



Planning & Zoning Board



GPA26-00147

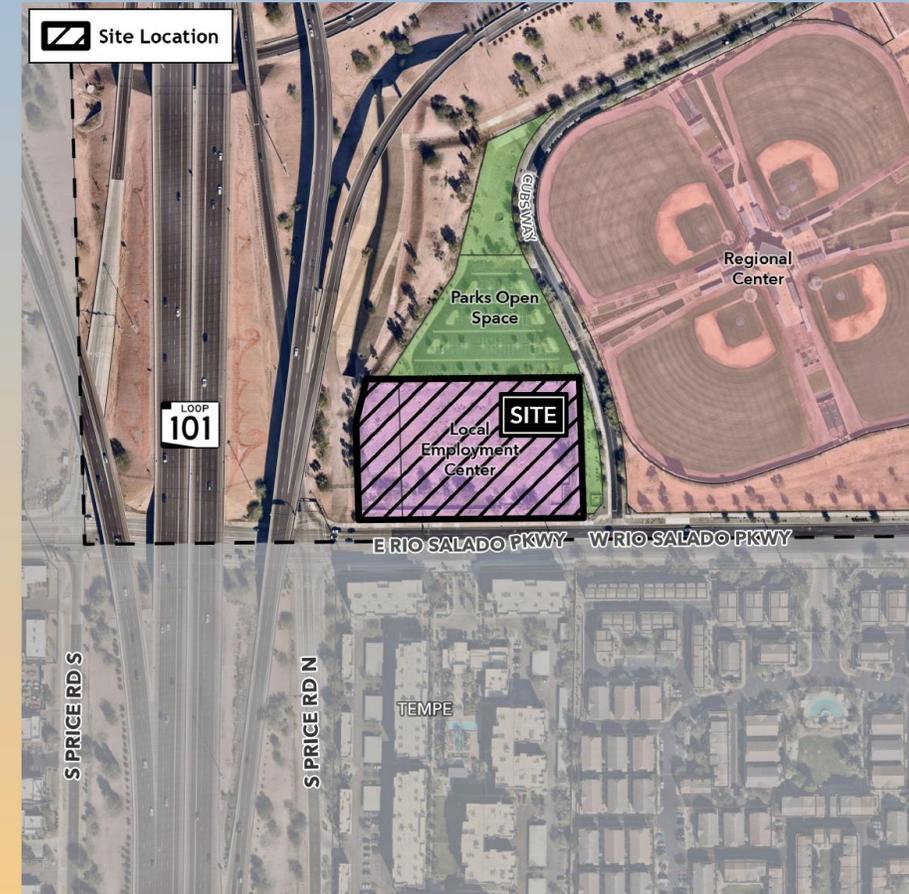
Josh Grandlienard, Senior Planner

March 11, 2026



Request

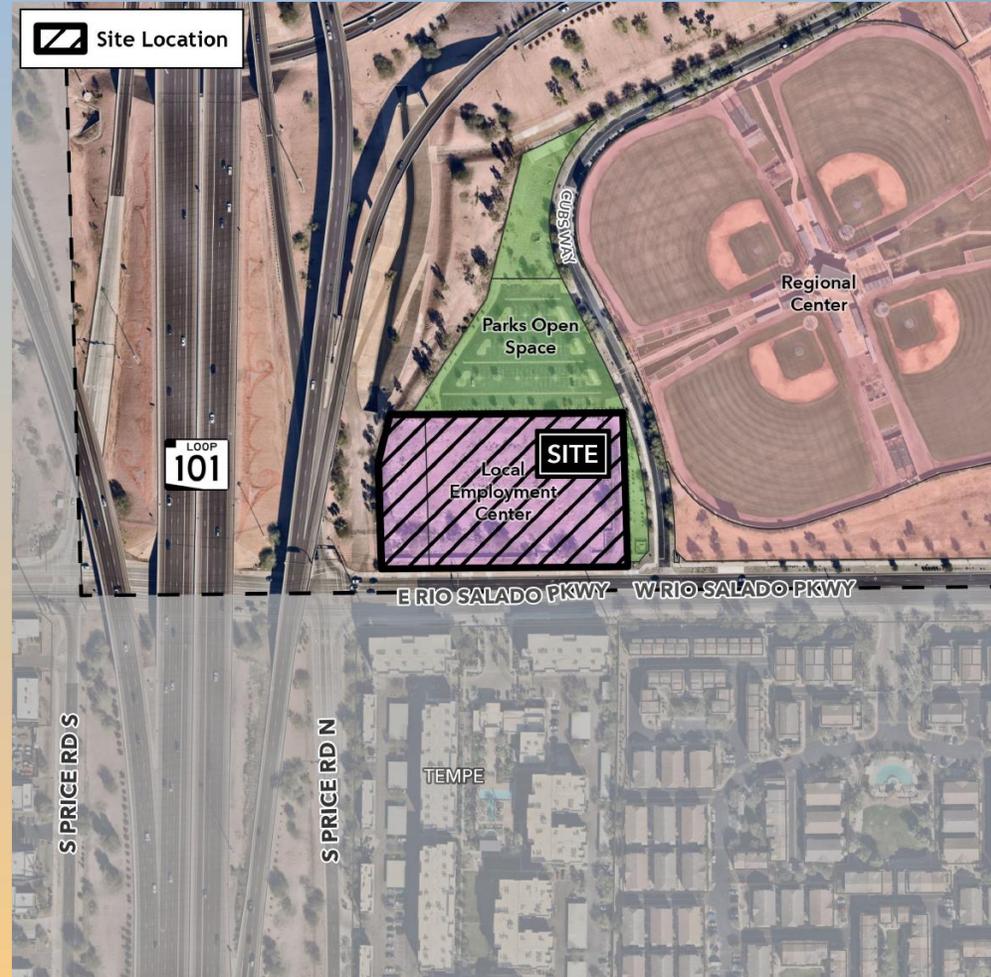
