

**Tuesday, January 9, 2024
Virtual Platform
57 East 1st Street
4:30 PM**

A meeting of the Design Review Board was held at 4:30 p.m.

MEMBERS PRESENT:

Chair Scott Thomas
Vice Chair Dane Astle
Boardmember Paul Johnson
Boardmember Jeanette Knudsen
Boardmember Justin Trexler
Boardmember Bell

MEMBERS ABSENT:

STAFF PRESENT:

Evan Balmer
Cassidy Welch
Joshua Grandlienard
Emily Johnson
Vanessa Felix

OTHERS PRESENT:

(* indicates Boardmember or staff participated in the meeting using audio conference equipment)

1 Call meeting to order.

Chair Thomas welcomed everyone to the meeting at 4:30 PM.

2 Consider the Minutes from the December 12, 2023 Design Review Board Meeting.

A motion to approve the Minutes from the December 12, 2023, Design Review Board Meeting was made by Vice Chair Astle and seconded by Boardmember Knudsen.

Vote: 6 – 0

Upon tabulation of votes, it showed:

AYES – Thomas – Astle – Johnson – Knudsen – Trexler – Bell

NAYS – None

ABSENT– None

ABSTAINED – None

3 Discuss and take action on the following Design Review cases:

- 3a DRB23-00300 - "Jerit Automation, Inc." (District 6).** Within the 7300 Block of South Atwood (west side). Located south of Pecos Road and west of Ellsworth Road. (0.9± acres). Design Review and Site Plan Review for an industrial building addition.

Staff planner Joshua Grandlienard presented the case.
See attached presentation.

A motion to approve case DRB23-00300 was made by Boardmember Johnson and seconded by Vice Chair Astle.

Conditions of Approval:

1. Compliance with the final site plan, elevations, and landscape plan submitted.
2. Prior to issuance of a building permit, a lot combination shall be recorded with Maricopa County.
3. Compliance with all City development codes and regulations.
4. Compliance with all conditions of approval for Z06-093.
5. Compliance with all requirements of Chapter 19 of the Zoning Ordinance including:
 - a. Owner must execute the City's standard Avigation Easement and Release for Phoenix-Mesa Gateway Airport prior to or concurrently with the recordation of the final subdivision map or the issuance of a building permit, whichever occurs first.
 - b. Due to the proximity to Phoenix-Mesa Gateway Airport, any proposed permanent or temporary structure, as required by the FAA, is subject to an FAA filing for review in conformance with CFR Title 14 Part 77 (Form 7460) to determine any effect to navigable airspace and air navigation facilities. A completed form with a response by the FAA must accompany any building permit application for structure(s) on the property.
 - c. Prior to the issuance of any building permit, provide documentation by a registered professional engineer or registered professional architect demonstrating compliance with the noise level reductions required in Section 11-19-5 of the Mesa Zoning Ordinance.
 - d. Provide written notice to future property owners that the project is within 2 miles of Phoenix-Mesa Gateway Airport.
6. Prior to issuance of a building permit, work with city staff to provide for additional treatment for the northern elevations to be consistent with the design of the overall proposal.

Vote: 6 – 0

Upon tabulation of votes, it showed:

AYES – Thomas – Astle – Johnson – Knudsen – Trexler – Bell

NAYS – None

ABSENT– None

ABSTAINED – None

4 Discuss and provide direction on the following Preliminary Design Review cases: *

- 4a DRB22-01243 - "3200 Main Street Warehouse" (District 1).** Within the 3200 block of East Main Street. Located west of Val Vista Drive on the north side of Main Street. (2.0± acres). Design review for a maintenance and repair services business.

Staff planner Evan Balmer presented the case.

See attached presentation.

Staff planner Evan Balmer summarized the case:

- The Design Review Board was complementary of the building architecture and the landscape design.

- 4b DRB23-00614 - "810 S Country Club Dr." (District 4).** Within the 400 to 500 blocks of West 8th Avenue (south side) and within the 800 block of South Country Club Drive (west side). Located north of Southern Avenue and west of Country Club Drive. (2± acres). Design review for a mini-storage facility.

Staff planner Emily Johnson presented the case.

See attached presentation.

Staff planner Emily Johnson summarized the case:

- Attractive building for this brand and project type
- The west elevation should have some more glazing or articulation since it is a three-story building, should be similar to the east elevation
- Glazing over the loading zone on the west elevation could work
- Glazing or articulation on the south elevation to use the same language as the north and east elevations
- Going to be a very visible building
- Overall, one or the other articulation or glazing cues from the north and east elevations should be used on the south and west

- 4c DRB23-00687 - "Gateway Commerce Center II" (District 6).** Within the 7300 to 7500 blocks of South Sossaman Road (west side). Located north of Germann Road on the west side of Sossaman Road. (28± acres). Design Review for an industrial development. Duston Chisum, Deutsch Architecture Group, applicant; GCC II GP LLC, owner.

Staff planner Evan Balmer presented the case.

See attached presentation.

Staff planner Evan Balmer summarized the case:

- Incorporate an element from Building A into Building B. The Board did not have a suggestion on the specific element to carry over to Building B, just something to bring more cohesion between the two buildings.
- Include an additional amenity area between Buildings A and B

- 5 Adjournment:** Vice Chair Astle moved to adjourn the meeting and was seconded by Boardmember Johnson. Without objection, the meeting was adjourned at 5:26 PM.



DRB23-00300

Jerit Automation



Request

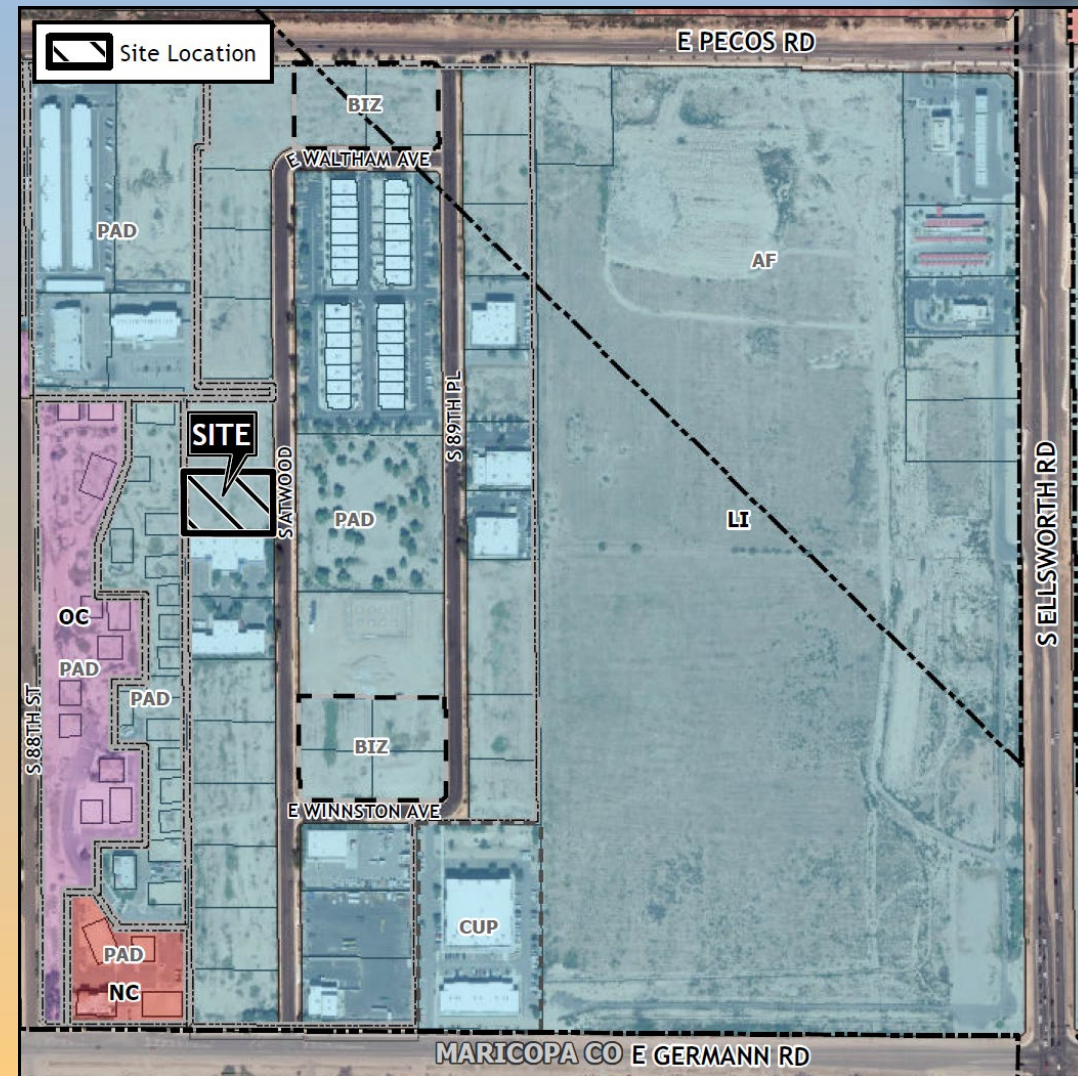
- Site Plan Review and Design Review
- To allow for an industrial building addition





Location

- South of Pecos Road
- West of Ellsworth Road
- Within Gateway Airport Commerce Park

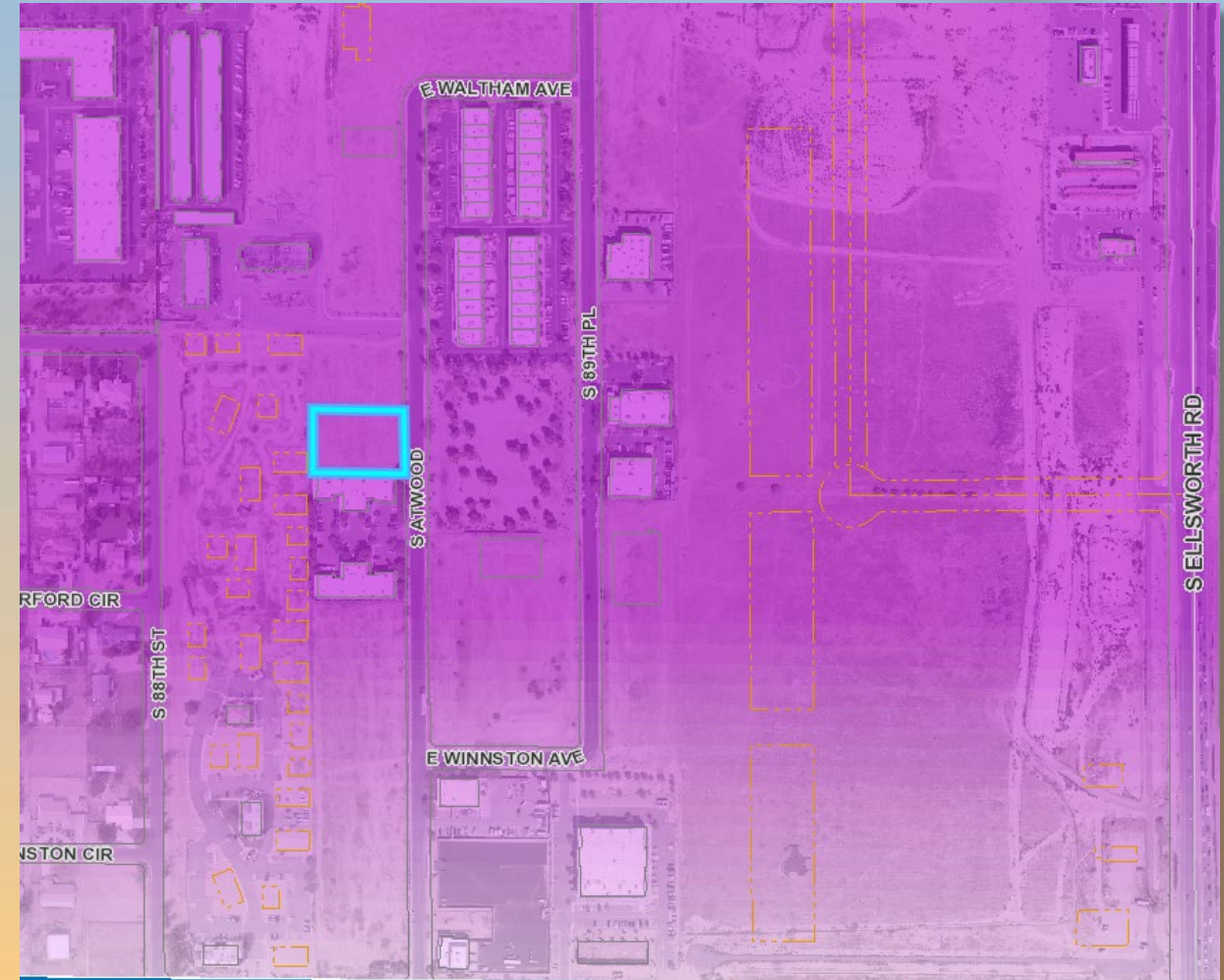




General Plan

Employment District

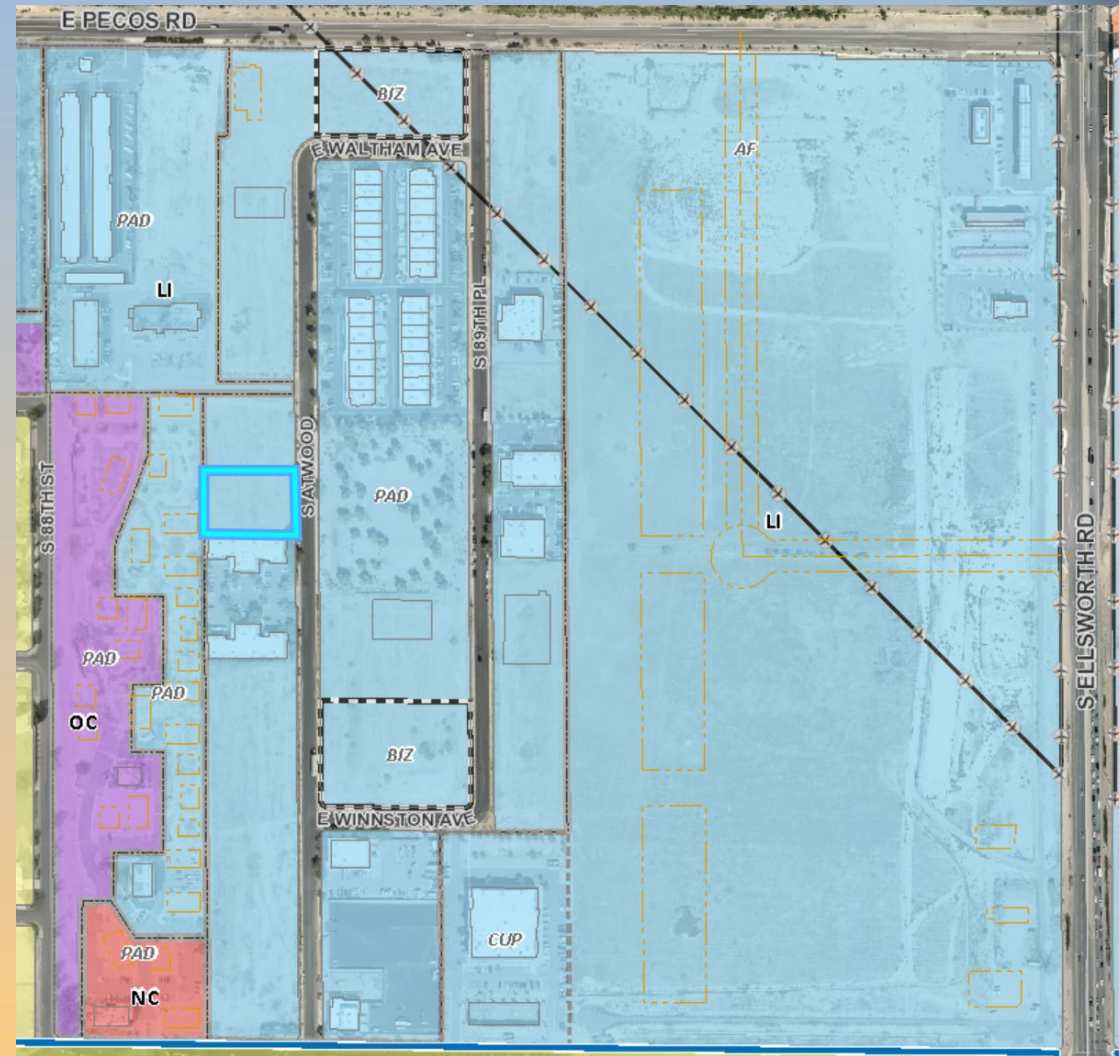
- Provide a wide range of employment opportunities in high quality settings





