	21,385 s.f.
4	19,685 s.f.	14	17,214 s.f.	24	19,619 s.f.
5	20,826 s.f.	15	19,778 s.f.	25	17,576 s.f.
6	22,081 s.f.	16	25,602 s.f.	26	18,632 s.f.
7	19,812 s.f.	17	18,396 s.f.	27	22,043 s.f.
8	16,954 s.f.	18	18,484 s.f.	28	18,787 s.f.
9	27,672 s.f.	19	26,243 s.f.	29	18,021 s.f.



**LEGACY COVE**  
MESA, AZ

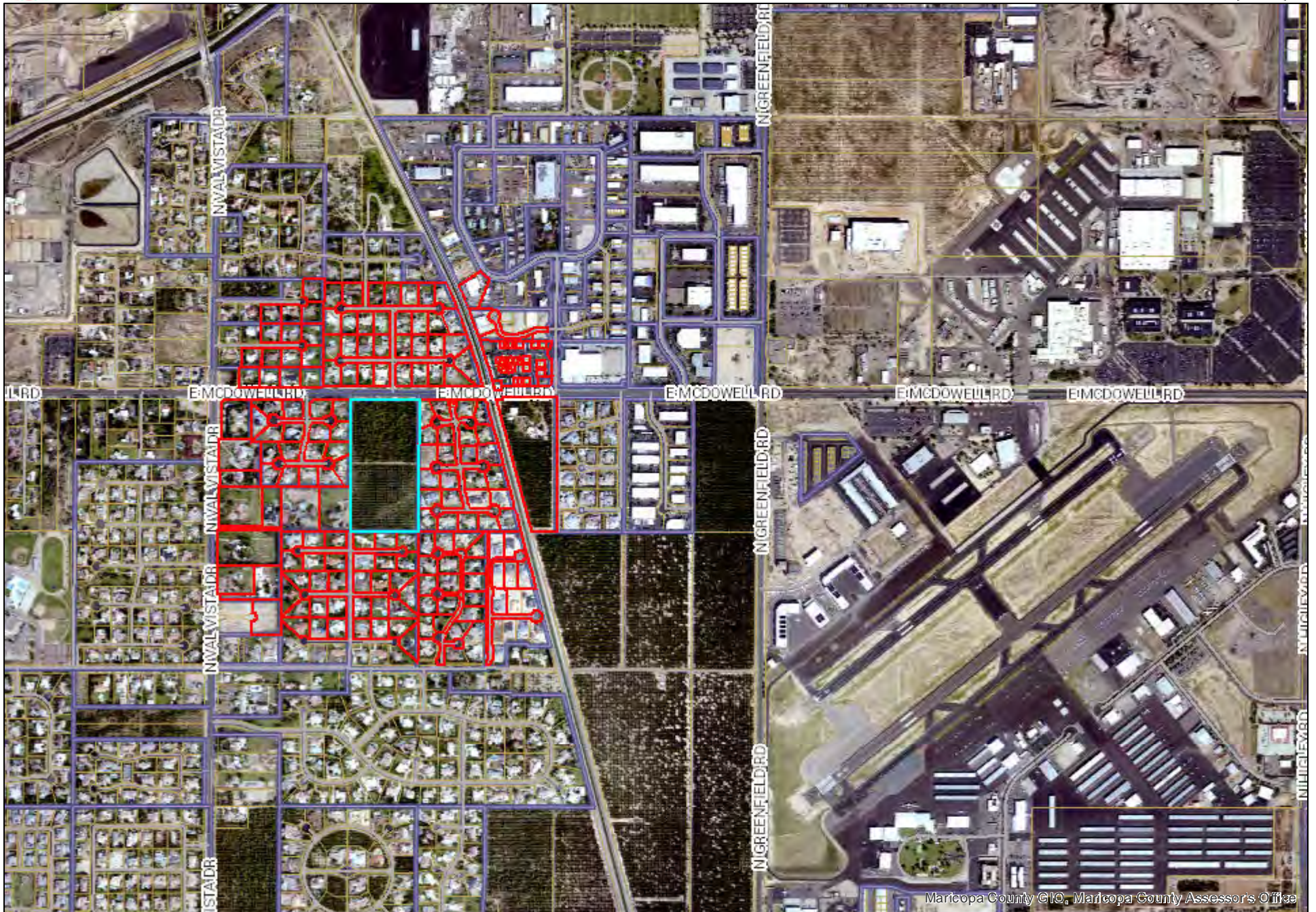
**CONCEPTUAL SITE PLAN**  
09/20/2021

SCALE: APPROX. 1" = 100'  
DRAWN BY: BR  
**Kimley Horn**





# 1000' Prop Owner Map





Owner	MAIL_ADDR1	MAIL_CITY	MAIL_MAIL_ZIP
112361 TRUST	PO BOX 1336	APACHE JUNCTION	AZ 85117
3854EMINTON LLC	2336 N VAL VISTA DR	MESA	AZ 85213
AMBERWOOD HOMES LLC	PO BOX 31090	MESA	AZ 85275
AMERIFIRST FINANCIAL INC	2222 N VAL VISTA DR UNIT 14	MESA	AZ 85213
AN RAY/CHANATHA	3949 E NORCROFT CIR	MESA	AZ 85215
ANTHONY MARK S/CHRISTINE M	3908 E NORA CIR	MESA	AZ 85215
AUGUSTA INVESTMENTS LLC	2812 N NORWALK ST	MESA	AZ 85215
BARRETT ROBERT F/LISA L	3751 E MINTON PL	MESA	AZ 85215
BARTRUFF BRYCE KEVIN/STEPHANIE LYNN	2505 N MAPLE	MESA	AZ 85215
BATCHELOR LAWRENCE/CANDAL SANDRA	3756 E MALLORY ST	MESA	AZ 85215
BATTISTA DOMENICO/ZECCA PETER JR	403 WOODFERN RD	HILLSBOROUGH	NJ 8844
BAWDEN CLYDE LEE/JAYME TR	2625 N VAL VISTA DR	MESA	AZ 85213
BEATTIE GLENN A/TINA M	4037 E MINTON CIR	MESA	AZ 85215
BEECHER KELLY/JOSHUA	3924 E MALLORY CIR	MESA	AZ 85215
BEN AND DANA GOETTER FAMILY TRUST	3843 E MALLORY ST	MESA	AZ 85215
BERKSTRESSER FAMILY REVOCABLE TRUST	3956 E NORA CIR	MESA	AZ 85215
BIGLER LANE R/MARYLOU M	3913 E NORCROFT	MESA	AZ 85215
BINGHAM SCOTT D/KAREN D/CAMPBELL JAMIE ETAL	2537 N MAPLE	MESA	AZ 85215-1721
BLEY MICHAEL J/PATRICIA A TR	3734 E MALLORY	MESA	AZ 85215
BLUE SKY TRUST	1366 S 1140 E	OREM	UT 84097
BOWDEN JORDAN/MEGHAN	3730 E MENLO ST	MESA	AZ 85215
BROUGHTON JAMES G/PATTY J TR	3757 E MALLORY ST	MESA	AZ 85215
BROWN CHARLES A III/BETTY J	3661 E NANCE CIR	MESA	AZ 85215
BRYCE GARY A/BARBARA L TR	PO BOX 1230	BLYTHE	CA 92226-1230
BUDDHAVARAPU VENKATA SRIHARI/TANKASALA SAHITYA MOORTHY	4023 E MINTON CIR	MESA	AZ 85215
BURKINSHAW VICKY	3902 E OASIS CIR	MESA	AZ 85215
CAB LLC	2704 E GEMINI ST	GILBERT	AZ 85234
CAMPBELL JEFFREY RICHARD/MILLER BRITTANY	4024 E MINTON CIR	MESA	AZ 85215
CARANO JOSEPH M	3844 E MENLO ST	MESA	AZ 85215
CAROLINE & FRANK DIDEA FAMILY TRUST	3863 E OMEGA CIR	MESA	AZ 85215
CJP PROPERTY LLC	2621 E ODESSA CIR	MESA	AZ 85213
CLEMONS LIVING TRUST	2511 N VAL VISTA DR	MESA	AZ 85213
COMMERCE COURT II AT THE COMMONS PROPERTY OWNERS ASSOCIATIO	2812 N NORWALK STE 105	MESA	AZ 85215



COMMONS INDUSTRIAL PARK AT FALCON VIEW ASSOC	2812 N NORWALK 105	MESA	AZ	85215
COURT AT THE COMMONS PROPERTY OWNERS ASSOC	2812 N NORWALK 105	MESA	AZ	85215
COWDEN BRENT/RYAN ANTHONY/DERYK/VISSER DARRELL	3463 CEDARVILLE RD	BELLINGHAM	WA	98226
CRACRAFT ROY D	3751 E NANCE CIR	MESA	AZ	85215
CRISP PATRICK/CAROL TR	3827 E OMEGA CIR	MESA	AZ	85215
CRITTENDEN MARK J	2553 N MAPLE	MESA	AZ	85215
DANDI VILLAGE PROPERTIES LLC	3114 S 98TH ST	MESA	AZ	85212
DANDI VILLAGE PROPERTIES LLC	3935 E PALM ST	MESA	AZ	85215
DESAUTELS ROBERT A/DEANNE M	3918 E OASIS CIR	MESA	AZ	85215
DON AND SHARLA STOKER FAMILY TRUST	3707 E OMEGA CIR	MESA	AZ	85205
DONALD AND BRYNN BURTON TRUST	3734 E OASIS CIR	MESA	AZ	85215
DOUGLAS JAMES WALDIE AND KRISTEN ANNE WALDIE REVOCABLE LIVING	3828 E OMEGA CIR	MESA	AZ	85215
DROWN DOUGLAS ROBERT/PAULA ANN TR	3655 E OMEGA CIR	MESA	AZ	85215
EASTERWOOD REVOCABLE TRUST	3656 E OMEGA CIR	MESA	AZ	85215
EMERALD GROVE HOLDING COMPANY LLC	5360 S 154TH ST	GILBERT	AZ	85298
ERIC G HUISH SR AND DIANA L HUISH TRUST	3450 N ARABELLA	MESA	AZ	85215
ESTATES AT HERMOSA RANCH COMMUNITY ASSOCIATION	3321 E BASELINE RD	GILBERT	AZ	85234
EW GARDNER FAMILY LIMITED PARTNERSHIP NO 2	4301 E MCKELLIPS RD	MESA	AZ	85215
FABIANI RAYMOND J	3944 E NORA CIR	MESA	AZ	85215
FADEL JOSHUA E/THERESA K	3745 E OMEGA CIR	MESA	AZ	85215
FALL BRIAN N/MARI	3752 E NORTHRIDGE CIR	MESA	AZ	85215
FIGLER JEFF/LINDA	PO BOX 958	POWAY	CA	92074
FITCH JAMES CARL/KAREN ANN	3913 E OMEGA CIR	MESA	AZ	85215
FREEMAN JOHN A/SARAH E	3948 E NORCROFT CIR	MESA	AZ	85215
GAMEZ GONZALO/CONCEPTION	2025 E JUANITA AVE	MESA	AZ	85204
GARCIA PAULINO G/ROSA A	3655 E OASIS CIR	MESA	AZ	85215
GARDNER QUINTON W/JOY RODGERS	3848 E MALLORY ST	MESA	AZ	85215
GOLONKA MICHAEL WALTER ESTATE OF	4608 W BUFFALO ST	CHANDLER	AZ	85226
GRACE KEVIN D/TRACY L	2505 N VAL VISTA DR	MESA	AZ	85213
GRIMES LIVING TRUST	3121 E GARY ST	MESA	AZ	85213
HARRIS RACHELLE	1330 N 104TH PL	MESA	AZ	85207
HAVEN LEE DOVE AND CINDY KAY DOVE TRUST	3728 E NORTHRIDGE CIR	MESA	AZ	85215
HENDERSON FAMILY LIVING TRUST	3722 E MALLORY ST	MESA	AZ	85205
HENDRICKS KEITH L/CAROL B	3865 E OASIS CIR	MESA	AZ	85215

HENSON BLAKE/KASSANDRA	3712 E NANCE CIR	MESA	AZ	85215
HILDEBRANDT FAMILY TRUST	3931 E OASIS CIR	MESA	AZ	85215
ISAKSON AARON JON/TORREZ MARIA ELENA	3836 E OASIS CIR	MESA	AZ	85215
JAMES T GODFREY AND ROSALIE S GODFREY TRUST	3735 E OASIS CIR	MESA	AZ	85215
Pardue Donisha	3944 N MINTON CIR	MESA	AZ	85215
JEFFREY D TILLERY AND WHITNEY A TILLERY TRUST	3812 E MENLO STREET	MESA	AZ	85215
JENKINS JOHN/YAZARA	3816 E MINTON PL	MESA	AZ	85215
JOHN B CALVERT 2020 TRUST	42550 47TH ST W	LANCASTER	CA	93536-4301
JOHN M KILIAN M D LIVING TRUST	3828 E MALLORY ST	MESA	AZ	85205
JOSEPH AND LORI COSTELLO FAMILY TRUST	3764 E OASIS CIR	MESA	AZ	85215
KINDT STEPHAN/LISA	2440 N MAPLE ST	MESA	AZ	85215
KUBAS CHANDLER	3031 121ST AVE SW	DICKINSON	ND	58601
LECOMPTE EUGENE	3711 E MINTON PL	MESA	AZ	85215
LI ZONGFU/CHEN JIANG	3710 E NORTHRIDGE CIR	MESA	AZ	85215
LIQING WEN AND YING MA TRUST	3909 E NORA CIR	MESA	AZ	85215
LUNENG DAVID PATRICK/TAMARA DAWN	3848 E OMEGA CIR	MESA	AZ	85215
LUTHERA AMARJIT S/HARJEET K/LUTHERA J	2701 N VAL VISTA DR	MESA	AZ	85213
LYNN AUSTIN ADAMS AND JULIA LYNN ADAMS TRUST	3811 E OMEGA CIR	MESA	AZ	85215
MARVIN LEE AND ANN RUTH GAMERTSFELDER TRUST	3660 E NANCE CIR	MESA	AZ	85215
MASON ERIK/RACHEL	3937 E NORCROFT CIR	MESA	AZ	85215
MATTHEW 2529 TRUST	3835 E MINTON PL	MESA	AZ	85215
MBK FAMILY TRUST	3849 E OASIS CIR	MESA	AZ	85215
MCFARLAND FAMILY LIVING TRUST	3925 E NORCROFT CIR	MESA	AZ	85215
MCGAVICK SHARON M/SVENSON KEITH O	7850 CHICO WAY NW	BREMERTON	WA	98312
MCGEHEE DANIEL T/MARY K	3915 E OASIS CIR	MESA	AZ	85215
MCLEAN THOMAS N/JENNIFER L	3864 E OMEGA CIR	MESA	AZ	85215
MESA PERIO PROPERTIES LLC	107 N GREENFIELD RD STE 1	MESA	AZ	85205
MILLARD JEFFREY CLARK/EMILY	3727 E OMEGA CIR	MESA	AZ	85215
MIRITELLO SCOTT/LINDA A	2575 N VAL VISTA DR	MESA	AZ	85213
MITCHELL JAMES/BAILEE	3634 E MCDOWELL RD	MESA	AZ	85215
MITICH DRAGAN/VERA	3635 E OMEGA CIR	MESA	AZ	85215
MONK DAVID J/KARI L TR	3658 E NORTHRIDGE CR	MESA	AZ	85215
MORRIS MARY V	3735 E MALLORY DR	MESA	AZ	85215
NOC20 LLC	22340 YELLOW GATE LN NE UNIT N	AURORA	OR	97002-8431

NORBERG MICHAEL S/DARCI R	2521 N MAPLE	MESA	AZ	85215
NORGREN KERRY M/JOAN M	1317 E FAIRFIELD ST	MESA	AZ	85203
NORWALK COMMONS LLC	3106 E HERMOSA VISTA DR	MESA	AZ	85213
NORWALK PATRIOTS LLC	3661 E NANCE CIRCLE	MESA	AZ	85215
NU SASH INVESTMENTS LLC	17027 N 45TH ST	PHOENIX	AZ	85032
OLIN & SARA VANCE FAMILY TRUST	3912 E NORCROFT CIR	MESA	AZ	85215
ORTIZ RUSSELL R/STACY A	2601 N VAL VISTA DR	MESA	AZ	85213
PEKALA JOHN M/BETH A	3940 E MENLO CIR	MESA	AZ	85215
PERRACCHIO LIVING TRUST	3920 E NORA CIR	MESA	AZ	85215
PETERSON DAVID TROY/THERESA S	3728 E OMEGA CIR	MESA	AZ	85215
PETERSON ROBERT W/BETTE LYN TR	3921 E NORA CIR	MESA	AZ	85215
PHPE HOLDINGS LLC	8641 E KAEL CIR	MESA	AZ	85207
PITTS JUSTIN E/LESLIE	3754 E MENLO ST	MESA	AZ	85215
PRESTON BRADLEY MICHAEL	3732 E MINTON PL	MESA	AZ	85215
PRISCAK DAVID S/KRISTIN A	3914 E OMEGA CIR	MESA	AZ	85215-970:
RAMOS RODOLFO/LUDIVINA	3928 E MINTON CIR	MESA	AZ	85215
RANCHLAND HOLDINGS I LLC	2812 N NORWALK STE 105	MESA	AZ	85215
RANDY GEHRTS REVOCABLE LIVING TRUST	9825 E IDAHO AVE	MESA	AZ	85209
RAY LLOYD MOSS FAMILY TRUST	2661 N VAL VISTA DR	MESA	AZ	85213
REINBOLD WILSON R/CONNIE	3829 E OASIS CIR	MESA	AZ	85215
REMYNGTON DARREN B/MARGARET J	3925 E MINTON CIR	MESA	AZ	85215
REVOCABLE TRUST AGREEMENT OF JOSEPH P BORG AND JOANNE K BORG	3733 E MINTON PL	MESA	AZ	85215
RICHARD AND KELLI SKOUSEN REVOCABLE LIVING TRUST	3708 E OMEGA CIR	MESA	AZ	85215
RIDDER JOSEPH PATRICK/LYNN MARIE	3750 E MINTON PL	MESA	AZ	85215
RIVERA JONNIE/LYNNE	3929 E OMEGA CIR	MESA	AZ	85215
ROBERT H PERRY AND TERRILYN K PERRY TRUST	3908 E MALLORY CIR	MESA	AZ	85215
ROBERT L PORTER AND KAREN F PORTER REV TRUST	3847 E OMEGA CIR	MESA	AZ	85215
ROBINSON DENTEN D	3830 W MENIO ST	MESA	AZ	85215
ROGERS NIKE/OROBIYI MICHAEL	4010 E MINTON CIR	MESA	AZ	85215
ROME JOHN J/SHELLY A	3728 E MCDOWELL RD	MESA	AZ	85215
ROOSEVELT WATER CONS DIST	PO BOX 100	HIGLEY	AZ	85236
ROSE FAMILY TRUST	3813 E OASIS CIR	MESA	AZ	85215
ROSEWOOD ESTATES COMMUNITY ASSOCIATION	7255 E HAMPTON AVE STE 101	MESA	AZ	85209
RYAN PATRICK L/JULIA E	3834 E MINTON PL	MESA	AZ	85215

SANTANA JUAN CARLOS/ROBLES BRIANNA	1031 E FAIRBROOK CIR	MESA	AZ	85203
SCHLAPPI FAMILY TRUST	3911 E NORTHRIDGE CIR	MESA	AZ	85215
SCHMIDT WAYNE E/KAREN A TR	3748 E OASIS CIR	MESA	AZ	85215-979:
SEC FAMILY REVOCABLE TRUST	3655 E NORTHRIDGE CIR	MESA	AZ	85215
SETH ANDERSON AND LAURIE ANDERSON FAMILY TRUST	3741 E NORTHRIDGE CIR	MESA	AZ	85215
SHIMEK BRADY/ATHENA M/MACHAIN NANCY/HENRY	3762 E OMEGA CIR	MESA	AZ	85215
SHORT DAVID E	3958 E NORTHRIDGE CIR	MESA	AZ	85215
SHUBERT HARVEY LAWRENCE/SHUBERT CATHERENE	3716 E MALLORY ST	MESA	AZ	85215
SIGGINS FAMILY LIVING TRUST	3812 E OMEGA CIR	MESA	AZ	85215
SLAUGHTER BRIAN W/CYNTHIA E	3855 E MINTON PL	MESA	AZ	85215
SMITH BRANDON R/JAMIE T	1939 E LYNWOOD ST	MESA	AZ	85203
SOBRADO DANA E ROCKER/MICHAEL D	3650 E MCDOWELL RD	MESA	AZ	85215
SPEARS JOHN C/PATRICIA A TR	3842 E MALLORY	MESA	AZ	85203
SRS FAMILY TRUST	3729 E NORTHRIDGE CIR	MESA	AZ	85215
STARMAN STEVE	3723 E MALLORY ST	MESA	AZ	85215
SUMKO MICHAEL/JENNIFER	3763 E OASIS CIR	MESA	AZ	85215
TAYLOR STEVE/KATRINA	3922 E NORTHRIDGE CIR	MESA	AZ	85215
TEMCO LLC	1514 NE 69TH PL	ANKENY	IA	50021-888:
TERRELL S AND PATRICIA A REIBER FAMILY TRUST	3829 E MALLORY ST	MESA	AZ	85215
TETLOW FAMILY REVOCABLE LIVING TRUST	3852 E OASIS CIR	MESA	AZ	85215
THOMAS & MARIBEL OAKES FAMILY TRUST	3912 E MINTON CIR	MESA	AZ	85215
TIMMERMAN DAVID	20860 N TATUM BLVD STE 160	PHOENIX	AZ	85050
TOBLER STEVEN J/MARIE E TR	3675 E OASIS CIR	MESA	AZ	85215
UDT SHAWN T FLAHART LIVING TRUST	6112 E RED BIRD RD	SCOTTSDALE	AZ	85266
VIEWEG DAVID EDWARD	3729 E NANCE CIR	MESA	AZ	85215
VISTA ESTANCIA HOMEOWNERS ASSOCIATION INC	1834 E BASELINE RD NO 102	TEMPE	AZ	85283
WALTER & MARSHA EGGERS FAMILY TRUST	3747 E OASIS CIR	MESA	AZ	85215
WALTERS NICHOLAS D/CORINTHIA T	2824 N POWER RD STE 113 PMB 25	MESA	AZ	85215
WARNER JEFFREY/JENNICA	3961 E NORCROFT CIR	MESA	AZ	85215
WASSON DANNY/ANGELA	3815 E MALLORY ST	MESA	AZ	85215
WATSON JOEL A	3746 E OMEGA CIR	MESA	AZ	85215
WHITE DOUGLAS J/ANNE E	3930 E OMEGA CIR	MESA	AZ	85215
WICKERSHEIM ROBERT D/SANDRA	3947 E NORTHRIDGE CIR	MESA	AZ	85215
WICKERSHEIM ROBERT D/SANDRA TR	3947 E NORTHRIDGE CIR	MESA	AZ	85215

WILLIAM AND ELIZABETH RAU FAMILY TRUST	3820 E OASIS CR	MESA	AZ	85215
WILSON FAMILY TRUST	2455 N MAPLE	MESA	AZ	85215
WILSON GREGORY ROBERT	3814 E MALLORY ST	MESA	AZ	85215
WIRIG TRUST	3924 E NORCROFT CIR	MESA	AZ	85215
YOST GAYLORD BOB	1635 N GREENFIELD RD STE 106	MESA	AZ	85205
YOUSSEF TAREK H/EL-HAKIM SHERMEEN F	3909 E MINTON CIR	MESA	AZ	85215
ZAHIRI MORTEZA/ZAHIRI-MENDOZA TERESA LEE	2609 N VAL VISTA DR	MESA	AZ	85203

## Neighborhood Meeting Sign-In Sheet

**Applicant:**

**Pew & Lake/ E.W. Gardner Family LP No. 2**

**Property Location:**

Approximately 20.06-acre property located at 38<sup>th</sup> Place & McDowell Road,  
which is on the south side of McDowell between Val Vista Drive & Greenfield  
Road

**Date:**

**June 13, 2022**

**Meeting Location:**

Bush Elementary School (Multi Purpose Room )  
4925 E Ingram St, Mesa, AZ 85205

**Time:**

**6:30 PM**

**Case:**

#	NAME	ADDRESS	ZIP	Email	PHONE
1	DAVID M. BERKSTRESSER	3956 E. NORA CIRCLE	85215	DAVID.BERKSTRESSER@GMAIL.COM	480-897-7018
2	Brad Strader	RWCD		b.strader@rwcd.net	480.938.9581
3	Carlos Santana	3740 E Northridge Circle	85215	carlos.santana@asu.edu	480-251-9570
4	Christine Anthony	3908 E- Nora Circle	85215	cathonyre@gmail.com	480-200-0972
5	Mari & Brian Hall	3752 E Northridge Cir	85215	mari@fallfamily.net brian@fallfamily.net	480-235-1771
6	Sara Vance	3912 E. Norcroft Cr.	85215	Saravance3912@gmail.com	480 452-7182
7	Scott Miritello	2575 N Val Vista	85213	SLM.miritello@	480-2238461
8	HARVEY SHUBERT	3716 E. MALLORY ST	85215	HSHUBERT@aol.com	
9					
10					
11					
12					
13					



**Legacy Cove Neighborhood Meeting**  
**June 13, 2022, at 6:30 pm**  
**Bush Elementary School**

**Hosted by:** Sean Lake and Sarah Fitzgerald – Pew and Lake, PLC.

**Summary:** Sean lake presented the proposed development and explained to the neighbors that we are here to receive information and feedback in order to work with the neighbors and make revisions to the plan per their comments. Mr. Lake informed the neighbors that we are in preliminary stages of entitlement and all feedback is appreciated.

**Questions:**

1. Within the CC&R's can you restrict to only single-story homes and a minimum amount of SF per home?
  - a. We are open to creating restrictions within the CC&R's.
2. We are concerned with the lot sizes and drainage.
  - a. The developer is open to negotiating lot sizes. Drainage will be reviewed and approved by the City engineers. We are here to collect information from the neighborhood to ensure that drainage issues are communicated.
3. Is there already a builder selected?
  - a. No. These are custom lots, and the homeowner will contract a builder of their choice.
4. How will the developer mitigate the rodents during construction?
  - a. We will communicate with the developer to see what can be done to mitigate the rodent issue.
5. What is the requirement for tree planting?
  - a. The development will comply with the landscape requirements and ensure that the development complements the surrounding and existing area.
6. Is there only one access?
  - a. Yes, there is only one access which is off McDowell Road.
7. Will there be a timeframe for owners on when they have to build their home?
  - a. Those details have not been established at this time.
8. Will the citrus remain on the lots until the homes are built?
  - a. Yes.
9. Where is the retention area?
  - a. The retention is most likely in the low area of the property.
10. The wall needs to be improved or reinforced (along west side)?
  - a. We will note the condition of the wall along the west side.
11. Work with RWCD to come up with a solution for irrigation access.
  - a. The developer will work with all necessary parties to ensure irrigation access.
12. Will you consider a lot size change?
  - a. Yes, the developer will consider feedback from tonight's meeting and any further input that is received.



**Pew & Lake, P.L.L.C.**  
Real Estate and Land Use Attorneys

**W. Ralph Pew**  
Certified Real Estate Specialist  
**Sean B. Lake**  
Reese L. Anderson

August 24, 2022

## NOTICE OF 2<sup>nd</sup> NEIGHBORHOOD MEETING

Dear Neighbor,

Together with our client, E.W. Gardner Family Limited Partnership No. 2, we are pleased to invite you to participate in a follow up neighborhood meeting for the property located at 38<sup>th</sup> Place and McDowell Road, which is on the south side of McDowell between Val Vista Drive and Greenfield Road. Specifically, the request is to Rezone from RS-35 to RS-35 PAD. The proposal is still for a custom lot subdivision.

As a follow up to the neighborhood meeting and as the direct result of working with neighbors, we have reduced the number of lots, increased the overall lot sizes, and ensured that the very smallest of the lots is no less than ½ acre. This would reduce the density down to 26 lots on 20 gross acres. The community will include open space and significant amenities for residents. The proposed project will remain in character with the Citrus area neighborhood and complement the existing architectural and landscape qualities.

Our project team has set up a 2<sup>nd</sup> in-person meeting where we will present the project and provide more information.

**Date:** September 6th, 2022  
**Time:** 6:30 p.m.  
**Location:** Ishikawa Elementary School  
Media Center  
2635 N 32<sup>nd</sup> Street, Mesa, 85213

Should you have any questions, please contact me or Sarah Fitzgerald in my office by email at [sean.lake@pewandlake.com](mailto:sean.lake@pewandlake.com) or [sarah.fitzgerald@pewandlake.com](mailto:sarah.fitzgerald@pewandlake.com) or by phone at 480-461-4670. We welcome any comments and feedback on this case and would be happy to discuss it with citizens or groups upon request. All comments shared will be submitted to the City and incorporated into the reports and briefing that will be prepared for the public hearings for this case.

At this time, no public hearings before the City of Mesa have been scheduled. When any meeting date is known, the property will be properly noticed, and anyone who reaches out to us and provides their contact information will also be notified.

Sincerely,

Sean B. Lake  
**PEW & LAKE, PLC**

SOMERSET ESTATES  
RS-35

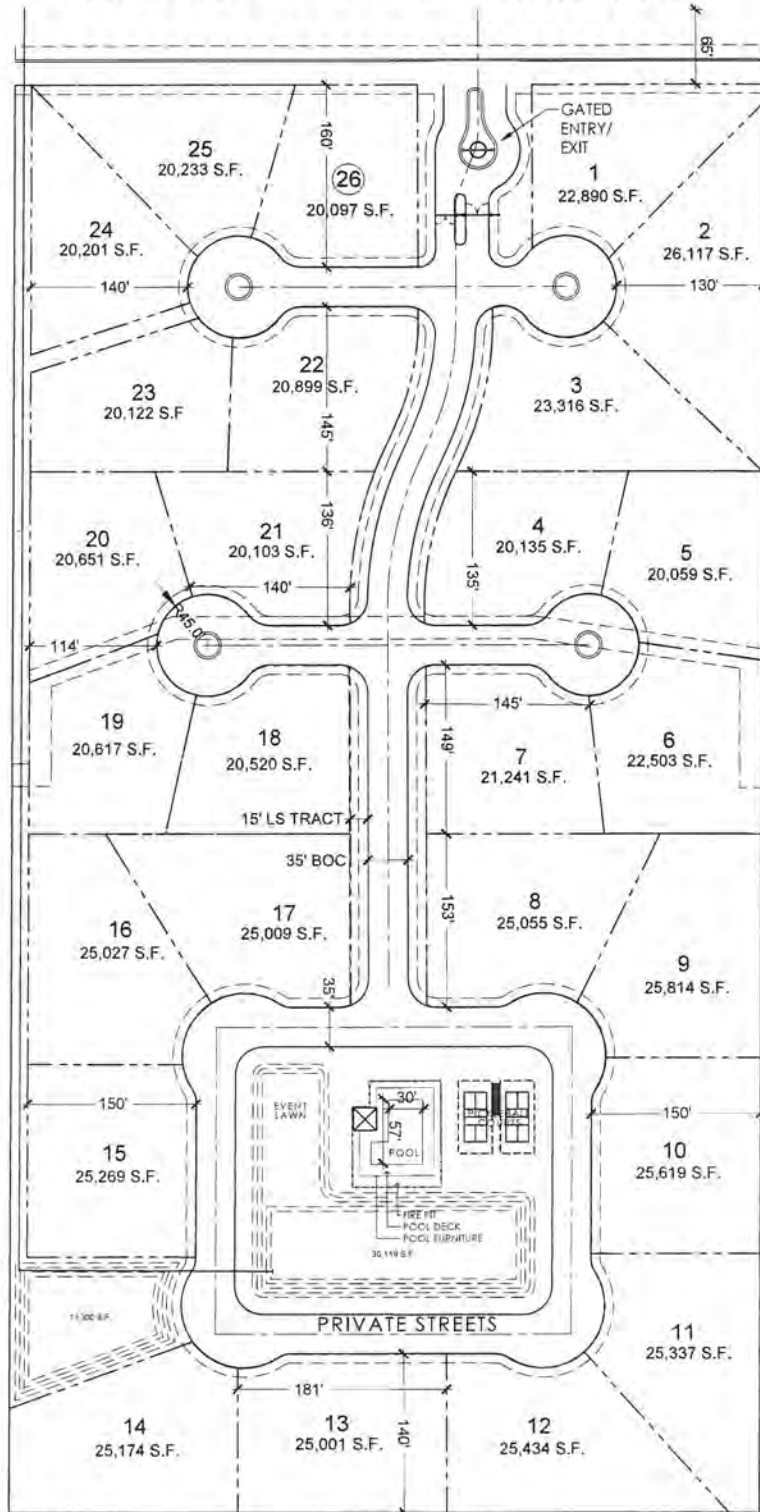
38TH PL.

