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Rev.	Date	By	Description

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SITE INFORMATION

SITE ADDRESS:
2242 W. MAIN ST.
MESA, AZ 85201
A.P.N.: 135-45-005 & 135-45-006

ZONING:
CURRENT: GC & RM-4
PROPOSED: GC-CUP-BIZ

SITE AREA (5,000 S.F. MIN. REQUIRED):
NET: 42,017 S.F. (0.965 AC)
GROSS: 49,017 S.F. (1.125 AC)

LOT DIMENSIONS:
REQUIRED: 50' x 100'
PROVIDED: 140' x 300'

YARDS:
REQUIRED:
FRONT: 15'
SIDE AT RM: 20' + 15' / STORY
SIDE AT GC: 15'
REAR: 20' + 15' / STORY
PROPOSED:
FRONT: 10'
SIDE AT RM: 10'
SIDE AT GC: 5'
REAR: 20'

LOT COVERAGE: 33,768 S.F. / 42,017 S.F. = 80% (MAX. 80% ALLOWED)

BUILDING HEIGHT:
ALLOWED: 30'-0"
PROPOSED: 51'-3"

DENSITY:
ALLOWED: 25 DU/AC
PROPOSED: 56 DU/AC (54 / 0.965)

OPEN SPACE:
REQUIRED: 150 S.F. / UNIT (150 x 54 = 8,100 S.F.)
PROVIDED: 172 S.F. / UNIT (SEE COMMON / PRIVATE CALCULATION BELOW)

PRIVATE OPEN SPACE:
REQUIRED: 60 S.F. / UNIT = 3,240 S.F.
PROVIDED:
(3) 1-BED UNITS: 92 S.F. PATIOS EACH
(24) STUDIO UNITS: 1,672 S.F. DEDICATED COMMUNITY SPACE AT 2ND LEVEL (70 S.F. / STUDIO UNIT)

3RD FLOOR:
(3) 1-BED UNITS: 92 S.F. PATIOS EACH
(24) STUDIO UNITS: 1,672 S.F. DEDICATED COMMUNITY SPACE AT 3RD LEVEL (70 S.F. / STUDIO UNIT)

COMMON OPEN SPACE: 5,418 S.F. AMENITY DECK (100 S.F. / UNIT)

TOTAL: (48) STUDIOS x 70 S.F. EA = 3,344 S.F. PRIVATE
(6) 1-BEDS x 92 S.F. EA = 552 PRIVATE
(54) UNITS x 100 S.F. EA = 5,418 COMMON
(54) UNITS: 9,314 S.F. OPEN SPACE = 172 S.F. EA.

La Mesita Phase 4
2242 West Main Street
Mesa, AZ 85201

A New Leaf, Inc.
868 East University Drive
Mesa, AZ 85203

Project/Checked: **TK / NM**

Date: **02/27/23**

Project Number: **322032**

Sheet Number: **ARCHITECTURAL SITE PLAN**

A1.1

GENERAL NOTES

1. INFORM THE ARCHITECT OF ANY DISCREPANCIES BEFORE BEGINNING WORK.
2. REFER TO CIVIL DRAWINGS FOR GRADING, & DRAINAGE.
3. CONTRACTOR SHALL CONFIRM & MARK ALL UNDERGROUND & OVERHEAD UTILITIES PRIOR TO START OF WORK.

DWELLING UNIT MIX

STUDIO / 1 BATH:	48 (88.9%)
1 BED / 1 BATH:	6 (11.1%)
TOTAL DWELLING UNITS:	54

5% OF THE DWELLING UNITS SHALL BE ACCESSIBLE (MOBILITY DISABILITIES) UNITS (54 * 5% = 2.7 (3) UNITS REQUIRED). THREE UNITS ARE PROVIDED. ALL OTHER DWELLING UNITS ARE TYPE B' UNITS.