Zoning

- Light Industrial with a Planned Area Development overlay (LI-PAD)
- Proposed use is permitted in the Light Industrial zoning district
- Per Ord. No. 4654, the Design Review Board is required to review and approve all future development plans





Site Photo

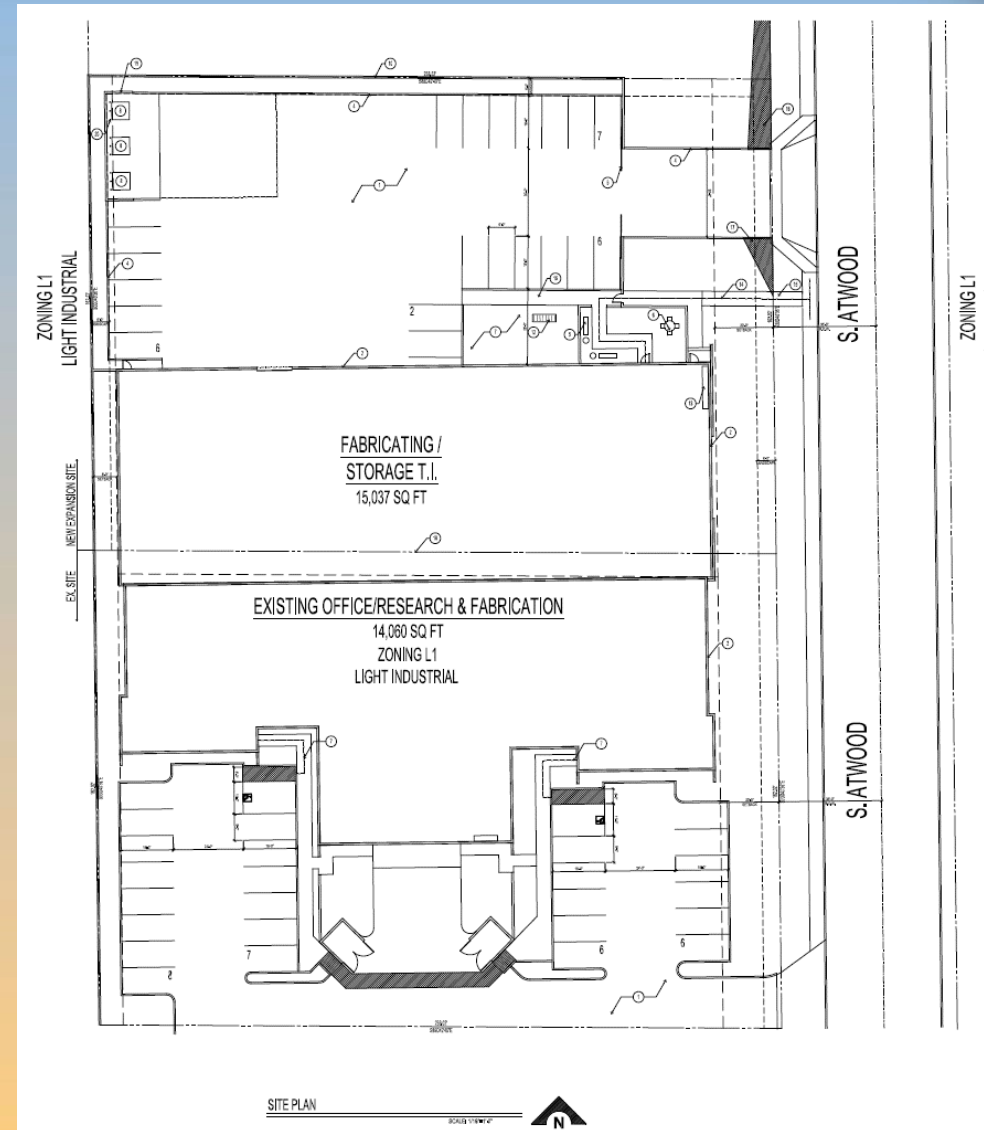


Looking west from Atwood



Site Plan

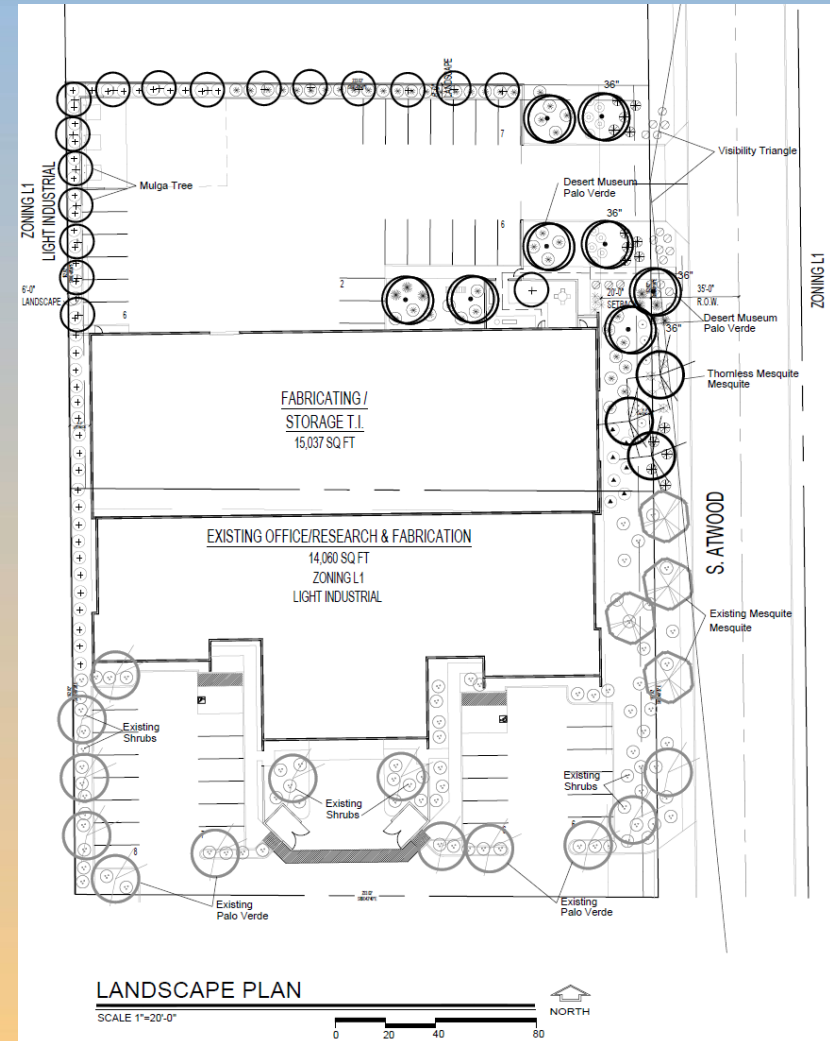
- 15,037 sq. ft. building
- The site will be screened with an 8-foot-tall masonry wall
- Vehicular access to the site is provided from Atwood
- 41 parking spaces required; 42 spaces provided





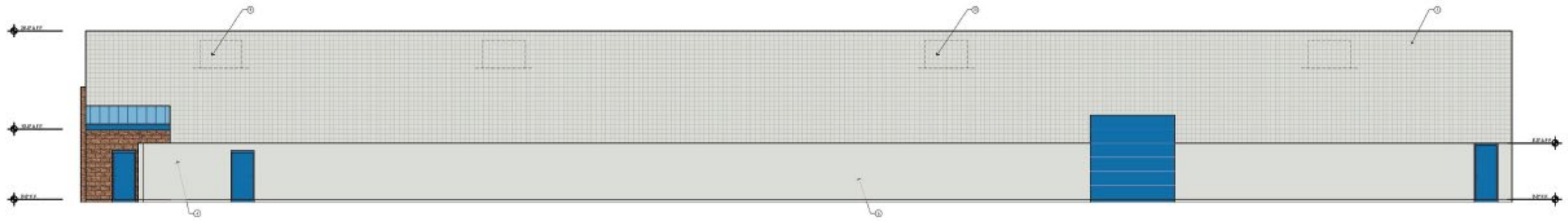
Landscape Plan

PLANT MATERIAL LEGEND			
SYMBOL	BOTANICAL/Common Name	SIZE (Height, Spread, & Caliper)	QUANTITY
EXISTING TREES			
	Prosopis hybrid 'Phoenix'	Existing to remain in place	13
	Thornless Hybrid Mesquite	Existing to remain in place	4
EXISTING SHRUBS			
	Existing Shrubs	Existing to remain in place	81
TREES			
	Acacia aneura	24" Box 7' x 6' 1.5"	16
	Parkia hybrid 'Desert Museum'	24" Box 7.5' x 4' 1.5"	4
	Desert Museum Palo Verde	36" Box 10' x 8' 2.0"	4
	Prosopis hybrid 'Phoenix'	24" Box 8' x 4' 1.5"	3
LARGE SHRUBS			
	Dodonaea viscosa 'purpurea'	5 Gallon	43
	Leucophyllum tangaranae	5 Gallon	44
	Nerium o. 'Petite Pink'	5 Gallon	7
MEDIUM AND SMALL SHRUBS			
	Colletsonia o. 'Little John'	5 Gallon	10
	Muhlenbergia capillaris 'Regal Mist'	5 Gallon	5
	Rudelia persicifolia	5 Gallon	10
GROUNDCOVERS			
	Convolvulus chequini	1 Gallon	3
	Lantana m. 'New Gold'	1 Gallon	16
ACCENTS			
	Dasylirion wheeleri	5 Gallon	15
	Agave parryi	5 Gallon	5
	Hesperaloe parviflora	5 Gallon	8
LANDSCAPE MATERIALS			
	Decomposed Granite	1/2" size screened	
	Desert Gold	2" Deep	

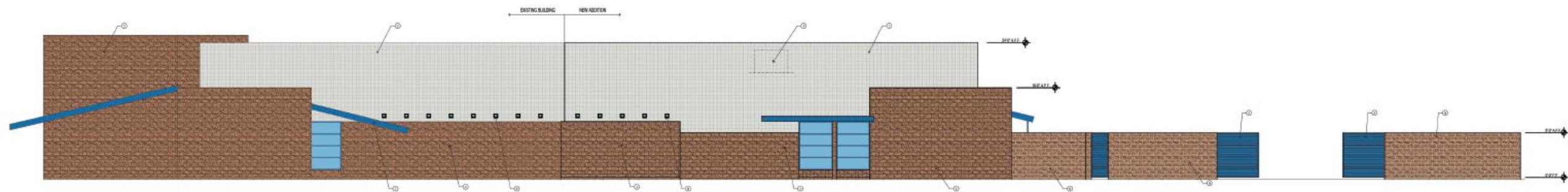




Elevations



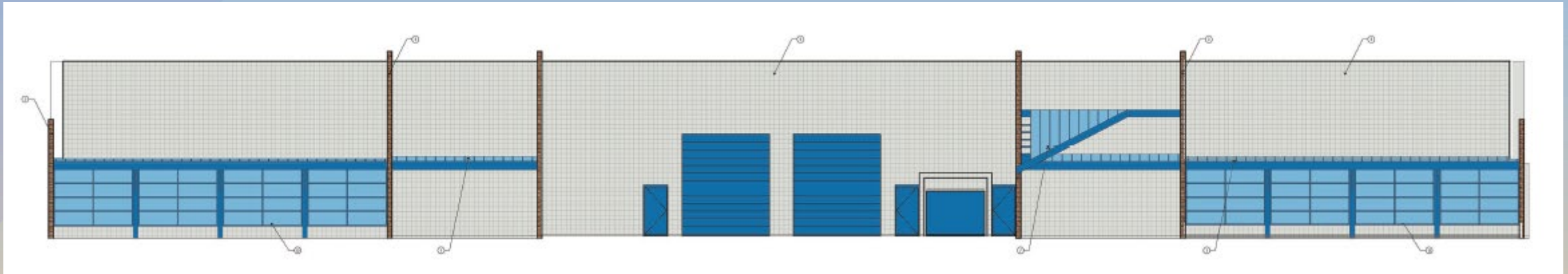
North Elevation



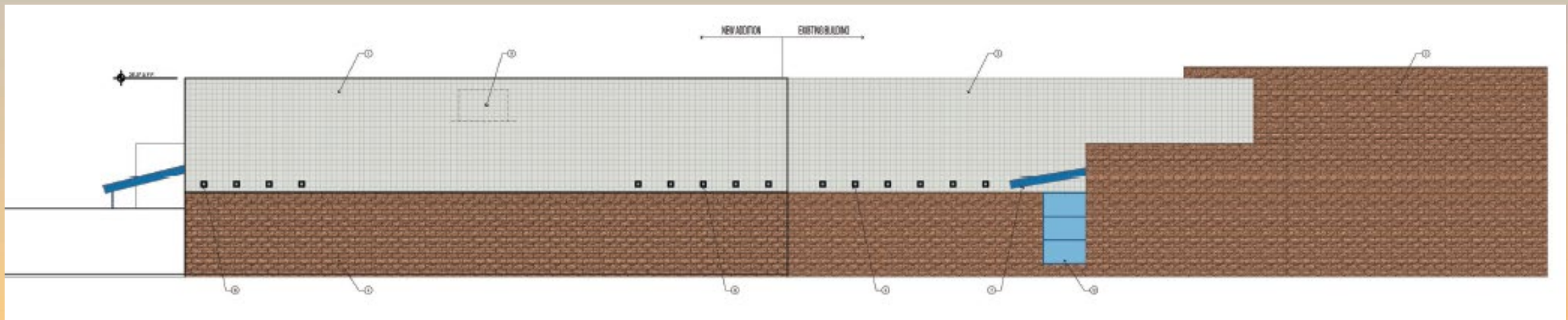
East Elevation



Elevations



South Elevation



West Elevation



Rendering





Colors and Materials

4 x 4 Scored Concrete Block

SW 7666
Fleur de Sel



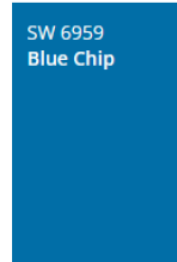
8 x 16 Split Face Concrete Block

SW 7702
Spiced Cider



Steel Beams, Facia, Door, Rolling Gate.

SW 6959
Blue Chip



Note: All colors to match existing structure.