MCDOWELL ROAD

LADYHAWK  
ESTATES  
RS-35

ROSEWOOD ESTATES  
RS-35

SINGLE-FAMILY RESIDENCE  
RS-35





112361 TRUST  
PO BOX 1336  
APACHE JUNCTION, AZ 85117

3854EMINTON LLC  
2336 N VAL VISTA DR  
MESA, AZ 85213

AMBERWOOD HOMES LLC  
PO BOX 31090  
MESA, AZ 85275

AMERIFIRST FINANCIAL INC  
2222 N VAL VISTA DR UNIT 14  
MESA, AZ 85213

AN RAY/CHANTHA  
3949 E NORCROFT CIR  
MESA, AZ 85215

ANTHONY MARK S/CHRISTINE M  
3908 E NORA CIR  
MESA, AZ 85215

AUGUSTA INVESTMENTS LLC  
2812 N NORWALK ST  
MESA, AZ 85215

BARRETT ROBERT F/LISA L  
3751 E MINTON PL  
MESA, AZ 85215

BARTRUFF BRYCE  
KEVIN/STEPHANIE LYNN  
2505 N MAPLE  
MESA, AZ 85215

BATCHELOR LAWRENCE/CANDAL  
SANDRA  
3756 E MALLORY ST  
MESA, AZ 85215

BATTISTA DOMENICO/ZECCA PETER  
403 WOODFERN RD  
HILLSBOROUGH, NJ 8844

BAWDEN CLYDE LEE/JAYME TR  
2625 N VAL VISTA DR  
MESA, AZ 85213

BEATTIE GLENN A/TINA M  
4037 E MINTON CIR  
MESA, AZ 85215

BEECHER KELLY/JOSHUA  
3924 E MALLORY CIR  
MESA, AZ 85215

BEN AND DANA GOETTER FAMILY  
TRUST  
3843 E MALLORY ST  
MESA, AZ 85215

BERKSTRESSER FAMILY  
REVOCABLE TRUST  
3956 E NORA CIR  
MESA, AZ 85215

BIGLER LANE R/MARYLOU M  
3913 E NORCROFT  
MESA, AZ 85215

BINGHAM SCOTT D/KAREN  
D/CAMPBELL JAMIE ETAL  
2537 N MAPLE  
MESA, AZ 85215-1723

BLEY MICHAEL J/PATRICIA A TR  
3734 E MALLORY  
MESA, AZ 85215

BLUE SKY TRUST  
1366 S 1140 E  
OREM, UT 84097

BOWDEN JORDAN/MEGHAN  
3730 E MENLO ST  
MESA, AZ 85215

BROUGHTON JAMES G/PATTY J TR  
3757 E MALLORY ST  
MESA, AZ 85215

BROWN CHARLES A III/BETTY J  
3661 E NANCE CIR  
MESA, AZ 85215

BRYCE GARY A/BARBARA L TR  
PO BOX 1230  
BLYTHE, CA 92226-1230

BUDDHAVARAPU VENKATA  
SRIHARI/TANKASALA SAHITYA  
MOORTHY  
4023 E MINTON CIR  
MESA, AZ 85215

BURKINSHAW VICKY  
3902 E OASIS CIR  
MESA, AZ 85215

CAB LLC  
2704 E GEMINI ST  
GILBERT, AZ 85234

CAMPBELL JEFFREY  
RICHARD/MILLER BRITTANY  
4024 E MINTON CIR  
MESA, AZ 85215

CARANO JOSEPH M  
3844 E MENLO ST  
MESA, AZ 85215

CAROLINE & FRANK DIDEA FAMILY  
TRUST  
3863 E OMEGA CIR  
MESA, AZ 85215

CJP PROPERTY LLC  
2621 E ODESSA CIR  
MESA, AZ 85213

CLEMONS LIVING TRUST  
2511 N VAL VISTA DR  
MESA, AZ 85213

COMMERCE COURT II AT THE  
COMMONS PROPERTY OWNERS  
ASSOCIATION  
2812 N NORWALK STE 105  
MESA, AZ 85215

COMMONS INDUSTRIAL PARK AT  
FALCON VIEW ASSOC  
2812 N NORWALK 105  
MESA, AZ 85215

COURT AT THE COMMONS  
PROPERTY OWNERS ASSOC  
2812 N NORWALK 105  
MESA, AZ 85215

COWDEN BRENT/RYAN  
ANTHONY/DERYK/VISSER DARRELL  
3463 CEDARVILLE RD  
BELLINGHAM, WA 98226

CRACRAFT ROY D  
3751 E NANCE CIR  
MESA, AZ 85215

CRISP PATRICK/CAROL TR  
3827 E OMEGA CIR  
MESA, AZ 85215

CRITTENDEN MARK J  
2553 N MAPLE  
MESA, AZ 85215

DANDI VILLAGE PROPERTIES LLC  
3114 S 98TH ST  
MESA, AZ 85212

DANDI VILLAGE PROPERTIES LLC  
3935 E PALM ST  
MESA, AZ 85215

DESAUTELS ROBERT A/DEANNE M  
3918 E OASIS CIR  
MESA, AZ 85215

DON AND SHARLA STOKER FAMILY  
TRUST  
3707 E OMEGA CIR  
MESA, AZ 85205

DONALD AND BRYNN BURTON  
TRUST  
3734 E OASIS CIR  
MESA, AZ 85215

DOUGLAS JAMES WALDIE AND  
KRISTEN ANNE WALDIE REVOCABLE  
LIVING TRUST  
3828 E OMEGA CIR  
MESA, AZ 85215

DROWN DOUGLAS ROBERT/PAULA  
ANN TR  
3655 E OMEGA CIR  
MESA, AZ 85215

EASTERWOOD REVOCABLE TRUST  
3656 E OMEGA CIR  
MESA, AZ 85215

EMERALD GROVE HOLDING  
COMPANY LLC  
5360 S 154TH ST  
GILBERT, AZ 85298

ERIC G HUISSH SR AND DIANA L  
HUISSH TRUST  
3450 N ARABELLA  
MESA, AZ 85215

ESTATES AT HERMOSA RANCH  
COMMUNITY ASSOCIATION  
3321 E BASELINE RD  
GILBERT, AZ 85234

EW GARDNER FAMILY LIMITED  
PARTNERSHIP NO 2  
4301 E MCKELLIPS RD  
MESA, AZ 85215

FABIANI RAYMOND J  
3944 E NORA CIR  
MESA, AZ 85215

FADEL JOSHUA E/THERESA K  
3745 E OMEGA CIR  
MESA, AZ 85215

FALL BRIAN N/MARI  
3752 E NORTHRIDGE CIR  
MESA, AZ 85215

FIGLER JEFF/LINDA  
PO BOX 958  
POWAY, CA 92074

FITCH JAMES CARL/KAREN ANN  
3913 E OMEGA CIR  
MESA, AZ 85215

FREEMAN JOHN A/SARAH E  
3948 E NORCROFT CIR  
MESA, AZ 85215

GAMEZ GONZALO/CONCEPTION  
2025 E JUANITA AVE  
MESA, AZ 85204

GARCIA PAULINO G/ROSA A  
3655 E OASIS CIR  
MESA, AZ 85215

GARDNER QUINTON W/JOY  
RODGERS  
3848 E MALLORY ST  
MESA, AZ 85215

GOLONKA MICHAEL WALTER  
ESTATE OF  
4608 W BUFFALO ST  
CHANDLER, AZ 85226

GRACE KEVIN D/TRACY L  
2505 N VAL VISTA DR  
MESA, AZ 85213

GRIMES LIVING TRUST  
3121 E GARY ST  
MESA, AZ 85213

HARRIS RACHELLE  
1330 N 104TH PL  
MESA, AZ 85207

HAVEN LEE DOVE AND CINDY KAY  
DOVE TRUST  
3728 E NORTHRIDGE CIR  
MESA, AZ 85215

HENDERSON FAMILY LIVING TRUST  
3722 E MALLORY ST  
MESA, AZ 85205

HENDRICKS KEITH L/CAROL B  
3865 E OASIS CIR  
MESA, AZ 85215

HENSON BLAKE/KASSANDRA  
3712 E NANCE CIR  
MESA, AZ 85215

HILDEBRANDT FAMILY TRUST  
3931 E OASIS CIR  
MESA, AZ 85215

ISAKSON AARON JON/TORREZ  
MARIA ELENA  
3836 E OASIS CIR  
MESA, AZ 85215

JAMES T GODFREY AND ROSALIE S  
GODFREY TRUST  
3735 E OASIS CIR  
MESA, AZ 85215

DONISHA PARDUE  
3944 N MINTON CIR  
MESA, AZ 85215

JEFFREY D TILLERY AND WHITNEY  
A TILLERY TRUST  
3812 E MENLO STREET  
MESA, AZ 85215

JENKINS JOHN/YAZARA  
3816 E MINTON PL  
MESA, AZ 85215

JOHN B CALVERT 2020 TRUST  
42550 47TH ST W  
LANCASTER, CA 93536-4303

JOHN M KILIAN M D LIVING TRUST  
3828 E MALLORY ST  
MESA, AZ 85205

JOSEPH AND LORI COSTELLO  
FAMILY TRUST  
3764 E OASIS CIR  
MESA, AZ 85215

KINDT STEPHAN/LISA  
2440 N MAPLE ST  
MESA, AZ 85215

KUBAS CHANDLER  
3031 121ST AVE SW  
DICKINSON, ND 58601

LECOMPTE EUGENE  
3711 E MINTON PL  
MESA, AZ 85215

LI ZONGFU/CHEN JIANG  
3710 E NORTHRIDGE CIR  
MESA, AZ 85215

LIQING WEN AND YING MA TRUST  
3909 E NORA CIR  
MESA, AZ 85215

LUNENG DAVID PATRICK/TAMARA  
DAWN  
3848 E OMEGA CIR  
MESA, AZ 85215

LUTHERA AMARJIT S/HARJEET  
K/LUTHERA J  
2701 N VAL VISTA DR  
MESA, AZ 85213

LYNN AUSTIN ADAMS AND JULIA  
LYNN ADAMS TRUST  
3811 E OMEGA CIR  
MESA, AZ 85215

MARVIN LEE AND ANN RUTH  
GAMERTSFELDER TRUST  
3660 E NANCE CIR  
MESA, AZ 85215

MASON ERIK/RACHEL  
3937 E NORCROFT CIR  
MESA, AZ 85215

MATTHEW 2529 TRUST  
3835 E MINTON PL  
MESA, AZ 85215

MBK FAMILY TRUST  
3849 E OASIS CIR  
MESA, AZ 85215

MCFARLAND FAMILY LIVING TRUST  
3925 E NORCROFT CIR  
MESA, AZ 85215

MCGAVICK SHARON M/SVENSON  
KEITH O  
7850 CHICO WAY NW  
BREMERTON, WA 98312

MCGEHEE DANIEL T/MARY K  
3915 E OASIS CIR  
MESA, AZ 85215

MCLEAN THOMAS N/JENNIFER L  
3864 E OMEGA CIR  
MESA, AZ 85215

MESA PERIO PROPERTIES LLC  
107 N GREENFIELD RD STE 1  
MESA, AZ 85205

MILLARD JEFFREY CLARK/EMILY  
3727 E OMEGA CIR  
MESA, AZ 85215

MIRITELLO SCOTT/LINDA A  
2575 N VAL VISTA DR  
MESA, AZ 85213

MITCHELL JAMES/BAILEE  
3634 E MCDOWELL RD  
MESA, AZ 85215

MITICH DRAGAN/VERA  
3635 E OMEGA CIR  
MESA, AZ 85215

MONK DAVID J/KARI L TR  
3658 E NORTHRIDGE CR  
MESA, AZ 85215

MORRIS MARY V  
3735 E MALLORY DR  
MESA, AZ 85215

NOC20 LLC  
22340 YELLOW GATE LN NE UNIT  
M64  
AURORA, OR 97002-8436

NORBERG MICHAEL S/DARCI R  
2521 N MAPLE  
MESA, AZ 85215

NORGREN KERRY M/JOAN M  
1317 E FAIRFIELD ST  
MESA, AZ 85203

NORWALK COMMONS LLC  
3106 E HERMOSA VISTA DR  
MESA, AZ 85213

NORWALK PATRIOTS LLC  
3661 E NANCE CIRCLE  
MESA, AZ 85215

NU SASH INVESTMENTS LLC  
17027 N 45TH ST  
PHOENIX, AZ 85032

OLIN & SARA VANCE FAMILY TRUST  
3912 E NORCROFT CIR  
MESA, AZ 85215

ORTIZ RUSSELL R/STACY A  
2601 N VAL VISTA DR  
MESA, AZ 85213

PEKALA JOHN M/BETH A  
3940 E MENLO CIR  
MESA, AZ 85215

PERRACCHIO LIVING TRUST  
3920 E NORA CIR  
MESA, AZ 85215

PETERSON DAVID TROY/THERESA S  
3728 E OMEGA CIR  
MESA, AZ 85215

PETERSON ROBERT W/BETTE LYN TR  
3921 E NORA CIR  
MESA, AZ 85215

PHPE HOLDINGS LLC  
8641 E KAEL CIR  
MESA, AZ 85207

PITTS JUSTIN E/LESLIE  
3754 E MENLO ST  
MESA, AZ 85215

PRESTON BRADLEY MICHAEL  
3732 E MINTON PL  
MESA, AZ 85215

PRISCAK DAVID S/KRISTIN A  
3914 E OMEGA CIR  
MESA, AZ 85215-9701

RAMOS RODOLFO/LUDIVINA  
3928 E MINTON CIR  
MESA, AZ 85215

RANCLAND HOLDINGS I LLC  
2812 N NORWALK STE 105  
MESA, AZ 85215

RANDY GEHRTS REVOCABLE LIVING  
TRUST  
9825 E IDAHO AVE  
MESA, AZ 85209

RAY LLOYD MOSS FAMILY TRUST  
2661 N VAL VISTA DR  
MESA, AZ 85213



REINBOLD WILSON R/CONNIE  
3829 E OASIS CIR  
MESA, AZ 85215

REMINGTON DARREN B/MARGARET  
3925 E MINTON CIR  
MESA, AZ 85215

REVOCABLE TRUST AGREEMENT OF  
JOSEPH P BORG AND JOANNE K BORG  
3733 E MINTON PL  
MESA, AZ 85215

RICHARD AND KELLI SKOUSEN  
REVOCABLE LIVING TRUST  
3708 E OMEGA CIR  
MESA, AZ 85215

RIDDER JOSEPH PATRICK/LYNN  
MARIE  
3750 E MINTON PL  
MESA, AZ 85215

RIVERA JONNIE/LYNNE  
3929 E OMEGA CIR  
MESA, AZ 85215

ROBERT H PERRY AND TERRILYN K  
PERRY TRUST  
3908 E MALLORY CIR  
MESA, AZ 85215

ROBERT L PORTER AND KAREN F  
PORTER REV TRUST  
3847 E OMEGA CIR  
MESA, AZ 85215

ROBINSON DENTEN D  
3830 W MENIO ST  
MESA, AZ 85215

ROGERS NIKE/OROBIYI MICHAEL  
4010 E MINTON CIR  
MESA, AZ 85215

ROME JOHN J/SHELLY A  
3728 E MCDOWELL RD  
MESA, AZ 85215

ROOSEVELT WATER CONS DIST  
PO BOX 100  
HIGLEY, AZ 85236

ROSE FAMILY TRUST  
3813 E OASIS CIR  
MESA, AZ 85215

ROSEWOOD ESTATES COMMUNITY  
ASSOCIATION  
7255 E HAMPTON AVE STE 101  
MESA, AZ 85209

RYAN PATRICK L/JULIA E  
3834 E MINTON PL  
MESA, AZ 85215

SANTANA JUAN CARLOS/ROBLES  
BRIANNA  
1031 E FAIRBROOK CIR  
MESA, AZ 85203

SCHLAPPI FAMILY TRUST  
3911 E NORTHRIDGE CIR  
MESA, AZ 85215

SCHMIDT WAYNE E/KAREN A TR  
3748 E OASIS CIR  
MESA, AZ 85215-9791

SEC FAMILY REVOCABLE TRUST  
3655 E NORTHRIDGE CIR  
MESA, AZ 85215

SETH ANDERSON AND LAURIE  
ANDERSON FAMILY TRUST  
3741 E NORTHRIDGE CIR  
MESA, AZ 85215

SHIMEK BRADY/ATHENA  
M/MACHAIN NANCY/HENRY  
3762 E OMEGA CIR  
MESA, AZ 85215

SHORT DAVID E  
3958 E NORTHRIDGE CIR  
MESA, AZ 85215

SHUBERT HARVEY  
LAWRENCE/SHUBERT CATHERENE  
3716 E MALLORY ST  
MESA, AZ 85215

SIGGINS FAMILY LIVING TRUST  
3812 E OMEGA CIR  
MESA, AZ 85215

SLAUGHTER BRIAN W/CYNTHIA E  
3855 E MINTON PL  
MESA, AZ 85215

SMITH BRANDON R/JAMIE T  
1939 E LYNWOOD ST  
MESA, AZ 85203

SOBRADO DANA E  
ROCKER/MICHAEL D  
3650 E MCDOWELL RD  
MESA, AZ 85215

SPEARS JOHN C/PATRICIA A TR  
3842 E MALLORY  
MESA, AZ 85203

SRS FAMILY TRUST  
3729 E NORTHRIDGE CIR  
MESA, AZ 85215

STARMAN STEVE  
3723 E MALLORY ST  
MESA, AZ 85215

SUMKO MICHAEL/JENNIFER  
3763 E OASIS CIR  
MESA, AZ 85215

TAYLOR STEVE/KATRINA  
3922 E NORTHRIDGE CIR  
MESA, AZ 85215

TEMCO LLC  
1514 NE 69TH PL  
ANKENY, IA 50021-8883

TERRELL S AND PATRICIA A REIBER  
FAMILY TRUST  
3829 E MALLORY ST  
MESA, AZ 85215

TETLOW FAMILY REVOCABLE  
LIVING TRUST  
3852 E OASIS CIR  
MESA, AZ 85215

THOMAS & MARIBEL OAKES FAMILY  
TRUST  
3912 E MINTON CIR  
MESA, AZ 85215

TIMMERMAN DAVID  
20860 N TATUM BLVD STE 160  
PHOENIX, AZ 85050

TOBLER STEVEN J/MARIE E TR  
3675 E OASIS CIR  
MESA, AZ 85215

UDT SHAWN T FLAHART LIVING  
TRUST  
6112 E RED BIRD RD  
SCOTTSDALE, AZ 85266

VIEWEG DAVID EDWARD  
3729 E NANCE CIR  
MESA, AZ 85215

VISTA ESTANCIA HOMEOWNERS  
ASSOCIATION INC  
1834 E BASELINE RD NO 102  
TEMPE, AZ 85283

WALTER & MARSHA EGGERS  
FAMILY TRUST  
3747 E OASIS CIR  
MESA, AZ 85215

WALTERS NICHOLAS D/CORINTHIA T  
2824 N POWER RD STE 113 PMB 253  
MESA, AZ 85215

WARNER JEFFREY/JENNICA  
3961 E NORCROFT CIR  
MESA, AZ 85215

WASSON DANNY/ANGELA  
3815 E MALLORY ST  
MESA, AZ 85215

WATSON JOEL A  
3746 E OMEGA CIR  
MESA, AZ 85215

WHITE DOUGLAS J/ANNE E  
3930 E OMEGA CIR  
MESA, AZ 85215

WICKERSHEIM ROBERT D/SANDRA  
3947 E NORTHRIDGE CIR  
MESA, AZ 85215

WICKERSHEIM ROBERT D/SANDRA TR  
3947 E NORTHRIDGE CIR  
MESA, AZ 85215

WILLIAM AND ELIZABETH RAU  
FAMILY TRUST  
3820 E OASIS CR  
MESA, AZ 85215

WILSON FAMILY TRUST  
2455 N MAPLE  
MESA, AZ 85215

WILSON GREGORY ROBERT  
3814 E MALLORY ST  
MESA, AZ 85215

WIRIG TRUST  
3924 E NORCROFT CIR  
MESA, AZ 85215

YOST GAYLORD BOB  
1635 N GREENFIELD RD STE 106  
MESA, AZ 85205

YOUSSEF TAREK H/EL-HAKIM  
SHERMEEN F  
3909 E MINTON CIR  
MESA, AZ 85215

ZAHIRI MORTEZA/ZAHIRI-MENDOZA  
TERESA LEE  
2609 N VAL VISTA DR  
MESA, AZ 85203

Somerset Estates  
Larry Tyler  
3821 E Palm Cir  
Mesa, AZ 85207

HOA Name

Corp Comm Link

Hermosa Groves North  
4135 S Power Rd #122  
MESA, AZ 85212

Rosewood Estates Community Association  
7255 E HAMPTON AVE SUITE 101  
MESA, AZ 85209

Somerset Estates  
42 S. HAMILTON PL. # 101 ,  
GILBERT, AZ 85233

Spyglass Estates  
6303 S RURAL RD STE 3  
TEMPE, AZ 85283

Villa Tuscano  
2011 N Lemon St,  
MESA, AZ 85215,

Vista Estancia  
42 S. HAMILTON PL #101 ,  
GILBERT, AZ 85233

Montana Dorada  
4360 E Brown Road Suite 108,  
MESA, AZ 85205

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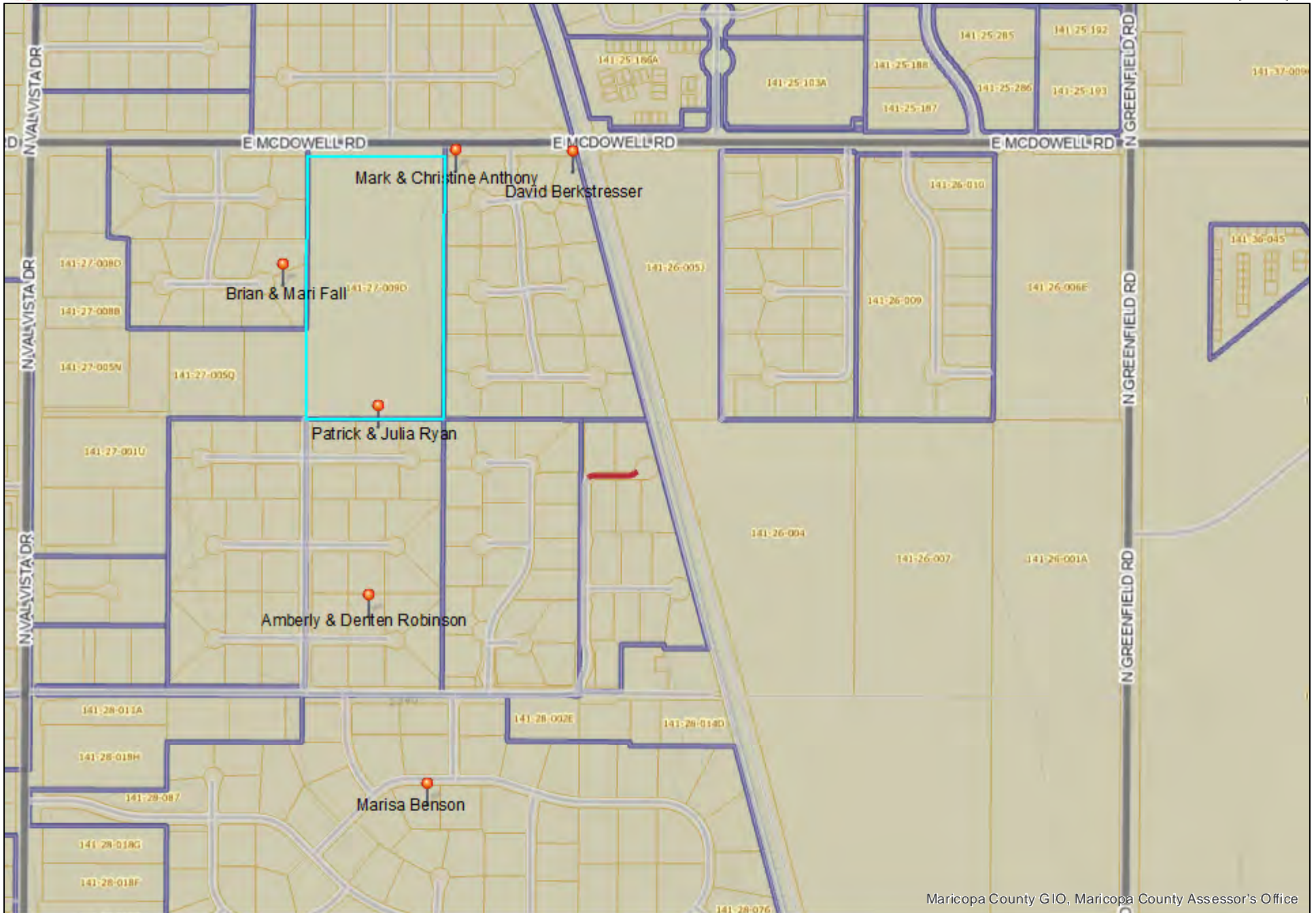
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# Reeb Neighborhood Meeting Attendees





Brian & Mari Fall - 3752 E. Northridge Circle

Mark & Christine Anthony - 3908 E. Nora Circle

Marisa Benson - 3865 E. Laurel St.

David Berkstresser - 3956 E. Nora Circle

Amberly & Denten Robinson - 3830 E. Menlo St.

Patrick & Julia Ryan - 3834 E. Minton Place

## Neighborhood Meeting Sign-In Sheet

**Applicant:**

**Pew & Lake/ E.W. Gardner Family LP No. 2**

**Property Location:**

Approximately 20.06-acre property located at 38<sup>th</sup> Place & McDowell Road,  
which is on the south side of McDowell between Val Vista Drive & Greenfield  
Road

**Date:**

**September 6th, 2022**

**Meeting Location:**

Ishikawa Elementary School (Media Center )  
2635 N 32<sup>nd</sup> St., Mesa, AZ 85213

**Time:**

**6:30 PM**

**Case:**

#	NAME	ADDRESS	ZIP	Email	PHONE
1	Brian & Mari Fall	3752 E. Northridge Cir	85215		480 235 1779
2	Marc + Christine Anthony	3908 E. Nora Circle	85215	canthonyre@gmail.com	480-200-0972
3	Marisa Benson	3845 E Laurel St.	85215	marisa.benson@gmail	480 331 9046
4	DAVID M. BERKSTRESSER	3956 E. NORA CIRCLE	85215	DAVID.BERKSTRESSER@GMAIL.COM	480-897-7018
5	Amberly Robinson	3830 E. Menlo St	85215	amberly.robinson@gmail.com	602-541-0129
6	Denten Robinson	3830 E Menlo street.	85215	denten.robinson@gmail.com	602-541-0127
7					
8					
9					
10					
11					
12					
13					

## Neighborhood Meeting Sign-In Sheet

**Applicant:**

**Pew & Lake/ E.W. Gardner Family LP No. 2**

**Property Location:**

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which is on the south side of McDowell between Val Vista Drive & Greenfield  
Road

**Date:**

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**Meeting Location:**

Ishikawa Elementary School (Media Center )  
2635 N 32<sup>nd</sup> St., Mesa, AZ 85213

**Time:**

**6:30 PM**

**Case:**

#	NAME	ADDRESS	ZIP	Email	PHONE
1	PATRICK & JULIA RYAN	3834 E MINTON PLACE	85215	PATRICKLRyan@gmail.com	(602) 317-4620
2					
3					
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					

**From:** [Nicholas Walters](#)  
**To:** [Sean Lake](#); [Sarah Fitzgerald](#)  
**Subject:** E.W. Gardner Family Limited Partnership No. 2 Zoning  
**Date:** Thursday, June 16, 2022 1:39:59 PM

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Good afternoon Mr. Lake,

I'm a homeowner in Somerset Estates, directly north of your client's land. I received your Notice of Neighborhood Meeting dated May 31 but was unfortunately unable to make it to the meeting.

I'm concerned about your client's request to reduce the lot size. Every other neighborhood surrounding your client's land is zoned RS-35 with lots ranging from 35,000 square feet up to nearly 4 acres (approximately 174,000 square feet). Your client's proposal would permit lots as small as 15,000 square feet.

Your letter indicates that the proposed project will keep within the character of the Citrus area. The defining characteristics of this area are the large lots, custom homes, citrus trees, and flood irrigation.

From the street it appears that all of the citrus trees on that land have died. Furthermore, your client is proposing lots significantly smaller than all surrounding neighborhoods. What is it that will maintain the Citrus area's character? Specifically:

1. Will the developer be building fully custom homes?
2. Will there be flood irrigation?
3. Will any of the existing citrus trees remain?
4. If approved, is the site plan final? My concern is that if this rezoning were approved, the developer would then go back and further reduce the lot sizes (down to 15,000 square feet).

Thanks for your time and I look forward to being involved in this process.