- Minor General Plan Amendment
- Local Employment Center Placetype to Urban Center Placetype





Location

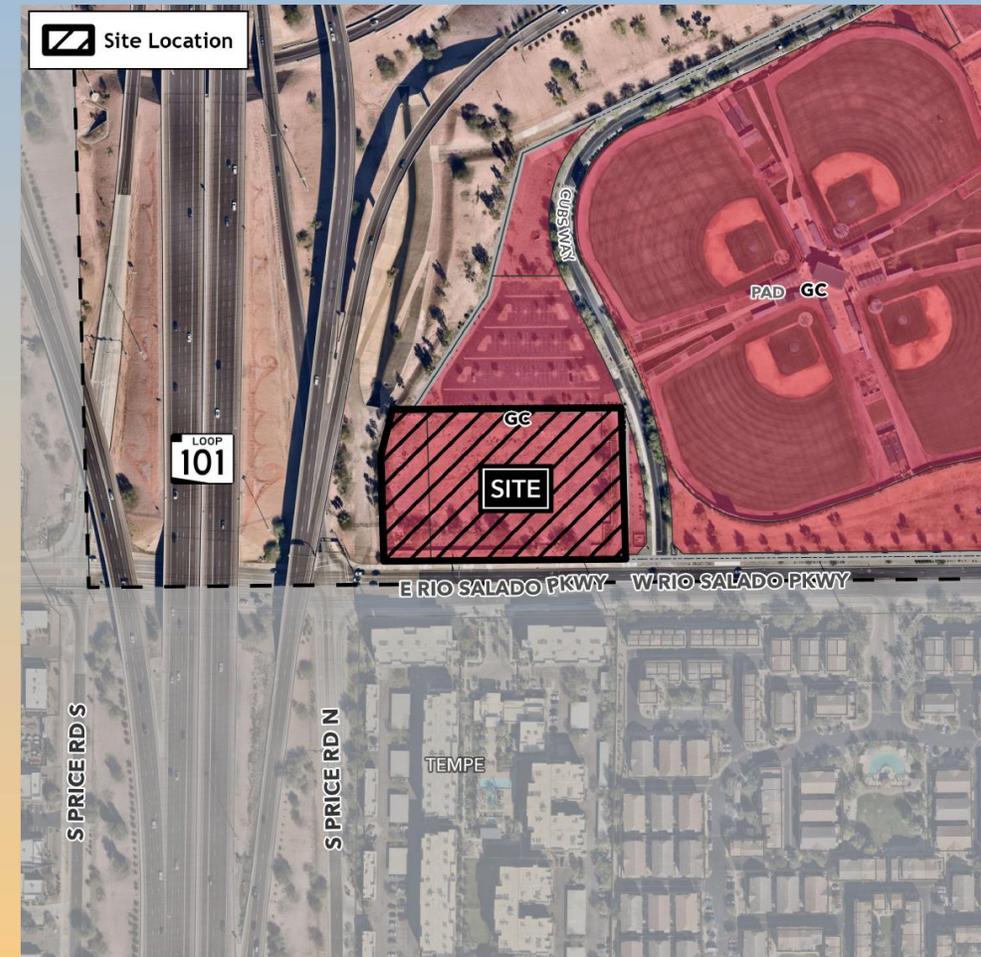
- North side of Rio Salado Parkway
- East side of Price Road