Alternative Compliance

- ✓ Materials. Facades shall incorporate at least 3 different materials
- ✓ Materials. No more than 50% of the façade may be covered with one single material



Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Criteria in Chapter 69 of the MZO for Site Plan Review
- ✓ Criteria in Chapter 70 of the MZO for Design Review
- ✓ Criteria in Chapter 7 of the MZO for Alternative Compliance

Staff recommends Approval with Conditions



DRB22-01243

3200 Main Street Site Improvement



Request

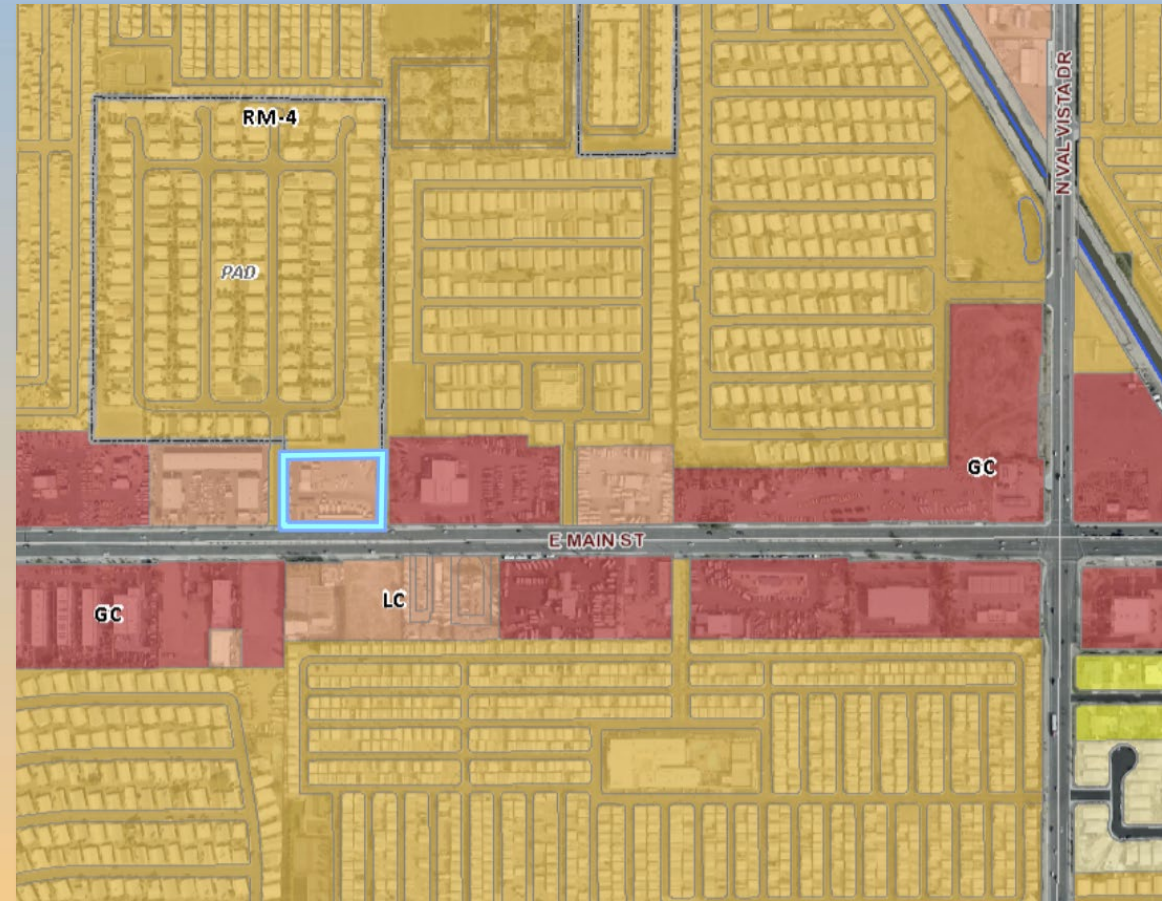
- Design Review
- Maintenance and Repair Services business





Location

- West of Val Vista Drive
- North side of Main Street





Site Photo

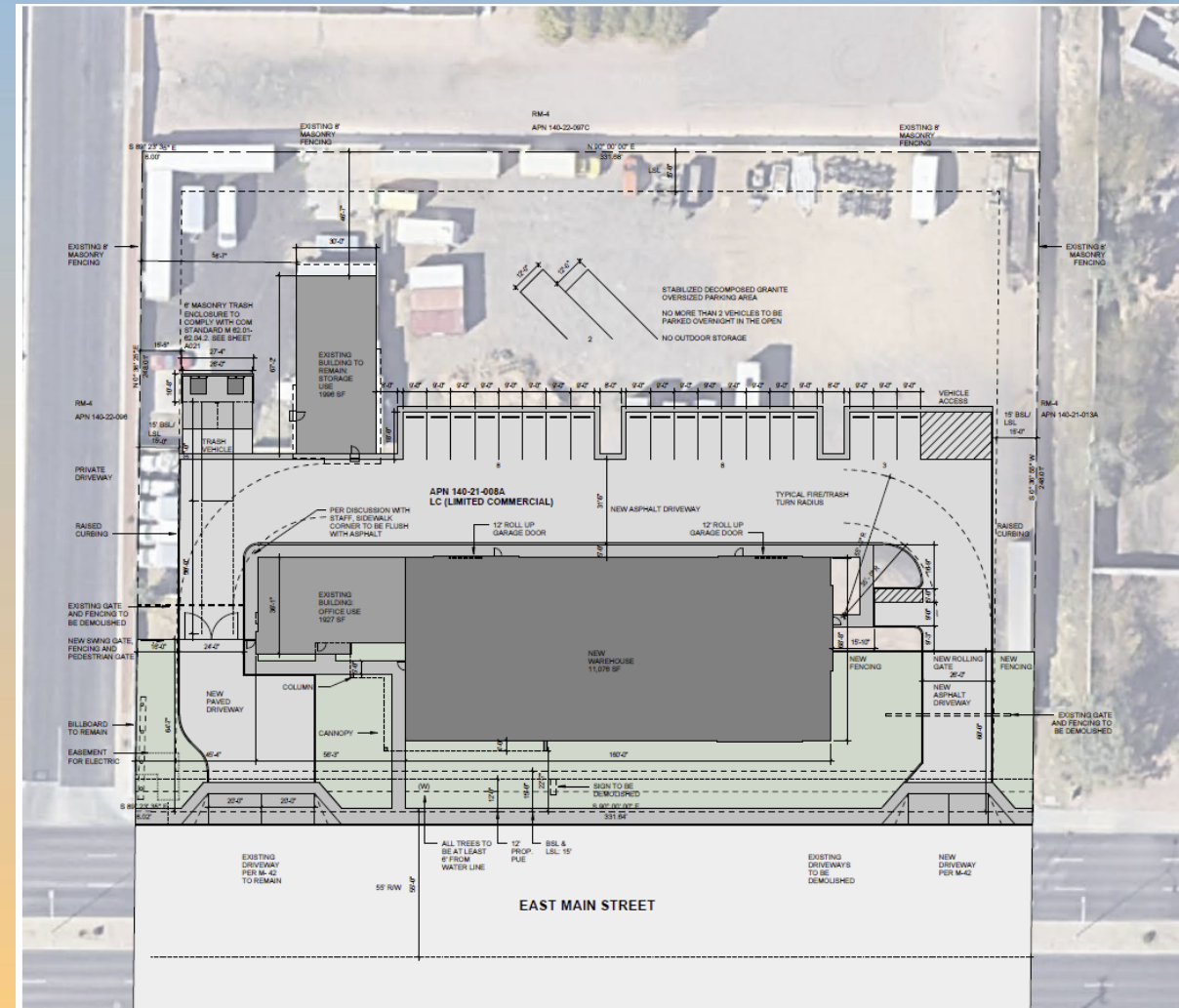


Looking north from Main Street



Site Plan

- New 11,076 sq. ft. warehouse
- Existing 1,927 sq. ft. office
- Existing 1,996 sq. ft. storage
- Total parking provided at 20 spaces





Landscape Plan

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	QTY
	<i>Olea europaea</i> 'Fruitless' Fruitless Olive	36" Box	14
	<i>Parkinsonia</i> x 'Desert Museum' Desert Museum Palo Verde	36" Box	2
	<i>Pistacia</i> x 'Red Push' Pistache	24" Box	4
	<i>Pistacia</i> x 'Red Push' Red Push Pistache	36" Box	3
	<i>Quercus virginiana</i> 'Heritage' Heritage Southern Live Oak	24" Box	10
	x <i>Chitalpa tashkentensis</i> 'Pink Dawn' Pink Dawn Chitalpa	24" Box	6
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY
	<i>Agave geminiflora</i> Century Plant	5 gal.	33
	<i>Justicia californica</i> Chuparosa	1 gal.	25
	<i>Leucophyllum laevigatum</i> Chihuahuan Sage	5 gal.	23
	<i>Muhlenbergia capillaris</i> 'Regal Mist'™ Regal Mist Deer Grass	5 gal.	15
	<i>Muhlenbergia rigens</i> Deer Grass	5 gal.	22
	<i>Ruellia peninsularis</i> Wild Petunia	5 gal.	9
	<i>Tecoma stans angustata</i> Yellow Bells	5 gal.	24

REFERENCE NOTES SCHEDULE

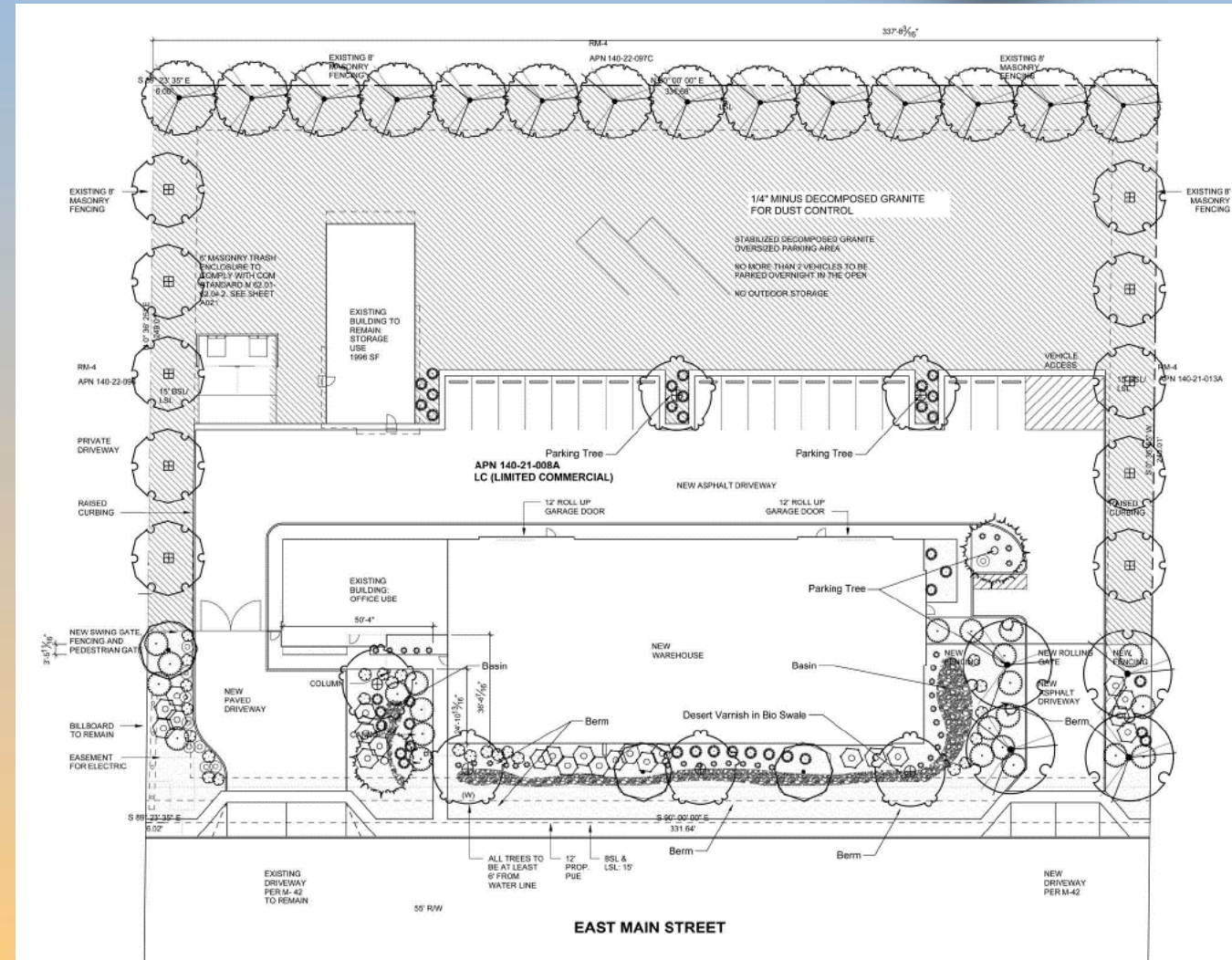
SYMBOL	ROCK DESCRIPTION	QTY
	K-01 Desert Varnish - 3"-6" Fragmented Rock Color: Rock Pros Mahogany	1,075 sf
	K-02 3/4" Screened Express Carmel Decomposed Granite at 2" depth in all planting areas. NOTE: the quantity shown is an estimate. The contractor will be responsible to verify in the field the exact quantity needed.	9,273 sf
	K-03 1/4" Minus Express Carmel Decomposed Granite at 2" depth	34,603 sf

LANDSCAPE CALCULATIONS

Total Open Space Area	9,613 Square Feet	
Plant Material Coverage	4,825 Square Feet (50.2%)	
Total Parking lot trees	4	
Foundation base length	103'	
	REQUIRED	PROVIDED
Street Frontage Trees	12	12
36" Street Frontage Trees	3	3
Ocotillo substitution	N/A	N/A
24" Street Frontage Trees	6	6
Street Frontage Shrubs	72	119
5 Gal. Street Frontage Shrubs	36	94
36" box parking lot trees	1	1
Perimeter trees	14	14
Perimeter shrubs	NA	NA
Foundation base trees required	2	17
36" box foundation base trees	2	2
Foundation base LF required	34 (33%)	45

WEST LANDSCAPE AREA
3700 SQUARE FEET
800 SQUARE FEET PLANT COVERAGE (22%)

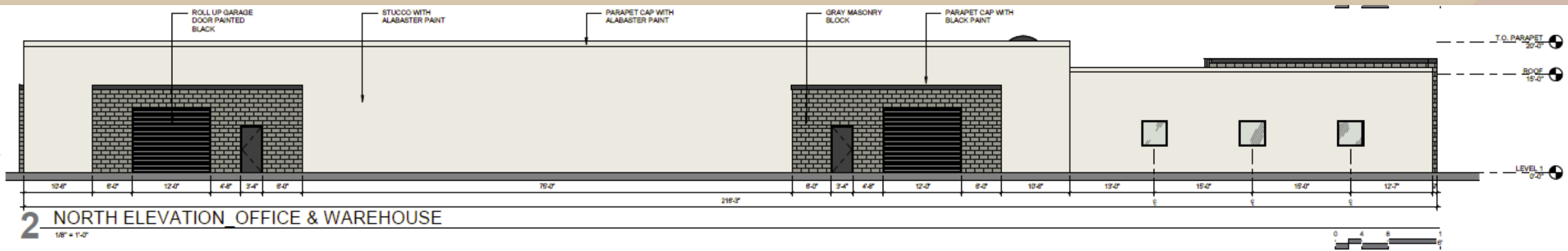
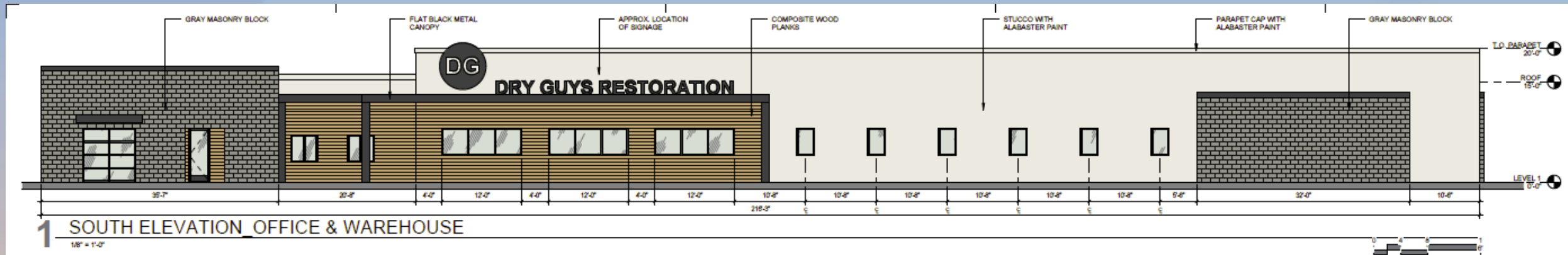
EAST LANDSCAPE AREA
3405 SQUARE FEET
675 SQUARE FEET PLANT COVERAGE (20%)