Sincerely,

Nicholas Walters



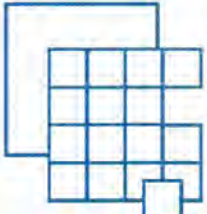
**Legacy Cove - Neighborhood Meeting**  
**9/6/2022 AT 6:30 pm**  
**Ishikawa Elementary School**

**Hosted by:** Sean Lake and Sarah Fitzgerald – Pew & Lake, PLC.

**Summary:** The meeting started at 6:30 pm. Mr. Lake reviewed the PowerPoint presentation and explained the changes that have been made to the proposed development since the previous meeting on June 13, 2023. Mr. Lake reminded the neighbors that we are adhering to the Citrus Sub Area and that these are custom homes, with private roads, and amenities maintained by the HOA.

**Questions:**

1. Several people are concerned about the lot that is full of dead trees.
  - ✓ Sean Lake, my understanding is that they do not have anyone available to farm the trees. The citrus left in this area is not enough to keep the farmers on contract.
  
2. Our subdivision is 40 acres in size, and there are 34 lots. These 21 acres should provide about 17 lots. Our neighbors to the south of this property have 40 names that are proposing the current site plan because of lot size.
  - ✓ The min lot size proposed is approx. ½ acre.
  
3. Will there be an ally or will the lots back up to their wall?
  - ✓ We are willing to work with homeowners affected by irrigation. We are not big on alleys. We are working on ways to not create an alley but work with property owners to put a gate in fence to work around the Lady Hawk neighborhood.
  
4. Adjacent property owners – will there be height restrictions? Will RV Garages be allowed?
  - ✓ The developer is willing to negotiate the building heights, RV garages, setbacks, etc. and restrictions can be applied through the PAD. Proposing a PAD allows for these types of restrictions to be put in place. Strict R-35 zoning would allow much more flexibility than the proposed development utilizing a PAD.
  
5. Why doesn't the developer want to retain R-35 Zoning?
  - ✓ The cost of the land, cost of the infrastructure, and demand for smaller lots are some of the reasons a PAD is proposed.
  
6. The development will have to conform to the Citrus Sub Area
  - ✓ Citrus Area Plan is within the general plan. The zoning for this property overrides the general plan. The City would encourage the Citrus Area Plan, but there is nothing in the zoning that requires citrus area.
  
7. What makes this qualified for a PAD, What is unique? What is exceptional?
  - ✓ The amenities, common area, gated, Citrus along Tree lined streets, High end design, single story, setbacks, are all examples of why this project is exceptional. The developer is willing to negotiate with the neighborhood to ensure that the project complements the surrounding area.



**Pew & Lake, P.L.C.**  
Real Estate and Land Use Attorneys

**W. Ralph Pew**

Certified Real Estate Specialist

**Sean B. Lake**

Reese L. Anderson

August 9, 2023

## NOTICE OF NEIGHBORHOOD MEETING

Dear Neighbor,

Together with our client, E.W. Gardner Family Limited Partnership No. 2, we are pleased to invite you to participate in a follow up neighborhood meeting for the property located at 38<sup>th</sup> Place and McDowell Road, which is on the south side of McDowell between Val Vista Drive and Greenfield Road. Specifically, the request is to Rezone from RS-35 to RS-35 PAD. The proposal is still for a custom lot subdivision.

The Development Team worked directly with the neighbors to address their concerns resulting in reducing the number of lots, increasing the overall lot sizes, and establishing a density of 1.2 dwelling units per acres, consistent with the RS-35 zoning district per the City of Mesa Code. The community will include open space and significant amenities for residents. The proposed project will remain in character with the Citrus area neighborhood.

Our project team has set up a third in-person meeting where we will present the project and provide more information.

**Date:** August 22<sup>nd</sup>, 2023  
**Time:** 6:00 p.m.  
**Location:** Ishikawa Elementary School  
**Media Center**  
2635 N 32<sup>nd</sup> Street, Mesa, 85213

Should you have any questions, please contact me or Sarah Prince in my office by email at [sean.lake@pewandlake.com](mailto:sean.lake@pewandlake.com) or [sarah.prince@pewandlake.com](mailto:sarah.prince@pewandlake.com) or by phone at 480-461-4670. We welcome any comments and feedback on this case and would be happy to discuss it with citizens or groups upon request. All comments shared will be submitted to the City and incorporated into the reports and briefing that will be prepared for the public hearings for this case.

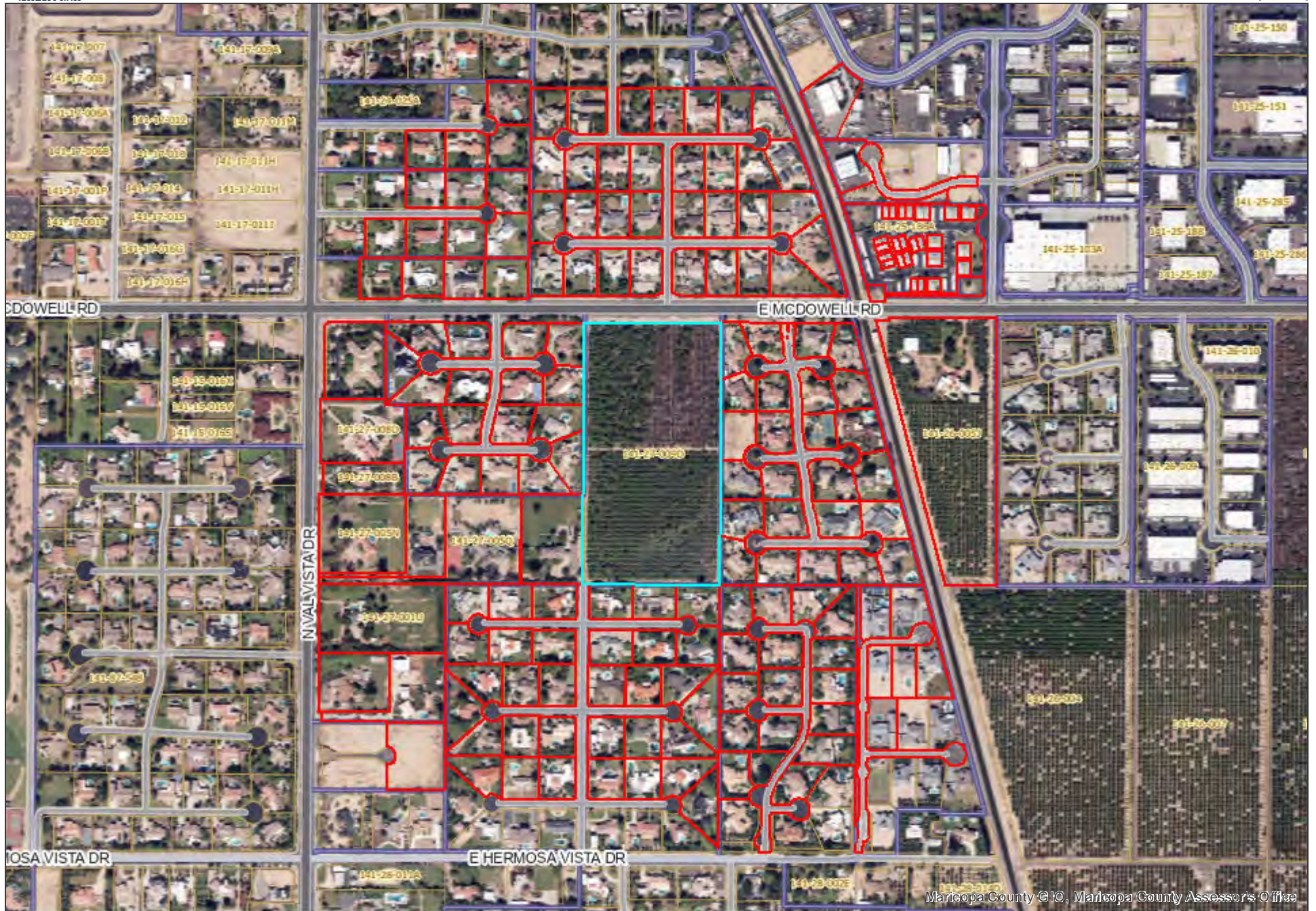
At this time, no public hearings before the City of Mesa have been scheduled. When any meeting date is known, the property will be properly noticed, and anyone who reaches out to us and provides their contact information will also be notified.

Sincerely,

Sean B. Lake  
**PEW & LAKE, PLC**



# 1000' Prop Owner Map





Somerset Estates  
Larry Tyler  
3821 E Palm Cir  
Mesa AZ 85207

Montana Dorada  
4360 E Brown Road Suite 108  
MESA AZ 85205

Hermosa Groves North  
4135 S Power Rd #122  
MESA AZ 85212

Rosewood Estates Community Association  
7255 E HAMPTON AVE SUITE 101  
MESA AZ 85209

Somerset Estates  
42 S. HAMILTON PL. # 101  
GILBERT AZ 85233

Spyglass Estates  
6303 S RURAL RD STE 3  
TEMPE AZ 85283

Villa Tuscano  
2011 N Lemon St  
MESA AZ 85215

Vista Estancia  
42 S. HAMILTON PL #101  
GILBERT AZ 85233

112361 TRUST  
PO BOX 1336  
APACHE JUNCTION, AZ 85117

3854EMINTON LLC  
1955 N VALVISTA DR APT 110  
MESA, AZ 85213

ADAMS BRIAN E  
3740 E NORTHRIDGE CIR  
MESA, AZ 85215

AMARJIT LUTHERA AND HARJEET  
KAUR REVOCABLE TRUST  
2701 N VAL VISTA DR  
MESA, AZ 85213

AMBERWOOD HOMES LLC  
PO BOX 31090  
MESA, AZ 85275

AMERIFIRST FINANCIAL INC  
3921 E MALLORY CIR  
MESA, AZ 85215

ANTHONY MARK S/CHRISTINE M  
3908 E NORA CIR  
MESA, AZ 85215

AUGUSTA INVESTMENTS LLC  
2812 N NORWALK ST  
MESA, AZ 85215

BARRETT ROBERT F/LISA L  
3751 E MINTON PL  
MESA, AZ 85215

BARTRUFF BRYCE KEVIN/STEPHANIE  
LYNN  
2505 N MAPLE  
MESA, AZ 85215

BATTISTA DOMENICO/ZECCA PETER  
JR  
403 WOODFERN RD  
HILLSBOROUGH, NJ 8844

BAWDEN CLYDE LEE/JAYME TR  
2625 N VAL VISTA DR  
MESA, AZ 85213

BEATTIE GLENN A/TINA M  
4037 E MINTON CIR  
MESA, AZ 85215

BEECHER KELLY/JOSHUA  
3924 E MALLORY CIR  
MESA, AZ 85215

BEN AND DANA GOETTER FAMILY  
TRUST  
3843 E MALLORY ST  
MESA, AZ 85215

BERKSTRESSER REVOCABLE TRUST  
3956 E NORA CIR  
MESA, AZ 85215

BIGLER LANE R/MARYLOU M  
3913 E NORCROFT  
MESA, AZ 85215

BINGHAM SCOTT D/KAREN  
D/CAMPBELL CHRISTOPHER P/JAMIE  
2537 N MAPLE  
MESA, AZ 85215

BLEY MICHAEL J/PATRICIA A TR  
3734 E MALLORY  
MESA, AZ 85215

BLUE SKY TRUST  
1366 S 1140 E  
OREM, UT 84097

BOWDEN JORDAN/MEGHAN  
3730 E MENLO ST  
MESA, AZ 85215

BROUGHTON JAMES G/PATTY J TR  
3757 E MALLORY ST  
MESA, AZ 85215

BROWN CHARLES A III/BETTY J  
3661 E NANCE CIR  
MESA, AZ 85215

BRYCE GARY A/BARBARA L TR  
PO BOX 1230  
BLYTHE, CA 922261230

BUDDHAVARAPU-TANKASALA  
LIVING TRUST  
4023 E MINTON CIR  
MESA, AZ 85215

BURKINSHAW VICKY  
3902 E OASIS CIR  
MESA, AZ 85215

CAB LLC  
2704 E GEMINI ST  
GILBERT, AZ 85234

CAMPBELL JEFFREY  
RICHARD/MILLER BRITTANY  
4024 E MINTON CIR  
MESA, AZ 85215

CANDAL SANDRA  
3756 E MALLORY ST  
MESA, AZ 85215

CARANO JOSEPH M  
3844 E MENLO ST  
MESA, AZ 85215



CAROLINE & FRANK DIDEA FAMILY TRUST  
3863 E OMEGA CIR  
MESA, AZ 85215

CJP PROPERTY LLC  
2621 E ODESSA CIR  
MESA, AZ 85213

CLEMONS LIVING TRUST  
2511 N VAL VISTA DR  
MESA, AZ 85213

COMMERCE COURT II AT THE COMMONS PROPERTY OWNERS ASSOCIATION  
2812 N NORWALK STE 105  
MESA, AZ 85215

COMMONS INDUSTRIAL PARK AT FALCON VIEW ASSOC  
2812 N NORWALK 105  
MESA, AZ 85215

COURT AT THE COMMONS PROPERTY OWNERS ASSOC  
2812 N NORWALK 105  
MESA, AZ 85215

COWDEN BRENT/RYAN ANTHONY/DERYK/VISSER DARRELL  
3463 CEDARVILLE RD  
BELLINGHAM, WA 98226

CRISP PATRICK/CAROL TR  
3827 E OMEGA CIR  
MESA, AZ 85215

DANDI VILLAGE PROPERTIES LLC  
3114 S 98TH ST  
MESA, AZ 85212

DANDI VILLAGE PROPERTIES LLC  
3935 E PALM ST  
MESA, AZ 85215

DESAUTELS ROBERT A/DEANNE M  
3918 E OASIS CIR  
MESA, AZ 85215

DON AND SHARLA STOKER FAMILY TRUST  
3707 E OMEGA CIR  
MESA, AZ 85205

DONALD AND BRYNN BURTON TRUST  
3734 E OASIS CIR  
MESA, AZ 85215

DOUGLAS JAMES WALDIE AND KRISTEN ANNE WALDIE REVOCABLE LIVING TRUST  
3828 E OMEGA CIR  
MESA, AZ 85215

DROWN DOUGLAS ROBERT/PAULA ANN TR  
3655 E OMEGA CIR  
MESA, AZ 85215

EMERALD GROVE HOLDING COMPANY LLC  
5360 S 154TH ST  
GILBERT, AZ 85298

ERIC G HUISSH SR AND DIANA L HUISSH TRUST  
3648 E NANCE CIR  
MESA, AZ 85215

ESTATES AT HERMOSA RANCH COMMUNITY ASSOCIATION  
459 N GILBERT RD STE A220  
GILBERT, AZ 85233

EW GARDNER FAMILY LIMITED PARTNERSHIP NO 2  
4301 E MCKELLIPS RD  
MESA, AZ 85215

FABIANI RAYMOND J  
3944 E NORA CIR  
MESA, AZ 85215

FALL BRIAN N/MARI  
3752 E NORTHRIDGE CIR  
MESA, AZ 85215

FIGLER JEFF/LINDA  
PO BOX 958  
POWAY, CA 92074

FITCH JAMES CARL/KAREN ANN  
3913 E OMEGA CIR  
MESA, AZ 85215

FLORES HUBERT/CRISWELL SUSAN  
3850 E MENLO ST  
MESA, AZ 85215

FREEMAN JOHN A/SARAH E  
3948 E NORCROFT CIR  
MESA, AZ 85215

GAMEZ GONZALO/CONCEPTION  
3711 E NORTHRIDGE CIR  
MESA, AZ 85215

GARCIA PAULINO G/ROSA A  
3655 E OASIS CIR  
MESA, AZ 85215

GARDNER QUINTON W/JOY RODGERS  
3848 E MALLORY ST  
MESA, AZ 85215

GIBBONS ALEN/CHRISTINE  
3745 E OMEGA CIR  
MESA, AZ 85215

GMBMK PROPERTIES LLC  
3849 E OASIS CIR  
MESA, AZ 85215

GRACE KEVIN D/TRACY L  
2505 N VAL VISTA DR  
MESA, AZ 85213

GRIMES LIVING TRUST  
3121 E GARY ST  
MESA, AZ 85213

HAVEN LEE DOVE AND CINDY KAY  
DOVE TRUST  
3728 E NORTHRIDGE CIR  
MESA, AZ 85215

HENDERSON FAMILY LIVING TRUST  
3722 E MALLORY ST  
MESA, AZ 85205

HENDRICKS KEITH L/CAROL B  
3865 E OASIS CIR  
MESA, AZ 85215

HENSON BLAKE/KASSANDRA  
3712 E NANCE CIR  
MESA, AZ 85215

HILDEBRANDT FAMILY TRUST  
3931 E OASIS CIR  
MESA, AZ 85215

ISAKSON AARON JON/MARIA ELENA  
3836 E OASIS CIR  
MESA, AZ 85215

JAMES T GODFREY AND ROSALIE S  
GODFREY TRUST  
3735 E OASIS CIR  
MESA, AZ 85215

JEFFREY D TILLERY AND WHITNEY A  
TILLERY TRUST  
3812 E MENLO ST  
MESA, AZ 85215

JENKINS JOHN/YAZARA  
3816 E MINTON PL  
MESA, AZ 85215

JOHN B CALVERT 2020 TRUST  
42550 47TH ST W  
LANCASTER, CA 935364303

JOHN M KILIAN M D LIVING TRUST  
3828 E MALLORY ST  
MESA, AZ 85205

JOSEPH AND LORI COSTELLO FAMILY  
TRUST  
3764 E OASIS CIR  
MESA, AZ 85215

KATHIRAVAN NAGIREDDI/SUGANYA  
3960 E NORCROFT CIR  
MESA, AZ 85215

KINDT STEPHAN/LISA  
2440 N MAPLE ST  
MESA, AZ 85215

LECOMPTE EUGENE  
3711 E MINTON PL  
MESA, AZ 85215

LI ZONGFU/CHEN JIANG  
3710 E NORTHRIDGE CIR  
MESA, AZ 85215

LIQING WEN AND YING MA TRUST  
3909 E NORA CIR  
MESA, AZ 85215

LUNENG DAVID PATRICK/TAMARA  
DAWN  
3848 E OMEGA CIR  
MESA, AZ 85215

M&A HOLDINGS OF WA LLC  
11890 SE BLUFF RD  
SANDY, OR 97055

MARVIN LEE AND ANN RUTH  
GAMERTSFELDER TRUST  
3660 E NANCE CIR  
MESA, AZ 85215

MASON ERIK/RACHEL  
3937 E NORCROFT CIR  
MESA, AZ 85215

MATTHEW 2529 TRUST  
3835 E MINTON PL  
MESA, AZ 85215

MCEWEN STEPHEN  
DALE/BJOLVERUD CHRISTIE LYN  
6113 KOEP AVE  
REGINA, AZ 85215

MCFARLAND FAMILY LIVING TRUST  
3925 E NORCROFT CIR  
MESA, AZ 85215

MCGAVICK SHARON M/SVENSON  
KEITH O  
7850 CHICO WAY NW  
BREMERTON, WA 98312

MCLEAN THOMAS N/JENNIFER L  
3864 E OMEGA CIR  
MESA, AZ 85215

MEAGHER MATTHEW T  
2553 N MAPLE ST  
MESA, AZ 85215

MESA PERIO PROPERTIES LLC  
107 N GREENFIELD RD STE 1  
MESA, AZ 85205

MILLARD JEFFREY CLARK/EMILY  
3727 E OMEGA CIR  
MESA, AZ 85215

MIRITELLO SCOTT/LINDA A  
2575 N VAL VISTA DR  
MESA, AZ 85213

MITCHELL JAMES/BAILEE  
3634 E MCDOWELL RD  
MESA, AZ 85215

MITICH DRAGAN/VERA  
3635 E OMEGA CIR  
MESA, AZ 85215

MONK DAVID J/KARI L TR  
3658 E NORTHRIDGE CR  
MESA, AZ 85215

MORRIS MARY V  
3735 E MALLORY DR  
MESA, AZ 85215

NOC20 LLC  
2812 N NORWALK 111  
Mesa, AZ 85215

NORBERG MICHAEL S/DARCI R  
2521 N MAPLE  
MESA, AZ 85215

NORGREN KERRY M/JOAN M  
1317 E FAIRFIELD ST  
MESA, AZ 85203

NORWALK COMMONS LLC  
3106 E HERMOSA VISTA DR  
MESA, AZ 85213

NORWALK PATRIOTS LLC  
3661 E NANCE CIR  
MESA, AZ 85215

NU SASH INVESTMENTS LLC  
17027 N 45TH ST  
PHOENIX, AZ 85032

OLIN & SARA VANCE FAMILY TRUST  
3912 E NORCROFT CIR  
MESA, AZ 85215

OLSEN FAMILY TRUST  
3656 E OMEGA CIR  
MESA, AZ 85215

ORTIZ RUSSELL R/STACY A  
2601 N VAL VISTA DR  
MESA, AZ 85213

PARDUE DONISHA D/JORDAN  
JERMAINE D  
3944 E MINTON CIR  
MESA, AZ 85215

PEKALA JOHN M/BETH A  
3940 E MENLO CIR  
MESA, AZ 85215

PERRACCHIO LIVING TRUST  
3920 E NORA CIR  
MESA, AZ 85215

PETERSON DAVID TROY/THERESA S  
3728 E OMEGA CIR  
MESA, AZ 85215

PETERSON ROBERT W/BETTE LYN TR  
3921 E NORA CIR  
MESA, AZ 85215

PHPE HOLDINGS LLC  
2812 N NORWALK 114  
MESA, AZ 85215

PITTS JUSTIN E/LESLIE  
3754 E MENLO ST  
MESA, AZ 85215

PRESTON BRADLEY MICHAEL  
3732 E MINTON PL  
MESA, AZ 85215

PRISCAK DAVID S/KRISTIN A  
3914 E OMEGA CIR  
MESA, AZ 852159701

R & C AN FAMILY TRUST  
3949 E NORCROFT CIR  
MESA, AZ 85215

RAMOS RODOLFO/LUDIVINA  
3928 E MINTON CIR  
MESA, AZ 85215

RANCLAND HOLDINGS I LLC  
2812 N NORWALK STE 105  
MESA, AZ 85215

RANDY GEHRTS REVOCABLE LIVING  
TRUST  
4713 E VIRGINIA ST  
MESA, AZ 85215

RAY LLOYD MOSS FAMILY TRUST  
2661 N VAL VISTA DR  
MESA, AZ 85213

REINBOLD WILSON R/CONNIE  
3829 E OASIS CIR  
MESA, AZ 85215

REMINGTON DARREN B/MARGARET J  
3925 E MINTON CIR  
MESA, AZ 85215

REVOCABLE TRUST AGREEMENT OF  
JOSEPH P BORG AND JOANNE K  
BORG  
3733 E MINTON PL  
MESA, AZ 85215

RICHARD AND KELLI SKOUSEN  
REVOCABLE LIVING TRUST  
3708 E OMEGA CIR  
MESA, AZ 85215

RIDDER JOSEPH PATRICK/LYNN  
MARIE  
3750 E MINTON PL  
MESA, AZ 85215

RIVERA JONNIE/LYNNE  
3929 E OMEGA CIR  
MESA, AZ 85215

ROBERT H PERRY AND TERRILYN K  
PERRY TRUST  
3908 E MALLORY CIR  
MESA, AZ 85215

ROBERT L PORTER AND KAREN F  
PORTER REV TRUST  
3847 E OMEGA CIR  
MESA, AZ 85215

ROBINSON DENTEN D  
3830 W MENIO ST  
MESA, AZ 85215

ROGERS NIKE/OROBIYI MICHAEL  
4010 E MINTON CIR  
MESA, AZ 85215

ROME JOHN J/SHELLY A  
3728 E MCDOWELL RD  
MESA, AZ 85215

ROOSEVELT WATER CONS DIST  
PO BOX 100  
HIGLEY, AZ 85236

ROSE FAMILY TRUST  
3813 E OASIS CIR  
MESA, AZ 85215

ROSEWOOD ESTATES COMMUNITY  
ASSOCIATION  
7255 E HAMPTON AVE STE 101  
MESA, AZ 85209

ROY D CRACRAFT SR TRUST  
3751 E NANCE CIR  
MESA, AZ 85215

RYAN PATRICK L/JULIA E  
3834 E MINTON PL  
MESA, AZ 85215

SCHLAPPI FAMILY TRUST  
3911 E NORTHRIDGE CIR  
MESA, AZ 85215

SCHMADERER BRODY/NICOLE  
3811 E OMEGA CIR  
MESA, AZ 85215

SCHMIDT WAYNE E/KAREN A TR  
3748 E OASIS CIR  
MESA, AZ 852159791

SEC FAMILY REVOCABLE TRUST  
3655 E NORTHRIDGE CIR  
MESA, AZ 85215

SHIMEK BRADY/ATHENA  
M/MACHAIN NANCY/HENRY  
3762 E OMEGA CIR  
MESA, AZ 85215

SHORT DAVID E  
3958 E NORTHRIDGE CIR  
MESA, AZ 85215

SHUBERT HARVEY  
LAWRENCE/SHUBERT CATHERENE  
3716 E MALLORY ST  
MESA, AZ 85215

SIGGINS FAMILY LIVING TRUST  
3812 E OMEGA CIR  
MESA, AZ 85215

SLAUGHTER BRIAN W/CYNTHIA E  
3855 E MINTON PL  
MESA, AZ 85215

SMITH BRANDON R/JAMIE T  
1939 E LYNWOOD ST  
MESA, AZ 85203

SOBRADO DANA E ROCKER/MICHAEL  
D  
3650 E MCDOWELL RD  
MESA, AZ 85215

SPEARS JOHN C/PATRICIA A TR  
3842 E MALLORY  
MESA, AZ 85203

SRS FAMILY TRUST  
3729 E NORTHRIDGE CIR  
MESA, AZ 85215

STAMM ROBERT/ANGELA  
3820 E OASIS CIR  
MESA, AZ 85215

STARMAN STEVE  
3723 E MALLORY ST  
MESA, AZ 85215

SUMKO MICHAEL/JENNIFER  
3763 E OASIS CIR  
MESA, AZ 85215

TAYLOR STEVE/KATRINA  
3922 E NORTHRIDGE CIR  
MESA, AZ 85215

TEMCO LLC  
1514 NE 69TH PL  
ANKENY, IA 500218883

TERRELL S AND PATRICIA A REIBER  
FAMILY TRUST  
3829 E MALLORY ST  
MESA, AZ 85215

TETLOW FAMILY REVOCABLE  
LIVING TRUST  
3852 E OASIS CIR  
MESA, AZ 85215

THOMAS & MARIBEL OAKES FAMILY  
TRUST  
3912 E MINTON CIR  
MESA, AZ 85215

TOBLER STEVEN J/MARIE E TR  
3675 E OASIS CIR  
MESA, AZ 85215

UDT SHAWN T FLAHART LIVING  
TRUST  
6112 E RED BIRD RD  
SCOTTSDALE, AZ 85266

VIEWEG DAVID EDWARD  
3729 E NANCE CIR  
MESA, AZ 85215

VISTA ESTANCIA HOMEOWNERS  
ASSOCIATION INC  
1834 E BASELINE RD 102  
TEMPE, AZ 85283

WALTER & MARSHA EGGERS FAMILY  
TRUST  
3747 E OASIS CIR  
MESA, AZ 85215

WALTERS NICHOLAS D/CORINTHIA T  
3747 E OASIS CIR  
MESA, AZ 85215

WARNER JEFFREY/JENNICA  
3961 E NORCROFT CIR  
MESA, AZ 85215

WASSON DANNY/ANGELA  
3815 E MALLORY ST  
MESA, AZ 85215

WATSON JOEL A  
3746 E OMEGA CIR  
MESA, AZ 85215

WHITE DOUGLAS J/ANNE E  
3930 E OMEGA CIR  
MESA, AZ 85215

WICKERSHEIM ROBERT D/SANDRA  
3947 E NORTHRIDGE CIR  
MESA, AZ 85215

WICKERSHEIM ROBERT D/SANDRA  
TR  
3947 E NORTHRIDGE CIR  
MESA, AZ 85215

WILSON FAMILY TRUST  
2455 N MAPLE  
MESA, AZ 85215

WILSON GREGORY ROBERT  
3814 E MALLORY ST  
MESA, AZ 85215

WIRIG TRUST  
3924 E NORCROFT CIR  
MESA, AZ 85215

WOODS AMMON D/BROOKE  
4009 E MINTON CIR  
MESA, AZ 85215

YOST GAYLORD BOB  
1635 N GREENFIELD RD STE 106  
MESA, AZ 85205

YOUSSEF TAREK H/EL-HAKIM  
SHERMEEN F  
3909 E MINTON CIR  
MESA, AZ 85215

ZAHIRI MORTEZA/ZAHIRI-MENDOZA  
TERESA LEE  
2609 N VAL VISTA DR  
MESA, AZ 85203

ZUZUS PEDALS TRUST  
3915 E OASIS CIR  
MESA, AZ 85215



## Neighborhood Meeting Sign-In Sheet

**Applicant:**  
Pew & Lake, PLC/ Reeb / Legacy Cove

**Property Location:**  
Property located at 38<sup>th</sup> Place and McDowell Road, which is on the south side of McDowell  
between Val Vista Drive and Greenfield Road

**Date:**  
August 22, 2023

**Meeting Location:**  
Ishikawa Elem. School Media Center  
(2635 N 32nd St, Mesa, AZ 85213)

**Time:**  
6:00 PM

**Case:**

#	NAME	ADDRESS	ZIP	Email	PHONE
1	PATRICK & Julia Ryan	3834 E MINTON PI		PATRICKLRyan@gmail.com	602-317-4627
2	Brian & Mari Fall	3752 E. Northridge		mari@fallfamily.net	480 235 1779
3	Rachel Mason	3937 E Norcroft Cir		masonfamilyof6@gmail	713-295-1290
4	David & Liz BERKSTRESSER	3956 E. Nora Cr.		David.Berkstresser@Gmail.com	602-284-1296
5	Marshelle Millett	3115 E Palm Street		willettm30@yahoo.com	480 204 6531
6				DAVID.BERKSTRESSER@GMAIL.COM	602-284-1296
7					
8					
9					
10					
11					
12					
13					



## Neighborhood Meeting Sign-In Sheet

**Applicant:**  
Pew & Lake, PLC/ Reeb / Legacy Cove

**Property Location:**  
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**Date:**  
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Ishikawa Elem. School Media Center  
(2635 N 32nd St, Mesa, AZ 85213)

**Time:**  
6:00 PM

**Case:**

#	NAME	ADDRESS	ZIP	Email	PHONE
1	Mark Anthony	3908 ENora Cir, Mesa	85215	christineanthonyhomes@gmail.com	480-200-0972
2	Christine "	"	"	"	"
3	John Jenkins	3896 E Minton pl Mesa	85215	Johnjenkinspa@gmail.com	602-803-9663
4	Yazara Jenkins	3896 E Minton PL Mesa	85215	YazaraJenkinspa@gmail.com	602-350-5400
5					
6					
7					
8					
9					
10					
11					
12					
13					

## Neighborhood Meeting Sign-In Sheet

**Applicant:**  
Pew & Lake, PLC/ Reeb / Legacy Cove

**Property Location:**  
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between Val Vista Drive and Greenfield Road

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August 22, 2023

**Meeting Location:**  
Ishikawa Elem. School Media Center  
(2635 N 32nd St, Mesa, AZ 85213)

**Time:**  
6:00 PM

**Case:**

#	NAME	ADDRESS	ZIP	Email	PHONE
1	Roy & Angelita Fabiani	3944 E. Nora Ct. Mesa	85215	fabiani.painting@me.com	602 432-8365
2	John Freeman	2948 E. Newcomb	85215	AZ.FREEMAN7@gmail.com	480 225-8393
3					
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					

NEIGHBORHOOD MEETING  
6:00 PM - August 22, 2023  
COMMENT CARD

NAME DAVID & LIZ BERKSTRESSER PHONE \_\_\_\_\_

ADDRESS 3956 E NORD CIRCLE MESA 85215

COMMENT: HIRE AN EXTERMINATOR TO TRAP  
THE RATS AND GOPHERS BEFORE YOU GET  
DOWN THESE NUMBERS ONE.