AN ADDITIONAL 2% OF THE DWELLING UNITS SHALL BE ACCESSIBLE (HEARING OR VISUAL DISABILITIES) UNITS (54 * 2% = 1.08 (2) UNITS REQUIRED). TWO UNITS ARE PROVIDED.

PARKING ANALYSIS

REQUIRED VEHICULAR PARKING:

MULTIPLE RESIDENCE APARTMENTS:
26 OR MORE TOTAL UNITS: 1.2 SPACES PER UNIT (54 x 1.2 = 65 SPACES)

COVERED SPACES: 1 PER UNIT
ACCESSIBLE PARKING: NOT LESS THAN 5%

PARKING SPACES PROVIDED:
COVERED PARKING: 76 SPACES
COVERED ACCESSIBLE SPACES: 4 SPACES
TOTAL SPACES PROVIDED: 80 SPACES

LOADING ZONE(S) REQUIRED: 1
LOADING ZONE(S) PROVIDED: 1

BICYCLE PARKING:
REQUIRED: 1 PER 10 VEHICLE SPACES
80 / 10 = 8
PROVIDED: 10 SPACES

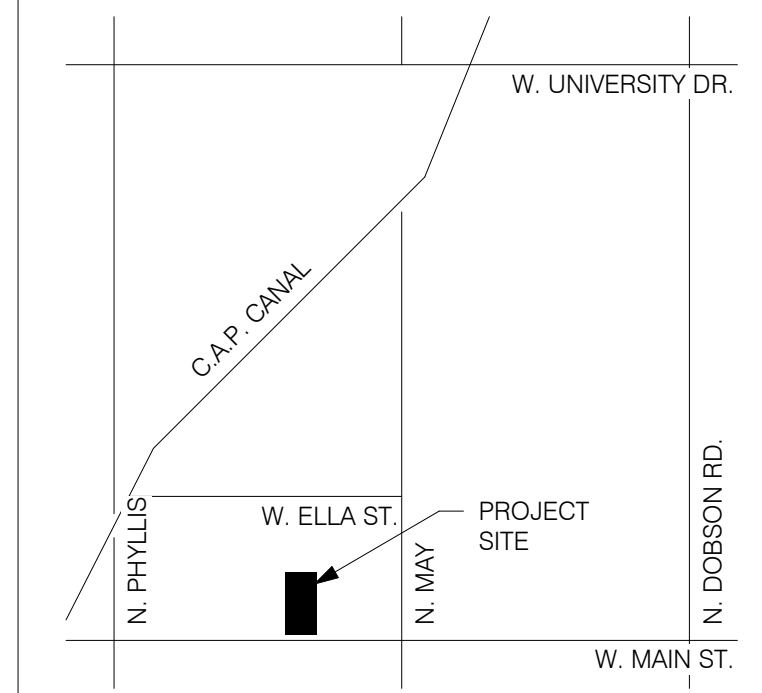
LEGAL DESCRIPTION

LOTS 5 & 6, OF LA MESITA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 32 OF MAPS, PAGE 44.