[illegible]

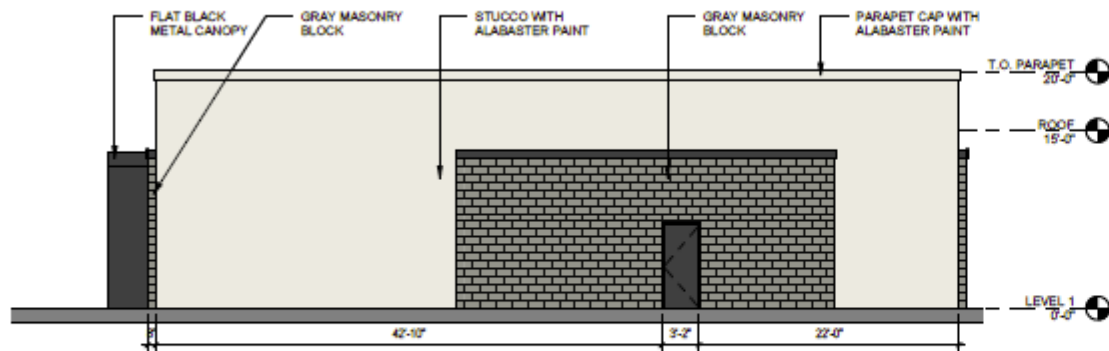


Elevations



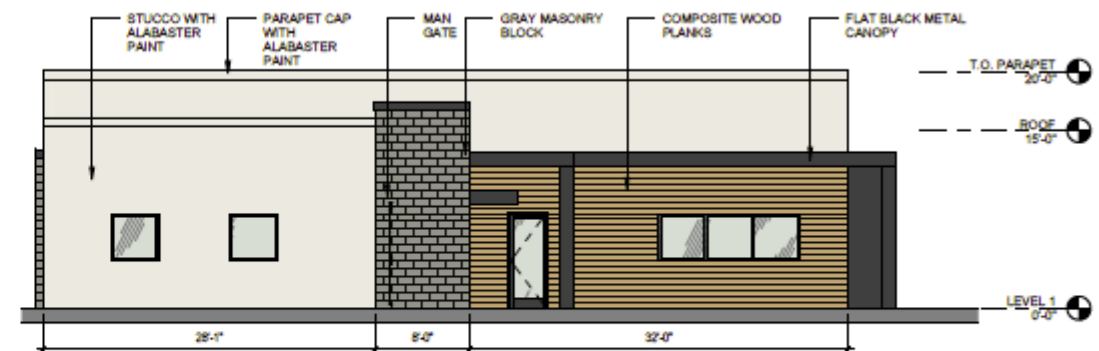


Elevations



3 EAST ELEVATION OFFICE & WAREHOUSE

1/8" = 1'-0"



4 WEST ELEVATION OFFICE & WAREHOUSE

1/8" = 1'-0"



WAREHOUSE & OFFICE ELEVATION MATERIAL %

		ROLL UP GARAGE DOOR	COMPOSITE WOOD LOOK PLANKS	STUCCO, ALABASTER	MASONRY BLOCK, GRAY	METAL CLADDING PAINTED DOOR, FLAT BLACK
NORTH	5%	—	77%	18%	2%	
EAST	—	—	68%	31%	3%	
SOUTH	—	20%	54%	22%	4%	
WEST	—	20%	55%	9%	7%	



Renderings





Material Board



ROLL UP GARAGE DOOR



COMPOSITE WOOD LOOK PLANKS



STUCCO, ALABASTER



MASONRY BLOCK, GRAY



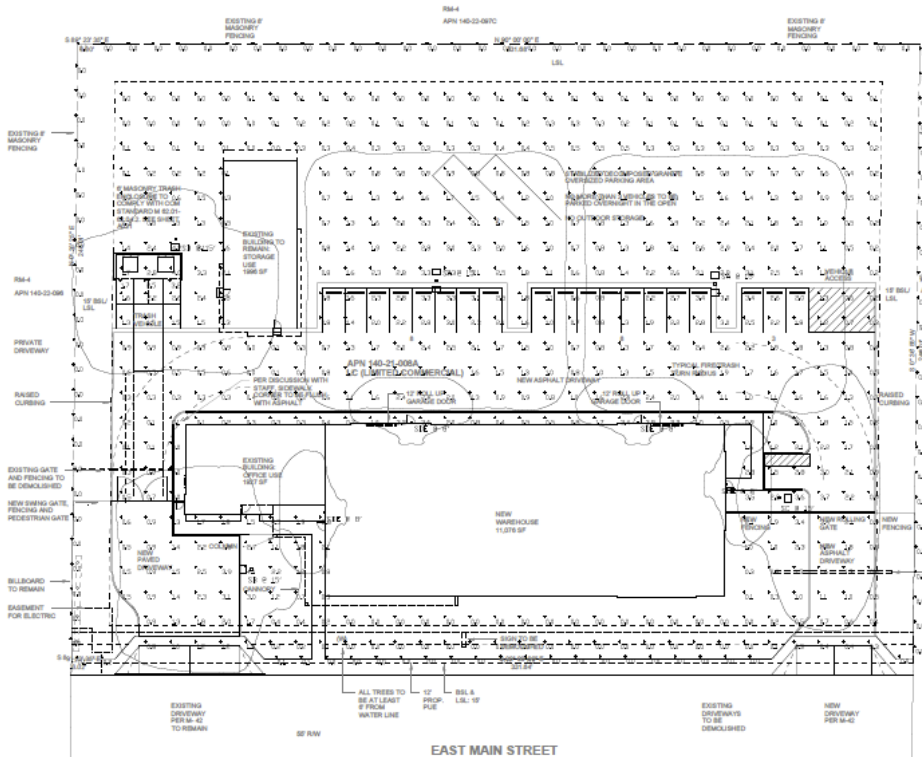
METAL CLADDING, FLAT
BLACK (CANOPY)



Lighting Plan

Symbol	Description	Quantity
1	1' x 1' LED Panel	100
2	2' x 2' LED Panel	50
3	3' x 3' LED Panel	25
4	4' x 4' LED Panel	10
5	5' x 5' LED Panel	5
6	6' x 6' LED Panel	2
7	7' x 7' LED Panel	1
8	8' x 8' LED Panel	1
9	9' x 9' LED Panel	1
10	10' x 10' LED Panel	1

Symbol	Description	Quantity
11	11' x 11' LED Panel	1
12	12' x 12' LED Panel	1
13	13' x 13' LED Panel	1
14	14' x 14' LED Panel	1
15	15' x 15' LED Panel	1
16	16' x 16' LED Panel	1
17	17' x 17' LED Panel	1
18	18' x 18' LED Panel	1
19	19' x 19' LED Panel	1
20	20' x 20' LED Panel	1



WDGE2 LED Architectural Wall Sconce Precision Refractive Optic

Specifications

- Depth (D1): 3"
- Depth (D2): 1.5"
- Height: 9"
- Width: 11.5"
- Weight: 13.5 lbs

Introduction

The WDGE2 LED family is designed to meet specific every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, modern design comes in four sizes with luminaires ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with a Light-AID wireless control, the WDGE2 family provides additional energy savings and code compliance. WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

Model	Power	Beam Angle	Mounting	Height	Width	Depth	Weight	Material	Finish
WDGE2-01	1200	120°	1/2"	9"	11.5"	3"	13.5 lbs	Aluminum	Black
WDGE2-02	2400	120°	1/2"	9"	11.5"	3"	13.5 lbs	Aluminum	Black
WDGE2-03	4800	120°	1/2"	9"	11.5"	3"	13.5 lbs	Aluminum	Black
WDGE2-04	9600	120°	1/2"	9"	11.5"	3"	13.5 lbs	Aluminum	Black
WDGE2-05	19200	120°	1/2"	9"	11.5"	3"	13.5 lbs	Aluminum	Black
WDGE2-06	25000	120°	1/2"	9"	11.5"	3"	13.5 lbs	Aluminum	Black

Options & Accessories

- Emergency Battery Backup (18W Cold Temperature)
- Light-AID Wireless Control
- Adjustable Mounting Bracket

D-Series Size 0 LED Area Luminaire

Specifications

- Size: 0.56 ft x 0.56 ft
- Length: 16.5"
- Width: 16.5"
- Height (H): 2.2"
- Height (H2): 7.88"
- Weight: 28 lbs

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Model	Power	Beam Angle	Mounting	Height	Width	Depth	Weight	Material	Finish
D-01	1000	120°	1/2"	7.88"	16.5"	16.5"	28 lbs	Aluminum	Black
D-02	2000	120°	1/2"	7.88"	16.5"	16.5"	28 lbs	Aluminum	Black
D-03	4000	120°	1/2"	7.88"	16.5"	16.5"	28 lbs	Aluminum	Black
D-04	8000	120°	1/2"	7.88"	16.5"	16.5"	28 lbs	Aluminum	Black
D-05	16000	120°	1/2"	7.88"	16.5"	16.5"	28 lbs	Aluminum	Black

Options & Accessories

- Emergency Battery Backup (18W Cold Temperature)
- Light-AID Wireless Control
- Adjustable Mounting Bracket



Alternative Compliance

- ✓ Materials. No more than 50% of the façade may be covered with one single material
- ✓ Publicly visible facades (viewed from rights-of-way or private property), may not have blank, uninterrupted wall lengths exceeding 50 feet without including at least two (2) of the following: change in plane, change in texture or masonry pattern, windows, trellis with vines, or an equivalent element that subdivides the wall into human scale proportions.
- ✓ Flat roofs or facades with a horizontal eave, fascia, or parapet, in excess of one hundred feet in length, must provide vertical modulation. The minimum vertical modulation is two (2) feet or one-tenth ($1/10$) multiplied by the wall height, not to exceed one-third ($1/3$) of the height of the supporting wall.
- ✓ All visible pitched roofs shall consist of metal seam, clay tile, concrete tile, or a similar grade of roofing material.



Findings

Staff is seeking your review and recommendation on the following:

- ✓ Proposed building elevations and landscape design
- ✓ Alternative Compliance for building materials
- ✓ Alternative Compliance for roof materials
- ✓ Alternative Compliance for horizontal articulation
- ✓ Alternative Compliance for vertical articulation
- ✓ Alternative Landscape Plan

Staff welcomes any feedback



DRB23-00614

810 S Country Club Dr



Request

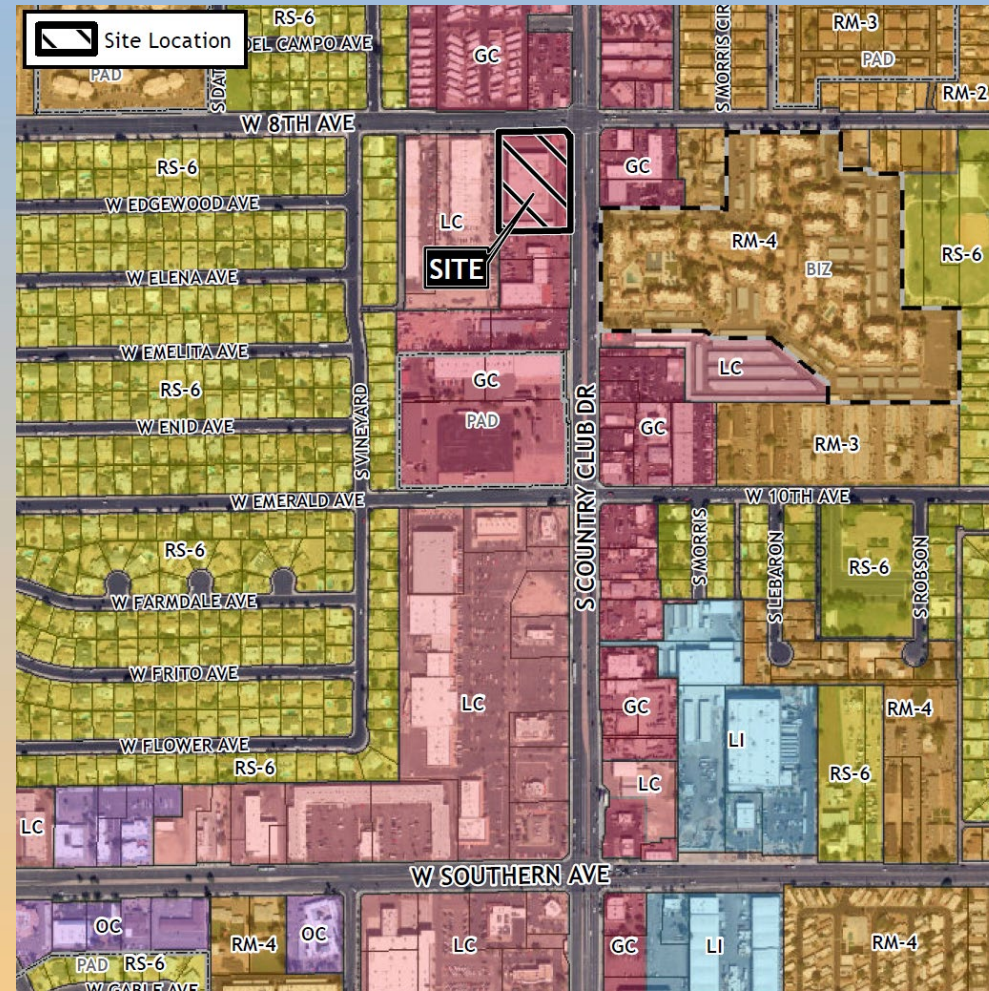
- Design Review
- To allow for a Mini-Storage Facility