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November 10, 2023

To: Sarah Prince  
Legacy Cove Development

Re: Water Drainage issue in southeast corner of the new/developing  
'Legacy Cove Development / Community'.

We are owners of lot #11 of Rosewood Estates, Lane and MaryLou Bigler, residents in our current home for the past 22 years. At a recent Homeowners Association meeting held this week, an overview of the 'Legacy Cove' development was presented to us by a realtor, Christine Anthony, who is a resident of our "Rosewood Estates" neighborhood. She also distributed to our residents a "**Legacy Cove Conceptual Site Plan**".

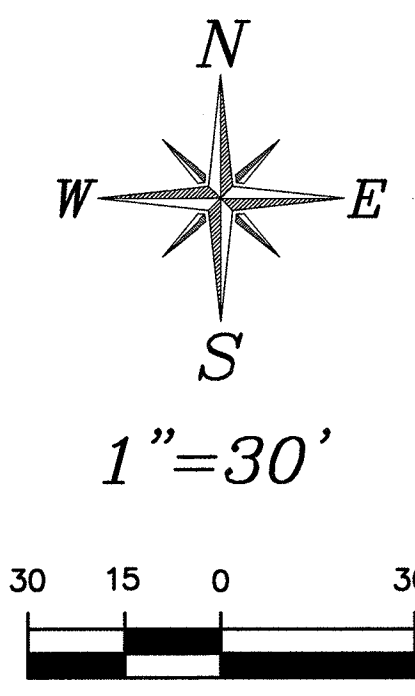
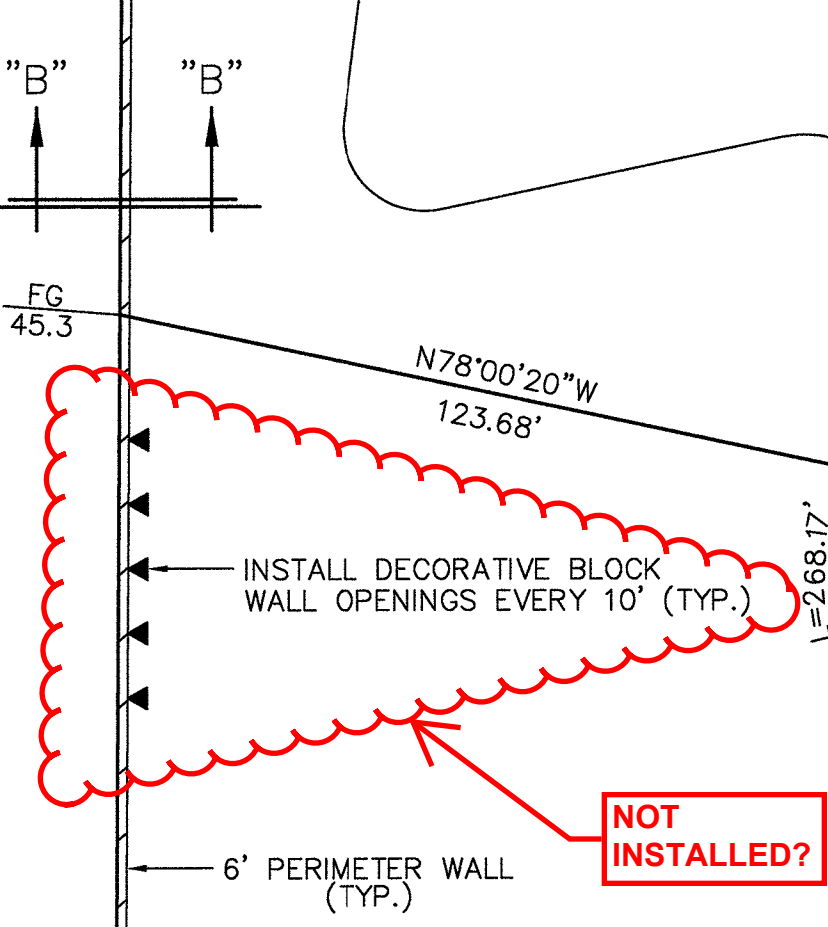
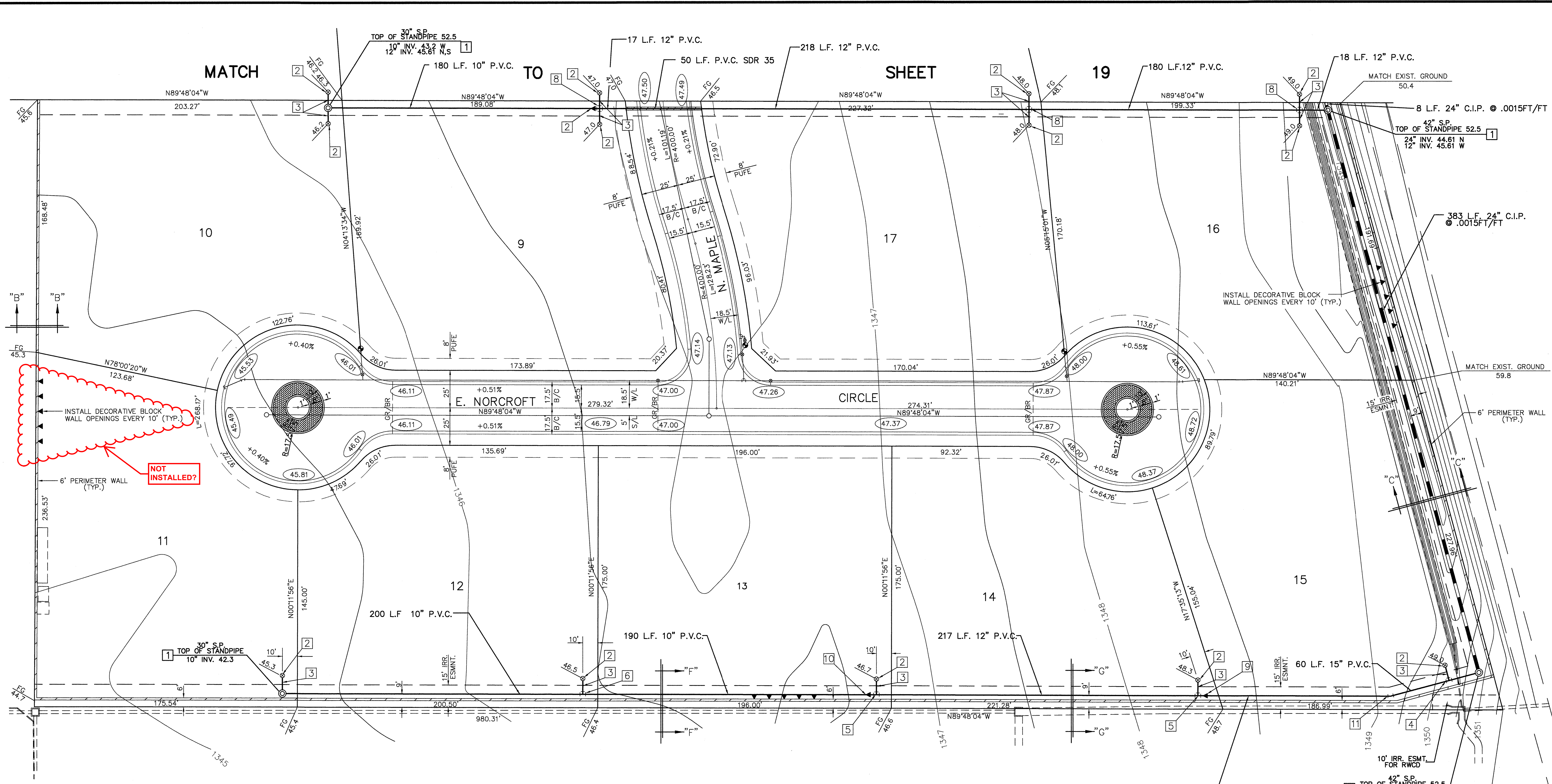
The purpose of this communication is to inform you of a water movement/drainage issue that affects our property and the newly proposed parcels (lots #14 and #15) which will share a back wall with the back of our property. Legal documentation that originated from developers of the Rosewood Estates established a city-approved plan that included multiple perforated cinderblocks situated at the base of our back wall. (Refer to attachment #2) These "open" blocks are placed strategically one per segment of wall (one segment of wall being the cinderblocks that are flanked by a pair of cinderblock-connecting columns). These open or perforated cinderblocks are placed one per segment of wall for the northernmost aspect of our North-South direction wall that will be shared with the owners of lots #14 and #15 of "Legacy Cove".

The purpose of these perforated blocks is to facilitate water movement during the heaviest rain storms. The water flows in a westbound direction through Rosewood Estates. It will be imperative to forward this communication to the planners/developers to take this information into consideration when devising water drainage and "retention" plans for the Legacy Cove community.

Thank you.

Lane and MaryLou Bigler  
Cell: (480) 225-4663  
Email: Biglerazfamily@gmail.com





- LEGEND**
- 46.11 INDICATES BACK OF RIBBON CURB OR GUTTER ELEVATION
  - INDICATES WALL OPENING
  - INDICATES BLOCK WALL
  - INDICATES RETAINING WALL
  - INDICATES EXIST. EDGE OF PVMT.
  - INDICATES TOP OF CURB AND GUTTER ELEVATION

**IRRIGATION CONSTRUCTION NOTES**

- 1 INSTALL IRRIGATION STANDPIPE (MAG. DET. 503)
- 2 INSTALL IRRIGATION CONTROL VALVE (SEE NOTE THIS SHEET)
- 3 INSTALL 10 LF 10" P.V.C.
- 4 INSTALL 15" X 10" TEE
- 5 INSTALL 12" X 10" TEE
- 6 INSTALL 10" X 10" TEE
- 8 INSTALL 12" X 10" CROSS
- 9 INSTALL 15" X 12" REDUCER
- 10 INSTALL 12" X 10" REDUCER
- 11 INSTALL 22 1/2" BEND

**NOTE:**

ALL VALVES TO BE 10" WATERMAN RED TOP OVERFLOW VALVE WITH TYPE 4 FRAME AND "VEE" TYPE THREADS OR APPROVED EQUAL.

SEE DETAIL SHEET 21 FOR LOT RETENTION TABLE

<p><b>Clouse Engineering, Inc.</b> ENGINEERS • SURVEYORS</p> <p>1642 E. Orangewood Ave. • Phoenix, Arizona 85020 • TEL 395-9300 • FAX 395-9310</p>	Revisions 1-19-98 2-17-98 2-26-98 5-7-98	Date 10/29/97 Job No. 970508
	PRIVATE IRRIGATION AND GRADING PLAN FOR <b>ROSEWOOD ESTATES</b>	
MESA	ARIZONA	<b>SH. 18</b> OF 32

Two working days before you dig  
 CALL FOR THE BLUE STAKES  
 263-1100  
 Blue Stake Center  
 CALL COLLECT

CLOUSE ENGINEERING, INC., SHALL NOT BE LIABLE FOR ANY PORTION OF WORK NOT CONFORMING TO APPROVED PLANS SHOULD THEIR STAKES BE FOUND MISSING OR DISTURBED.



November 17, 2023

To: Sarah Prince  
Legacy Cove Development

Re: Follow-up communication.  
Water Drainage issue in southeast corner of the new/developing  
'Legacy Cove Development / Community'.

Thank you for your prompt response to our email. We felt that this was important for the following two reasons:

1st, this will ensure a level of transparency that your potential purchasers will appreciate. The purchasers will also need to be made aware that these perforated cinder blocks are to remain open and not to be blocked in any way or at any time by the new lot owners or the developers.

2nd, we believe that this information should be implemented in your overall drainage plans for the entire neighborhood, (ensure that there is a direct pipeline from the shared wall of which we have spoken draining directly to your retention basin). This would allow the developer to make certain that the drainage responsibility is shared among all future homeowners of the development rather than having the owners of one or two lots bear the bulk of that responsibility. Also, the drainage into your retention basin is imperative to be engineered on your part to eliminate any possibility that water drainage from your developing neighborhood will proceed in an eastbound direction and NOT flow back into our property from your community.

Thank you for your attention to this important information.

Lane and MaryLou Bigler  
Cell: (480) 225-4663  
Email: Biglerazfamily@gmail.com

**From:** [Lane Bigler](#)  
**To:** [Sarah Prince](#)  
**Subject:** Re: Important Document from Rosewood Estates  
**Date:** Monday, November 27, 2023 1:04:51 PM

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Sarah,  
Thank you for your thoughtful and detailed response.  
Lane and MaryLou

On Mon, Nov 27, 2023 at 10:14 AM Sarah Prince <[sarah.prince@pewandlake.com](mailto:sarah.prince@pewandlake.com)> wrote:

Hello Lane & MaryLou,

I hope you had a wonderful Thanksgiving weekend. Thank you for sending over this information, we appreciate it.

I have provided our engineers with all the information you sent over, they are reviewing and working on this. The drainage details are still in the preliminary stages, but we will continue to work on this and the specifics will be completed further in the process. I will reach out if we have any questions and I will provide you with any updates when they are available.

Please let me know if there is anything else I can do to help.

Best,

**Sarah Prince**

Land Use Planner & Project Manager

**Phone** 480-461-4670 **Mobile** 480-586-8315

1744 South Val Vista Drive, Suite 217

Mesa, Arizona 85204

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**From:** Lane Bigler <[biglerazfamily@gmail.com](mailto:biglerazfamily@gmail.com)>  
**Sent:** Friday, November 17, 2023 12:38 PM  
**To:** Sarah Prince <[sarah.prince@pewandlake.com](mailto:sarah.prince@pewandlake.com)>  
**Subject:** Re: Important Document from Rosewood Estates



Sarah,

Thank you for your response to our email and two attachments of November 10, 2023.

Attached, please find additional information that is extremely important for the developer of Legacy Cove.

Thank you,

Lane and MaryLou Bigler

On Mon, Nov 13, 2023 at 3:45 PM Sarah Prince <[sarah.prince@pewandlake.com](mailto:sarah.prince@pewandlake.com)> wrote:

Lane,

Thank you for reaching out and providing us with this important information. I have sent this information to the developer, and I will reach out when I have more information for you.

Thanks,

**Sarah Prince**

Land Use Planner & Project Manager

**Phone** 480-461-4670 **Mobile** 480-586-8315

1744 South Val Vista Drive, Suite 217

Mesa, Arizona 85204

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**From:** Lane Bigler <[biglerazfamily@gmail.com](mailto:biglerazfamily@gmail.com)>  
**Sent:** Friday, November 10, 2023 1:35 PM  
**To:** Sarah Prince <[sarah.prince@pewandlake.com](mailto:sarah.prince@pewandlake.com)>  
**Subject:** Important Document from Rosewood Estates

November 10, 2023

To: Sarah Prince

Legacy Cove Development

Re: Water Drainage issue in southeast corner of the new/developing

'Legacy Cove Development / Community'

Please refer to the two attachments that include important information for the developers of "Legacy Cove" Community.

Thank You,

Lane and MaryLou Bigler

Rosewood Estates

Cell: 480-225-4663

Email: [biglerazfamily@gmail.com](mailto:biglerazfamily@gmail.com)

**Jardinero Neighborhood Meeting**  
**August 22, 2023**  
**Ishikawa Elementary School, 6:00 PM**

**Hosted by:** Sean Lake and Sarah Prince – Pew & Lake, PLC

**Summary:** The meeting started at 6:08 pm when all neighbors had an opportunity to sign in. Mr. Lake reviewed the proposed site plan and changes since the previous meeting. The changes included a reduction of density, lot alignment, increase in lot size, an update on the status of the existing trees on the lot (the City required all trees to be removed), and the rezoning request change from R1-15 PAD to R1-35 PAD.

**Questions:**

1. How will the developer mitigate the rodents while the trees are being removed?
  - ✓ The developer is open to suggestions on mitigation.
  
2. What influence can we have on the R1-35 PAD standards?
  - ✓ The developer is open to working with the neighbors to establish setbacks, building heights, accessory buildings, etc. The PAD will allow the neighbors and the developer an opportunity to create restrictions that will benefit the community.
  
3. The pool in the amenity area does not seem to fit the community.
  - ✓ The developer is happy to provide amenities that better fit the community. The amenities provided are still undecided, but a shared amenity area will be provided.
  
4. The wall along the south side is damaged, will the developer replace this wall?
  - ✓ The development will be required to provide a perimeter wall and will work with the neighbors along the south to repair or replace the existing wall.
  
5. Can you put a timeframe on the lot development?
  - ✓ We can discuss including timeframes of lot development in the CC&R's with the developer.
  
6. Do you have an idea on home prices?
  - ✓ In the current market custom homes are approximately \$300 per SF and lots of this size are approximately \$400,000 in the current market. These will be high-end custom homes with complementary values to the existing neighborhoods.

**Conclusion:** Overall, the neighborhoods were happy with the changes since this community was originally proposed. The neighbors agreed to a neighborhood representative, Mr. Patrick Ryan, who would work directly with Mr. Lake to establish stipulations and development standards.

# CITIZEN PARTICIPATION REPORT

## JARDINERO

### McDOWELL AND 38<sup>TH</sup>

#### Purpose:

The purpose of this Citizen Participation Report is to provide the City of Mesa staff with information regarding the efforts made by the applicant to inform citizens and property owners in the vicinity concerning the applicant's requests to the City of Mesa for a Rezoning and Site Plan Review. These requests are for the proposed office development on the approximately 19.6 acres located at 38<sup>th</sup> Street and McDowell Road, which is east of Val Vista Drive and west of Greenfield Road and on the south side of McDowell. The Property is further identified on the Maricopa County Assessor's Map as parcel number 141-27-009D.

By providing opportunities for citizen participation, the applicant ensured that those affected by this application have had an adequate opportunity to learn about and comment on the proposed plan. The applicant provided neighborhood notice for three neighborhood meetings and for the public hearings.

#### Contact Information:

Those coordinating the Citizen Participation activities are listed as follows:

**Sean B. Lake**

Pew & Lake, P.L.C.  
1744 S. Val Vista Drive, Ste. 217  
Mesa, Arizona 85204  
(480) 461-4670 (office)  
(480) 461-4676 (fax)  
[Sean.Lake@pewandlake.com](mailto:Sean.Lake@pewandlake.com)

**Sarah Prince**

Pew & Lake, P.L.C.  
1744 S. Val Vista Drive, Ste. 217  
Mesa, Arizona 85204  
(480) 461-4670 (office)  
(480) 461-4676 (fax)  
[sarah.prince@pewandlake.com](mailto:sarah.prince@pewandlake.com)

#### Action Plan:

To provide effective citizen participation in conjunction with this application, the following actions were taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have relating to the proposed development:

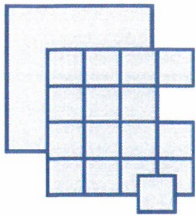
1. A contact list has been developed for citizens and agencies in this area including:
  - a. All property owners within 1000+ feet from parent parcel, but may include more;
  - b. Registered neighborhood associations within 1 mile of the subject property and Homeowners Associations within 1/2 mile of the project (lists provided by the City).
2. Three neighborhood meetings were held by the applicant to provide the opportunity for members of the public to discuss the proposed project. An attendance/participation list and a summary of the meeting has been submitted to the City.



3. The notification list for the neighborhood meeting will include the above-referenced contact list of all property owners within 1000+ ft. of the subject property, HOAs within 1/2 mile, and neighborhood associations within 1 mile (The HOAs and registered neighborhood contact lists provided by the City of Mesa). A copy of the notification letter for the neighborhood meeting and contact list is attached to this Plan.
4. Those who provided contact information to the applicant were added to the public hearing notification list. A meeting summary and outline of the comments and issues provided to the applicant has been submitted to the City Staff along with this Citizen Participation Report for this case.
5. For public hearing notice, applicant complied with City requirements, which requires posting a minimum of one (1) 4' x 4' sign(s) on the property. If additional signs are needed, the number of signs will be coordinated with Planning Staff. The sign(s) will be placed on the property on or before the Wednesday two weeks prior to the Planning & Zoning Board meeting in accordance with City requirements. A notarized document with attached photograph of the sign(s) are included with this Citizen Participation Report. **Proposed**

**Schedule:**

Pre-Submittal	June 29, 2021
Formal Submittal to City	June 20, 2022
Neighborhood Meeting	June 13, 2022
Follow up Neighborhood Meeting	September 6, 2022
Follow up Neighborhood Meeting	August 22, 2023
Planning & Zoning Public Hearing	September 11, 2024



**Pew & Lake, P.L.C.**  
Real Estate and Land Use Attorneys

**W. Ralph Pew**  
Certified Real Estate Specialist  
**Sean B. Lake**  
Reese L. Anderson

May 31, 2022

## NOTICE OF NEIGHBORHOOD MEETING

Dear Neighbor,

Together with our client, E.W. Gardner Family Limited Partnership No. 2, we are pleased to provide notice of a zoning application and citizen participation opportunities regarding the approximately 20.06-acre property located at 38<sup>th</sup> Place and McDowell Road, which is on the south side of McDowell between Val Vista Drive and Greenfield Road. Specifically, the request is to Rezone from RS-35 to RS-15 PAD with an average lot size 20,000 square feet and a Plat Approval to allow for a custom lot subdivision. The community will include open space and amenities for residents. The proposed project will remain in character with the Citrus area neighborhood and complement the existing architectural and landscape qualities.

Our project team has set up an in-person meeting where we will present the project and provide more information.

**Date:** June 13, 2022

**Time:** 6:30 p.m.

**Location:** Bush Elementary School  
Multi-Purpose Room  
4925 E Ingram St, Mesa, 85205

Should you have any questions, please contact me or Sarah Fitzgerald in my office by email at [sean.lake@pewandlake.com](mailto:sean.lake@pewandlake.com) or [sarah.fitzgerald@pewandlake.com](mailto:sarah.fitzgerald@pewandlake.com) or by phone at 480-461-4670. We welcome any comments and feedback on this case and would be happy to discuss it with citizens or groups upon request. All comments shared will be submitted to the City and incorporated into the reports and briefing that will be prepared for the public hearings for this case.

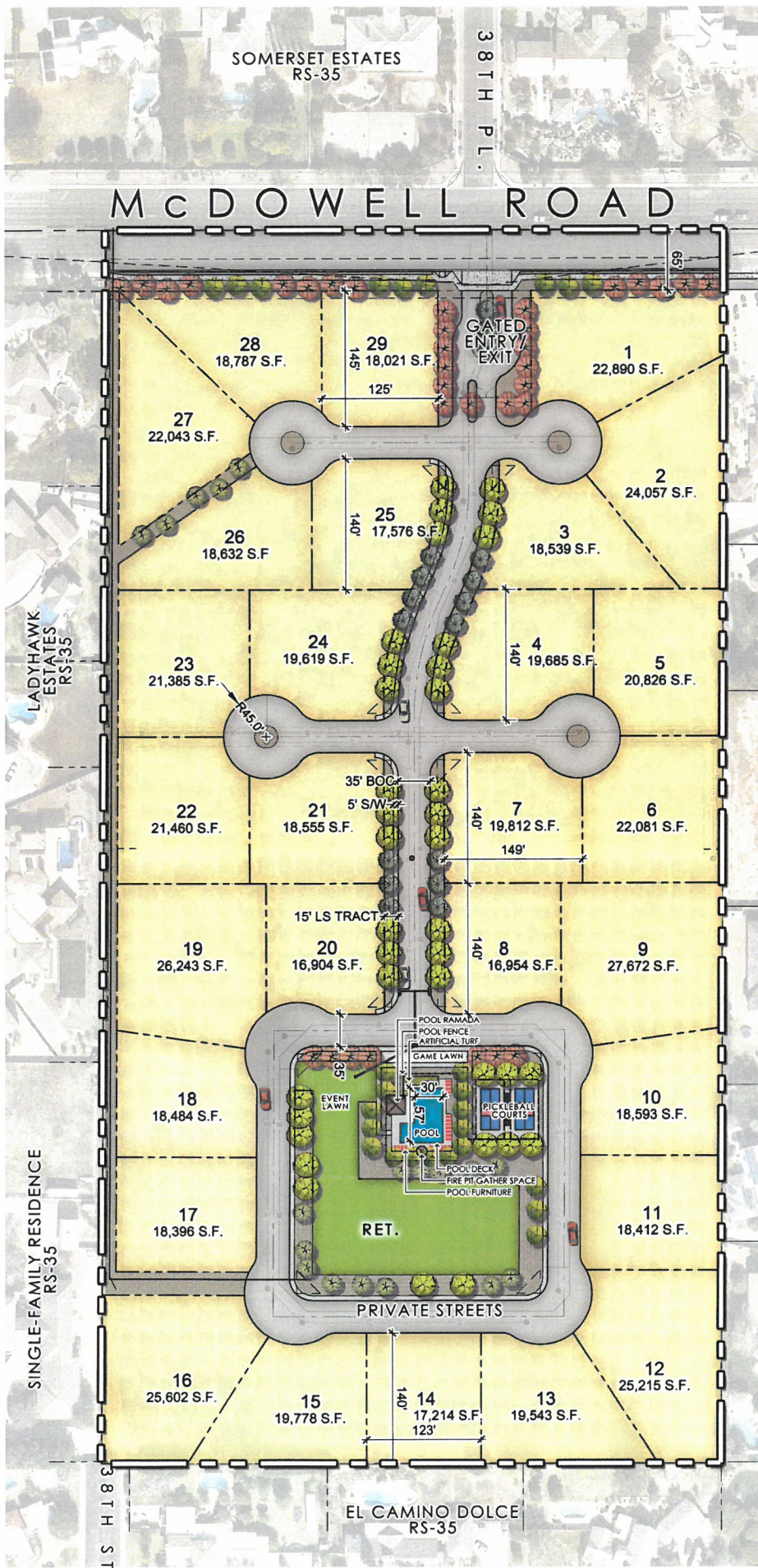
At this time, no public hearings before the City of Mesa have been scheduled. When any meeting date is known, the property will be properly noticed, and anyone who reaches out to us and provides their contact information will also be notified.

Sincerely,

Sean B. Lake  
**PEW & LAKE, PLC**

**Enclosures**

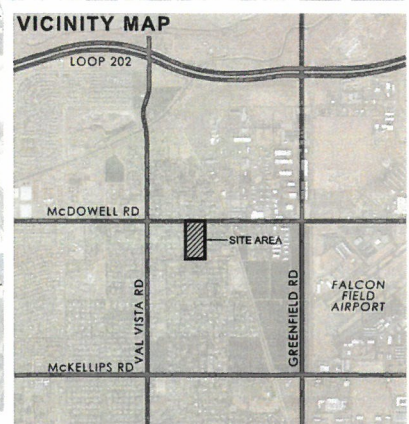
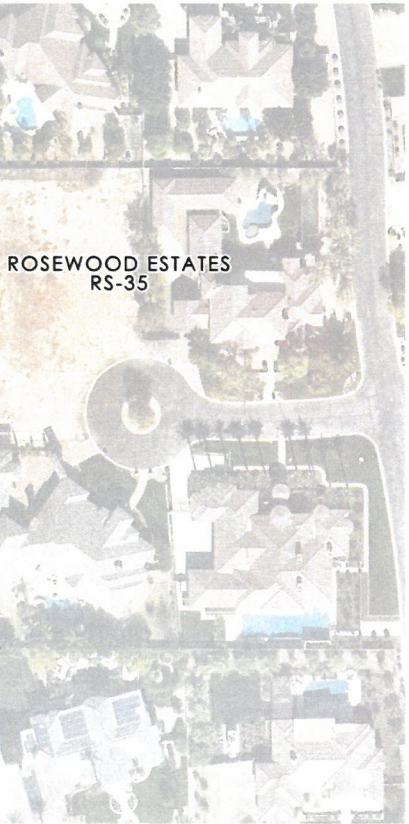




SITE PLAN SUMMARY		
EXISTING ZONING	RS-35	
PROPOSED ZONING	RS-15	
TOTAL GROSS AREA	± 19.06 ac.	
TOTAL NET AREA	± 19.06 ac.	
DENSITY (du./ac.)	1.52	
OPEN SPACE	± 2.50 ac.	13%
UNIT TYPE	UNIT COUNT	MIX
110' x 120' MIN. LOT	29	100%
<b>TOTAL</b>	<b>29</b>	<b>100%</b>

NOTE: THIS YIELD STUDY IS FOR CONCEPTUAL PURPOSES ONLY AND REQUIRES DETAILED SITE PLANNING, ENGINEERING, AND CITY APPROVALS. ACREAGE IS ESTIMATED.