Zoning

- Current: General Commercial (GC)
- Proposed: GC-BIZ with a Council Use Permit





General Plan

Current - Local Employment Center

- Support a variety of low-intensity business operations that are compatible with residential uses
- Does not support warehousing and storage land uses
- Zoning districts: OC, NC, LC, GC, PEP, LI, EO, PS

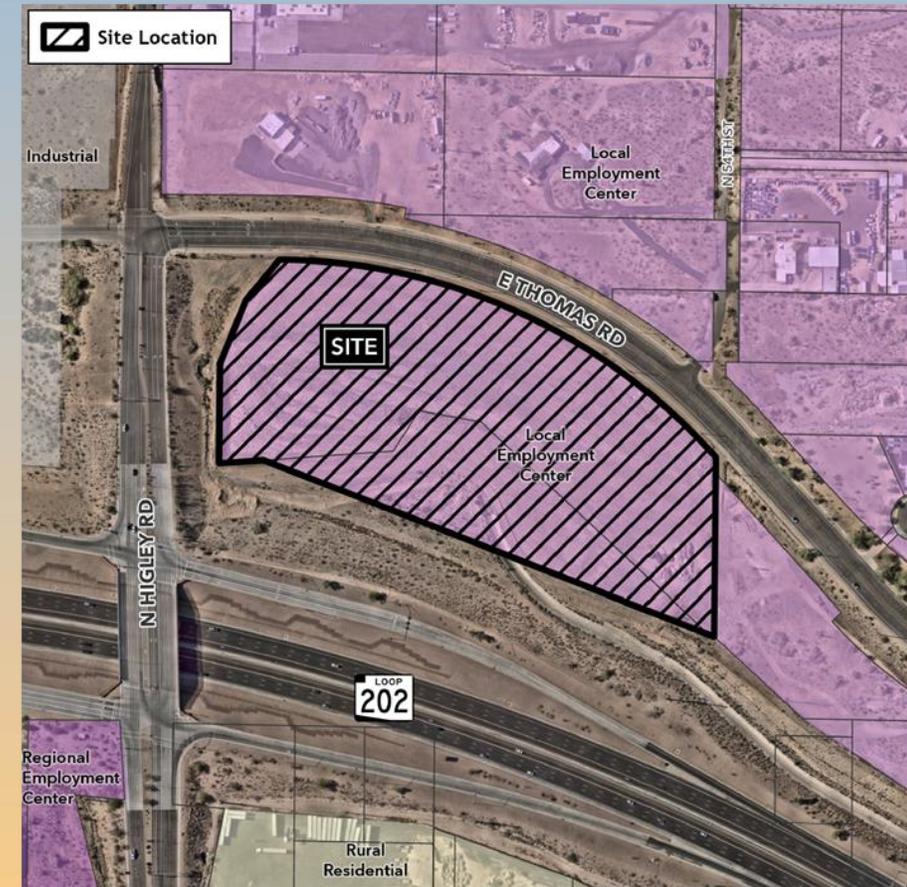




General Plan

Proposed - Urban Center

- Urban Centers are compact mixed-use areas where many people live, work and play. Contain retail, personal services, public/semi-public uses, entertainment and recreation facilities
- Entertainment and Recreation is a principal land use, and Multiple Residence is a supporting land use





General Plan Amendment Approval Criteria

1. The Proposed Project will not result in a shortage of land for other planned uses
2. Whether events after the adoption of the General Plan have changed the character or condition of the area
3. The degree to which the proposed amendment will impact the whole community or a portion of the community by:
 - a. Altering existing land use patterns in a significant way that is contrary to the Vision, Guiding Principles, or Strategies identified in the General Plan
 - b. Requiring larger or more extensive improvements to roads, sewer or water systems that may negatively impact development of other lands
 - c. Adversely impacting existing uses due to increased traffic congestion that is not accommodated by planned roadway improvements or other planned transportation improvements such as nonmotorized transportation alternatives or transit