KEYNOTES

- 02 05 EXISTING OVERHEAD UTILITY LINES TO BE RELOCATED UNDERGROUND.
- 02 09 EXISTING UTILITY POLE TO REMAIN.
- 02 30 EXISTING SITE WALL TO REMAIN.
- 02 38 EXISTING UTILITY POLE AND METER TO BE REMOVED
- 03 08 CONCRETE STRESS PAD FOR TRASH PICKUP - SEE M-62.02.1 AND M-62.04.2.
- 26 01 EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
- 32 15 LOCATION OF EXISTING FIRE HYDRANT.
- 32 19 NEW CONCRETE PAVING APRON AT GARAGE ENTRY.
- 32 24 EXISTING DECOMPOSED GRANITE PARKING AREA TO REMAIN.
- 32 25 BIN LOCATION FOR PICKUP ONLY ON SERVICE DAYS. BINS TO BE STORED IN TRASH ROOM AT ALL OTHER TIMES.
- 32 28 TRASH ENCLOSURE PER CITY OF MESA STANDARDS, SIZED FOR (2) BINS. NO CMU WALL. SEE M-62.01 - M-62.04.2.
- 32 29 6" DIAMETER CONCRETE FILLED STEEL BOLLARD PER MESA M-62.04.1 DETAILS AND NOTES.
- 32 34 8'-0" HIGH 8" CMU WALL - PAINTED. COLOR: MATCH STONE VENEER ON BUILDING. SEE DETAIL 10/A1.2 ACCESSIBLE STEEL EGRESS GATE WITH PUSH BAR FROM INSIDE.
- 32 41 ACCESSIBLE STEEL EGRESS GATE WITH PUSH BAR FROM INSIDE.
- 32 42 STEEL ROLLING GATE FOR TRASH BIN LOADING AND UNLOADING TO PICKUP AREA.
- 32 50 EXISTING RIBBON CURB TO REMAIN.
- 32 51 DEMOLISH EXISTING RIBBON CURB AND DECOMPOSED GRANITE PARKING AREA FOR INSTALLATION OF NEW CONCRETE APRON.
- 32 52 EXISTING STREET LIGHT TO REMAIN.
- 32 53 EXISTING PEDESTRIAN CROSSWALK TO REMAIN.
- 32 66 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 32 67 EXISTING 6" CONCRETE CURB TO REMAIN.
- 32 68 EXISTING ASPHALT PAVING TO REMAIN.