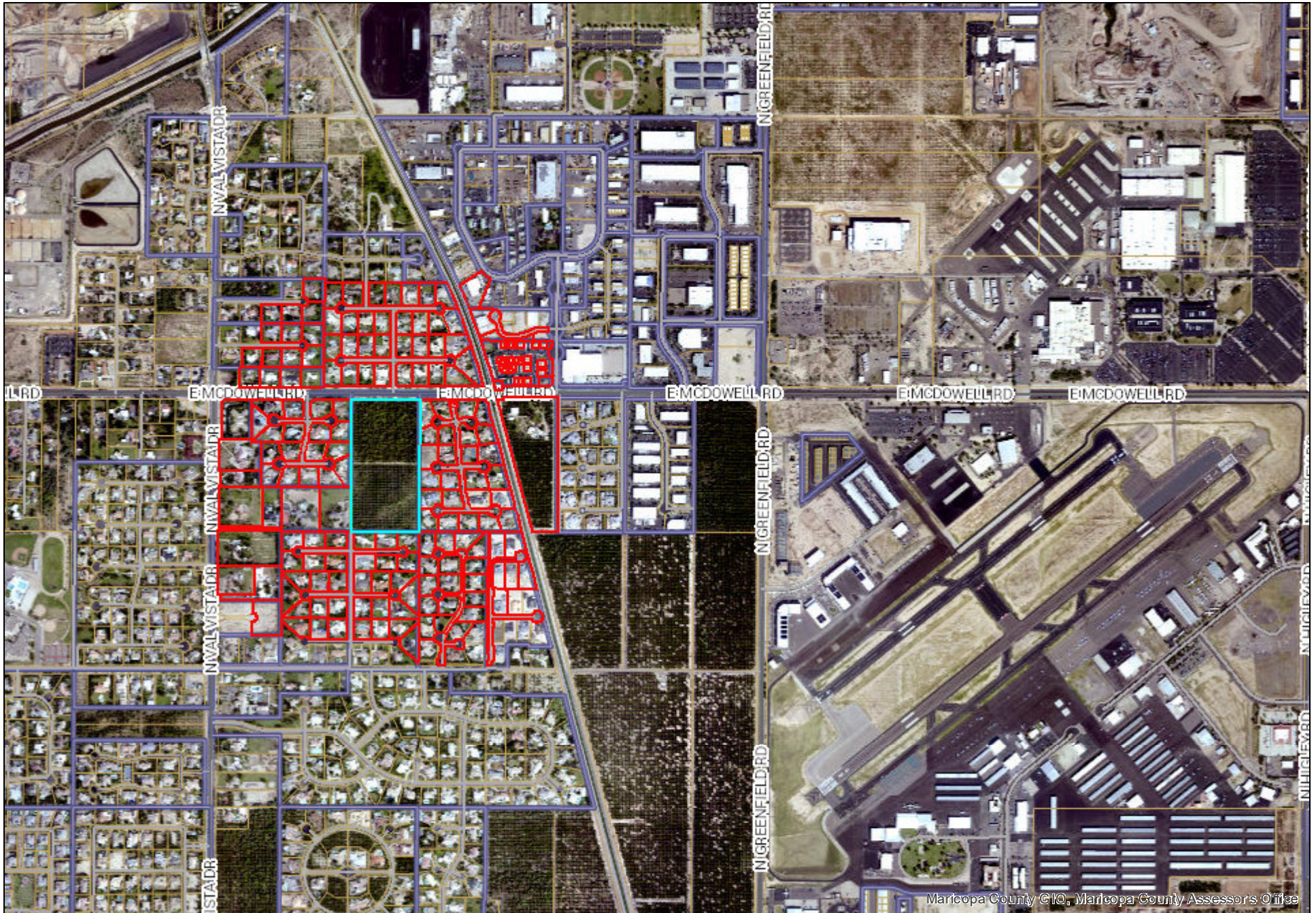
LOT SIZE SUMMARY					
LOT #	LOT AREA	10	18,593 s.f.	20	16,904 s.f.
1	22,890 s.f.	11	18,412 s.f.	21	18,555 s.f.
2	24,057 s.f.	12	25,215 s.f.	22	21,460 s.f.
3	18,539 s.f.	13	19,543 s.f.	23	21,385 s.f.
4	19,685 s.f.	14	17,214 s.f.	24	19,619 s.f.
5	20,826 s.f.	15	19,778 s.f.	25	17,576 s.f.
6	22,081 s.f.	16	25,602 s.f.	26	18,632 s.f.
7	19,812 s.f.	17	18,396 s.f.	27	22,043 s.f.
8	16,954 s.f.	18	18,484 s.f.	28	18,787 s.f.
9	27,672 s.f.	19	26,243 s.f.	29	18,021 s.f.







# 1000' Prop Owner Map





Owner	MAIL_ADDR1	MAIL_CITY	MAIL_MAIL_ZIP
112361 TRUST	PO BOX 1336	APACHE JUNCTION	AZ 85117
3854EMINTON LLC	2336 N VAL VISTA DR	MESA	AZ 85213
AMBERWOOD HOMES LLC	PO BOX 31090	MESA	AZ 85275
AMERIFIRST FINANCIAL INC	2222 N VAL VISTA DR UNIT 14	MESA	AZ 85213
AN RAY/CHANTHA	3949 E NORCROFT CIR	MESA	AZ 85215
ANTHONY MARK S/CHRISTINE M	3908 E NORA CIR	MESA	AZ 85215
AUGUSTA INVESTMENTS LLC	2812 N NORWALK ST	MESA	AZ 85215
BARRETT ROBERT F/LISA L	3751 E MINTON PL	MESA	AZ 85215
BARTRUFF BRYCE KEVIN/STEPHANIE LYNN	2505 N MAPLE	MESA	AZ 85215
BATCHELOR LAWRENCE/CANDAL SANDRA	3756 E MALLORY ST	MESA	AZ 85215
BATTISTA DOMENICO/ZECCA PETER JR	403 WOODFERN RD	HILLSBOROUGH	NJ 8844
BAWDEN CLYDE LEE/JAYME TR	2625 N VAL VISTA DR	MESA	AZ 85213
BEATTIE GLENN A/TINA M	4037 E MINTON CIR	MESA	AZ 85215
BEECHER KELLY/JOSHUA	3924 E MALLORY CIR	MESA	AZ 85215
BEN AND DANA GOETTER FAMILY TRUST	3843 E MALLORY ST	MESA	AZ 85215
BERKSTRESSER FAMILY REVOCABLE TRUST	3956 E NORA CIR	MESA	AZ 85215
BIGLER LANE R/MARYLOU M	3913 E NORCROFT	MESA	AZ 85215
BINGHAM SCOTT D/KAREN D/CAMPBELL JAMIE ETAL	2537 N MAPLE	MESA	AZ 85215-1720
BLEY MICHAEL J/PATRICIA A TR	3734 E MALLORY	MESA	AZ 85215
BLUE SKY TRUST	1366 S 1140 E	OREM	UT 84097
BOWDEN JORDAN/MEGHAN	3730 E MENLO ST	MESA	AZ 85215
BROUGHTON JAMES G/PATTY J TR	3757 E MALLORY ST	MESA	AZ 85215
BROWN CHARLES A III/BETTY J	3661 E NANCE CIR	MESA	AZ 85215
BRYCE GARY A/BARBARA L TR	PO BOX 1230	BLYTHE	CA 92226-1230
BUDDHAVARAPU VENKATA SRIHARI/TANKASALA SAHITYA MOORTHY	4023 E MINTON CIR	MESA	AZ 85215
BURKINSHAW VICKY	3902 E OASIS CIR	MESA	AZ 85215
CAB LLC	2704 E GEMINI ST	GILBERT	AZ 85234
CAMPBELL JEFFREY RICHARD/MILLER BRITTANY	4024 E MINTON CIR	MESA	AZ 85215
CARANO JOSEPH M	3844 E MENLO ST	MESA	AZ 85215
CAROLINE & FRANK DIDEA FAMILY TRUST	3863 E OMEGA CIR	MESA	AZ 85215
CJP PROPERTY LLC	2621 E ODESSA CIR	MESA	AZ 85213
CLEMONS LIVING TRUST	2511 N VAL VISTA DR	MESA	AZ 85213
COMMERCE COURT II AT THE COMMONS PROPERTY OWNERS ASSOCIATIO	2812 N NORWALK STE 105	MESA	AZ 85215



COMMONS INDUSTRIAL PARK AT FALCON VIEW ASSOC	2812 N NORWALK 105	MESA	AZ	85215
COURT AT THE COMMONS PROPERTY OWNERS ASSOC	2812 N NORWALK 105	MESA	AZ	85215
COWDEN BRENT/RYAN ANTHONY/DERYK/VISSER DARRELL	3463 CEDARVILLE RD	BELLINGHAM	WA	98226
CRACRAFT ROY D	3751 E NANCE CIR	MESA	AZ	85215
CRISP PATRICK/CAROL TR	3827 E OMEGA CIR	MESA	AZ	85215
CRITTENDEN MARK J	2553 N MAPLE	MESA	AZ	85215
DANDI VILLAGE PROPERTIES LLC	3114 S 98TH ST	MESA	AZ	85212
DANDI VILLAGE PROPERTIES LLC	3935 E PALM ST	MESA	AZ	85215
DESAUTELS ROBERT A/DEANNE M	3918 E OASIS CIR	MESA	AZ	85215
DON AND SHARLA STOKER FAMILY TRUST	3707 E OMEGA CIR	MESA	AZ	85205
DONALD AND BRYNN BURTON TRUST	3734 E OASIS CIR	MESA	AZ	85215
DOUGLAS JAMES WALDIE AND KRISTEN ANNE WALDIE REVOCABLE LIVING	3828 E OMEGA CIR	MESA	AZ	85215
DROWN DOUGLAS ROBERT/PAULA ANN TR	3655 E OMEGA CIR	MESA	AZ	85215
EASTERWOOD REVOCABLE TRUST	3656 E OMEGA CIR	MESA	AZ	85215
EMERALD GROVE HOLDING COMPANY LLC	5360 S 154TH ST	GILBERT	AZ	85298
ERIC G HUISH SR AND DIANA L HUISH TRUST	3450 N ARABELLA	MESA	AZ	85215
ESTATES AT HERMOSA RANCH COMMUNITY ASSOCIATION	3321 E BASELINE RD	GILBERT	AZ	85234
EW GARDNER FAMILY LIMITED PARTNERSHIP NO 2	4301 E MCKELLIPS RD	MESA	AZ	85215
FABIANI RAYMOND J	3944 E NORA CIR	MESA	AZ	85215
FADEL JOSHUA E/THERESA K	3745 E OMEGA CIR	MESA	AZ	85215
FALL BRIAN N/MARI	3752 E NORTHRIDGE CIR	MESA	AZ	85215
FIGLER JEFF/LINDA	PO BOX 958	POWAY	CA	92074
FITCH JAMES CARL/KAREN ANN	3913 E OMEGA CIR	MESA	AZ	85215
FREEMAN JOHN A/SARAH E	3948 E NORCROFT CIR	MESA	AZ	85215
GAMEZ GONZALO/CONCEPTION	2025 E JUANITA AVE	MESA	AZ	85204
GARCIA PAULINO G/ROSA A	3655 E OASIS CIR	MESA	AZ	85215
GARDNER QUINTON W/JOY RODGERS	3848 E MALLORY ST	MESA	AZ	85215
GOLONKA MICHAEL WALTER ESTATE OF	4608 W BUFFALO ST	CHANDLER	AZ	85226
GRACE KEVIN D/TRACY L	2505 N VAL VISTA DR	MESA	AZ	85213
GRIMES LIVING TRUST	3121 E GARY ST	MESA	AZ	85213
HARRIS RACHELLE	1330 N 104TH PL	MESA	AZ	85207
HAVEN LEE DOVE AND CINDY KAY DOVE TRUST	3728 E NORTHRIDGE CIR	MESA	AZ	85215
HENDERSON FAMILY LIVING TRUST	3722 E MALLORY ST	MESA	AZ	85205
HENDRICKS KEITH L/CAROL B	3865 E OASIS CIR	MESA	AZ	85215

HENSON BLAKE/KASSANDRA	3712 E NANCE CIR	MESA	AZ	85215
HILDEBRANDT FAMILY TRUST	3931 E OASIS CIR	MESA	AZ	85215
ISAKSON AARON JON/TORREZ MARIA ELENA	3836 E OASIS CIR	MESA	AZ	85215
JAMES T GODFREY AND ROSALIE S GODFREY TRUST	3735 E OASIS CIR	MESA	AZ	85215
Pardue Donisha	3944 N MINTON CIR	MESA	AZ	85215
JEFFREY D TILLERY AND WHITNEY A TILLERY TRUST	3812 E MENLO STREET	MESA	AZ	85215
JENKINS JOHN/YAZARA	3816 E MINTON PL	MESA	AZ	85215
JOHN B CALVERT 2020 TRUST	42550 47TH ST W	LANCASTER	CA	93536-4301
JOHN M KILIAN M D LIVING TRUST	3828 E MALLORY ST	MESA	AZ	85205
JOSEPH AND LORI COSTELLO FAMILY TRUST	3764 E OASIS CIR	MESA	AZ	85215
KINDT STEPHAN/LISA	2440 N MAPLE ST	MESA	AZ	85215
KUBAS CHANDLER	3031 121ST AVE SW	DICKINSON	ND	58601
LECOMPTE EUGENE	3711 E MINTON PL	MESA	AZ	85215
LI ZONGFU/CHEN JIANG	3710 E NORTHRIDGE CIR	MESA	AZ	85215
LIQING WEN AND YING MA TRUST	3909 E NORA CIR	MESA	AZ	85215
LUNENG DAVID PATRICK/TAMARA DAWN	3848 E OMEGA CIR	MESA	AZ	85215
LUTHERA AMARJIT S/HARJEET K/LUTHERA J	2701 N VAL VISTA DR	MESA	AZ	85213
LYNN AUSTIN ADAMS AND JULIA LYNN ADAMS TRUST	3811 E OMEGA CIR	MESA	AZ	85215
MARVIN LEE AND ANN RUTH GAMERTSFELDER TRUST	3660 E NANCE CIR	MESA	AZ	85215
MASON ERIK/RACHEL	3937 E NORCROFT CIR	MESA	AZ	85215
MATTHEW 2529 TRUST	3835 E MINTON PL	MESA	AZ	85215
MBK FAMILY TRUST	3849 E OASIS CIR	MESA	AZ	85215
MCFARLAND FAMILY LIVING TRUST	3925 E NORCROFT CIR	MESA	AZ	85215
MCGAVICK SHARON M/SVENSON KEITH O	7850 CHICO WAY NW	BREMERTON	WA	98312
MCGEHEE DANIEL T/MARY K	3915 E OASIS CIR	MESA	AZ	85215
MCLEAN THOMAS N/JENNIFER L	3864 E OMEGA CIR	MESA	AZ	85215
MESA PERIO PROPERTIES LLC	107 N GREENFIELD RD STE 1	MESA	AZ	85205
MILLARD JEFFREY CLARK/EMILY	3727 E OMEGA CIR	MESA	AZ	85215
MIRITELLO SCOTT/LINDA A	2575 N VAL VISTA DR	MESA	AZ	85213
MITCHELL JAMES/BAILEE	3634 E MCDOWELL RD	MESA	AZ	85215
MITICH DRAGAN/VERA	3635 E OMEGA CIR	MESA	AZ	85215
MONK DAVID J/KARI L TR	3658 E NORTHRIDGE CR	MESA	AZ	85215
MORRIS MARY V	3735 E MALLORY DR	MESA	AZ	85215
NOC20 LLC	22340 YELLOW GATE LN NE UNIT N	AURORA	OR	97002-8431

NORBERG MICHAEL S/DARCI R	2521 N MAPLE	MESA	AZ	85215
NORGREN KERRY M/JOAN M	1317 E FAIRFIELD ST	MESA	AZ	85203
NORWALK COMMONS LLC	3106 E HERMOSA VISTA DR	MESA	AZ	85213
NORWALK PATRIOTS LLC	3661 E NANCE CIRCLE	MESA	AZ	85215
NU SASH INVESTMENTS LLC	17027 N 45TH ST	PHOENIX	AZ	85032
OLIN & SARA VANCE FAMILY TRUST	3912 E NORCROFT CIR	MESA	AZ	85215
ORTIZ RUSSELL R/STACY A	2601 N VAL VISTA DR	MESA	AZ	85213
PEKALA JOHN M/BETH A	3940 E MENLO CIR	MESA	AZ	85215
PERRACCHIO LIVING TRUST	3920 E NORA CIR	MESA	AZ	85215
PETERSON DAVID TROY/THERESA S	3728 E OMEGA CIR	MESA	AZ	85215
PETERSON ROBERT W/BETTE LYN TR	3921 E NORA CIR	MESA	AZ	85215
PHPE HOLDINGS LLC	8641 E KAEL CIR	MESA	AZ	85207
PITTS JUSTIN E/LESLIE	3754 E MENLO ST	MESA	AZ	85215
PRESTON BRADLEY MICHAEL	3732 E MINTON PL	MESA	AZ	85215
PRISCAK DAVID S/KRISTIN A	3914 E OMEGA CIR	MESA	AZ	85215-970:
RAMOS RODOLFO/LUDIVINA	3928 E MINTON CIR	MESA	AZ	85215
RANCHLAND HOLDINGS I LLC	2812 N NORWALK STE 105	MESA	AZ	85215
RANDY GEHRTS REVOCABLE LIVING TRUST	9825 E IDAHO AVE	MESA	AZ	85209
RAY LLOYD MOSS FAMILY TRUST	2661 N VAL VISTA DR	MESA	AZ	85213
REINBOLD WILSON R/CONNIE	3829 E OASIS CIR	MESA	AZ	85215
REMYNGTON DARREN B/MARGARET J	3925 E MINTON CIR	MESA	AZ	85215
REVOCABLE TRUST AGREEMENT OF JOSEPH P BORG AND JOANNE K BORG	3733 E MINTON PL	MESA	AZ	85215
RICHARD AND KELLI SKOUSEN REVOCABLE LIVING TRUST	3708 E OMEGA CIR	MESA	AZ	85215
RIDDER JOSEPH PATRICK/LYNN MARIE	3750 E MINTON PL	MESA	AZ	85215
RIVERA JONNIE/LYNNE	3929 E OMEGA CIR	MESA	AZ	85215
ROBERT H PERRY AND TERRILYN K PERRY TRUST	3908 E MALLORY CIR	MESA	AZ	85215
ROBERT L PORTER AND KAREN F PORTER REV TRUST	3847 E OMEGA CIR	MESA	AZ	85215
ROBINSON DENTEN D	3830 W MENIO ST	MESA	AZ	85215
ROGERS NIKE/OROBIYI MICHAEL	4010 E MINTON CIR	MESA	AZ	85215
ROME JOHN J/SHELLY A	3728 E MCDOWELL RD	MESA	AZ	85215
ROOSEVELT WATER CONS DIST	PO BOX 100	HIGLEY	AZ	85236
ROSE FAMILY TRUST	3813 E OASIS CIR	MESA	AZ	85215
ROSEWOOD ESTATES COMMUNITY ASSOCIATION	7255 E HAMPTON AVE STE 101	MESA	AZ	85209
RYAN PATRICK L/JULIA E	3834 E MINTON PL	MESA	AZ	85215

SANTANA JUAN CARLOS/ROBLES BRIANNA	1031 E FAIRBROOK CIR	MESA	AZ	85203
SCHLAPPI FAMILY TRUST	3911 E NORTHRIDGE CIR	MESA	AZ	85215
SCHMIDT WAYNE E/KAREN A TR	3748 E OASIS CIR	MESA	AZ	85215-979:
SEC FAMILY REVOCABLE TRUST	3655 E NORTHRIDGE CIR	MESA	AZ	85215
SETH ANDERSON AND LAURIE ANDERSON FAMILY TRUST	3741 E NORTHRIDGE CIR	MESA	AZ	85215
SHIMEK BRADY/ATHENA M/MACHAIN NANCY/HENRY	3762 E OMEGA CIR	MESA	AZ	85215
SHORT DAVID E	3958 E NORTHRIDGE CIR	MESA	AZ	85215
SHUBERT HARVEY LAWRENCE/SHUBERT CATHERENE	3716 E MALLORY ST	MESA	AZ	85215
SIGGINS FAMILY LIVING TRUST	3812 E OMEGA CIR	MESA	AZ	85215
SLAUGHTER BRIAN W/CYNTHIA E	3855 E MINTON PL	MESA	AZ	85215
SMITH BRANDON R/JAMIE T	1939 E LYNWOOD ST	MESA	AZ	85203
SOBRADO DANA E ROCKER/MICHAEL D	3650 E MCDOWELL RD	MESA	AZ	85215
SPEARS JOHN C/PATRICIA A TR	3842 E MALLORY	MESA	AZ	85203
SRS FAMILY TRUST	3729 E NORTHRIDGE CIR	MESA	AZ	85215
STARMAN STEVE	3723 E MALLORY ST	MESA	AZ	85215
SUMKO MICHAEL/JENNIFER	3763 E OASIS CIR	MESA	AZ	85215
TAYLOR STEVE/KATRINA	3922 E NORTHRIDGE CIR	MESA	AZ	85215
TEMCO LLC	1514 NE 69TH PL	ANKENY	IA	50021-888:
TERRELL S AND PATRICIA A REIBER FAMILY TRUST	3829 E MALLORY ST	MESA	AZ	85215
TETLOW FAMILY REVOCABLE LIVING TRUST	3852 E OASIS CIR	MESA	AZ	85215
THOMAS & MARIBEL OAKES FAMILY TRUST	3912 E MINTON CIR	MESA	AZ	85215
TIMMERMAN DAVID	20860 N TATUM BLVD STE 160	PHOENIX	AZ	85050
TOBLER STEVEN J/MARIE E TR	3675 E OASIS CIR	MESA	AZ	85215
UDT SHAWN T FLAHART LIVING TRUST	6112 E RED BIRD RD	SCOTTSDALE	AZ	85266
VIEWEG DAVID EDWARD	3729 E NANCE CIR	MESA	AZ	85215
VISTA ESTANCIA HOMEOWNERS ASSOCIATION INC	1834 E BASELINE RD NO 102	TEMPE	AZ	85283
WALTER & MARSHA EGGERS FAMILY TRUST	3747 E OASIS CIR	MESA	AZ	85215
WALTERS NICHOLAS D/CORINTHIA T	2824 N POWER RD STE 113 PMB 25	MESA	AZ	85215
WARNER JEFFREY/JENNICA	3961 E NORCROFT CIR	MESA	AZ	85215
WASSON DANNY/ANGELA	3815 E MALLORY ST	MESA	AZ	85215
WATSON JOEL A	3746 E OMEGA CIR	MESA	AZ	85215
WHITE DOUGLAS J/ANNE E	3930 E OMEGA CIR	MESA	AZ	85215
WICKERSHEIM ROBERT D/SANDRA	3947 E NORTHRIDGE CIR	MESA	AZ	85215
WICKERSHEIM ROBERT D/SANDRA TR	3947 E NORTHRIDGE CIR	MESA	AZ	85215

WILLIAM AND ELIZABETH RAU FAMILY TRUST	3820 E OASIS CR	MESA	AZ	85215
WILSON FAMILY TRUST	2455 N MAPLE	MESA	AZ	85215
WILSON GREGORY ROBERT	3814 E MALLORY ST	MESA	AZ	85215
WIRIG TRUST	3924 E NORCROFT CIR	MESA	AZ	85215
YOST GAYLORD BOB	1635 N GREENFIELD RD STE 106	MESA	AZ	85205
YOUSSEF TAREK H/EL-HAKIM SHERMEEN F	3909 E MINTON CIR	MESA	AZ	85215
ZAHIRI MORTEZA/ZAHIRI-MENDOZA TERESA LEE	2609 N VAL VISTA DR	MESA	AZ	85203



## Neighborhood Meeting Sign-In Sheet

**Applicant:**

**Pew & Lake/ E.W. Gardner Family LP No. 2**

**Property Location:**

Approximately 20.06-acre property located at 38<sup>th</sup> Place & McDowell Road,  
which is on the south side of McDowell between Val Vista Drive & Greenfield  
Road

**Date:**

**June 13, 2022**

**Meeting Location:**

Bush Elementary School (Multi Purpose Room )  
4925 E Ingram St, Mesa, AZ 85205

**Time:**

**6:30 PM**

**Case:**

#	NAME	ADDRESS	ZIP	Email	PHONE
1	DAVID M. BERKSTRESSER	3956 E. NORA CIRCLE	85215	DAVID.BERKSTRESSER@GMAIL.COM	480-897-7018
2	Brad Strader	RWCD		b.strader@rwcd.net	480.988.9581
3	Carlos Santana	3740 E Northridge Circle	85215	carlos.santana@asu.edu	480-251-9570
4	Christine Anthony	3908 E- Nora Circle	85215	cathonyre@gmail.com	480-200-0972
5	Mari & Brian Hall	3752 E Northridge Cir	85215	mari@fallfamily.net brian@fallfamily.net	480-235-1771
6	Sara Vance	3912 E. Norcroft Cr.	85215	Saravance3912@gmail.com	480 452-7182
7	Scott Miritello	2575 N Val Vista	85213	SLM.MIRITELLO@GMAIL.COM	480-223-8461
8	HARVEY SHUBERT	3716 E. MALLORY ST	85215	HSHUBERT@AOL.COM	
9					
10					
11					
12					
13					

**Legacy Cove Neighborhood Meeting**  
**June 13, 2022, at 6:30 pm**  
**Bush Elementary School**

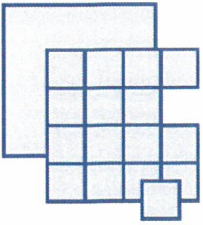
**Hosted by:** Sean Lake and Sarah Fitzgerald – Pew and Lake, PLC.

**Summary:** Sean lake presented the proposed development and explained to the neighbors that we are here to receive information and feedback in order to work with the neighbors and make revisions to the plan per their comments. Mr. Lake informed the neighbors that we are in preliminary stages of entitlement and all feedback is appreciated.

**Questions:**

1. Within the CC&R's can you restrict to only single-story homes and a minimum amount of SF per home?
  - a. We are open to creating restrictions within the CC&R's.
2. We are concerned with the lot sizes and drainage.
  - a. The developer is open to negotiating lot sizes. Drainage will be reviewed and approved by the City engineers. We are here to collect information from the neighborhood to ensure that drainage issues are communicated.
3. Is there already a builder selected?
  - a. No. These are custom lots, and the homeowner will contract a builder of their choice.
4. How will the developer mitigate the rodents during construction?
  - a. We will communicate with the developer to see what can be done to mitigate the rodent issue.
5. What is the requirement for tree planting?
  - a. The development will comply with the landscape requirements and ensure that the development complements the surrounding and existing area.
6. Is there only one access?
  - a. Yes, there is only one access which is off McDowell Road.
7. Will there be a timeframe for owners on when they have to build their home?
  - a. Those details have not been established at this time.
8. Will the citrus remain on the lots until the homes are built?
  - a. Yes.
9. Where is the retention area?
  - a. The retention is most likely in the low area of the property.
10. The wall needs to be improved or reinforced (along west side)?
  - a. We will note the condition of the wall along the west side.
11. Work with RWCD to come up with a solution for irrigation access.
  - a. The developer will work with all necessary parties to ensure irrigation access.
12. Will you consider a lot size change?
  - a. Yes, the developer will consider feedback from tonight's meeting and any further input that is received.





**Pew & Lake, P.L.C.**  
Real Estate and Land Use Attorneys

**W. Ralph Pew**

Certified Real Estate Specialist

**Sean B. Lake**

Reese L. Anderson

August 24, 2022

## NOTICE OF 2<sup>nd</sup> NEIGHBORHOOD MEETING

Dear Neighbor,

Together with our client, E.W. Gardner Family Limited Partnership No. 2, we are pleased to invite you to participate in a follow up neighborhood meeting for the property located at 38<sup>th</sup> Place and McDowell Road, which is on the south side of McDowell between Val Vista Drive and Greenfield Road. Specifically, the request is to Rezone from RS-35 to RS-35 PAD. The proposal is still for a custom lot subdivision.

As a follow up to the neighborhood meeting and as the direct result of working with neighbors, we have reduced the number of lots, increased the overall lot sizes, and ensured that the very smallest of the lots is no less than ½ acre. This would reduce the density down to 26 lots on 20 gross acres. The community will include open space and significant amenities for residents. The proposed project will remain in character with the Citrus area neighborhood and complement the existing architectural and landscape qualities.

Our project team has set up a 2<sup>nd</sup> in-person meeting where we will present the project and provide more information.

**Date:** September 6th, 2022

**Time:** 6:30 p.m.

**Location:** Ishikawa Elementary School  
Media Center  
2635 N 32<sup>nd</sup> Street, Mesa, 85213

Should you have any questions, please contact me or Sarah Fitzgerald in my office by email at [sean.lake@pewandlake.com](mailto:sean.lake@pewandlake.com) or [sarah.fitzgerald@pewandlake.com](mailto:sarah.fitzgerald@pewandlake.com) or by phone at 480-461-4670. We welcome any comments and feedback on this case and would be happy to discuss it with citizens or groups upon request. All comments shared will be submitted to the City and incorporated into the reports and briefing that will be prepared for the public hearings for this case.

At this time, no public hearings before the City of Mesa have been scheduled. When any meeting date is known, the property will be properly noticed, and anyone who reaches out to us and provides their contact information will also be notified.

Sincerely,

Sean B. Lake  
**PEW & LAKE, PLC**

SOMERSET ESTATES  
RS-35

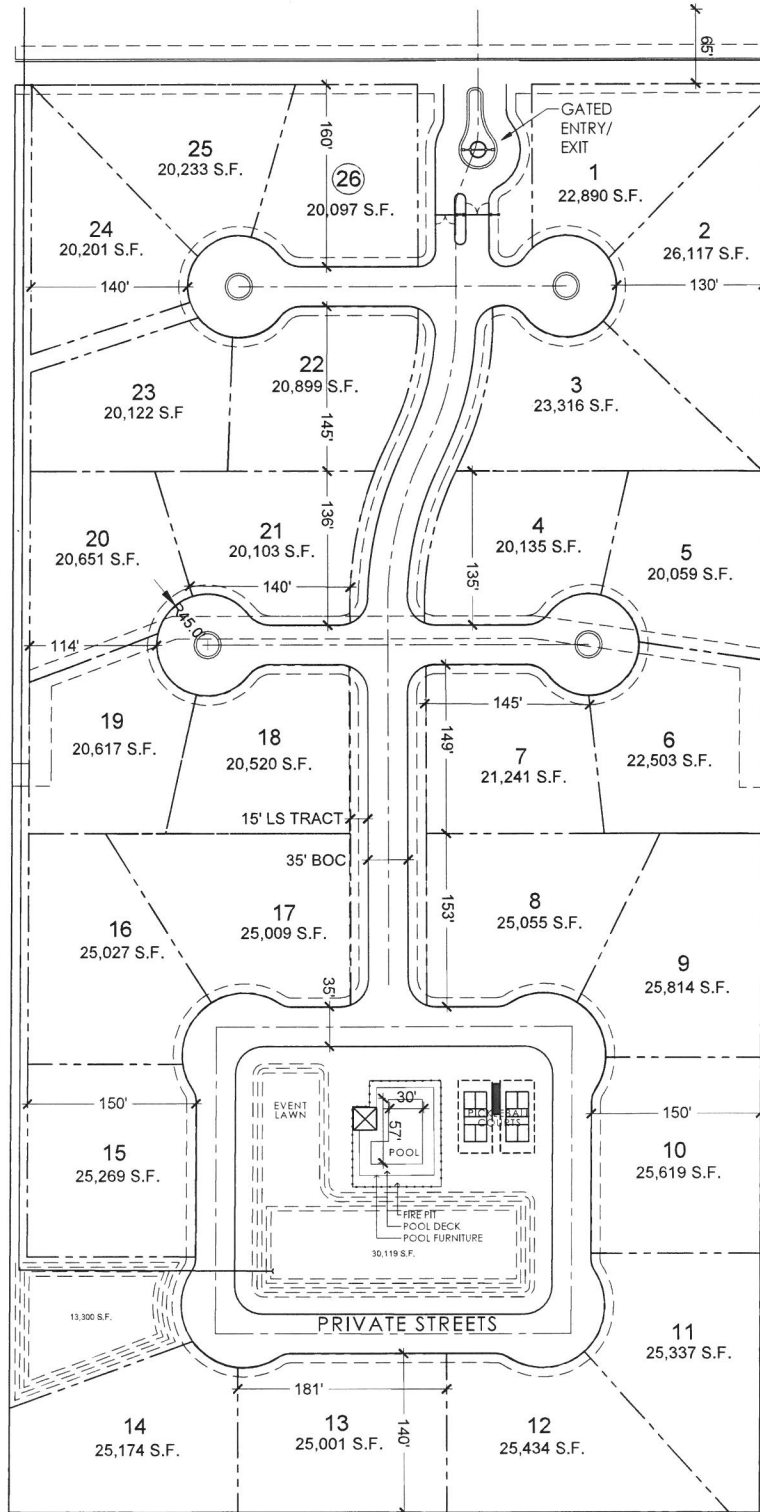
38TH PL.