Location

- West of Country Club Drive
- North of Southern Avenue
- South of 8th Avenue





Site Photos



Looking southwest at the corner of Country Club Dr and 8th Ave



Site Photos

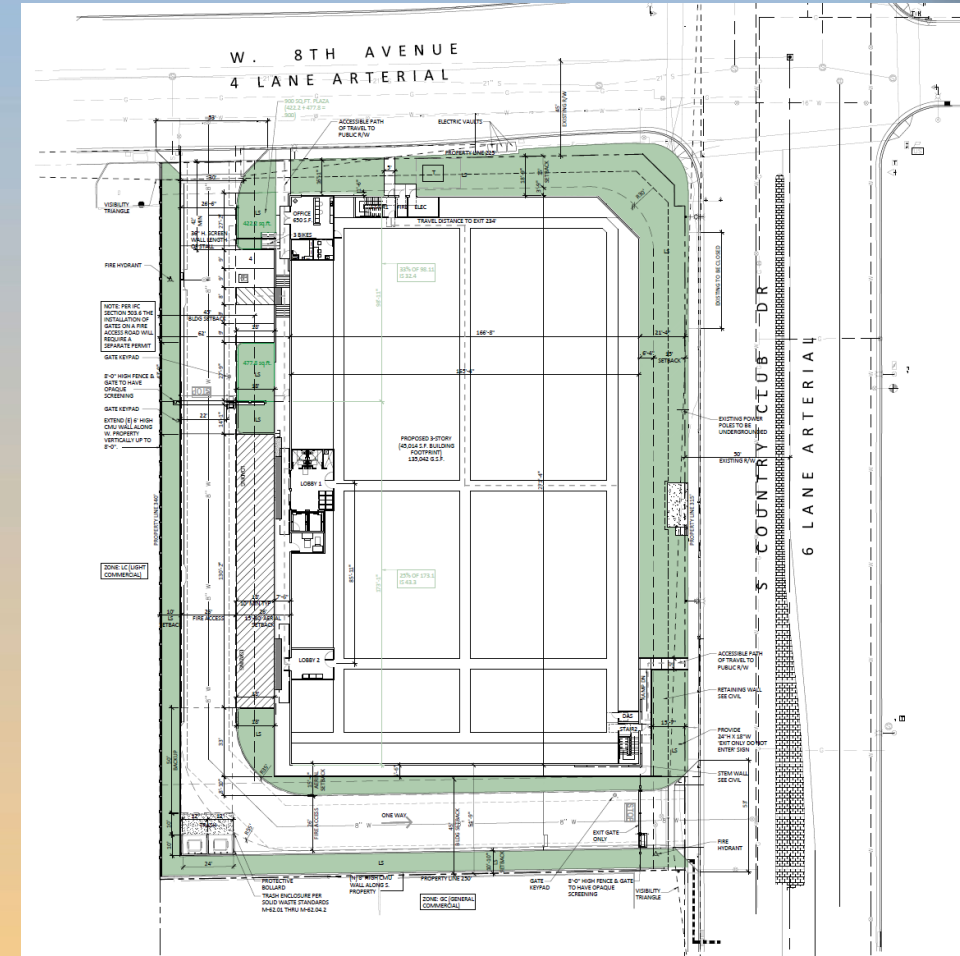


Looking west from Country Club Dr



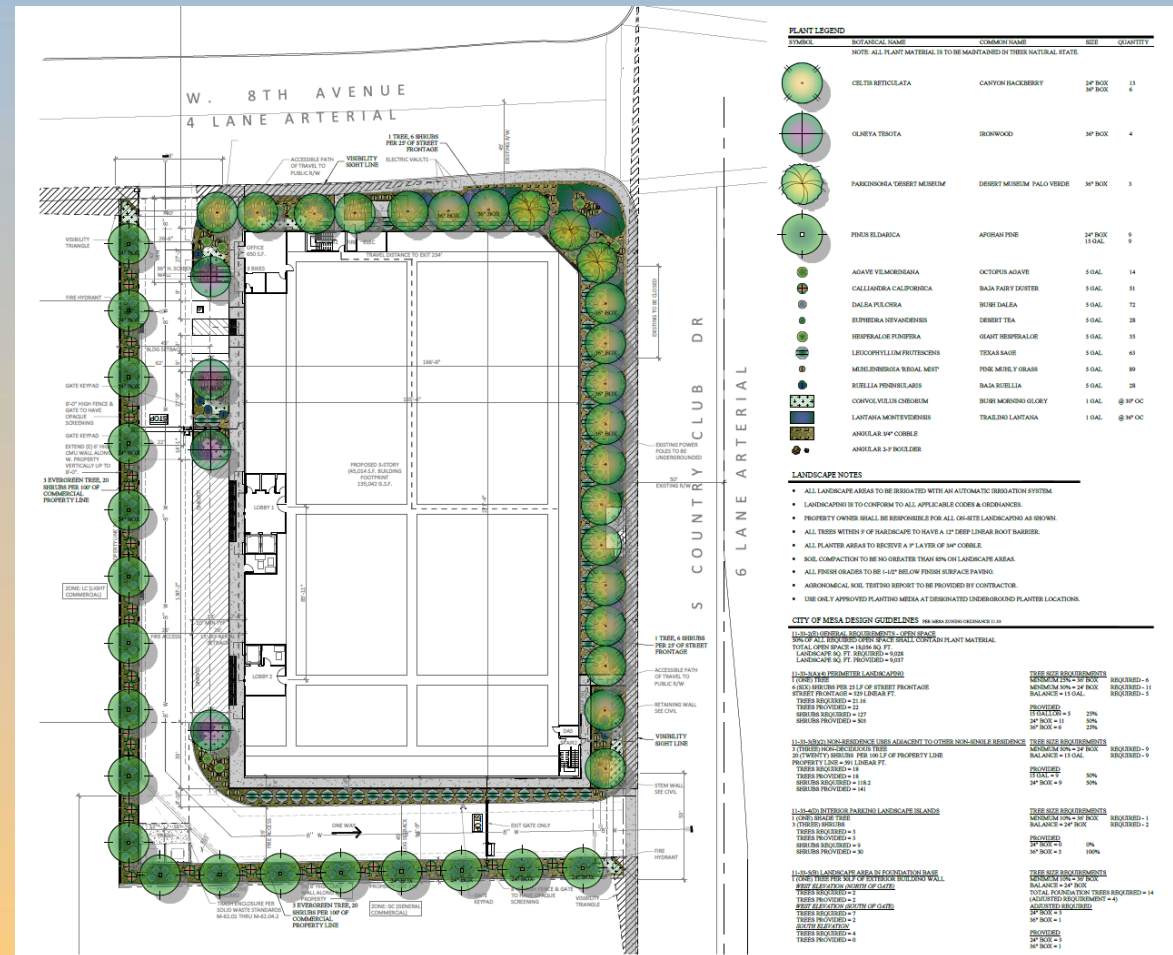
Site Plan

- 135,042 sq. ft. 3-story mini-storage facility
- 4 parking spaces required; 4 proposed
- Access from 8th Ave and exit on Country Club Dr





Landscape Plan





Elevations

EIFS - 49.34%
 CMU - 37.24%
 METAL - 2.93%
 Glazing - 9.55%
 Spandrel - 0.98%

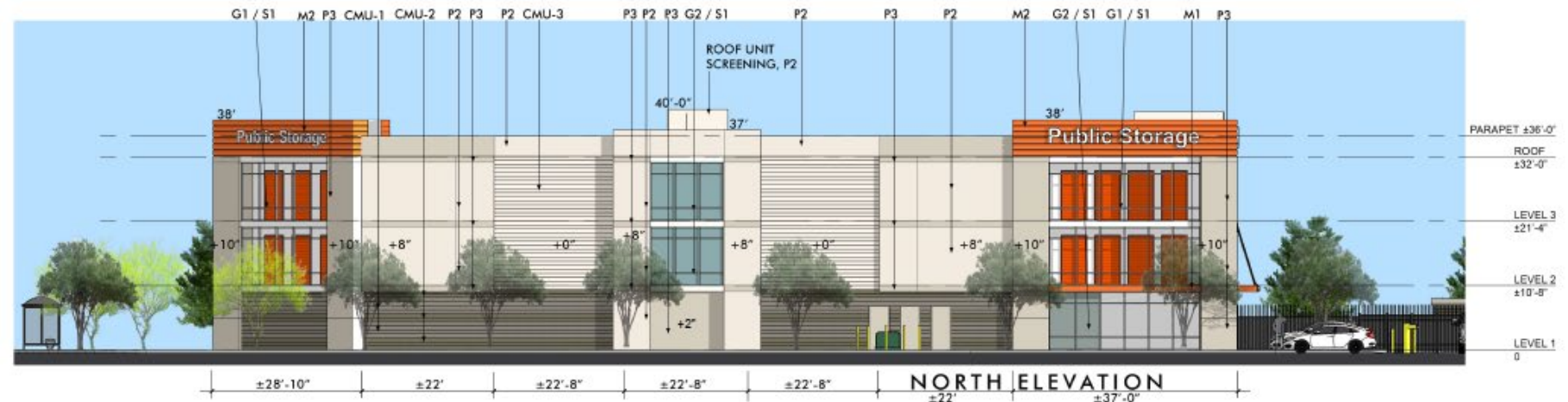


EIFS - 34.5%
 CMU - 47.83%
 METAL - 3.81%
 Glazing - 4.47%
 Spandrel - 13.22%

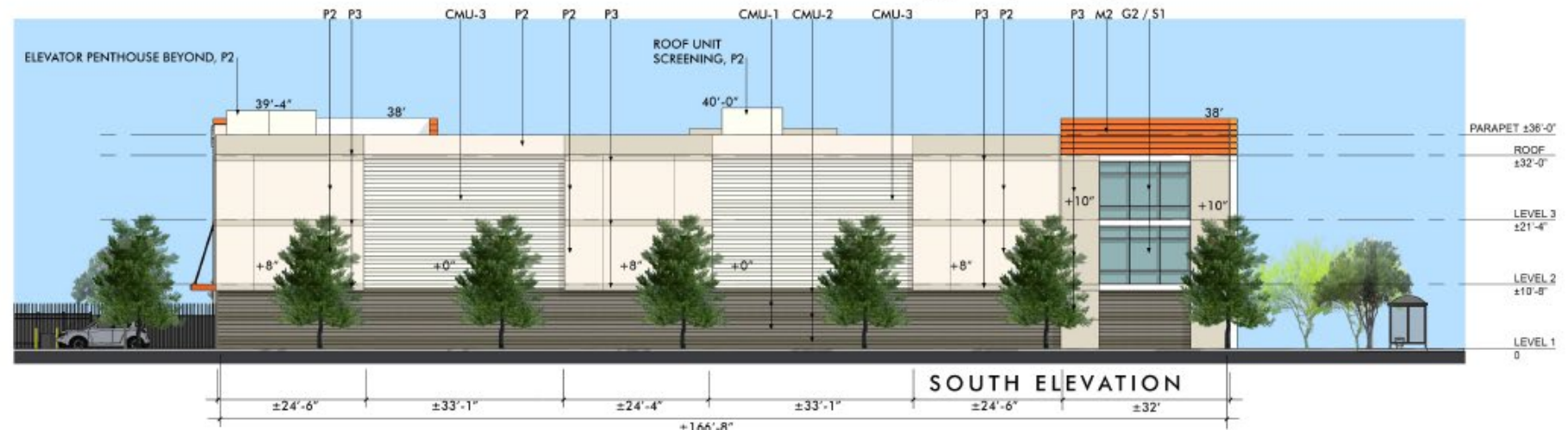


Elevations

EIFS - 44.44%
 CMU - 32.54%
 METAL - 6.91%
 Glazing - 18.6%
 Spandrel - 4.57%



EIFS - 45.46%
 CMU - 49.66%
 METAL - 3.17%
 Spandrel - 7.03%





Renderings



View from 8th Ave



Renderings



View from Country Club Dr



Material Board



STOREFRONT GLAZING
SOLARBAN 60 (2) CLEAR
GLASS INSULATING UNIT



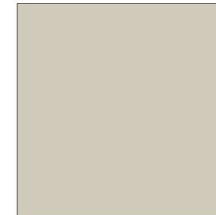
PRECISION CMU BLOCK -
ANGELUS BLOCK -
PLACER CREEK



SPLIT-FACE CMU BLOCK -
ANGELUS BLOCK -
PLACER CREEK



COLOR: WINTER MOOD PPG14-16
APPLICATION:
- EIFS
- CMU BLOCK PRECISION



COLOR: MOTH GRAY PPG1024-4
APPLICATION:
- EIFS



OPACI-COAT-300®

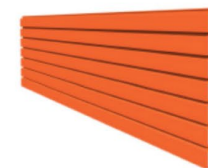
#3-0770 Warm Gray - Vitro® Clear (6mm)

Note: Colors shown approximate as closely as possible the appearance of the actual coating. However, your final color may vary slightly due to factors beyond our control including the lighting, surface variations, glass variations, method of application, and thickness of film applied.
ICD High Performance Coatings Voice: (360) 546-2286
7350 S. Union Ridge Parkway Ridgefield, WA 98642 USA

SPANDREL GLAZING
ICD HIGH PERFORMANCE OPACI-COAT-300
WARM GREY #3-0770



STOREFRONT FRAMING
ARCADIA#11 - CLEAR AC-2
ANODIZED ALUMINUM



MORIN METAL PANEL,
METAL CANOPY - PS ORANGE



Findings

Staff is seeking your review and recommendation on the following:

- ✓ Proposed building elevations and landscape design

Staff welcomes any feedback





DRB23-00687

Gateway Commerce Center II



Request

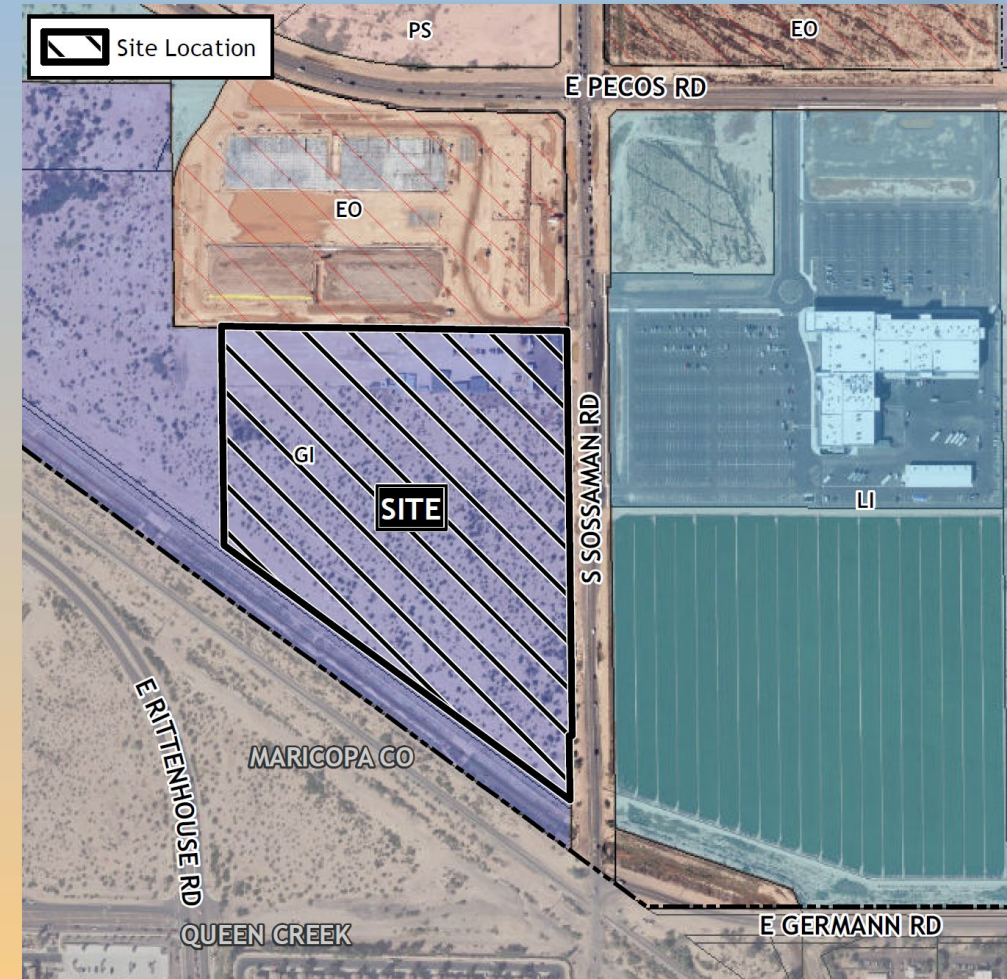
- Design Review
- To allow a new industrial development