VICINITY MAP

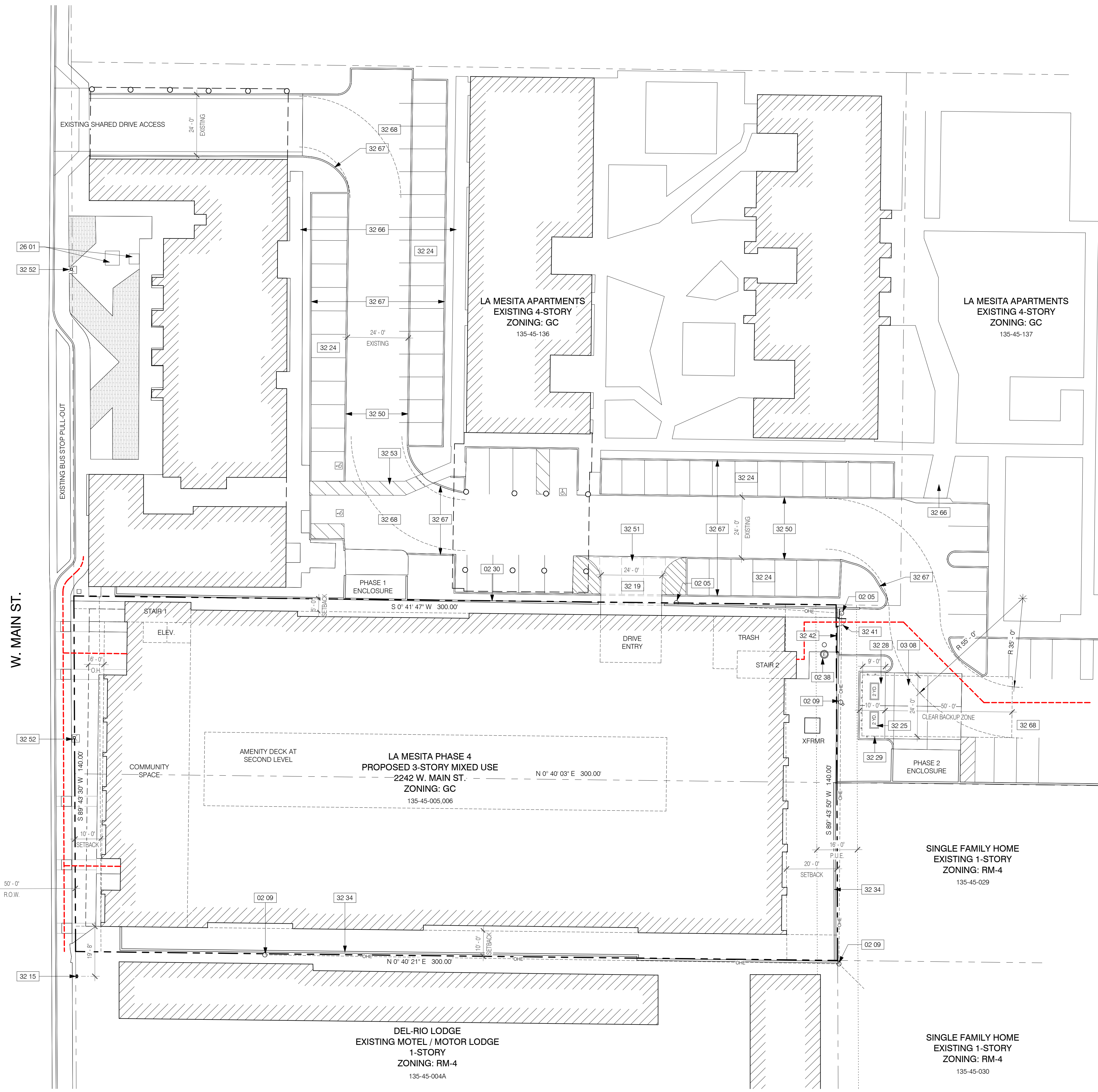


LEGEND

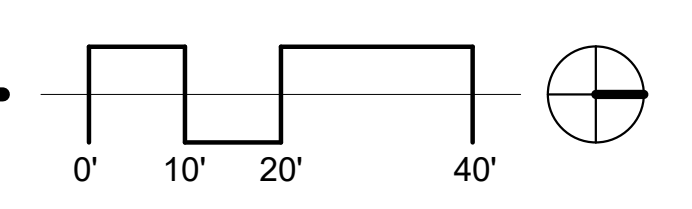
- INDICATES ACCESSIBLE ROUTE. MAX. SLOPE TO BE 1:20 WITH A MAX. CROSS SLOPE TO BE 2%.
- INDICATES LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS.

SITE PLAN NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. THIS PROJECT IS LOCATED IN THE CITY OF MESA WATER SERVICES AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. ALL SIGNAGE REQUIRES SEPARATE APPROVALS AND PERMITS.
5. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED SO THAT IT EXCEEDS THE GENERAL LEVEL OF NOISE, ODOR OR VIBRATION EMITTED BY USES OUTSIDE OF THE SITE.
6. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.
7. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
8. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
9. FINAL BUILDING PERMIT CANNOT BE OBTAINED UNTIL BONDING OR APPROVED ASSURANCES ARE PROVIDED FOR THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.
10. THE SANITARY SEWER COLLECTION SYSTEM WITHIN THIS PROJECT WILL BE A PRIVATE SYSTEM, OWNED AND MAINTAINED BY THE PROPERTY OWNER(S) OR ASSOCIATION. THE SYSTEM WILL BE REVIEWED AND INSPECTED BY THE BUILDING SAFETY SECTION OF THE DEVELOPMENT SERVICES DEPARTMENT.
11. ALL NEW SANITARY SEWER LINES WITHIN THE SITE SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE MESA PLUMBING CODE OR THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) AQUIFER PROTECTION PROGRAM (APP) GENERAL PERMIT 4.01 IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE TITLE 18, CHAPTER 9, SECTION E301 (AAC R18-9-E301) WHICHEVER IS APPLICABLE.
12. ALL ON-SITE WATER LINES, INCLUDING THOSE REQUIRED FOR FIRE PROTECTION SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE MESA PLUMBING CODE.



1 ARCHITECTURAL SITE PLAN
1" = 20'-0"



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