McDOWELL ROAD

LADYHAWK  
ESTATES  
RS-35

ROSEWOOD ESTATES  
RS-35

SINGLE-FAMILY RESIDENCE  
RS-35



EL CAMINO DOLCE  
RS-35

38TH ST.

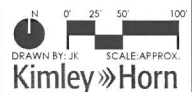
LEGACY COVE

MESA, AZ

CONCEPTUAL SITE PLAN - OPT 2

SOUTH 10 LOTS MIN 25,000 SF

JUNE 2022





112361 TRUST  
PO BOX 1336  
APACHE JUNCTION, AZ 85117

3854EMINTON LLC  
2336 N VAL VISTA DR  
MESA, AZ 85213

AMBERWOOD HOMES LLC  
PO BOX 31090  
MESA, AZ 85275

AMERIFIRST FINANCIAL INC  
2222 N VAL VISTA DR UNIT 14  
MESA, AZ 85213

AN RAY/CHANTHA  
3949 E NORCROFT CIR  
MESA, AZ 85215

ANTHONY MARK S/CHRISTINE M  
3908 E NORA CIR  
MESA, AZ 85215

AUGUSTA INVESTMENTS LLC  
2812 N NORWALK ST  
MESA, AZ 85215

BARRETT ROBERT F/LISA L  
3751 E MINTON PL  
MESA, AZ 85215

BARTRUFF BRYCE  
KEVIN/STEPHANIE LYNN  
2505 N MAPLE  
MESA, AZ 85215

BATCHELOR LAWRENCE/CANDAL  
SANDRA  
3756 E MALLORY ST  
MESA, AZ 85215

BATTISTA DOMENICO/ZECCA PETER  
403 WOODFERN RD  
HILLSBOROUGH, NJ 8844

BAWDEN CLYDE LEE/JAYME TR  
2625 N VAL VISTA DR  
MESA, AZ 85213

BEATTIE GLENN A/TINA M  
4037 E MINTON CIR  
MESA, AZ 85215

BEECHER KELLY/JOSHUA  
3924 E MALLORY CIR  
MESA, AZ 85215

BEN AND DANA GOETTER FAMILY  
TRUST  
3843 E MALLORY ST  
MESA, AZ 85215

BERKSTRESSER FAMILY  
REVOCABLE TRUST  
3956 E NORA CIR  
MESA, AZ 85215

BIGLER LANE R/MARYLOU M  
3913 E NORCROFT  
MESA, AZ 85215

BINGHAM SCOTT D/KAREN  
D/CAMPBELL JAMIE ETAL  
2537 N MAPLE  
MESA, AZ 85215-1723

BLEY MICHAEL J/PATRICIA A TR  
3734 E MALLORY  
MESA, AZ 85215

BLUE SKY TRUST  
1366 S 1140 E  
OREM, UT 84097

BOWDEN JORDAN/MEGHAN  
3730 E MENLO ST  
MESA, AZ 85215

BROUGHTON JAMES G/PATTY J TR  
3757 E MALLORY ST  
MESA, AZ 85215

BROWN CHARLES A III/BETTY J  
3661 E NANCE CIR  
MESA, AZ 85215

BRYCE GARY A/BARBARA L TR  
PO BOX 1230  
BLYTHE, CA 92226-1230

BUDDHAVARAPU VENKATA  
SRIHARI/TANKASALA SAHITYA  
MOORTHY  
4023 E MINTON CIR  
MESA, AZ 85215

BURKINSHAW VICKY  
3902 E OASIS CIR  
MESA, AZ 85215

CAB LLC  
2704 E GEMINI ST  
GILBERT, AZ 85234

CAMPBELL JEFFREY  
RICHARD/MILLER BRITTANY  
4024 E MINTON CIR  
MESA, AZ 85215

CARANO JOSEPH M  
3844 E MENLO ST  
MESA, AZ 85215

CAROLINE & FRANK DIDEA FAMILY  
TRUST  
3863 E OMEGA CIR  
MESA, AZ 85215

CJP PROPERTY LLC  
2621 E ODESSA CIR  
MESA, AZ 85213

CLEMONS LIVING TRUST  
2511 N VAL VISTA DR  
MESA, AZ 85213

COMMERCE COURT II AT THE  
COMMONS PROPERTY OWNERS  
ASSOCIATION  
2812 N NORWALK STE 105  
MESA, AZ 85215

COMMONS INDUSTRIAL PARK AT  
FALCON VIEW ASSOC  
2812 N NORWALK 105  
MESA, AZ 85215

COURT AT THE COMMONS  
PROPERTY OWNERS ASSOC  
2812 N NORWALK 105  
MESA, AZ 85215

COWDEN BRENT/RYAN  
ANTHONY/DERYK/VISSER DARRELL  
3463 CEDARVILLE RD  
BELLINGHAM, WA 98226

CRACRAFT ROY D  
3751 E NANCE CIR  
MESA, AZ 85215

CRISP PATRICK/CAROL TR  
3827 E OMEGA CIR  
MESA, AZ 85215

CRITTENDEN MARK J  
2553 N MAPLE  
MESA, AZ 85215

DANDI VILLAGE PROPERTIES LLC  
3114 S 98TH ST  
MESA, AZ 85212

DANDI VILLAGE PROPERTIES LLC  
3935 E PALM ST  
MESA, AZ 85215

DESAUTELS ROBERT A/DEANNE M  
3918 E OASIS CIR  
MESA, AZ 85215

DON AND SHARLA STOKER FAMILY  
TRUST  
3707 E OMEGA CIR  
MESA, AZ 85205

DONALD AND BRYNN BURTON  
TRUST  
3734 E OASIS CIR  
MESA, AZ 85215

DOUGLAS JAMES WALDIE AND  
KRISTEN ANNE WALDIE REVOCABLE  
LIVING TRUST  
3828 E OMEGA CIR  
MESA, AZ 85215

DROWN DOUGLAS ROBERT/PAULA  
ANN TR  
3655 E OMEGA CIR  
MESA, AZ 85215

EASTERWOOD REVOCABLE TRUST  
3656 E OMEGA CIR  
MESA, AZ 85215

EMERALD GROVE HOLDING  
COMPANY LLC  
5360 S 154TH ST  
GILBERT, AZ 85298

ERIC G HUISSH SR AND DIANA L  
HUISSH TRUST  
3450 N ARABELLA  
MESA, AZ 85215

ESTATES AT HERMOSA RANCH  
COMMUNITY ASSOCIATION  
3321 E BASELINE RD  
GILBERT, AZ 85234

EW GARDNER FAMILY LIMITED  
PARTNERSHIP NO 2  
4301 E MCKELLIPS RD  
MESA, AZ 85215

FABIANI RAYMOND J  
3944 E NORA CIR  
MESA, AZ 85215

FADEL JOSHUA E/THERESA K  
3745 E OMEGA CIR  
MESA, AZ 85215

FALL BRIAN N/MARI  
3752 E NORTHRIDGE CIR  
MESA, AZ 85215

FIGLER JEFF/LINDA  
PO BOX 958  
POWAY, CA 92074

FITCH JAMES CARL/KAREN ANN  
3913 E OMEGA CIR  
MESA, AZ 85215

FREEMAN JOHN A/SARAH E  
3948 E NORCROFT CIR  
MESA, AZ 85215

GAMEZ GONZALO/CONCEPTION  
2025 E JUANITA AVE  
MESA, AZ 85204

GARCIA PAULINO G/ROSA A  
3655 E OASIS CIR  
MESA, AZ 85215

GARDNER QUINTON W/JOY  
RODGERS  
3848 E MALLORY ST  
MESA, AZ 85215



GOLONKA MICHAEL WALTER  
ESTATE OF  
4608 W BUFFALO ST  
CHANDLER, AZ 85226

GRACE KEVIN D/TRACY L  
2505 N VAL VISTA DR  
MESA, AZ 85213

GRIMES LIVING TRUST  
3121 E GARY ST  
MESA, AZ 85213

HARRIS RACHELLE  
1330 N 104TH PL  
MESA, AZ 85207

HAVEN LEE DOVE AND CINDY KAY  
DOVE TRUST  
3728 E NORTHRIDGE CIR  
MESA, AZ 85215

HENDERSON FAMILY LIVING TRUST  
3722 E MALLORY ST  
MESA, AZ 85205

HENDRICKS KEITH L/CAROL B  
3865 E OASIS CIR  
MESA, AZ 85215

HENSON BLAKE/KASSANDRA  
3712 E NANCE CIR  
MESA, AZ 85215

HILDEBRANDT FAMILY TRUST  
3931 E OASIS CIR  
MESA, AZ 85215

ISAKSON AARON JON/TORREZ  
MARIA ELENA  
3836 E OASIS CIR  
MESA, AZ 85215

JAMES T GODFREY AND ROSALIE S  
GODFREY TRUST  
3735 E OASIS CIR  
MESA, AZ 85215

DONISHA PARDUE  
3944 N MINTON CIR  
MESA, AZ 85215

JEFFREY D TILLERY AND WHITNEY  
A TILLERY TRUST  
3812 E MENLO STREET  
MESA, AZ 85215

JENKINS JOHN/YAZARA  
3816 E MINTON PL  
MESA, AZ 85215

JOHN B CALVERT 2020 TRUST  
42550 47TH ST W  
LANCASTER, CA 93536-4303

JOHN M KILIAN M D LIVING TRUST  
3828 E MALLORY ST  
MESA, AZ 85205

JOSEPH AND LORI COSTELLO  
FAMILY TRUST  
3764 E OASIS CIR  
MESA, AZ 85215

KINDT STEPHAN/LISA  
2440 N MAPLE ST  
MESA, AZ 85215

KUBAS CHANDLER  
3031 121ST AVE SW  
DICKINSON, ND 58601

LECOMPTE EUGENE  
3711 E MINTON PL  
MESA, AZ 85215

LI ZONGFU/CHEN JIANG  
3710 E NORTHRIDGE CIR  
MESA, AZ 85215

LIQING WEN AND YING MA TRUST  
3909 E NORA CIR  
MESA, AZ 85215

LUNENG DAVID PATRICK/TAMARA  
DAWN  
3848 E OMEGA CIR  
MESA, AZ 85215

LUTHERA AMARJIT S/HARJEET  
K/LUTHERA J  
2701 N VAL VISTA DR  
MESA, AZ 85213

LYNN AUSTIN ADAMS AND JULIA  
LYNN ADAMS TRUST  
3811 E OMEGA CIR  
MESA, AZ 85215

MARVIN LEE AND ANN RUTH  
GAMERTSFELDER TRUST  
3660 E NANCE CIR  
MESA, AZ 85215

MASON ERIK/RACHEL  
3937 E NORCROFT CIR  
MESA, AZ 85215

MATTHEW 2529 TRUST  
3835 E MINTON PL  
MESA, AZ 85215

MBK FAMILY TRUST  
3849 E OASIS CIR  
MESA, AZ 85215

MCFARLAND FAMILY LIVING TRUST  
3925 E NORCROFT CIR  
MESA, AZ 85215

MCGAVICK SHARON M/SVENSON  
KEITH O  
7850 CHICO WAY NW  
BREMERTON, WA 98312

MCGEHEE DANIEL T/MARY K  
3915 E OASIS CIR  
MESA, AZ 85215

MCLEAN THOMAS N/JENNIFER L  
3864 E OMEGA CIR  
MESA, AZ 85215

MESA PERIO PROPERTIES LLC  
107 N GREENFIELD RD STE 1  
MESA, AZ 85205

MILLARD JEFFREY CLARK/EMILY  
3727 E OMEGA CIR  
MESA, AZ 85215

MIRITELLO SCOTT/LINDA A  
2575 N VAL VISTA DR  
MESA, AZ 85213

MITCHELL JAMES/BAILEE  
3634 E MCDOWELL RD  
MESA, AZ 85215

MITICH DRAGAN/VERA  
3635 E OMEGA CIR  
MESA, AZ 85215

MONK DAVID J/KARI L TR  
3658 E NORTHRIDGE CR  
MESA, AZ 85215

MORRIS MARY V  
3735 E MALLORY DR  
MESA, AZ 85215

NOC20 LLC  
22340 YELLOW GATE LN NE UNIT  
M64  
AURORA, OR 97002-8436

NORBERG MICHAEL S/DARCI R  
2521 N MAPLE  
MESA, AZ 85215

NORGREN KERRY M/JOAN M  
1317 E FAIRFIELD ST  
MESA, AZ 85203

NORWALK COMMONS LLC  
3106 E HERMOSA VISTA DR  
MESA, AZ 85213

NORWALK PATRIOTS LLC  
3661 E NANCE CIRCLE  
MESA, AZ 85215

NU SASH INVESTMENTS LLC  
17027 N 45TH ST  
PHOENIX, AZ 85032

OLIN & SARA VANCE FAMILY TRUST  
3912 E NORCROFT CIR  
MESA, AZ 85215

ORTIZ RUSSELL R/STACY A  
2601 N VAL VISTA DR  
MESA, AZ 85213

PEKALA JOHN M/BETH A  
3940 E MENLO CIR  
MESA, AZ 85215

PERRACCHIO LIVING TRUST  
3920 E NORA CIR  
MESA, AZ 85215

PETERSON DAVID TROY/THERESA S  
3728 E OMEGA CIR  
MESA, AZ 85215

PETERSON ROBERT W/BETTE LYN TR  
3921 E NORA CIR  
MESA, AZ 85215

PHPE HOLDINGS LLC  
8641 E KAEL CIR  
MESA, AZ 85207

PITTS JUSTIN E/LESLIE  
3754 E MENLO ST  
MESA, AZ 85215

PRESTON BRADLEY MICHAEL  
3732 E MINTON PL  
MESA, AZ 85215

PRISCAK DAVID S/KRISTIN A  
3914 E OMEGA CIR  
MESA, AZ 85215-9701

RAMOS RODOLFO/LUDIVINA  
3928 E MINTON CIR  
MESA, AZ 85215

RANCLAND HOLDINGS I LLC  
2812 N NORWALK STE 105  
MESA, AZ 85215

RANDY GEHRTS REVOCABLE LIVING  
TRUST  
9825 E IDAHO AVE  
MESA, AZ 85209

RAY LLOYD MOSS FAMILY TRUST  
2661 N VAL VISTA DR  
MESA, AZ 85213



REINBOLD WILSON R/CONNIE  
3829 E OASIS CIR  
MESA, AZ 85215

REMINGTON DARREN B/MARGARET  
3925 E MINTON CIR  
MESA, AZ 85215

REVOCABLE TRUST AGREEMENT OF  
JOSEPH P BORG AND JOANNE K BORG  
3733 E MINTON PL  
MESA, AZ 85215

RICHARD AND KELLI SKOUSEN  
REVOCABLE LIVING TRUST  
3708 E OMEGA CIR  
MESA, AZ 85215

RIDDER JOSEPH PATRICK/LYNN  
MARIE  
3750 E MINTON PL  
MESA, AZ 85215

RIVERA JONNIE/LYNNE  
3929 E OMEGA CIR  
MESA, AZ 85215

ROBERT H PERRY AND TERRILYN K  
PERRY TRUST  
3908 E MALLORY CIR  
MESA, AZ 85215

ROBERT L PORTER AND KAREN F  
PORTER REV TRUST  
3847 E OMEGA CIR  
MESA, AZ 85215

ROBINSON DENTEN D  
3830 W MENIO ST  
MESA, AZ 85215

ROGERS NIKE/OROBIYI MICHAEL  
4010 E MINTON CIR  
MESA, AZ 85215

ROME JOHN J/SHELLY A  
3728 E MCDOWELL RD  
MESA, AZ 85215

ROOSEVELT WATER CONS DIST  
PO BOX 100  
HIGLEY, AZ 85236

ROSE FAMILY TRUST  
3813 E OASIS CIR  
MESA, AZ 85215

ROSEWOOD ESTATES COMMUNITY  
ASSOCIATION  
7255 E HAMPTON AVE STE 101  
MESA, AZ 85209

RYAN PATRICK L/JULIA E  
3834 E MINTON PL  
MESA, AZ 85215

SANTANA JUAN CARLOS/ROBLES  
BRIANNA  
1031 E FAIRBROOK CIR  
MESA, AZ 85203

SCHLAPPI FAMILY TRUST  
3911 E NORTHRIDGE CIR  
MESA, AZ 85215

SCHMIDT WAYNE E/KAREN A TR  
3748 E OASIS CIR  
MESA, AZ 85215-9791

SEC FAMILY REVOCABLE TRUST  
3655 E NORTHRIDGE CIR  
MESA, AZ 85215

SETH ANDERSON AND LAURIE  
ANDERSON FAMILY TRUST  
3741 E NORTHRIDGE CIR  
MESA, AZ 85215

SHIMEK BRADY/ATHENA  
M/MACHAIN NANCY/HENRY  
3762 E OMEGA CIR  
MESA, AZ 85215

SHORT DAVID E  
3958 E NORTHRIDGE CIR  
MESA, AZ 85215

SHUBERT HARVEY  
LAWRENCE/SHUBERT CATHERENE  
3716 E MALLORY ST  
MESA, AZ 85215

SIGGINS FAMILY LIVING TRUST  
3812 E OMEGA CIR  
MESA, AZ 85215

SLAUGHTER BRIAN W/CYNTHIA E  
3855 E MINTON PL  
MESA, AZ 85215

SMITH BRANDON R/JAMIE T  
1939 E LYNWOOD ST  
MESA, AZ 85203

SOBRADO DANA E  
ROCKER/MICHAEL D  
3650 E MCDOWELL RD  
MESA, AZ 85215

SPEARS JOHN C/PATRICIA A TR  
3842 E MALLORY  
MESA, AZ 85203

SRS FAMILY TRUST  
3729 E NORTHRIDGE CIR  
MESA, AZ 85215

STARMAN STEVE  
3723 E MALLORY ST  
MESA, AZ 85215

SUMKO MICHAEL/JENNIFER  
3763 E OASIS CIR  
MESA, AZ 85215

TAYLOR STEVE/KATRINA  
3922 E NORTHRIDGE CIR  
MESA, AZ 85215

TEMCO LLC  
1514 NE 69TH PL  
ANKENY, IA 50021-8883

TERRELL S AND PATRICIA A REIBER  
FAMILY TRUST  
3829 E MALLORY ST  
MESA, AZ 85215

TETLOW FAMILY REVOCABLE  
LIVING TRUST  
3852 E OASIS CIR  
MESA, AZ 85215

THOMAS & MARIBEL OAKES FAMILY  
TRUST  
3912 E MINTON CIR  
MESA, AZ 85215

TIMMERMAN DAVID  
20860 N TATUM BLVD STE 160  
PHOENIX, AZ 85050

TOBLER STEVEN J/MARIE E TR  
3675 E OASIS CIR  
MESA, AZ 85215

UDT SHAWN T FLAHART LIVING  
TRUST  
6112 E RED BIRD RD  
SCOTTSDALE, AZ 85266

VIEWEG DAVID EDWARD  
3729 E NANCE CIR  
MESA, AZ 85215

VISTA ESTANCIA HOMEOWNERS  
ASSOCIATION INC  
1834 E BASELINE RD NO 102  
TEMPE, AZ 85283

WALTER & MARSHA EGGERS  
FAMILY TRUST  
3747 E OASIS CIR  
MESA, AZ 85215

WALTERS NICHOLAS D/CORINTHIA T  
2824 N POWER RD STE 113 PMB 253  
MESA, AZ 85215

WARNER JEFFREY/JENNICA  
3961 E NORCROFT CIR  
MESA, AZ 85215

WASSON DANNY/ANGELA  
3815 E MALLORY ST  
MESA, AZ 85215

WATSON JOEL A  
3746 E OMEGA CIR  
MESA, AZ 85215

WHITE DOUGLAS J/ANNE E  
3930 E OMEGA CIR  
MESA, AZ 85215

WICKERSHEIM ROBERT D/SANDRA  
3947 E NORTHRIDGE CIR  
MESA, AZ 85215

WICKERSHEIM ROBERT D/SANDRA TR  
3947 E NORTHRIDGE CIR  
MESA, AZ 85215

WILLIAM AND ELIZABETH RAU  
FAMILY TRUST  
3820 E OASIS CR  
MESA, AZ 85215

WILSON FAMILY TRUST  
2455 N MAPLE  
MESA, AZ 85215

WILSON GREGORY ROBERT  
3814 E MALLORY ST  
MESA, AZ 85215

WIRIG TRUST  
3924 E NORCROFT CIR  
MESA, AZ 85215

YOST GAYLORD BOB  
1635 N GREENFIELD RD STE 106  
MESA, AZ 85205

YOUSSEF TAREK H/EL-HAKIM  
SHERMEEN F  
3909 E MINTON CIR  
MESA, AZ 85215

ZAHIRI MORTEZA/ZAHIRI-MENDOZA  
TERESA LEE  
2609 N VAL VISTA DR  
MESA, AZ 85203



Somerset Estates  
Larry Tyler  
3821 E Palm Cir  
Mesa, AZ 85207

HOA Name

Corp Comm Link

Hermosa Groves North  
4135 S Power Rd #122  
MESA, AZ 85212

Rosewood Estates Community Association  
7255 E HAMPTON AVE SUITE 101  
MESA, AZ 85209

Somerset Estates  
42 S. HAMILTON PL. # 101 ,  
GILBERT, AZ 85233

Spyglass Estates  
6303 S RURAL RD STE 3  
TEMPE, AZ 85283

Villa Tuscano  
2011 N Lemon St,  
MESA, AZ 85215,

Vista Estancia  
42 S. HAMILTON PL #101 ,  
GILBERT, AZ 85233

Montana Dorada  
4360 E Brown Road Suite 108,  
MESA, AZ 85205

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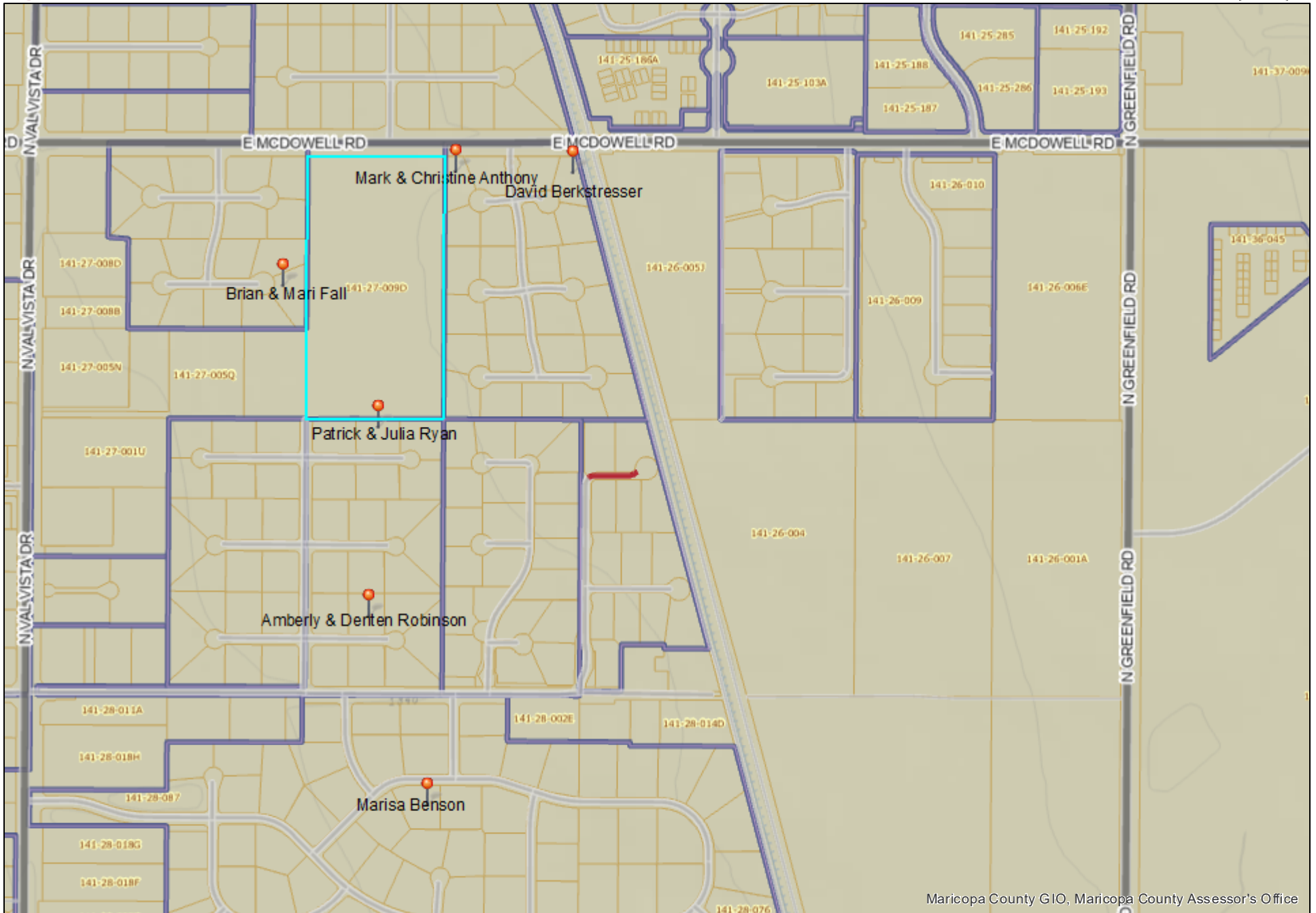
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# Reeb Neighborhood Meeting Attendees





Brian & Mari Fall - 3752 E. Northridge Circle

Mark & Christine Anthony - 3908 E. Nora Circle

Marisa Benson - 3865 E. Laurel St.

David Berkstresser - 3956 E. Nora Circle

Amberly & Denten Robinson - 3830 E. Menlo St.

Patrick & Julia Ryan - 3834 E. Minton Place

## Neighborhood Meeting Sign-In Sheet

**Applicant:**

**Pew & Lake/ E.W. Gardner Family LP No. 2**

**Property Location:**

Approximately 20.06-acre property located at 38<sup>th</sup> Place & McDowell Road,  
which is on the south side of McDowell between Val Vista Drive & Greenfield  
Road

**Date:**

**September 6th, 2022**

**Meeting Location:**

Ishikawa Elementary School (Media Center )  
2635 N 32<sup>nd</sup> St., Mesa, AZ 85213

**Time:**

**6:30 PM**

**Case:**

#	NAME	ADDRESS	ZIP	Email	PHONE
1	Brian & Mari Fall	3752 E. Northridge Cir	85215		480 235 1779
2	Mark + Christine Anthony	3908 E. Nora Circle	85215	canthangre@gmail.com	480-200-0972
3	Marisa Benson	3845 E Laurel St.	85215	marisa.benson@gmail	480 331 9046
4	DAVID M. BERKSTRESSER	3956 E. NORA CIRCLE	85215	DAVID.BERKSTRESSER@GMAIL.COM	480-897-7018
5	Amberly Robinson	3830 E. Menlo St	85215	amberly.robinson@gmail.com	602-541-0129
6	Denten Robinson	3830 E Menlo Street.	85215	denten.robinson@gmail.com	602-541-0127
7					
8					
9					
10					
11					
12					
13					



## Neighborhood Meeting Sign-In Sheet

**Applicant:**

**Pew & Lake/ E.W. Gardner Family LP No. 2**

**Property Location:**

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**Date:**

**September 6th, 2022**

**Meeting Location:**

Ishikawa Elementary School (Media Center )  
2635 N 32<sup>nd</sup> St., Mesa, AZ 85213

**Time:**

**6:30 PM**

**Case:**

#	NAME	ADDRESS	ZIP	Email	PHONE
1	PATRICK & JULIA RYAN	3834 E MINTON PLACE	85215	PATRICKLRyan@gmail.com	(602) 317-4620
2					
3					
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					

**From:** [Nicholas Walters](#)  
**To:** [Sean Lake](#); [Sarah Fitzgerald](#)  
**Subject:** E.W. Gardner Family Limited Partnership No. 2 Zoning  
**Date:** Thursday, June 16, 2022 1:39:59 PM

---

Good afternoon Mr. Lake,

I'm a homeowner in Somerset Estates, directly north of your client's land. I received your Notice of Neighborhood Meeting dated May 31 but was unfortunately unable to make it to the meeting.

I'm concerned about your client's request to reduce the lot size. Every other neighborhood surrounding your client's land is zoned RS-35 with lots ranging from 35,000 square feet up to nearly 4 acres (approximately 174,000 square feet). Your client's proposal would permit lots as small as 15,000 square feet.

Your letter indicates that the proposed project will keep within the character of the Citrus area. The defining characteristics of this area are the large lots, custom homes, citrus trees, and flood irrigation.

From the street it appears that all of the citrus trees on that land have died. Furthermore, your client is proposing lots significantly smaller than all surrounding neighborhoods. What is it that will maintain the Citrus area's character? Specifically:

1. Will the developer be building fully custom homes?
2. Will there be flood irrigation?
3. Will any of the existing citrus trees remain?
4. If approved, is the site plan final? My concern is that if this rezoning were approved, the developer would then go back and further reduce the lot sizes (down to 15,000 square feet).

Thanks for your time and I look forward to being involved in this process.

Sincerely,

Nicholas Walters



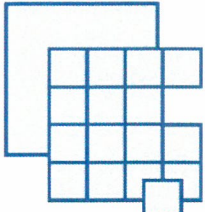
**Legacy Cove - Neighborhood Meeting**  
**9/6/2022 AT 6:30 pm**  
**Ishikawa Elementary School**

**Hosted by:** Sean Lake and Sarah Fitzgerald – Pew & Lake, PLC.

**Summary:** The meeting started at 6:30 pm. Mr. Lake reviewed the PowerPoint presentation and explained the changes that have been made to the proposed development since the previous meeting on June 13, 2023. Mr. Lake reminded the neighbors that we are adhering to the Citrus Sub Area and that these are custom homes, with private roads, and amenities maintained by the HOA.

**Questions:**

1. Several people are concerned about the lot that is full of dead trees.
  - ✓ Sean Lake, my understanding is that they do not have anyone available to farm the trees. The citrus left in this area is not enough to keep the farmers on contract.
  
2. Our subdivision is 40 acres in size, and there are 34 lots. These 21 acres should provide about 17 lots. Our neighbors to the south of this property have 40 names that are proposing the current site plan because of lot size.
  - ✓ The min lot size proposed is approx. ½ acre.
  
3. Will there be an ally or will the lots back up to their wall?
  - ✓ We are willing to work with homeowners affected by irrigation. We are not big on alleys. We are working on ways to not create an alley but work with property owners to put a gate in fence to work around the Lady Hawk neighborhood.
  