Location

- North of Germann Road
- West side of Sossaman Road
- 28 \pm acres





Site Photo



View from the southeast corner of the site



Site Photo

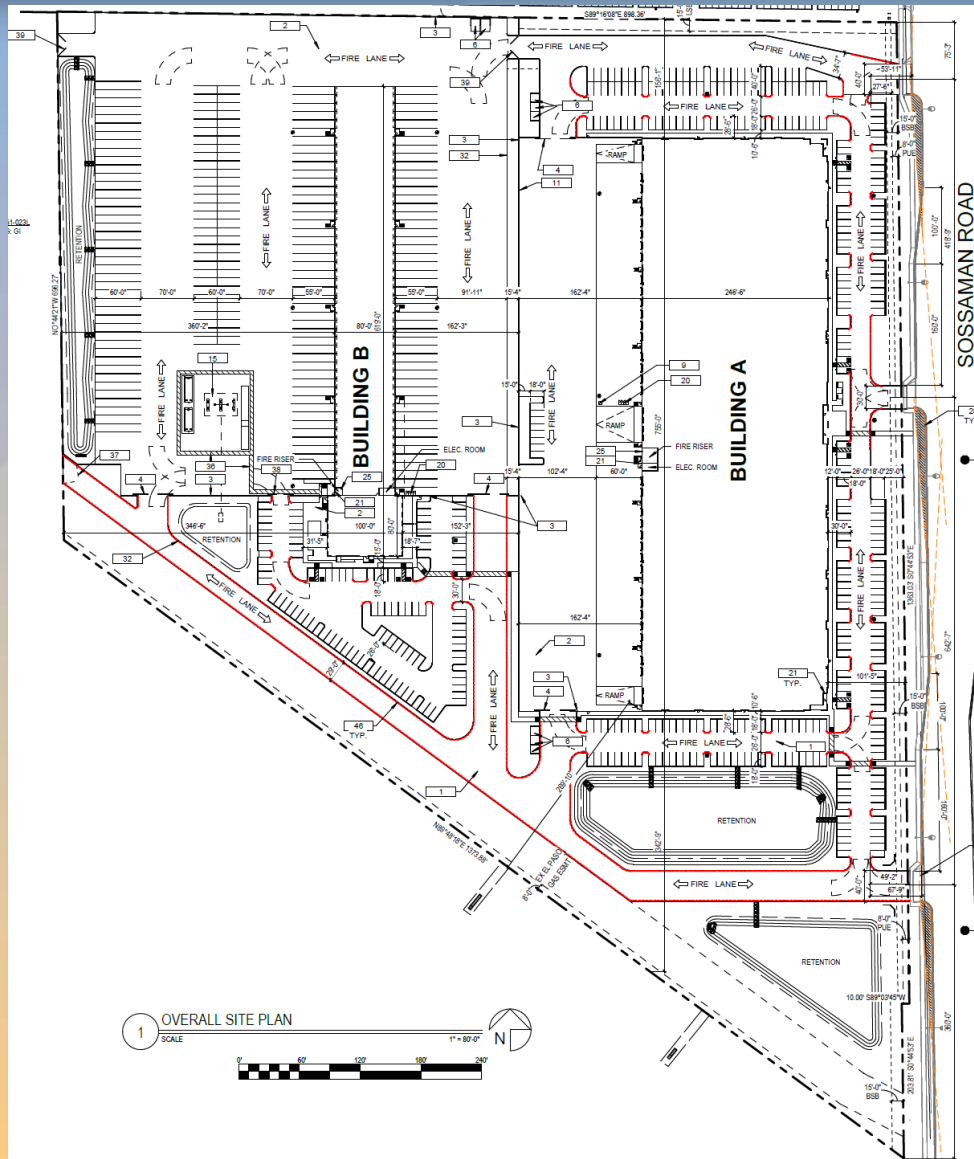


View from the northeast corner of the site



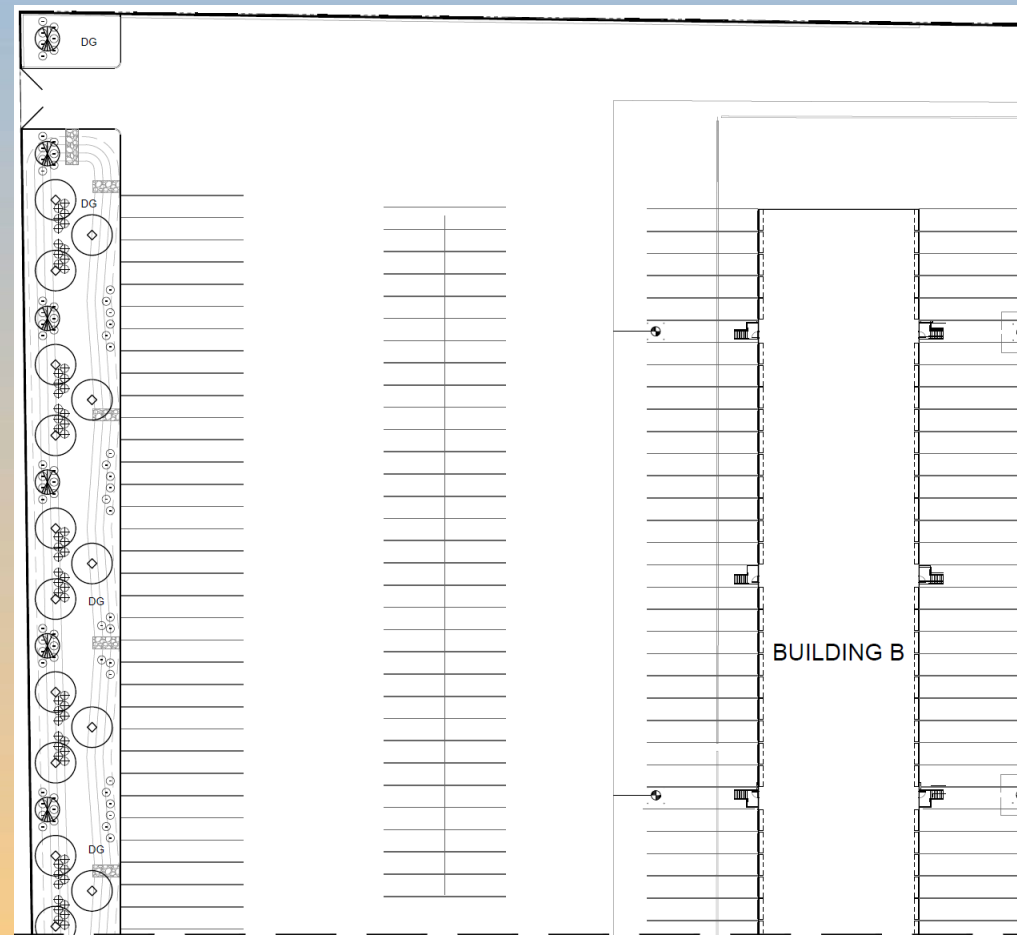
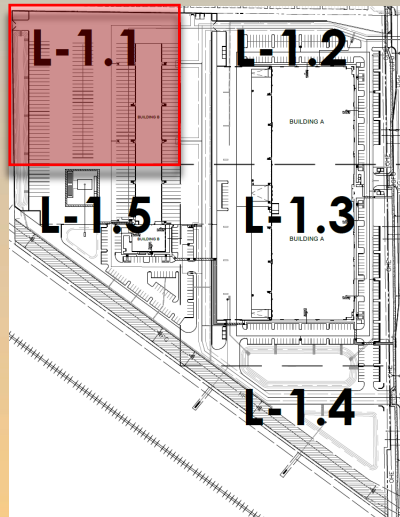
Site Plan

- Building A: 184,372 sq ft
 - 50-feet tall
 - Screened rear yard (west side)
- Building B: 51,120 sq ft
 - 30-feet tall
 - Screened trans-load operations area
 - Fuel canopy
- Access from Sossaman Road





Landscape Plan

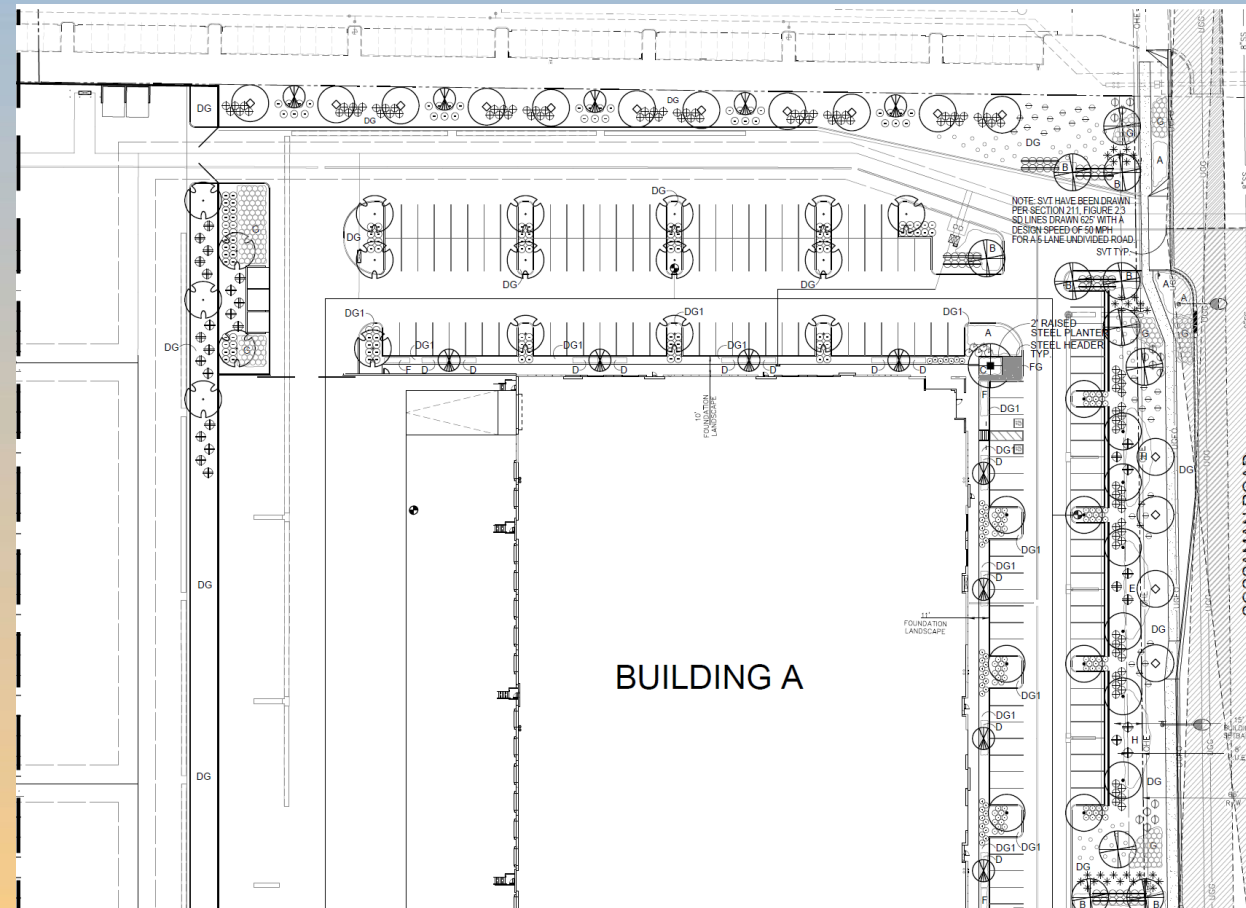















MASTER PLANT LIST

	TREES
	IRONWOOD
	OLNEYA TESOTA
	COOPER HYBRID MESQUITE
	PROSOPIS 'COOPERI'
	SWEET ACACIA
	ACACIA FARNESIANA
	EVERGREEN ELM
	ULMUS PARVIFOLIA
	MULGA ACACIA
	ACACIA ANEURA
	THORNLESS CASCALOTE
	CAESALPINIA 'SMOOTHIE'
	SHRUBS
	RED YUCCA
	HESPERALOE PARVIFLORA
	LITTLE OLLIE OLIVE
	OLEA EUROPAEA 'LITTLE OLLIE'
	RIO BRAVO SAGE
	LEUCOPHYLLUM LANGMANIAE
	BAJA RUELLIA
	RUELLIA PENINSULARIS
	CIMARRON SAGE
	LEUCOPHYLLUM ZYGOPHYLLUM
	MEXICAN PETUNIA
	RUELLIA BRITTONIANA
	WINTER BLAZE EMU
	EREMOPHILA CARNOSA
	DESERT SPOON
	DASYLIUM WHEELERI
	JOJOBA
	SIMMONDSIA CHINENSIS
	RED BIRD
	CAESALPINIA PULCHERRIMA
	HACIENDA CREEPER
	PARTHENOCESSUS SPP.
	GROUNDCOVERS
	BRITTLEBUSH / BURSAGE
	E. FARINOSA / A. DELTOIDEA
	TURPENTINE
	ERICAMERIA LARICIFOLIA 'AGUIRRE'
	TRAILING YELLOW LANTANA
	LANTANA MONTEVIDENSIS 'NEW GOLD'
	OUTBACK SUNRISE EMU
	EREMOPHILA GLABRA 'MIGNEW GOLD'
	CHUPAROSA
	JUSTICIA CALIFORNICA
	DWARF BOTTLEBRUSH
	CALLISTEMON 'LITTLE JOHN'
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	ACACIA REDOLENS 'DESERT CARPET'
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	CARISSA GRANDIFLORA 'GREEN CARPET'
	TRAILING ROSEMARY
	ROSMARINUS 'HUNTINGTON CARPET'
	NASHVILLE GRASS
	MUHLENBERGIA RIGIDA
	INERT MATERIAL
	DECOMPOSED GRANITE
	ROCK PROS - SUPERIOR GOLD
	DECOMPOSED GRANITE
	ROCK PROS - SUPERIOR GOLD
	FRACTURED GRANITE
	ROCK PROS - MOHOGANY



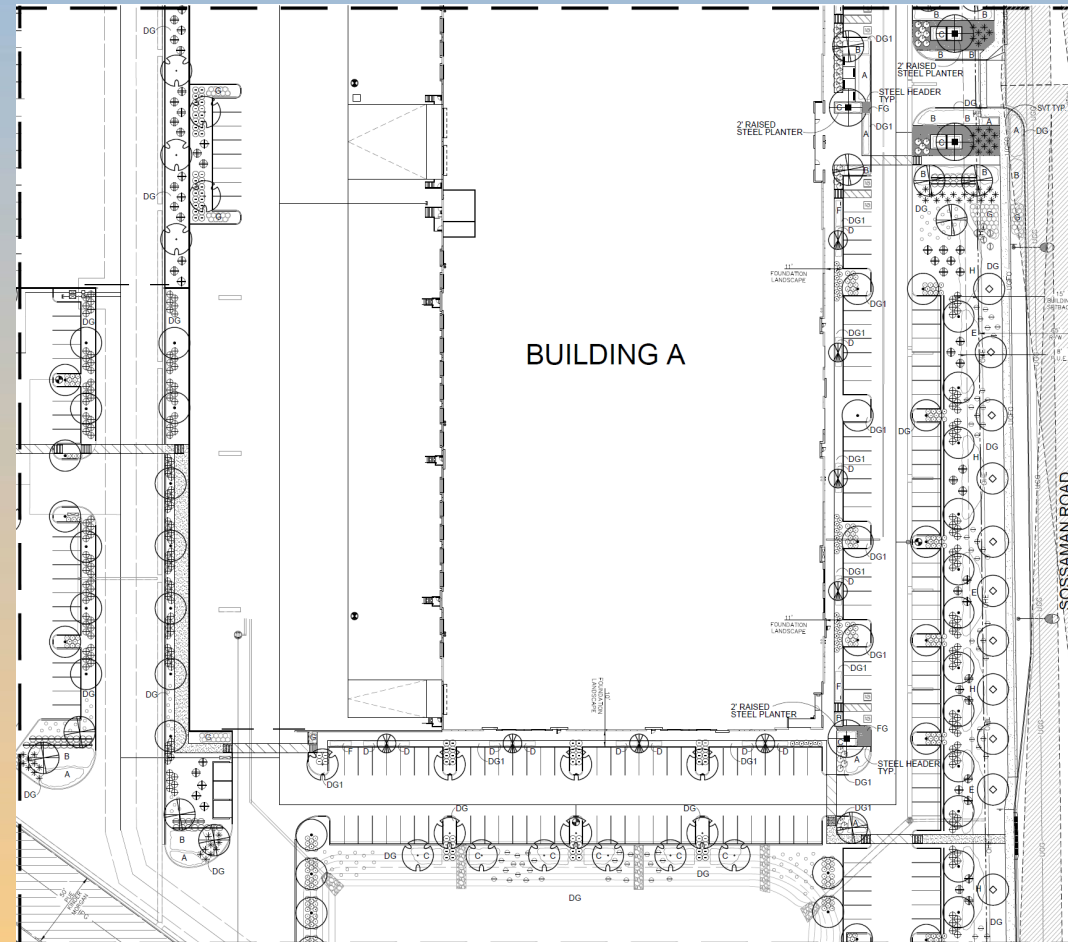
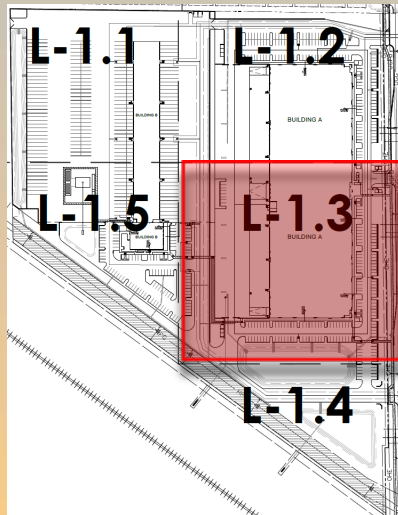
An architectural site plan of a university campus. The plan shows several buildings labeled L-1.1, L-1.2, L-1.3, L-1.4, and L-1.5. Building L-1.2 is highlighted with a red rectangle. The plan also shows a large open area labeled 'BUILDING A' and a smaller area labeled 'BUILDING B'. The plan includes various streets, paths, and landscaping elements.