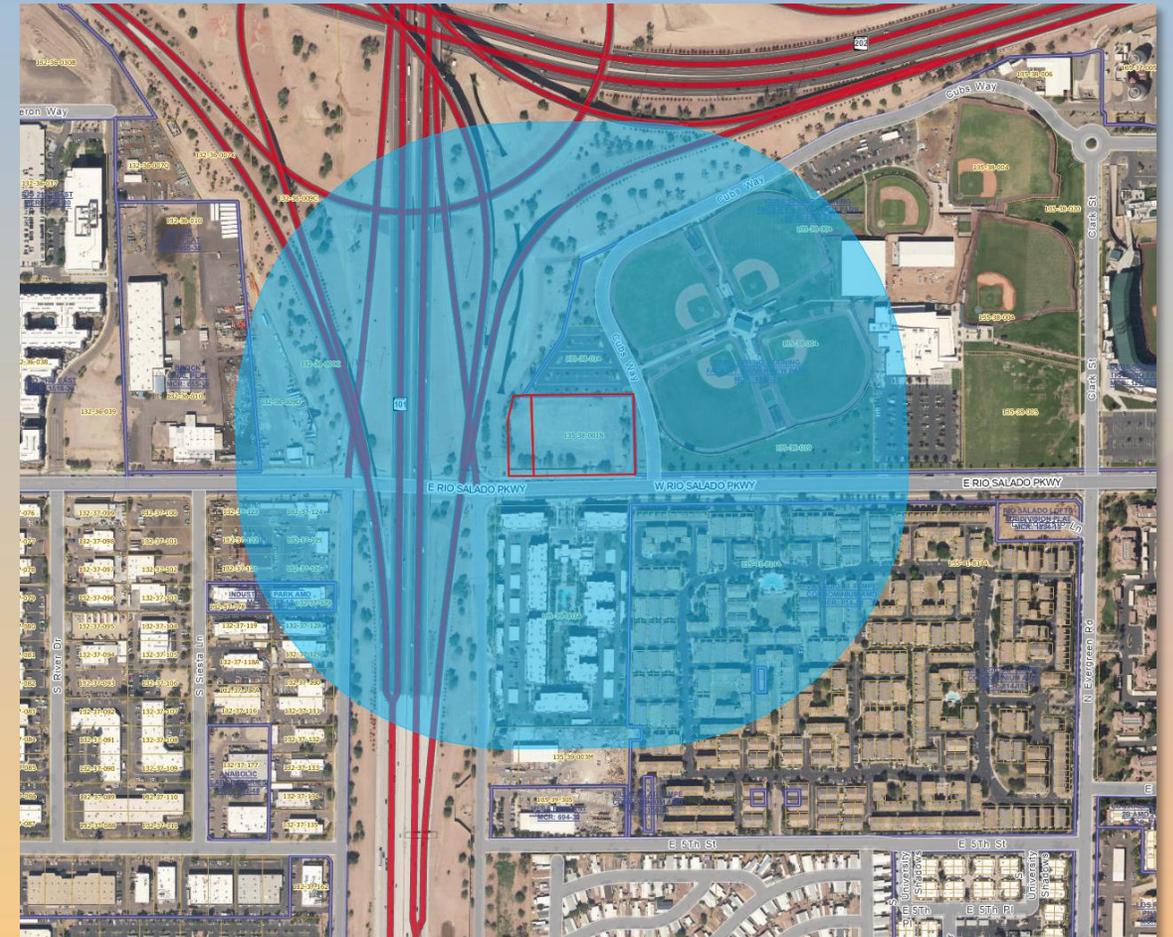
General Plan Amendment Approval Criteria

4. Whether the proposed amendment is consistent with the Vision, Guiding Principles, or Strategies of the General Plan
5. Whether the proposed amendment constitutes an overall improvement to the General Plan and the City of Mesa
6. The extent to which the benefits of the proposed amendment outweigh any of the impacts identified by these criteria



Citizen Participation

- Notified property owners within 1,000' of the larger development
- Posted the Site





Findings

- ✓ Complies with the amendment criteria in Chapter 5 of the 2050 Mesa General Plan

Staff Recommends Approval with Conditions



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