4. Adjacent property owners – will there be height restrictions? Will RV Garages be allowed?
  - ✓ The developer is willing to negotiate the building heights, RV garages, setbacks, etc. and restrictions can be applied through the PAD. Proposing a PAD allows for these types of restrictions to be put in place. Strict R-35 zoning would allow much more flexibility than the proposed development utilizing a PAD.
  
5. Why doesn't the developer want to retain R-35 Zoning?
  - ✓ The cost of the land, cost of the infrastructure, and demand for smaller lots are some of the reasons a PAD is proposed.
  
6. The development will have to conform to the Citrus Sub Area
  - ✓ Citrus Area Plan is within the general plan. The zoning for this property overrides the general plan. The City would encourage the Citrus Area Plan, but there is nothing in the zoning that requires citrus area.
  
7. What makes this qualified for a PAD, What is unique? What is exceptional?
  - ✓ The amenities, common area, gated, Citrus along Tree lined streets, High end design, single story, setbacks, are all examples of why this project is exceptional. The developer is willing to negotiate with the neighborhood to ensure that the project complements the surrounding area.



**Pew & Lake, P.L.C.**  
Real Estate and Land Use Attorneys

**W. Ralph Pew**  
Certified Real Estate Specialist  
**Sean B. Lake**  
Reese L. Anderson

August 9, 2023

## NOTICE OF NEIGHBORHOOD MEETING

Dear Neighbor,

Together with our client, E.W. Gardner Family Limited Partnership No. 2, we are pleased to invite you to participate in a follow up neighborhood meeting for the property located at 38<sup>th</sup> Place and McDowell Road, which is on the south side of McDowell between Val Vista Drive and Greenfield Road. Specifically, the request is to Rezone from RS-35 to RS-35 PAD. The proposal is still for a custom lot subdivision.

The Development Team worked directly with the neighbors to address their concerns resulting in reducing the number of lots, increasing the overall lot sizes, and establishing a density of 1.2 dwelling units per acres, consistent with the RS-35 zoning district per the City of Mesa Code. The community will include open space and significant amenities for residents. The proposed project will remain in character with the Citrus area neighborhood.

Our project team has set up a third in-person meeting where we will present the project and provide more information.

**Date:** August 22<sup>nd</sup>, 2023  
**Time:** 6:00 p.m.  
**Location:** Ishikawa Elementary School  
**Media Center**  
2635 N 32<sup>nd</sup> Street, Mesa, 85213

Should you have any questions, please contact me or Sarah Prince in my office by email at [sean.lake@pewandlake.com](mailto:sean.lake@pewandlake.com) or [sarah.prince@pewandlake.com](mailto:sarah.prince@pewandlake.com) or by phone at 480-461-4670. We welcome any comments and feedback on this case and would be happy to discuss it with citizens or groups upon request. All comments shared will be submitted to the City and incorporated into the reports and briefing that will be prepared for the public hearings for this case.

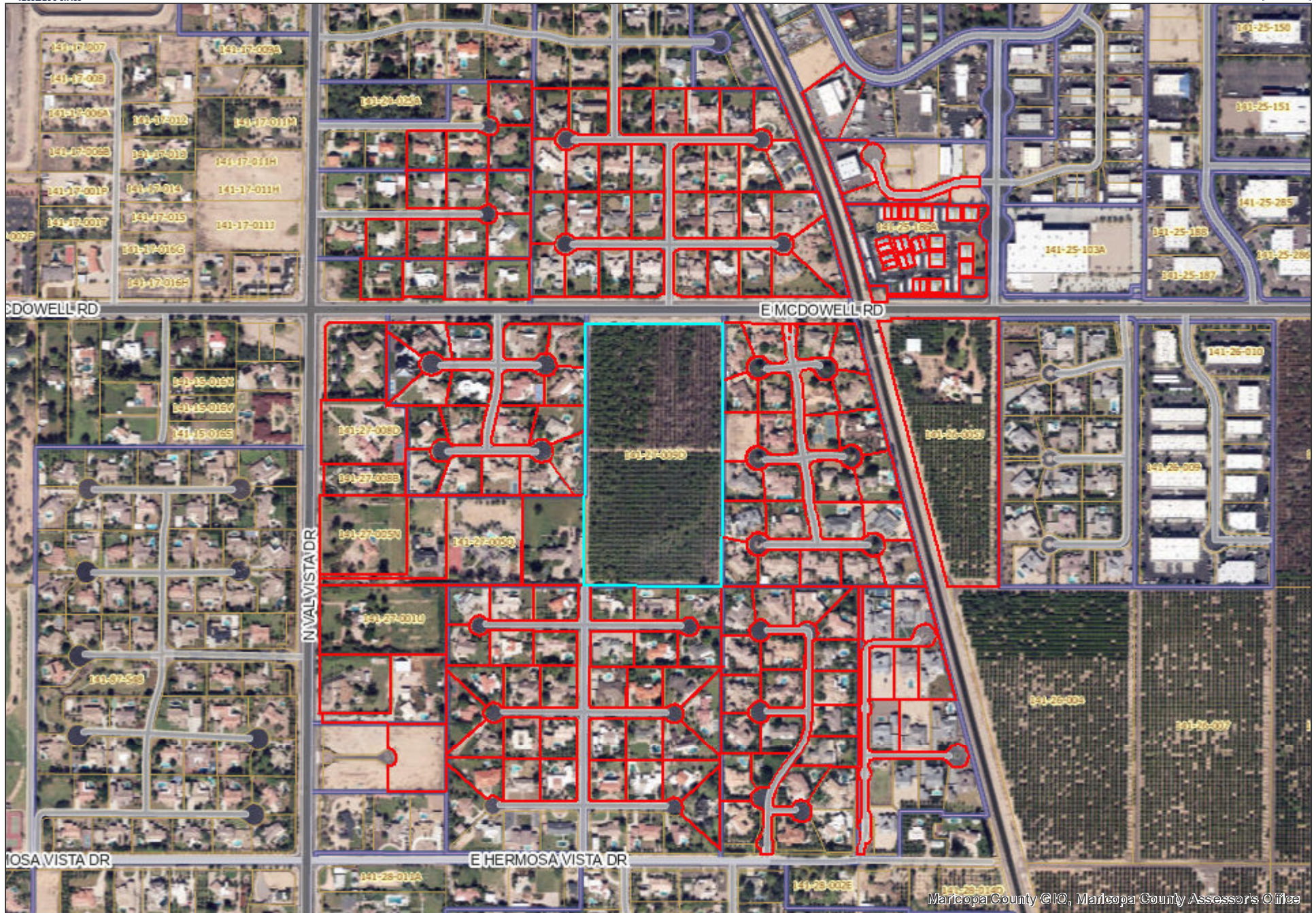
At this time, no public hearings before the City of Mesa have been scheduled. When any meeting date is known, the property will be properly noticed, and anyone who reaches out to us and provides their contact information will also be notified.

Sincerely,

Sean B. Lake  
**PEW & LAKE, PLC**



# 1000' Prop Owner Map





Somerset Estates  
Larry Tyler  
3821 E Palm Cir  
Mesa AZ 85207

Montana Dorada  
4360 E Brown Road Suite 108  
MESA AZ 85205

Hermosa Groves North  
4135 S Power Rd #122  
MESA AZ 85212

Rosewood Estates Community Association  
7255 E HAMPTON AVE SUITE 101  
MESA AZ 85209

Somerset Estates  
42 S. HAMILTON PL. # 101  
GILBERT AZ 85233

Spyglass Estates  
6303 S RURAL RD STE 3  
TEMPE AZ 85283

Villa Tuscano  
2011 N Lemon St  
MESA AZ 85215

Vista Estancia  
42 S. HAMILTON PL #101  
GILBERT AZ 85233



112361 TRUST  
PO BOX 1336  
APACHE JUNCTION, AZ 85117

3854EMINTON LLC  
1955 N VALVISTA DR APT 110  
MESA, AZ 85213

ADAMS BRIAN E  
3740 E NORTHRIDGE CIR  
MESA, AZ 85215

AMARJIT LUTHERA AND HARJEET  
KAUR REVOCABLE TRUST  
2701 N VAL VISTA DR  
MESA, AZ 85213

AMBERWOOD HOMES LLC  
PO BOX 31090  
MESA, AZ 85275

AMERIFIRST FINANCIAL INC  
3921 E MALLORY CIR  
MESA, AZ 85215

ANTHONY MARK S/CHRISTINE M  
3908 E NORA CIR  
MESA, AZ 85215

AUGUSTA INVESTMENTS LLC  
2812 N NORWALK ST  
MESA, AZ 85215

BARRETT ROBERT F/LISA L  
3751 E MINTON PL  
MESA, AZ 85215

BARTRUFF BRYCE KEVIN/STEPHANIE  
LYNN  
2505 N MAPLE  
MESA, AZ 85215

BATTISTA DOMENICO/ZECCA PETER  
JR  
403 WOODFERN RD  
HILLSBOROUGH, NJ 8844

BAWDEN CLYDE LEE/JAYME TR  
2625 N VAL VISTA DR  
MESA, AZ 85213

BEATTIE GLENN A/TINA M  
4037 E MINTON CIR  
MESA, AZ 85215

BEECHER KELLY/JOSHUA  
3924 E MALLORY CIR  
MESA, AZ 85215

BEN AND DANA GOETTER FAMILY  
TRUST  
3843 E MALLORY ST  
MESA, AZ 85215

BERKSTRESSER REVOCABLE TRUST  
3956 E NORA CIR  
MESA, AZ 85215

BIGLER LANE R/MARYLOU M  
3913 E NORCROFT  
MESA, AZ 85215

BINGHAM SCOTT D/KAREN  
D/CAMPBELL CHRISTOPHER P/JAMIE  
2537 N MAPLE  
MESA, AZ 85215

BLEY MICHAEL J/PATRICIA A TR  
3734 E MALLORY  
MESA, AZ 85215

BLUE SKY TRUST  
1366 S 1140 E  
OREM, UT 84097

BOWDEN JORDAN/MEGHAN  
3730 E MENLO ST  
MESA, AZ 85215

BROUGHTON JAMES G/PATTY J TR  
3757 E MALLORY ST  
MESA, AZ 85215

BROWN CHARLES A III/BETTY J  
3661 E NANCE CIR  
MESA, AZ 85215

BRYCE GARY A/BARBARA L TR  
PO BOX 1230  
BLYTHE, CA 922261230

BUDDHAVARAPU-TANKASALA  
LIVING TRUST  
4023 E MINTON CIR  
MESA, AZ 85215

BURKINSHAW VICKY  
3902 E OASIS CIR  
MESA, AZ 85215

CAB LLC  
2704 E GEMINI ST  
GILBERT, AZ 85234

CAMPBELL JEFFREY  
RICHARD/MILLER BRITTANY  
4024 E MINTON CIR  
MESA, AZ 85215

CANDAL SANDRA  
3756 E MALLORY ST  
MESA, AZ 85215

CARANO JOSEPH M  
3844 E MENLO ST  
MESA, AZ 85215

CAROLINE & FRANK DIDEA FAMILY TRUST  
3863 E OMEGA CIR  
MESA, AZ 85215

CJP PROPERTY LLC  
2621 E ODESSA CIR  
MESA, AZ 85213

CLEMONS LIVING TRUST  
2511 N VAL VISTA DR  
MESA, AZ 85213

COMMERCE COURT II AT THE COMMONS PROPERTY OWNERS ASSOCIATION  
2812 N NORWALK STE 105  
MESA, AZ 85215

COMMONS INDUSTRIAL PARK AT FALCON VIEW ASSOC  
2812 N NORWALK 105  
MESA, AZ 85215

COURT AT THE COMMONS PROPERTY OWNERS ASSOC  
2812 N NORWALK 105  
MESA, AZ 85215

COWDEN BRENT/RYAN ANTHONY/DERYK/VISSER DARRELL  
3463 CEDARVILLE RD  
BELLINGHAM, WA 98226

CRISP PATRICK/CAROL TR  
3827 E OMEGA CIR  
MESA, AZ 85215

DANDI VILLAGE PROPERTIES LLC  
3114 S 98TH ST  
MESA, AZ 85212

DANDI VILLAGE PROPERTIES LLC  
3935 E PALM ST  
MESA, AZ 85215

DESAUTELS ROBERT A/DEANNE M  
3918 E OASIS CIR  
MESA, AZ 85215

DON AND SHARLA STOKER FAMILY TRUST  
3707 E OMEGA CIR  
MESA, AZ 85205

DONALD AND BRYNN BURTON TRUST  
3734 E OASIS CIR  
MESA, AZ 85215

DOUGLAS JAMES WALDIE AND KRISTEN ANNE WALDIE REVOCABLE LIVING TRUST  
3828 E OMEGA CIR  
MESA, AZ 85215

DROWN DOUGLAS ROBERT/PAULA ANN TR  
3655 E OMEGA CIR  
MESA, AZ 85215

EMERALD GROVE HOLDING COMPANY LLC  
5360 S 154TH ST  
GILBERT, AZ 85298

ERIC G HUISSH SR AND DIANA L HUISSH TRUST  
3648 E NANCE CIR  
MESA, AZ 85215

ESTATES AT HERMOSA RANCH COMMUNITY ASSOCIATION  
459 N GILBERT RD STE A220  
GILBERT, AZ 85233

EW GARDNER FAMILY LIMITED PARTNERSHIP NO 2  
4301 E MCKELLIPS RD  
MESA, AZ 85215

FABIANI RAYMOND J  
3944 E NORA CIR  
MESA, AZ 85215

FALL BRIAN N/MARI  
3752 E NORTHRIDGE CIR  
MESA, AZ 85215

FIGLER JEFF/LINDA  
PO BOX 958  
POWAY, CA 92074

FITCH JAMES CARL/KAREN ANN  
3913 E OMEGA CIR  
MESA, AZ 85215

FLORES HUBERT/CRISWELL SUSAN  
3850 E MENLO ST  
MESA, AZ 85215

FREEMAN JOHN A/SARAH E  
3948 E NORCROFT CIR  
MESA, AZ 85215

GAMEZ GONZALO/CONCEPTION  
3711 E NORTHRIDGE CIR  
MESA, AZ 85215

GARCIA PAULINO G/ROSA A  
3655 E OASIS CIR  
MESA, AZ 85215

GARDNER QUINTON W/JOY RODGERS  
3848 E MALLORY ST  
MESA, AZ 85215

GIBBONS ALEN/CHRISTINE  
3745 E OMEGA CIR  
MESA, AZ 85215

GMBMK PROPERTIES LLC  
3849 E OASIS CIR  
MESA, AZ 85215



GRACE KEVIN D/TRACY L  
2505 N VAL VISTA DR  
MESA, AZ 85213

GRIMES LIVING TRUST  
3121 E GARY ST  
MESA, AZ 85213

HAVEN LEE DOVE AND CINDY KAY  
DOVE TRUST  
3728 E NORTHRIDGE CIR  
MESA, AZ 85215

HENDERSON FAMILY LIVING TRUST  
3722 E MALLORY ST  
MESA, AZ 85205

HENDRICKS KEITH L/CAROL B  
3865 E OASIS CIR  
MESA, AZ 85215

HENSON BLAKE/KASSANDRA  
3712 E NANCE CIR  
MESA, AZ 85215

HILDEBRANDT FAMILY TRUST  
3931 E OASIS CIR  
MESA, AZ 85215

ISAKSON AARON JON/MARIA ELENA  
3836 E OASIS CIR  
MESA, AZ 85215

JAMES T GODFREY AND ROSALIE S  
GODFREY TRUST  
3735 E OASIS CIR  
MESA, AZ 85215

JEFFREY D TILLERY AND WHITNEY A  
TILLERY TRUST  
3812 E MENLO ST  
MESA, AZ 85215

JENKINS JOHN/YAZARA  
3816 E MINTON PL  
MESA, AZ 85215

JOHN B CALVERT 2020 TRUST  
42550 47TH ST W  
LANCASTER, CA 935364303

JOHN M KILIAN M D LIVING TRUST  
3828 E MALLORY ST  
MESA, AZ 85205

JOSEPH AND LORI COSTELLO FAMILY  
TRUST  
3764 E OASIS CIR  
MESA, AZ 85215

KATHIRAVAN NAGIREDDI/SUGANYA  
3960 E NORCROFT CIR  
MESA, AZ 85215

KINDT STEPHAN/LISA  
2440 N MAPLE ST  
MESA, AZ 85215

LECOMPTE EUGENE  
3711 E MINTON PL  
MESA, AZ 85215

LI ZONGFU/CHEN JIANG  
3710 E NORTHRIDGE CIR  
MESA, AZ 85215

LIQING WEN AND YING MA TRUST  
3909 E NORA CIR  
MESA, AZ 85215

LUNENG DAVID PATRICK/TAMARA  
DAWN  
3848 E OMEGA CIR  
MESA, AZ 85215

M&A HOLDINGS OF WA LLC  
11890 SE BLUFF RD  
SANDY, OR 97055

MARVIN LEE AND ANN RUTH  
GAMERTSFELDER TRUST  
3660 E NANCE CIR  
MESA, AZ 85215

MASON ERIK/RACHEL  
3937 E NORCROFT CIR  
MESA, AZ 85215

MATTHEW 2529 TRUST  
3835 E MINTON PL  
MESA, AZ 85215

MCEWEN STEPHEN  
DALE/BJOLVERUD CHRISTIE LYN  
6113 KOEP AVE  
REGINA, AZ 85215

MCFARLAND FAMILY LIVING TRUST  
3925 E NORCROFT CIR  
MESA, AZ 85215

MCGAVICK SHARON M/SVENSON  
KEITH O  
7850 CHICO WAY NW  
BREMERTON, WA 98312

MCLEAN THOMAS N/JENNIFER L  
3864 E OMEGA CIR  
MESA, AZ 85215

MEAGHER MATTHEW T  
2553 N MAPLE ST  
MESA, AZ 85215

MESA PERIO PROPERTIES LLC  
107 N GREENFIELD RD STE 1  
MESA, AZ 85205

MILLARD JEFFREY CLARK/EMILY  
3727 E OMEGA CIR  
MESA, AZ 85215

MIRITELLO SCOTT/LINDA A  
2575 N VAL VISTA DR  
MESA, AZ 85213

MITCHELL JAMES/BAILEE  
3634 E MCDOWELL RD  
MESA, AZ 85215

MITICH DRAGAN/VERA  
3635 E OMEGA CIR  
MESA, AZ 85215

MONK DAVID J/KARI L TR  
3658 E NORTHRIDGE CR  
MESA, AZ 85215

MORRIS MARY V  
3735 E MALLORY DR  
MESA, AZ 85215

NOC20 LLC  
2812 N NORWALK 111  
Mesa, AZ 85215

NORBERG MICHAEL S/DARCI R  
2521 N MAPLE  
MESA, AZ 85215

NORGREN KERRY M/JOAN M  
1317 E FAIRFIELD ST  
MESA, AZ 85203

NORWALK COMMONS LLC  
3106 E HERMOSA VISTA DR  
MESA, AZ 85213

NORWALK PATRIOTS LLC  
3661 E NANCE CIR  
MESA, AZ 85215

NU SASH INVESTMENTS LLC  
17027 N 45TH ST  
PHOENIX, AZ 85032

OLIN & SARA VANCE FAMILY TRUST  
3912 E NORCROFT CIR  
MESA, AZ 85215

OLSEN FAMILY TRUST  
3656 E OMEGA CIR  
MESA, AZ 85215

ORTIZ RUSSELL R/STACY A  
2601 N VAL VISTA DR  
MESA, AZ 85213

PARDUE DONISHA D/JORDAN  
JERMAINE D  
3944 E MINTON CIR  
MESA, AZ 85215

PEKALA JOHN M/BETH A  
3940 E MENLO CIR  
MESA, AZ 85215

PERRACCHIO LIVING TRUST  
3920 E NORA CIR  
MESA, AZ 85215

PETERSON DAVID TROY/THERESA S  
3728 E OMEGA CIR  
MESA, AZ 85215

PETERSON ROBERT W/BETTE LYN TR  
3921 E NORA CIR  
MESA, AZ 85215

PHPE HOLDINGS LLC  
2812 N NORWALK 114  
MESA, AZ 85215

PITTS JUSTIN E/LESLIE  
3754 E MENLO ST  
MESA, AZ 85215

PRESTON BRADLEY MICHAEL  
3732 E MINTON PL  
MESA, AZ 85215

PRISCAK DAVID S/KRISTIN A  
3914 E OMEGA CIR  
MESA, AZ 852159701

R & C AN FAMILY TRUST  
3949 E NORCROFT CIR  
MESA, AZ 85215

RAMOS RODOLFO/LUDIVINA  
3928 E MINTON CIR  
MESA, AZ 85215

RANCLAND HOLDINGS I LLC  
2812 N NORWALK STE 105  
MESA, AZ 85215

RANDY GEHRTS REVOCABLE LIVING  
TRUST  
4713 E VIRGINIA ST  
MESA, AZ 85215

RAY LLOYD MOSS FAMILY TRUST  
2661 N VAL VISTA DR  
MESA, AZ 85213

REINBOLD WILSON R/CONNIE  
3829 E OASIS CIR  
MESA, AZ 85215



REMINGTON DARREN B/MARGARET J  
3925 E MINTON CIR  
MESA, AZ 85215

REVOCABLE TRUST AGREEMENT OF  
JOSEPH P BORG AND JOANNE K  
BORG  
3733 E MINTON PL  
MESA, AZ 85215

RICHARD AND KELLI SKOUSEN  
REVOCABLE LIVING TRUST  
3708 E OMEGA CIR  
MESA, AZ 85215

RIDDER JOSEPH PATRICK/LYNN  
MARIE  
3750 E MINTON PL  
MESA, AZ 85215

RIVERA JONNIE/LYNNE  
3929 E OMEGA CIR  
MESA, AZ 85215

ROBERT H PERRY AND TERRILYN K  
PERRY TRUST  
3908 E MALLORY CIR  
MESA, AZ 85215

ROBERT L PORTER AND KAREN F  
PORTER REV TRUST  
3847 E OMEGA CIR  
MESA, AZ 85215

ROBINSON DENTEN D  
3830 W MENIO ST  
MESA, AZ 85215

ROGERS NIKE/OROBIYI MICHAEL  
4010 E MINTON CIR  
MESA, AZ 85215

ROME JOHN J/SHELLY A  
3728 E MCDOWELL RD  
MESA, AZ 85215

ROOSEVELT WATER CONS DIST  
PO BOX 100  
HIGLEY, AZ 85236

ROSE FAMILY TRUST  
3813 E OASIS CIR  
MESA, AZ 85215

ROSEWOOD ESTATES COMMUNITY  
ASSOCIATION  
7255 E HAMPTON AVE STE 101  
MESA, AZ 85209

ROY D CRACRAFT SR TRUST  
3751 E NANCE CIR  
MESA, AZ 85215

RYAN PATRICK L/JULIA E  
3834 E MINTON PL  
MESA, AZ 85215

SCHLAPPI FAMILY TRUST  
3911 E NORTHRIDGE CIR  
MESA, AZ 85215

SCHMADERER BRODY/NICOLE  
3811 E OMEGA CIR  
MESA, AZ 85215

SCHMIDT WAYNE E/KAREN A TR  
3748 E OASIS CIR  
MESA, AZ 852159791

SEC FAMILY REVOCABLE TRUST  
3655 E NORTHRIDGE CIR  
MESA, AZ 85215

SHIMEK BRADY/ATHENA  
M/MACHAIN NANCY/HENRY  
3762 E OMEGA CIR  
MESA, AZ 85215

SHORT DAVID E  
3958 E NORTHRIDGE CIR  
MESA, AZ 85215

SHUBERT HARVEY  
LAWRENCE/SHUBERT CATHERENE  
3716 E MALLORY ST  
MESA, AZ 85215

SIGGINS FAMILY LIVING TRUST  
3812 E OMEGA CIR  
MESA, AZ 85215

SLAUGHTER BRIAN W/CYNTHIA E  
3855 E MINTON PL  
MESA, AZ 85215

SMITH BRANDON R/JAMIE T  
1939 E LYNWOOD ST  
MESA, AZ 85203

SOBRADO DANA E ROCKER/MICHAEL  
D  
3650 E MCDOWELL RD  
MESA, AZ 85215

SPEARS JOHN C/PATRICIA A TR  
3842 E MALLORY  
MESA, AZ 85203

SRS FAMILY TRUST  
3729 E NORTHRIDGE CIR  
MESA, AZ 85215

STAMM ROBERT/ANGELA  
3820 E OASIS CIR  
MESA, AZ 85215

STARMAN STEVE  
3723 E MALLORY ST  
MESA, AZ 85215

SUMKO MICHAEL/JENNIFER  
3763 E OASIS CIR  
MESA, AZ 85215

TAYLOR STEVE/KATRINA  
3922 E NORTHRIDGE CIR  
MESA, AZ 85215

TEMCO LLC  
1514 NE 69TH PL  
ANKENY, IA 500218883

TERRELL S AND PATRICIA A REIBER  
FAMILY TRUST  
3829 E MALLORY ST  
MESA, AZ 85215

TETLOW FAMILY REVOCABLE  
LIVING TRUST  
3852 E OASIS CIR  
MESA, AZ 85215

THOMAS & MARIBEL OAKES FAMILY  
TRUST  
3912 E MINTON CIR  
MESA, AZ 85215

TOBLER STEVEN J/MARIE E TR  
3675 E OASIS CIR  
MESA, AZ 85215

UDT SHAWN T FLAHART LIVING  
TRUST  
6112 E RED BIRD RD  
SCOTTSDALE, AZ 85266

VIEWEG DAVID EDWARD  
3729 E NANCE CIR  
MESA, AZ 85215

VISTA ESTANCIA HOMEOWNERS  
ASSOCIATION INC  
1834 E BASELINE RD 102  
TEMPE, AZ 85283

WALTER & MARSHA EGGERS FAMILY  
TRUST  
3747 E OASIS CIR  
MESA, AZ 85215

WALTERS NICHOLAS D/CORINTHIA T  
3747 E OASIS CIR  
MESA, AZ 85215

WARNER JEFFREY/JENNICA  
3961 E NORCROFT CIR  
MESA, AZ 85215

WASSON DANNY/ANGELA  
3815 E MALLORY ST  
MESA, AZ 85215

WATSON JOEL A  
3746 E OMEGA CIR  
MESA, AZ 85215

WHITE DOUGLAS J/ANNE E  
3930 E OMEGA CIR  
MESA, AZ 85215

WICKERSHEIM ROBERT D/SANDRA  
3947 E NORTHRIDGE CIR  
MESA, AZ 85215

WICKERSHEIM ROBERT D/SANDRA  
TR  
3947 E NORTHRIDGE CIR  
MESA, AZ 85215

WILSON FAMILY TRUST  
2455 N MAPLE  
MESA, AZ 85215

WILSON GREGORY ROBERT  
3814 E MALLORY ST  
MESA, AZ 85215

WIRIG TRUST  
3924 E NORCROFT CIR  
MESA, AZ 85215

WOODS AMMON D/BROOKE  
4009 E MINTON CIR  
MESA, AZ 85215

YOST GAYLORD BOB  
1635 N GREENFIELD RD STE 106  
MESA, AZ 85205

YOUSSEF TAREK H/EL-HAKIM  
SHERMEEN F  
3909 E MINTON CIR  
MESA, AZ 85215

ZAHIRI MORTEZA/ZAHIRI-MENDOZA  
TERESA LEE  
2609 N VAL VISTA DR  
MESA, AZ 85203

ZUZUS PEDALS TRUST  
3915 E OASIS CIR  
MESA, AZ 85215



## Neighborhood Meeting Sign-In Sheet

**Applicant:**  
Pew & Lake, PLC/ Reeb / Legacy Cove

**Property Location:**  
Property located at 38<sup>th</sup> Place and McDowell Road, which is on the south side of McDowell  
between Val Vista Drive and Greenfield Road

**Date:**  
August 22, 2023

**Meeting Location:**  
Ishikawa Elem. School Media Center  
(2635 N 32nd St, Mesa, AZ 85213)

**Time:**  
6:00 PM

**Case:**

#	NAME	ADDRESS	ZIP	Email	PHONE
1	PATRICK & Julia Ryan	3834 E MINTON PI		PATRICKLRyan@gmail.com	602-317-4627
2	Brian & Mari Fall	3752 E. Northridge		mari@fallfamily.net	480 235 1779
3	Rachel Mason	3937 E Norcroft Cir		masonfamilyof6@gmail	713-295-1290
4	David & Liz BERKSTRESSER	3956 E. Nora Cr.		David.Berkstresser@Gmail.com	602-284-1296
5	Marshelle Millett	3115 E Palm Street		willettms30@yahoo.com	480 204 6531
6				DAVID.BERKSTRESSER@GMAIL.COM	602-284-1296
7					
8					
9					
10					
11					
12					
13					



## Neighborhood Meeting Sign-In Sheet

**Applicant:**  
Pew & Lake, PLC/ Reeb / Legacy Cove

**Property Location:**  
Property located at 38<sup>th</sup> Place and McDowell Road, which is on the south side of McDowell  
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**Date:**  
August 22, 2023

**Meeting Location:**  
Ishikawa Elem. School Media Center  
(2635 N 32nd St, Mesa, AZ 85213)

**Time:**  
6:00 PM

**Case:**

#	NAME	ADDRESS	ZIP	Email	PHONE
1	Mark Anthony	3908 ENora Cir, Mesa	85215	christineanthonyhomes@gmail.com	480-200-0972
2	Christine "	"	"	"	"
3	John Jenkins	3896 E Minton pl Mesa	85215	Johnjenkinspa@gmail.com	602-803-9663
4	Yazara Jenkins	3896 E Minton PL Mesa	85215	YazaraJenkinspa@gmail.com	602-350-5400
5					
6					
7					
8					
9					
10					
11					
12					
13					



## Neighborhood Meeting Sign-In Sheet

**Applicant:**  
Pew & Lake, PLC/ Reeb / Legacy Cove

**Property Location:**  
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**Date:**  
August 22, 2023

**Meeting Location:**  
Ishikawa Elem. School Media Center  
(2635 N 32nd St, Mesa, AZ 85213)

**Time:**  
6:00 PM

**Case:**

#	NAME	ADDRESS	ZIP	Email	PHONE
1	Roy & Angelita Fabiani	3944 E. Nora Cr. Mesa	85215	fabiani.painting@me.com	602 432-8365
2	John Freeman	2948 E. Newcomb	85215	AZ.FREEMAN7@comcast	480 225-8393
3					
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					

NEIGHBORHOOD MEETING  
6:00 PM - August 22, 2023  
COMMENT CARD

NAME DAVID & LIZ BERKSTRESSER PHONE \_\_\_\_\_

ADDRESS 3956 E NORD CIRCLE MESA 85215

COMMENT: HIRE AN EXTERMINATOR TO TRAP  
THE RATS AND GOPHERS BEFORE YOU GET  
DOWN THE NUMBER ONE.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



November 10, 2023

To: Sarah Prince  
Legacy Cove Development

Re: Water Drainage issue in southeast corner of the new/developing  
'Legacy Cove Development / Community'.