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	NASHVILLE GRASS MUHLENBERGIA RIGIDA
INERT MATERIAL	
DG	DECOMPOSED GRANITE ROCK PROS - SUPERIOR GOLD
DG1	DECOMPOSED GRANITE ROCK PROS - SUPERIOR GOLD
	FRACTURED GRANITE ROCK PROS - MOHOGANY



Landscape Plan

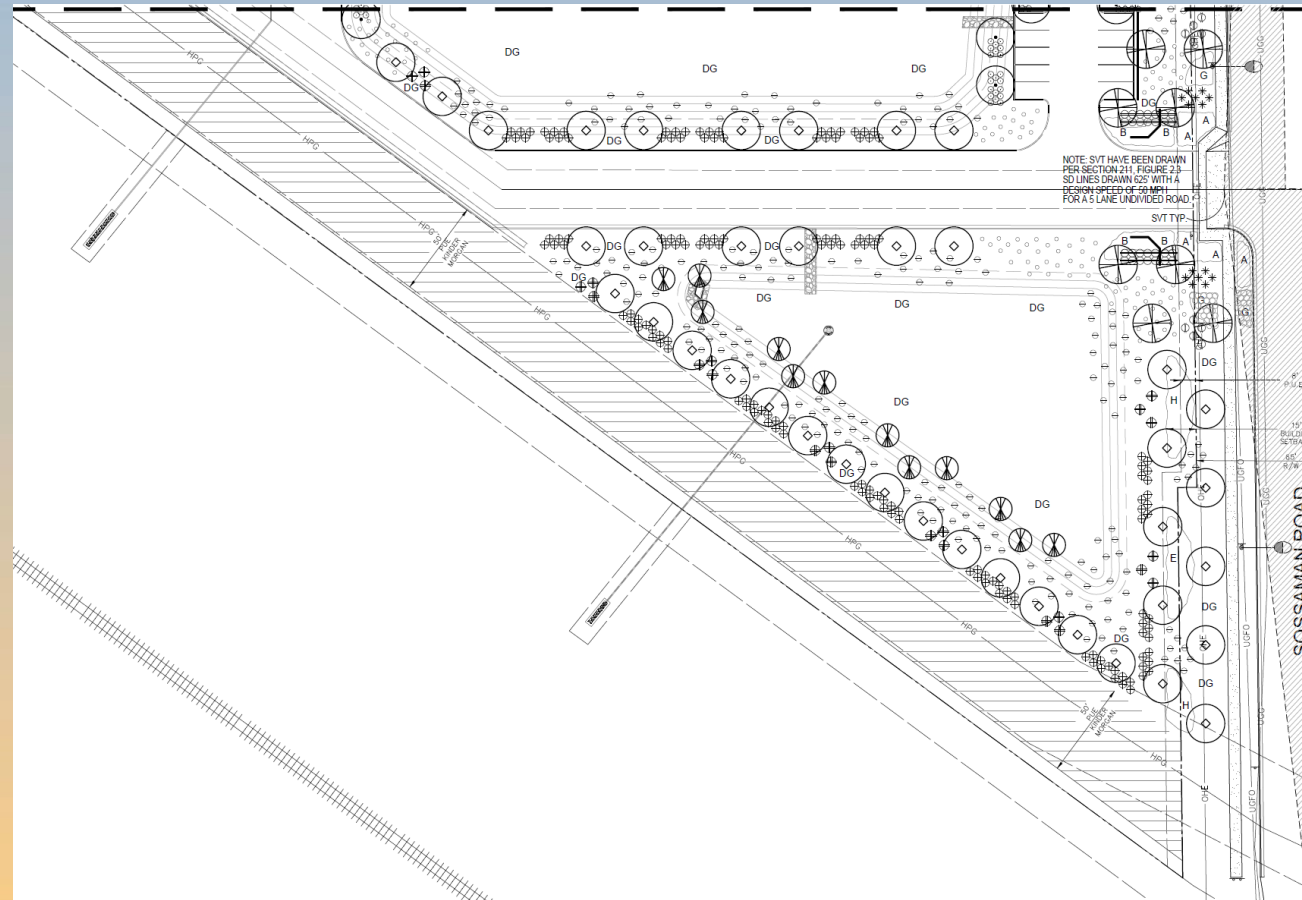
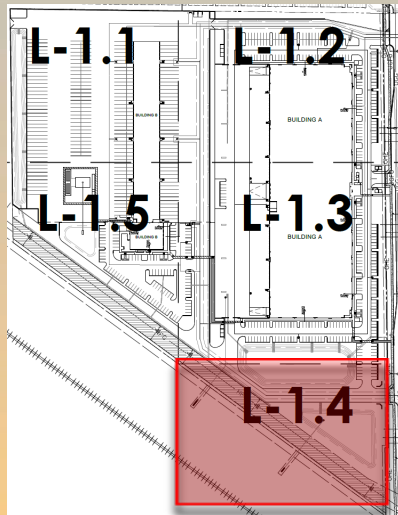


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INERT MATERIAL	
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FRACTURED GRANITE	ROCK PROS - MOHOGANY



Landscape Plan

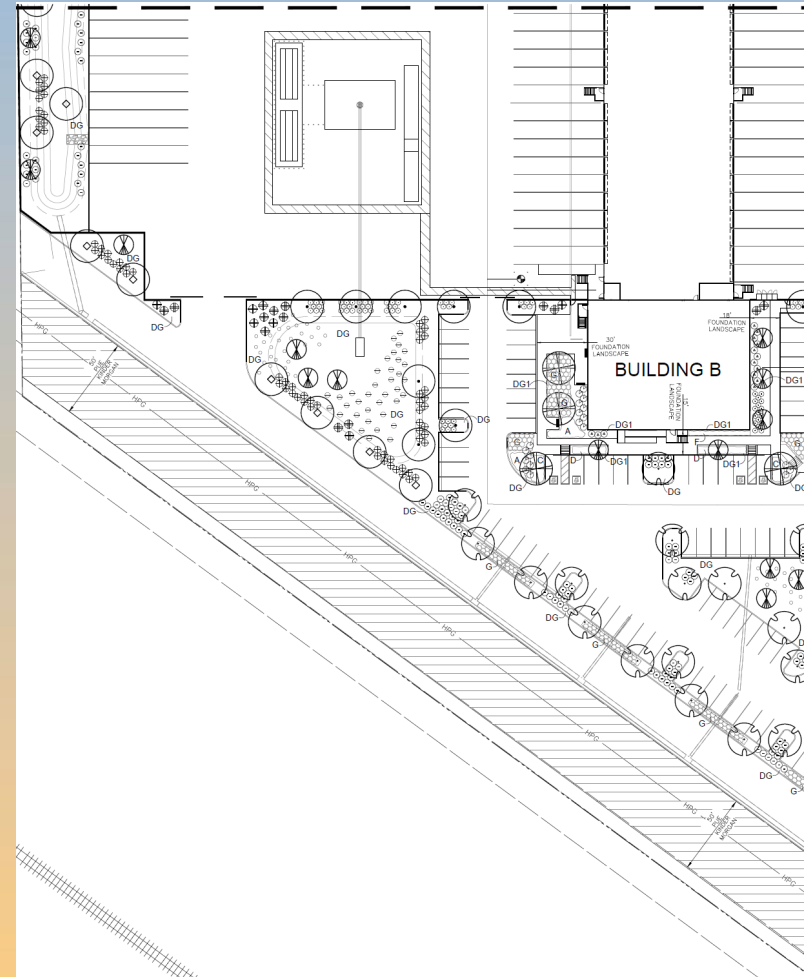
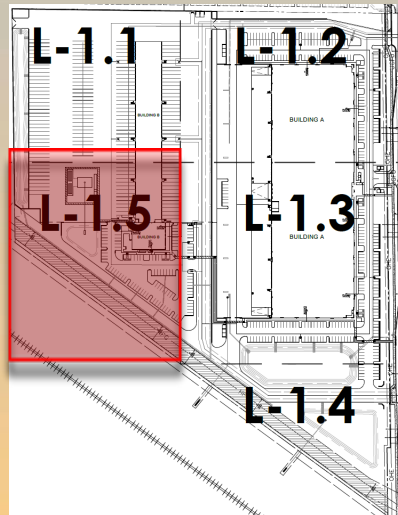


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Landscape Plan



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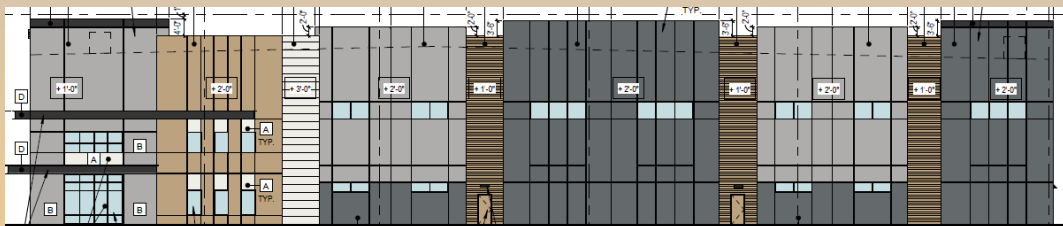
Building A – Overall Elevations



East Elevation



West Elevation



North Elevation



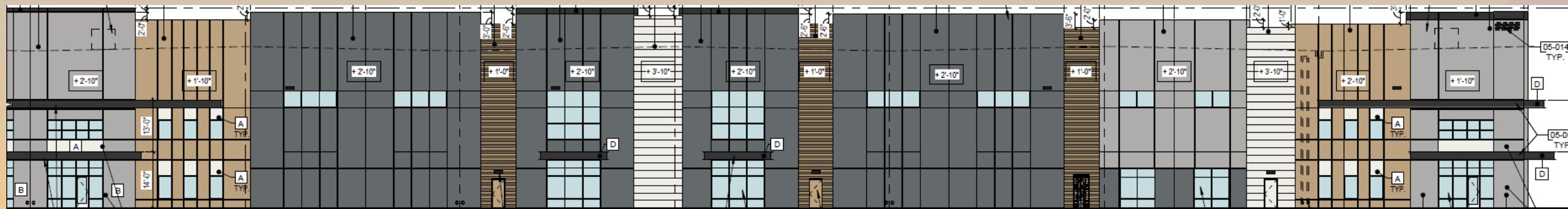
South Elevation



Building A – East Elevations



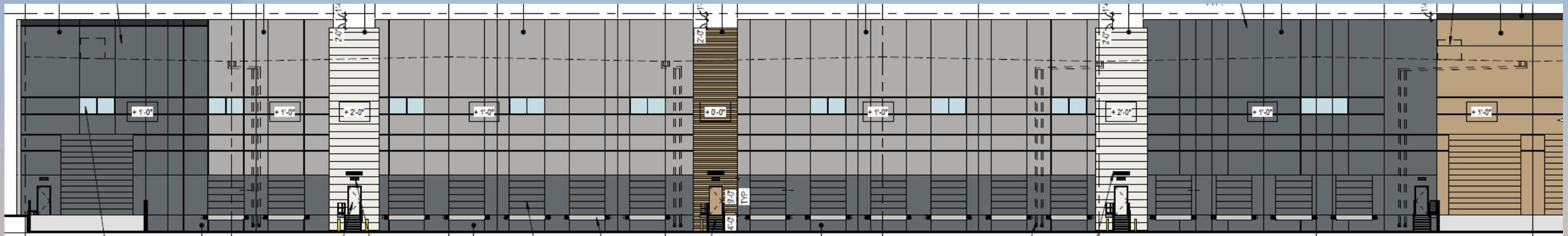
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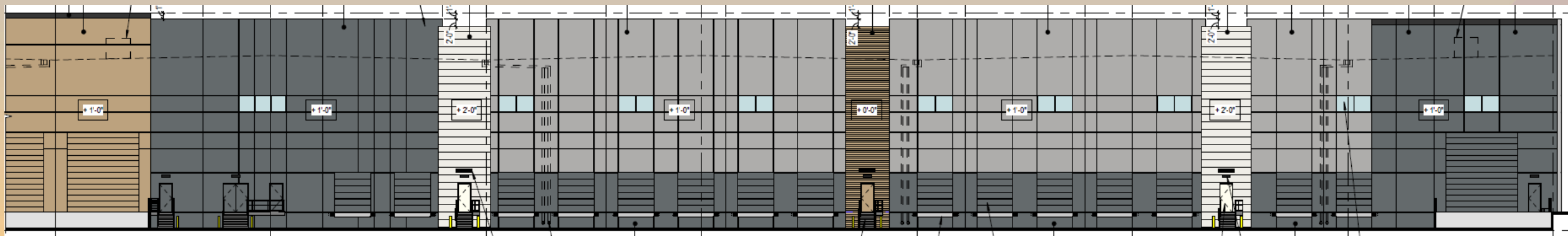
North end