We are owners of lot #11 of Rosewood Estates, Lane and MaryLou Bigler, residents in our current home for the past 22 years. At a recent Homeowners Association meeting held this week, an overview of the 'Legacy Cove' development was presented to us by a realtor, Christine Anthony, who is a resident of our "Rosewood Estates" neighborhood. She also distributed to our residents a "**Legacy Cove Conceptual Site Plan**".

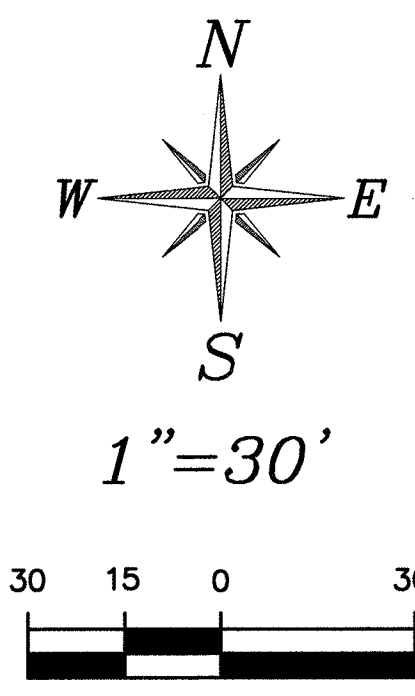
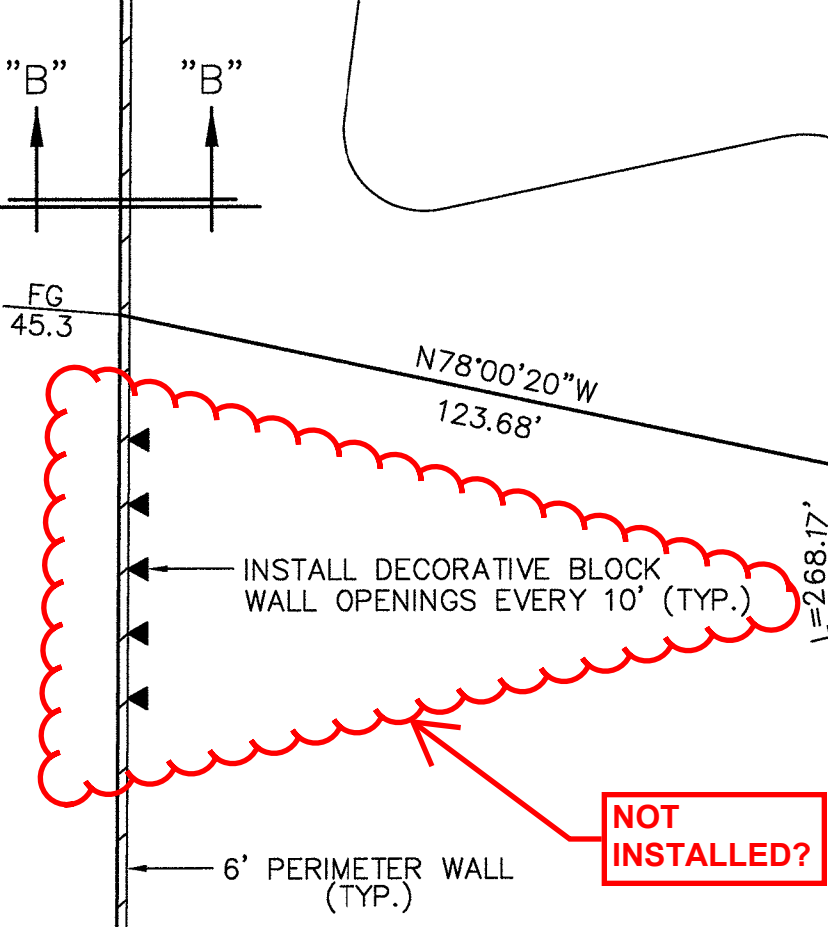
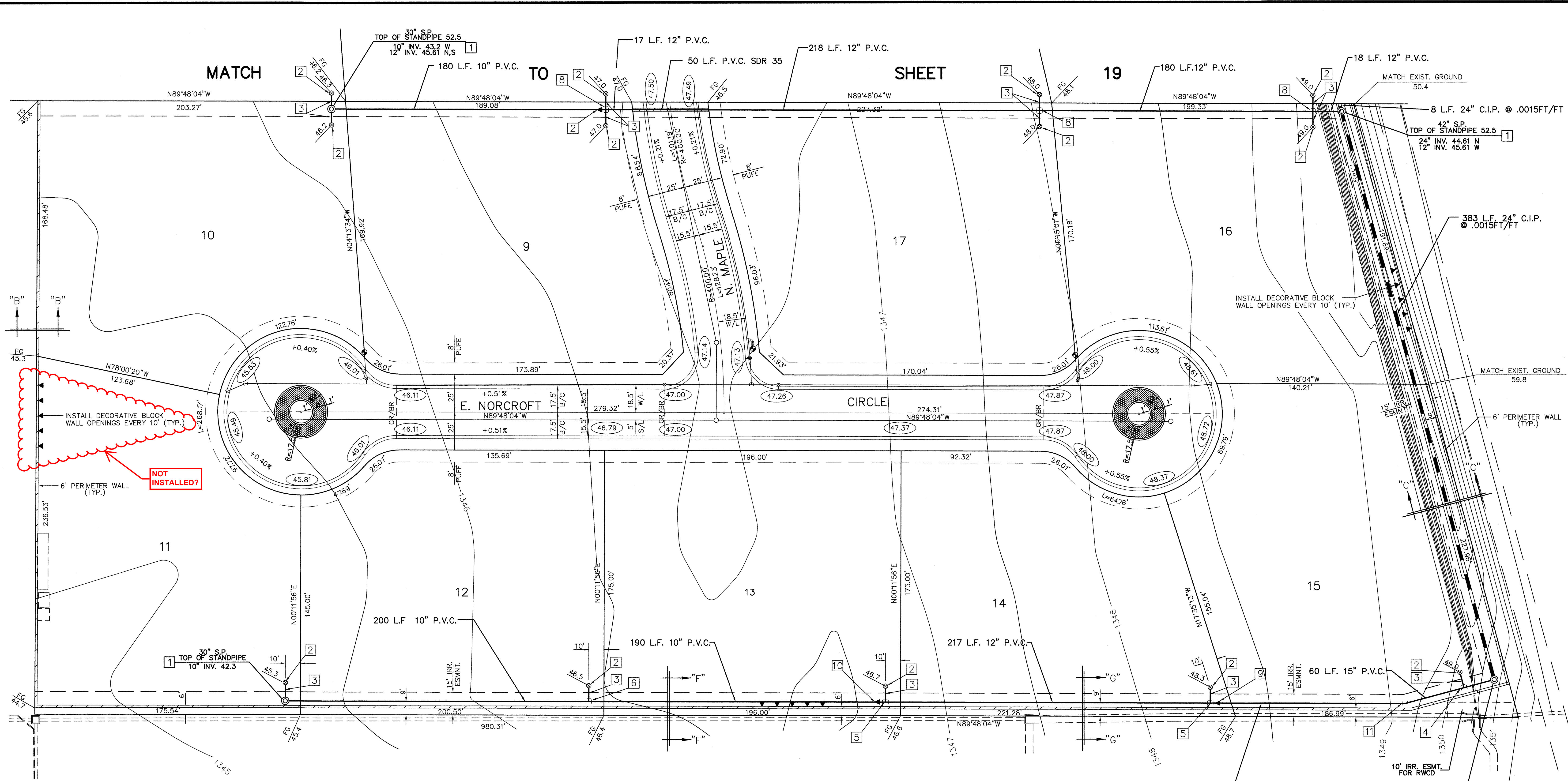
The purpose of this communication is to inform you of a water movement/drainage issue that affects our property and the newly proposed parcels (lots #14 and #15) which will share a back wall with the back of our property. Legal documentation that originated from developers of the Rosewood Estates established a city-approved plan that included multiple perforated cinderblocks situated at the base of our back wall. (Refer to attachment #2) These "open" blocks are placed strategically one per segment of wall (one segment of wall being the cinderblocks that are flanked by a pair of cinderblock-connecting columns). These open or perforated cinderblocks are placed one per segment of wall for the northernmost aspect of our North-South direction wall that will be shared with the owners of lots #14 and #15 of "Legacy Cove".

The purpose of these perforated blocks is to facilitate water movement during the heaviest rain storms. The water flows in a westbound direction through Rosewood Estates. It will be imperative to forward this communication to the planners/developers to take this information into consideration when devising water drainage and "retention" plans for the Legacy Cove community.

Thank you.

Lane and MaryLou Bigler  
Cell: (480) 225-4663  
Email: Biglerazfamily@gmail.com





- LEGEND**
- 46.11 INDICATES BACK OF RIBBON CURB OR GUTTER ELEVATION
  - INDICATES WALL OPENING
  - INDICATES BLOCK WALL
  - INDICATES RETAINING WALL
  - INDICATES EXIST. EDGE OF PVMT.
  - INDICATES TOP OF CURB AND GUTTER ELEVATION

- IRRIGATION CONSTRUCTION NOTES**
- 1 INSTALL IRRIGATION STANDPIPE (MAG. DET. 503)
  - 2 INSTALL IRRIGATION CONTROL VALVE (SEE NOTE THIS SHEET)
  - 3 INSTALL 10 LF 10" P.V.C.
  - 4 INSTALL 15" X 10" TEE
  - 5 INSTALL 12" X 10" TEE
  - 6 INSTALL 10" X 10" TEE
  - 8 INSTALL 12" X 10" CROSS
  - 9 INSTALL 15" X 12" REDUCER
  - 10 INSTALL 12" X 10" REDUCER
  - 11 INSTALL 22 1/2" BEND

**NOTE:**  
 ALL VALVES TO BE 10" WATERMAN RED TOP OVERFLOW VALVE WITH TYPE 4 FRAME AND "VEE" TYPE THREADS OR APPROVED EQUAL.  
 SEE DETAIL SHEET 21 FOR LOT RETENTION TABLE

<p><b>Clouse Engineering, Inc.</b>  <b>ENGINEERS • SURVEYORS</b>          1642 E. Orangewood Ave. • Phoenix, Arizona 85020 • TEL 395-9300 • FAX 395-9310</p>	Revisions 1-19-98 2-17-98 2-26-98 5-7-98	Date 10/29/97 Job No. 970508
	PRIVATE IRRIGATION AND GRADING PLAN FOR <b>ROSEWOOD ESTATES</b>	
MESA	ARIZONA	SH. 18 OF 32

Two working days before you dig  
 CALL FOR THE BLUE STAKES  
 263-1100  
 Blue Stake Center  
 CALL COLLECT

CLOUSE ENGINEERING, INC., SHALL NOT BE LIABLE FOR ANY PORTION OF WORK NOT CONFORMING TO APPROVED PLANS SHOULD THEIR STAKES BE FOUND MISSING OR DISTURBED.



November 17, 2023

To: Sarah Prince  
Legacy Cove Development

Re: Follow-up communication.  
Water Drainage issue in southeast corner of the new/developing  
'Legacy Cove Development / Community'.

Thank you for your prompt response to our email. We felt that this was important for the following two reasons:

1st, this will ensure a level of transparency that your potential purchasers will appreciate. The purchasers will also need to be made aware that these perforated cinder blocks are to remain open and not to be blocked in any way or at any time by the new lot owners or the developers.

2nd, we believe that this information should be implemented in your overall drainage plans for the entire neighborhood, (ensure that there is a direct pipeline from the shared wall of which we have spoken draining directly to your retention basin). This would allow the developer to make certain that the drainage responsibility is shared among all future homeowners of the development rather than having the owners of one or two lots bear the bulk of that responsibility. Also, the drainage into your retention basin is imperative to be engineered on your part to eliminate any possibility that water drainage from your developing neighborhood will proceed in an eastbound direction and NOT flow back into our property from your community.

Thank you for your attention to this important information.

Lane and MaryLou Bigler  
Cell: (480) 225-4663  
Email: Biglerazfamily@gmail.com

**From:** [Lane Bigler](#)  
**To:** [Sarah Prince](#)  
**Subject:** Re: Important Document from Rosewood Estates  
**Date:** Monday, November 27, 2023 1:04:51 PM

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Sarah,  
Thank you for your thoughtful and detailed response.  
Lane and MaryLou

On Mon, Nov 27, 2023 at 10:14 AM Sarah Prince <[sarah.prince@pewandlake.com](mailto:sarah.prince@pewandlake.com)> wrote:

Hello Lane & MaryLou,

I hope you had a wonderful Thanksgiving weekend. Thank you for sending over this information, we appreciate it.

I have provided our engineers with all the information you sent over, they are reviewing and working on this. The drainage details are still in the preliminary stages, but we will continue to work on this and the specifics will be completed further in the process. I will reach out if we have any questions and I will provide you with any updates when they are available.

Please let me know if there is anything else I can do to help.

Best,

**Sarah Prince**

Land Use Planner & Project Manager

**Phone** 480-461-4670 **Mobile** 480-586-8315

1744 South Val Vista Drive, Suite 217

Mesa, Arizona 85204

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**From:** Lane Bigler <[biglerazfamily@gmail.com](mailto:biglerazfamily@gmail.com)>  
**Sent:** Friday, November 17, 2023 12:38 PM  
**To:** Sarah Prince <[sarah.prince@pewandlake.com](mailto:sarah.prince@pewandlake.com)>  
**Subject:** Re: Important Document from Rosewood Estates



Sarah,

Thank you for your response to our email and two attachments of November 10, 2023.

Attached, please find additional information that is extremely important for the developer of Legacy Cove.

Thank you,

Lane and MaryLou Bigler

On Mon, Nov 13, 2023 at 3:45 PM Sarah Prince <[sarah.prince@pewandlake.com](mailto:sarah.prince@pewandlake.com)> wrote:

Lane,

Thank you for reaching out and providing us with this important information. I have sent this information to the developer, and I will reach out when I have more information for you.

Thanks,

**Sarah Prince**

Land Use Planner & Project Manager

**Phone** 480-461-4670 **Mobile** 480-586-8315

1744 South Val Vista Drive, Suite 217

Mesa, Arizona 85204

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**From:** Lane Bigler <[biglerazfamily@gmail.com](mailto:biglerazfamily@gmail.com)>  
**Sent:** Friday, November 10, 2023 1:35 PM  
**To:** Sarah Prince <[sarah.prince@pewandlake.com](mailto:sarah.prince@pewandlake.com)>  
**Subject:** Important Document from Rosewood Estates

November 10, 2023

To: Sarah Prince

Legacy Cove Development

Re: Water Drainage issue in southeast corner of the new/developing

'Legacy Cove Development / Community'

Please refer to the two attachments that include important information for the developers of "Legacy Cove" Community.

Thank You,

Lane and MaryLou Bigler

Rosewood Estates

Cell: 480-225-4663

Email: [biglerazfamily@gmail.com](mailto:biglerazfamily@gmail.com)



**Jardinero Neighborhood Meeting**  
**August 22, 2023**  
**Ishikawa Elementary School, 6:00 PM**

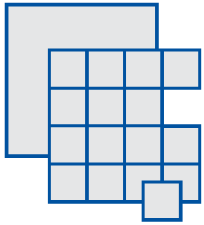
**Hosted by:** Sean Lake and Sarah Prince – Pew & Lake, PLC

**Summary:** The meeting started at 6:08 pm when all neighbors had an opportunity to sign in. Mr. Lake reviewed the proposed site plan and changes since the previous meeting. The changes included a reduction of density, lot alignment, increase in lot size, an update on the status of the existing trees on the lot (the City required all trees to be removed), and the rezoning request change from R1-15 PAD to R1-35 PAD.

**Questions:**

1. How will the developer mitigate the rodents while the trees are being removed?
  - ✓ The developer is open to suggestions on mitigation.
  
2. What influence can we have on the R1-35 PAD standards?
  - ✓ The developer is open to working with the neighbors to establish setbacks, building heights, accessory buildings, etc. The PAD will allow the neighbors and the developer an opportunity to create restrictions that will benefit the community.
  
3. The pool in the amenity area does not seem to fit the community.
  - ✓ The developer is happy to provide amenities that better fit the community. The amenities provided are still undecided, but a shared amenity area will be provided.
  
4. The wall along the south side is damaged, will the developer replace this wall?
  - ✓ The development will be required to provide a perimeter wall and will work with the neighbors along the south to repair or replace the existing wall.
  
5. Can you put a timeframe on the lot development?
  - ✓ We can discuss including timeframes of lot development in the CC&R's with the developer.
  
6. Do you have an idea on home prices?
  - ✓ In the current market custom homes are approximately \$300 per SF and lots of this size are approximately \$400,000 in the current market. These will be high-end custom homes with complementary values to the existing neighborhoods.

**Conclusion:** Overall, the neighborhoods were happy with the changes since this community was originally proposed. The neighbors agreed to a neighborhood representative, Mr. Patrick Ryan, who would work directly with Mr. Lake to establish stipulations and development standards.



Pew & Lake, P.L.C.  
Real Estate and Land Use Attorneys



W. Ralph Pew  
Certified Real Estate Specialist  
Sean B. Lake  
Reese L. Anderson

**RE: NOTICE OF PLANNING & ZONING BOARD HEARING**  
August 27, 2024

Dear Neighbor,

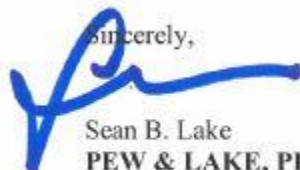
We have applied for rezoning from Single-Residence 35 to Single-Residence with a Planned Area Development Overlay (RS-35 PAD) for the property located on McDowell Road just west of Greenfield Road. This request is for the development of a “Jardinero” a single residence custom home subdivision. The case number assigned to this project is ZON23-00417.

This letter is being sent to all property owners within 1000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan of the proposed development. If you have any questions regarding this proposal, please call me or Sarah Prince in my office at 480-461-4670 or e-mail us at [sean.lake@pewandlake.com](mailto:sean.lake@pewandlake.com) or [sarah.prince@pewandlake.com](mailto:sarah.prince@pewandlake.com).

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on September 11, 2024 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

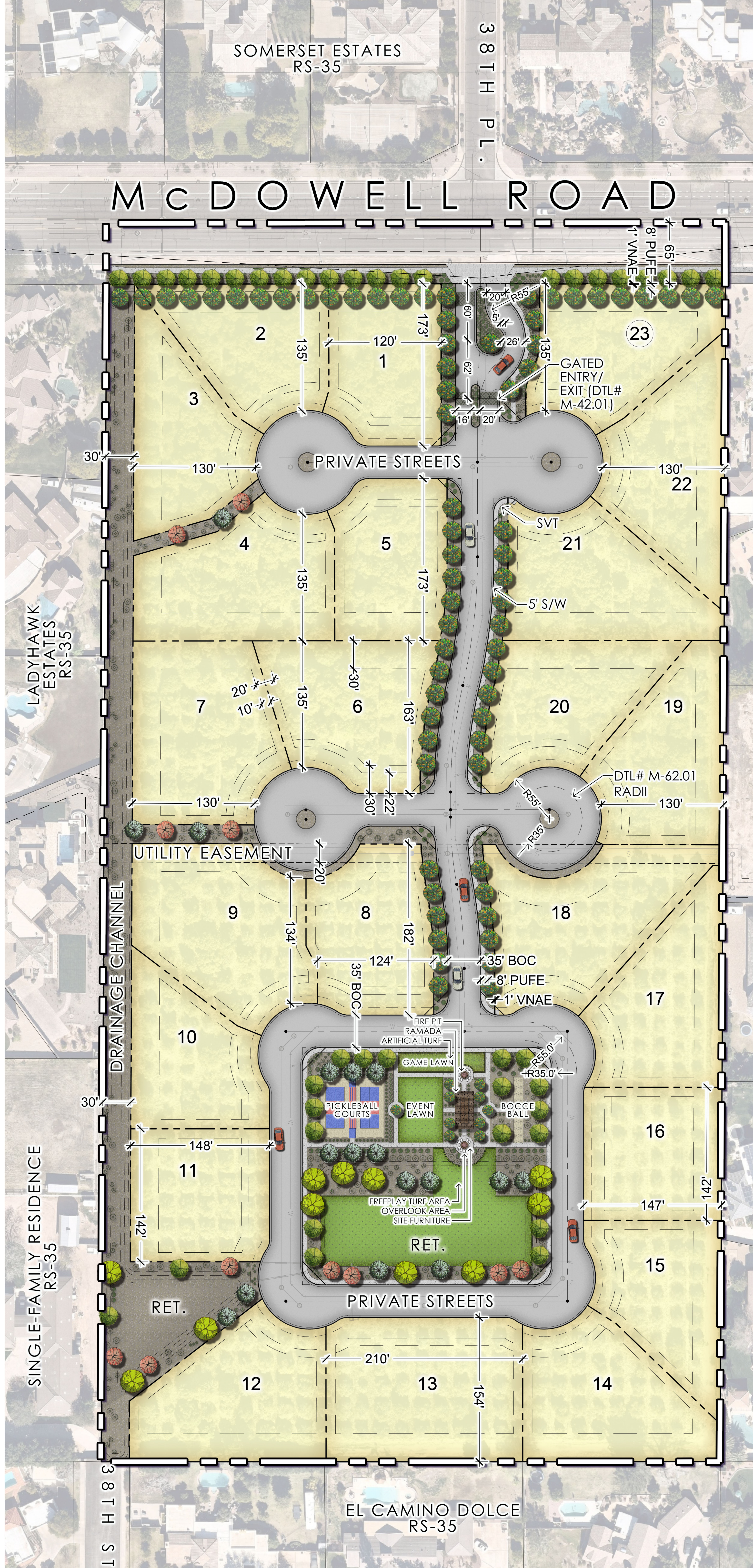
The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at [Mesa11.com/live](https://Mesa11.com/live) or [www.youtube.com/user/cityofmesa11/live](https://www.youtube.com/user/cityofmesa11/live), or listened to by calling **888-788-0099** or **877-853-5247 (toll free)** using meeting ID **825 0808 5605** and following the prompts. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least **1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099** or **877-853-5247 (toll free)** using meeting ID **825 0808 5605** and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak. For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Emily Johnson of their Planning Division staff. She can be reached at 480-644-3952 or [emily.johnson@mesaaz.gov](mailto:emily.johnson@mesaaz.gov), should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,  
  
Sean B. Lake  
PEW & LAKE, PLC

ENCLOSURE





### SITE PLAN SUMMARY

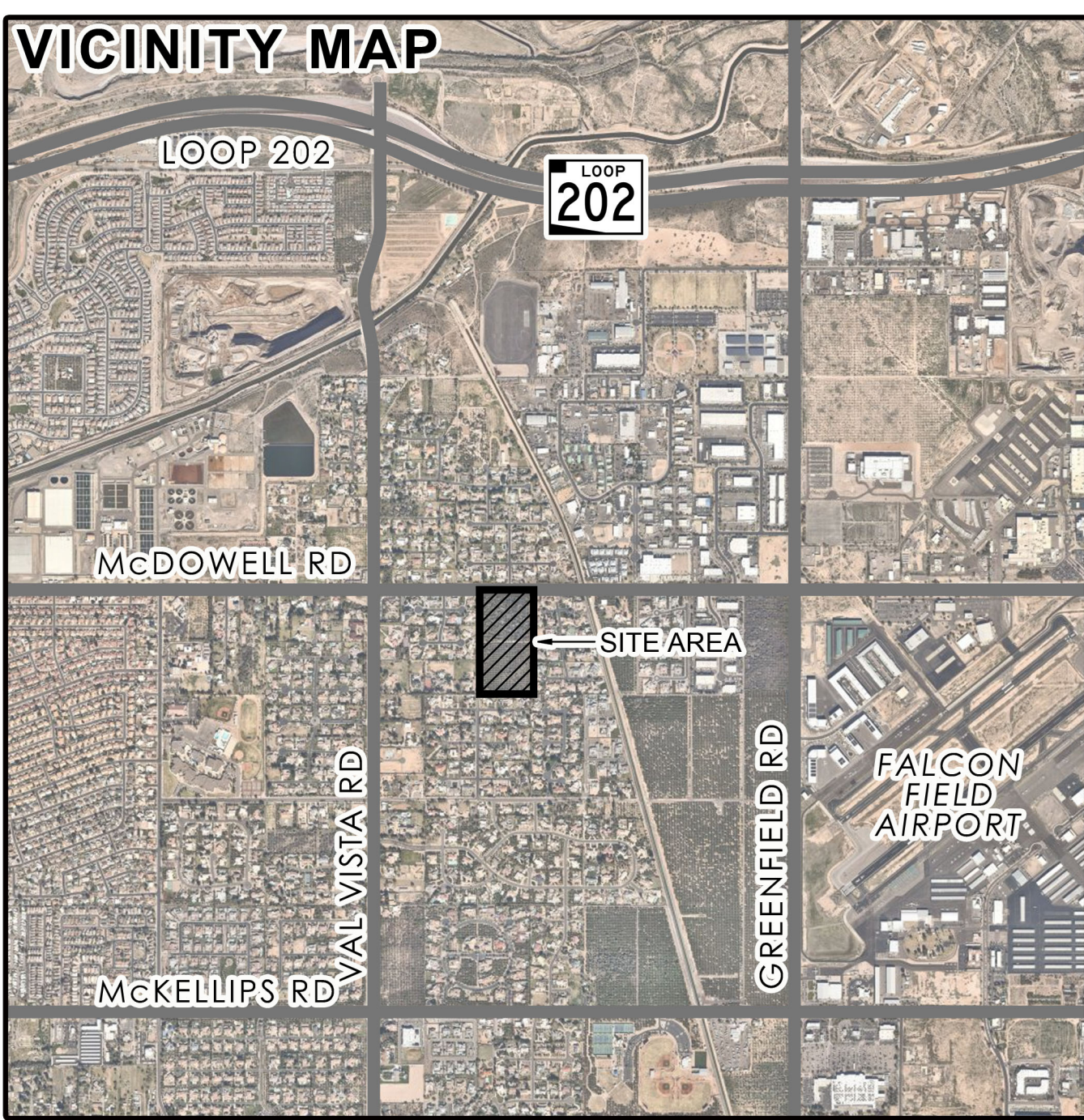
EXISTING LAND USE:	LDR 1-2 DU/AC (CITRUS SUB-AREA)
EXISTING ZONING:	RS-35
PROPOSED ZONING:	RS-35 PAD
TOTAL GROSS AREA:	± 20.06 AC.
TOTAL NET AREA:	± 19.08 AC.
PROPOSED LOT COUNT:	23
NET DENSITY (DU/AC):	1.20
MIN. LOT AREA/AVG.:	MIN: 20,000 S.F./AVG: ± 24,235 S.F.
MIN. LOT WIDTH/DEPTH:	110'/120'
MIN. INTERIOR LOT S/B'S:	22' FRONT (LIVABLE/PORCHES), 30' GARAGES, 10' SIDE, 30' REAR
MAX. LOT COVERAGE:	50%
MAX. BLDG. COVERAGE:	40%
OPEN SPACE:	± 2.9 AC. (± 15%)

THIS PLAN IS FOR CONCEPTUAL PURPOSES ONLY AND REQUIRES DETAILED SITE PLANNING, ENGINEERING AND CITY APPROVALS.

### LOT SIZE SUMMARY

LOT #	LOT AREA	8	21,646 s.f.	16	20,901 s.f.
1	20,193 s.f.	9	29,862 s.f.	17	23,854 s.f.
2	21,821 s.f.	10	20,357 s.f.	18	28,328 s.f.
3	21,886 s.f.	11	20,964 s.f.	19	23,647 s.f.
4	26,702 s.f.	12	27,050 s.f.	20	22,513 s.f.
5	20,179 s.f.	13	32,188 s.f.	21	25,756 s.f.
6	25,137 s.f.	14	25,401 s.f.	22	24,876 s.f.
7	28,627 s.f.	15	21,223 s.f.	23	24,293 s.f.

- NOTES:
- THE PROJECT IS REQUIRED TO PROVIDE A ROUTE TO MEET MINIMUM FIRE TURNING RADIUS OF 35'/55' AND 20 FEET OF UNOBSTRUCTED WIDTH AND A VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET WITHIN THE COMMUNITY RIGHT-OF-WAY/TRACT.
  - PRIVATE STREETS WITH CUL-DE-SACS MUST BE DESIGNED WITH AN IMPROVED TRAFFIC TURNING CIRCLE TO MEET CITY OF MESA STANDARDS FOR CUL-DE-SAC TURNING RADI (ORD.TITLE 9.CH.6.9-6-1) OR AS OTHERWISE APPROVED.
  - PROJECT TO COMPLY WITH C.O.M. SOLID WASTE STANDARDS M-62.01 - 62.09 (REV. 03/04/21) AT THE TIME OF SUBMITTAL. TWO (2) BARRELS TO BE PROVIDED PER HOME.
  - PROPERTY OWNER AGREES TO LIMIT SINGLE-STORY HOMES ON ALL PERIMETER LOTS.
  - PROPERTY OWNER AGREES TO LIMIT THE PRIMARY RESIDENCE OR DETACHED GARAGE TO 30 FEET FROM THE REAR PROPERTY LINE.
  - PROPERTY OWNER SHALL ESTABLISH DEED RESTRICTIONS TO PROVIDE A MINIMUM OF 3,000 SQUARE FOOT MAIN LEVEL.
  - PROPERTY OWNER SHALL ESTABLISH AN ARCHITECTURAL REVIEW COMMITTEE TO REVIEW AND APPROVE THE ARCHITECTURE FOR EACH NEW HOME.





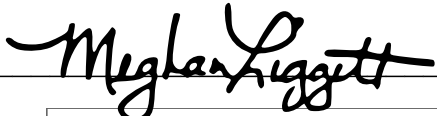
City of Mesa Planning Division

# AFFIDAVIT OF PUBLIC POSTING

Date:

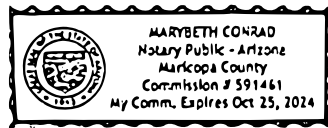
I, Meghan Liggett, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to case # , on . The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

**SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5” BY 11” SHEET OF PAPER WITH THIS AFFIDAVIT.**

Applicant's/Representative's signature: 

SUBSCRIBED AND SWORN before me on

  
Notary Public





CITY OF MESA PUBLIC NOTICE  
**ZONING HEARING**

PLANNING & ZONING BOARD  
57 EAST FIRST STREET  
MESA, ARIZONA

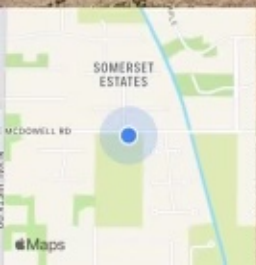
**TIME: 4:00 PM DATE: September 11, 2024**  
**CASE: ZON23-00417**

**Request: Rezone from Single-Residence-35 (RS-35) to Single-Residence-35 with a Planned Area Development overlay (RS-35-PAD). This request will allow for a single residence subdivision.**

**Applicant: Pew & Lake, PLC.**  
**Phone: (480) 461-4670**

**Planning Division: (480) 644-2385**

Posting date: August 28, 2024



August 28, 2024 at 6:10 AM  
+33.466244,-111.747392  
3883-3925 E McDowell Rd  
Mesa AZ 85215  
United States