Building A – West Elevations



North end



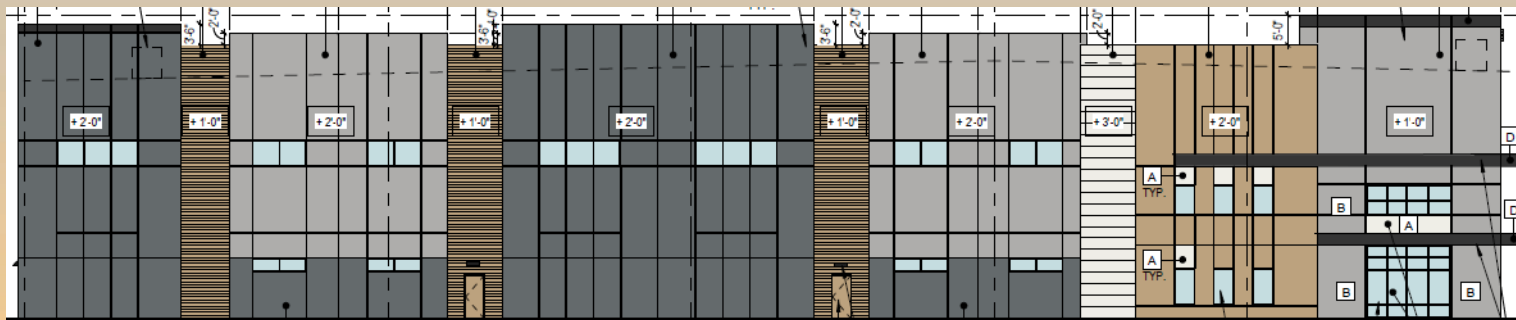
South end



Building A – N&S Elevations



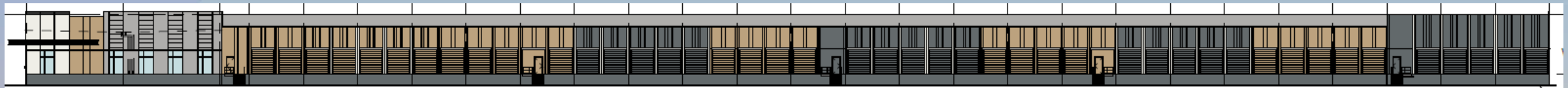
North Elevation



South Elevation



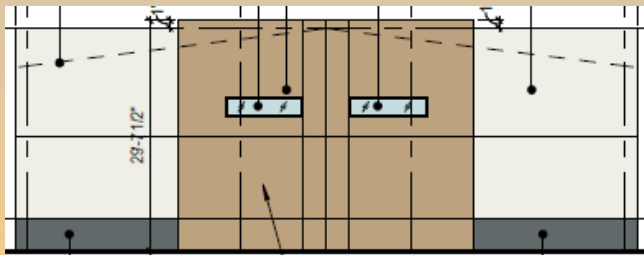
Building B – Elevations



East Elevation



West Elevation



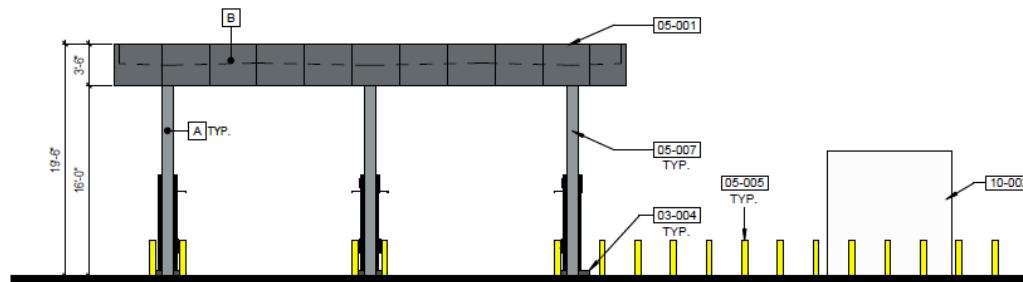
North Elevation



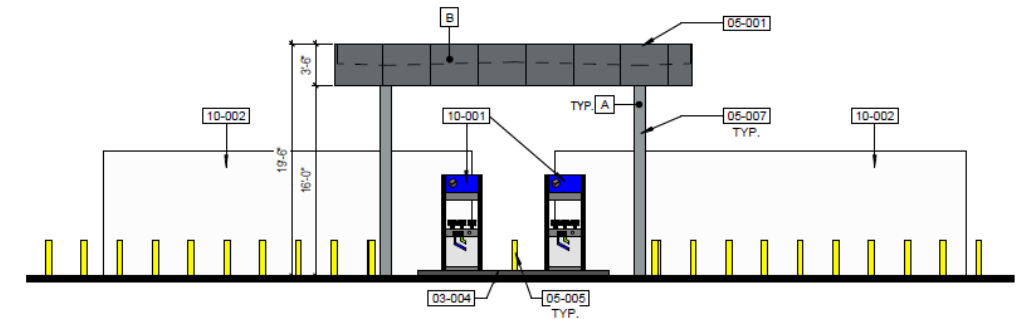
South Elevation



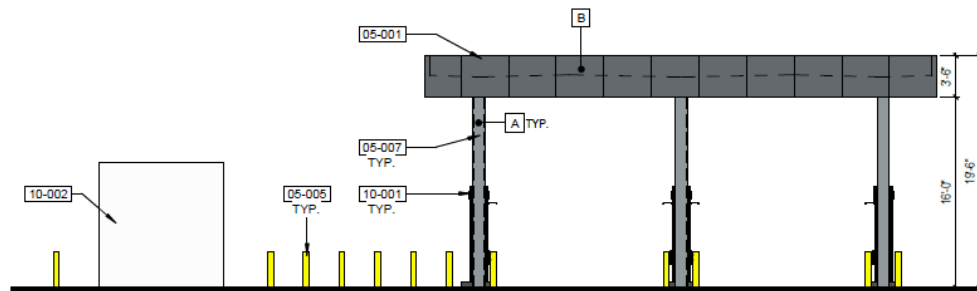
Fuel Canopy – Elevations



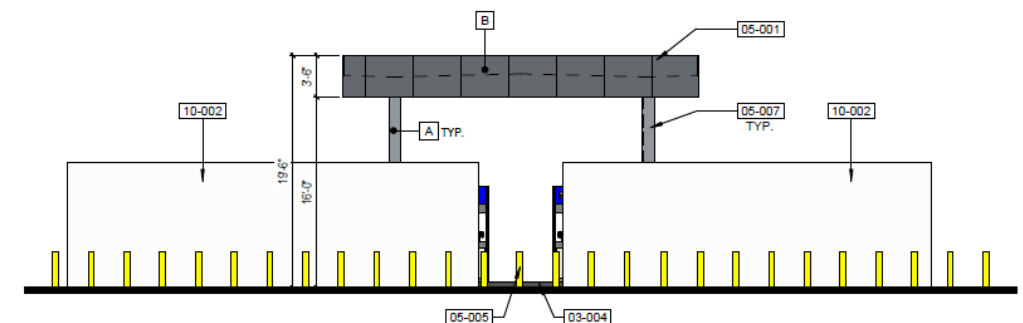
North Elevation



East Elevation



South Elevation



West Elevation



Renderings



1 NE ENTRY OF BUILDING A

NTS



Renderings



2

SE ENTRY OF BUILDING A

NTS



Renderings



3

CENTER OF BUILDING A

NTS



Renderings





Renderings



SWC of Building B



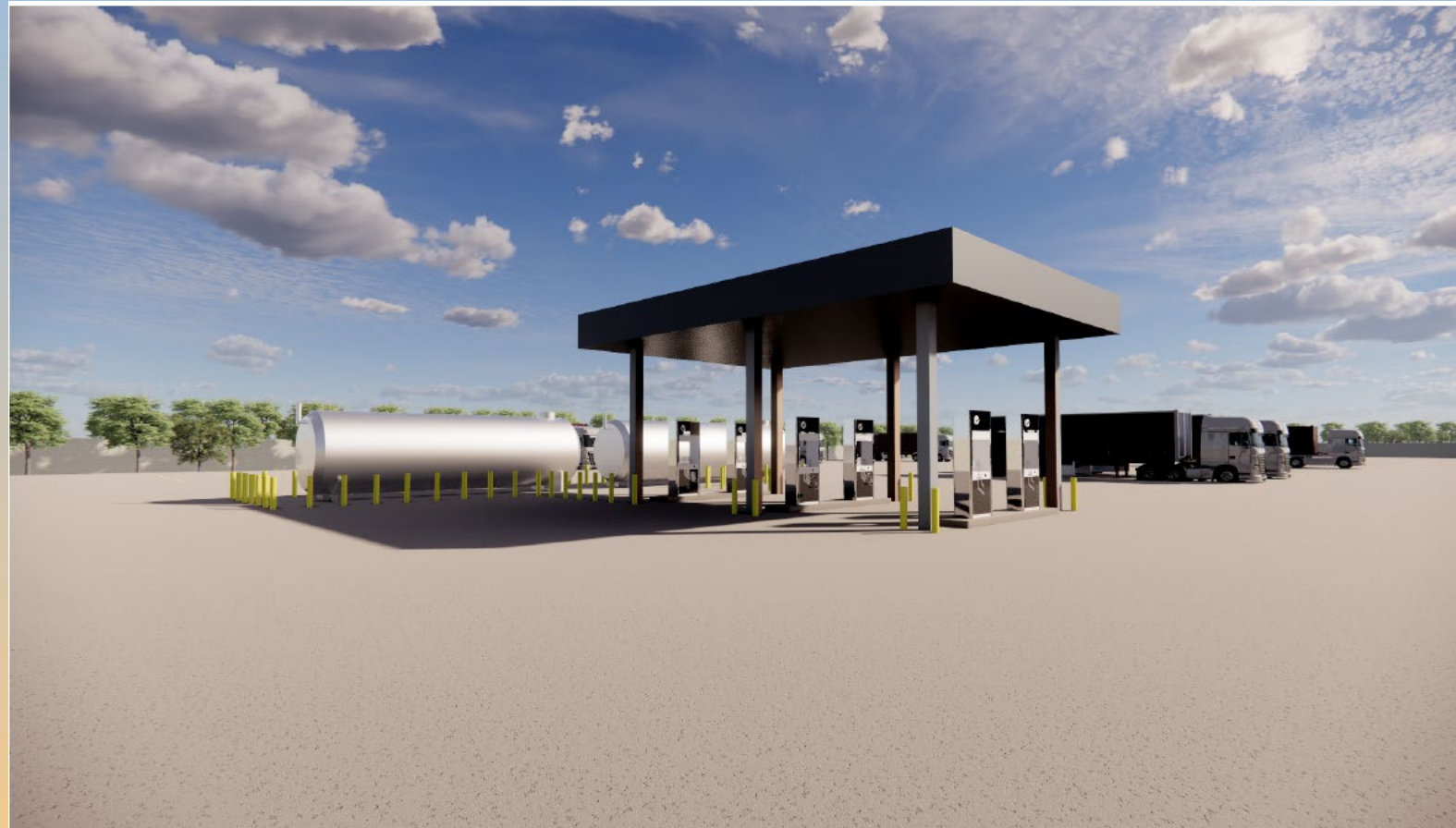
Renderings



NWC of Building B



Renderings



1 SEC OF FUEL STATION

NTS

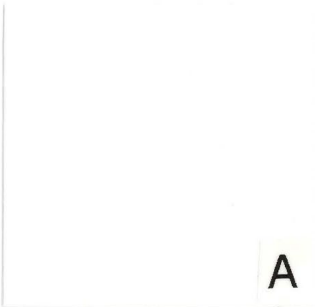

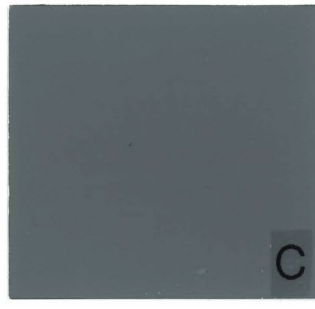
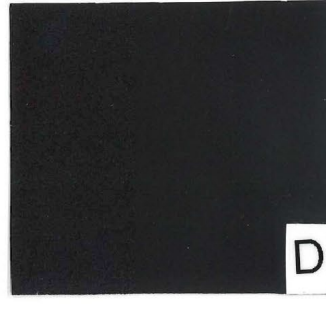

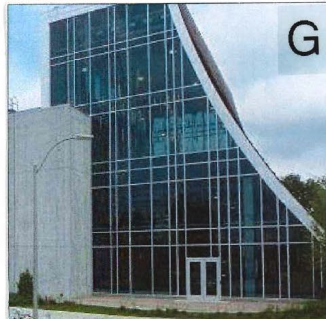


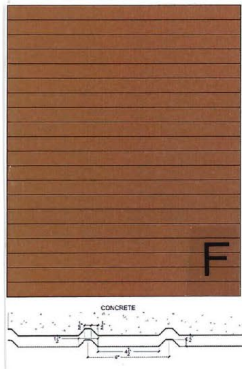
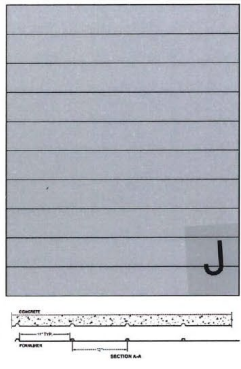
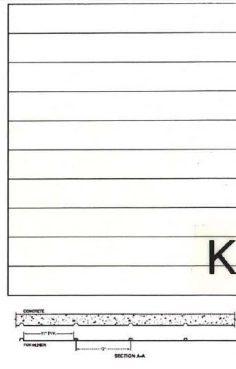
Renderings





Material Board

 <p>A</p>	 <p>B</p>	<table border="1"> <thead> <tr> <th colspan="2">EXTERIOR MATERIAL LEGEND</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>DUNN EDWARDS PAINT DET648 WHITE PICKET FENCE</td> </tr> <tr> <td>B</td> <td>DUNN EDWARDS PAINT DET610 WOLVERINE</td> </tr> <tr> <td>C</td> <td>DUNN EDWARDS PAINT DET616 EQUINOX</td> </tr> <tr> <td>D</td> <td>DUNN EDWARDS PAINT DEA187 BLACK</td> </tr> <tr> <td>E</td> <td>DUNN EDWARDS PAINT DET686 AGED WHISKY</td> </tr> <tr> <td>F</td> <td>CONCRETE FORMLINER: FLUTED RIB 1/2" DEEP, 6" OC - PATTERN #4022 DUNN EDWARDS PAINT - DET686 AGED WHISKY</td> </tr> <tr> <td>G</td> <td>STOREFRONT SYSTEM: 1" INSULATED GLAZING, PPG AZURIA/SOLARBAN 70, IN CLEAR ANNOIDIZED ALUMINUM FRAME</td> </tr> <tr> <td>J</td> <td>CONCRETE FORMLINER: FLUTED RIB 1/2" DEEP, 12" OC - FITZGERALD 14386 DUNN EDWARDS PAINT - DET610 WOLVERINE</td> </tr> <tr> <td>K</td> <td>CONCRETE FORMLINER: FLUTED RIB 1/2" DEEP, 12" OC FITZGERALD 14386 DUNN EDWARDS PAINT DET648 WHITE PICKET FENCE (METALLIC FINISH AT NON-LOADING DOCK WALLS)</td> </tr> </tbody> </table>	EXTERIOR MATERIAL LEGEND		A	DUNN EDWARDS PAINT DET648 WHITE PICKET FENCE	B	DUNN EDWARDS PAINT DET610 WOLVERINE	C	DUNN EDWARDS PAINT DET616 EQUINOX	D	DUNN EDWARDS PAINT DEA187 BLACK	E	DUNN EDWARDS PAINT DET686 AGED WHISKY	F	CONCRETE FORMLINER: FLUTED RIB 1/2" DEEP, 6" OC - PATTERN #4022 DUNN EDWARDS PAINT - DET686 AGED WHISKY	G	STOREFRONT SYSTEM: 1" INSULATED GLAZING, PPG AZURIA/SOLARBAN 70, IN CLEAR ANNOIDIZED ALUMINUM FRAME	J	CONCRETE FORMLINER: FLUTED RIB 1/2" DEEP, 12" OC - FITZGERALD 14386 DUNN EDWARDS PAINT - DET610 WOLVERINE	K	CONCRETE FORMLINER: FLUTED RIB 1/2" DEEP, 12" OC FITZGERALD 14386 DUNN EDWARDS PAINT DET648 WHITE PICKET FENCE (METALLIC FINISH AT NON-LOADING DOCK WALLS)
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 <p>E</p>	 <p>G</p>																					

 <p>F</p>	 <p>J</p>	 <p>K</p>
-------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------



Alternative Compliance

- ✓ Massing and Scale. (MZO 11-7-3.B.2)
 - ✓ Wall Articulation: Publicly visible walls not to exceed 50-feet without change in plane, texture, masonry pattern, windows, etc.; and
 - ✓ Roof Articulation: Parapets must have detailing such as cornices, moldings, trim, or variations in brick coursing.
- ✓ Materials. No more than 50% of the façade may be covered with one single material (MZO 11-7-3.B.5)



Alternative Landscape Plan

- ✓ Foundation Base along Exterior Walls with Public Entrance (MZO 11-33-5.A)
 - ✓ 15-foot-wide required; 12-foot-wide proposed



Findings

Staff is seeking your review and recommendation on the following:

- ✓ Proposed building elevations and landscape design
- ✓ Alternative Compliance for massing and scale, and building materials
- ✓ Alternative Landscape Plan

Staff welcomes any feedback