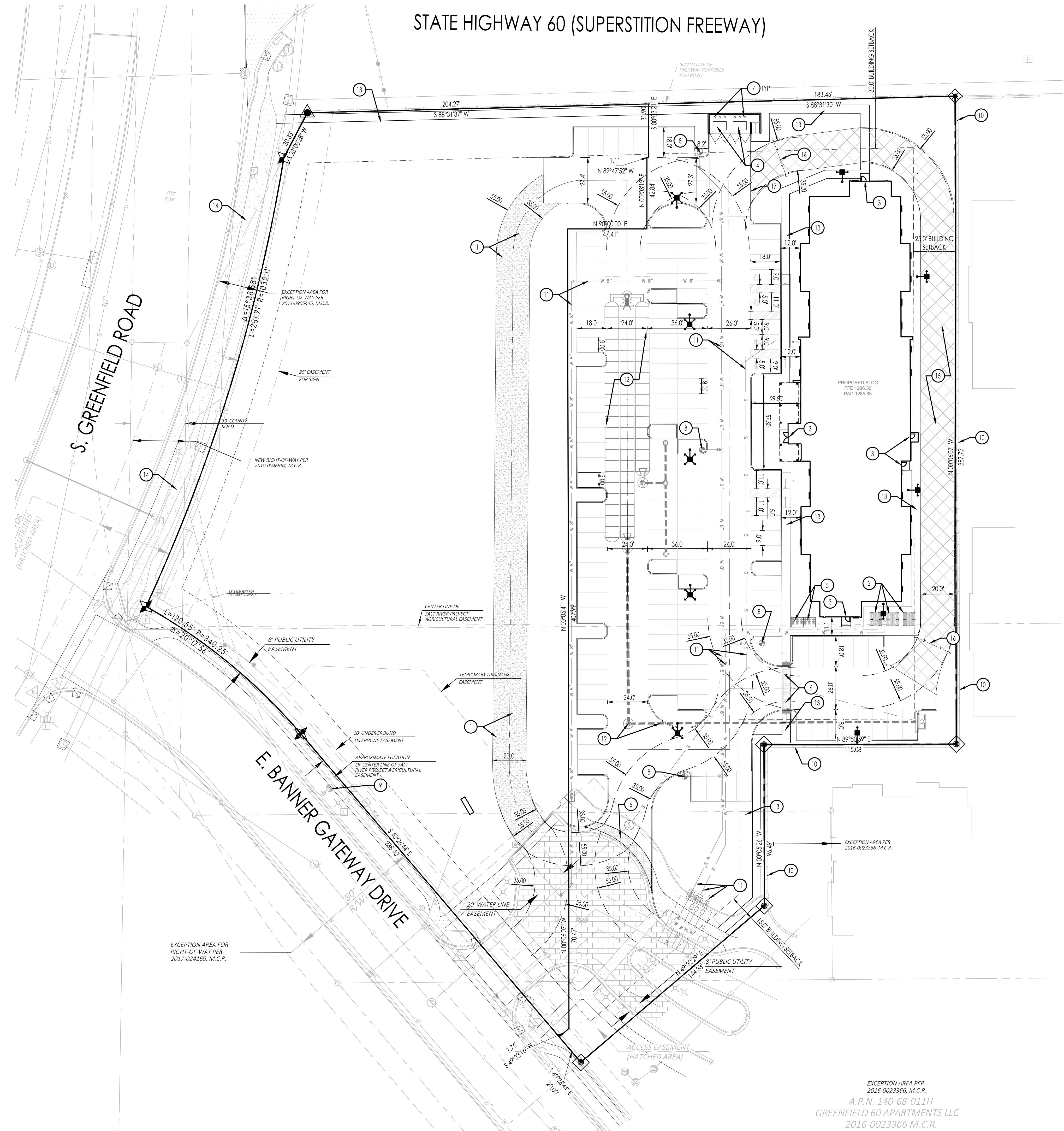


# STATE HIGHWAY 60 (SUPERSTITION FREEWAY)



**OWNER:**  
 SREG GREENFIELD LLC  
 9375 E. SHEA BLVD SUITE 100  
 SCOTTSDALE, AZ 85260  
 CONTACT: JOHN CONROY  
 PH: 239.404.1930  
 EMAIL: JCONROY@SOUTHREALESTATEGROUP.COM

**DEVELOPER:**  
 WEST77 PARTNERS  
 3300 N TRIUMPH BLVD, SUITE G70,  
 LEHI, UT 84043  
 CONTACT: MATT HOOK  
 PH: 484.797.0627  
 EMAIL: MATT@WEST77PARTNERS.COM

**ARCHITECT:**  
 BRR ARCHITECTURE, INC.  
 8131 METCALF AVENUE  
 OVERLAND PARK, KANSAS 66204  
 CONTACT: RYAN ROSCHE, AIA  
 PH: 737.717.8231  
 EMAIL: RYAN.ROSCHE@BRRARCH.COM

**CIVIL ENGINEER:**  
 KBELL ENGINEERING, LLC  
 1355 N. 86TH PLACE  
 MESA, AZ 85207  
 CONTACT: KELLY J. BELL, PE  
 PH: 602.980.8246  
 EMAIL: KBELL@KBELLENG.COM

**LANDSCAPE ARCHITECT:**  
 YOUNG DESIGN GROUP  
 7234 EAST SHOEMAN LANE, SUITE 8  
 SCOTTSDALE, ARIZONA 85251  
 CONTACT: JOE YOUNG, RLA  
 PH: 480.257.3312  
 EMAIL: JYOUNG@YOUNGDG.COM

## DEVELOPMENT STANDARDS

**PERIMETER BUILDING SETBACKS**

FRONT YARD	20'
SIDE YARD	20' FIRST STORY/ 15' EACH ADDITIONAL STORY
REAR YARD	15'
FREEWAYS	30'

**BUILDING HEIGHT**

BUILDING HEIGHT	48'
LOT COVERAGE 15,725 SF / 102,892 SF =	15.3%
LOT COVERAGE ALLOWED	80%

**PARKING**

REQUIRED: 1 SP/UNIT	126
ADA SPACES REQUIRED:	5
PARKING REQUIRED	126
PARKING PROVIDED	137
ADA SPACES PROVIDED	7
LANDSCAPE AREA	19,076 SF (19,076 sf / 102,892 sf = 18.5%)

**OPEN SPACE CALCULATIONS**

OPEN SPACE REQUIRED:	1% PER SF OF BUILDING = 0.01*59,712 SF = 597 SF REQUIRED
OPEN SPACE PROVIDED:	600 SF

**FOUNDATION BASE CALCULATIONS:**

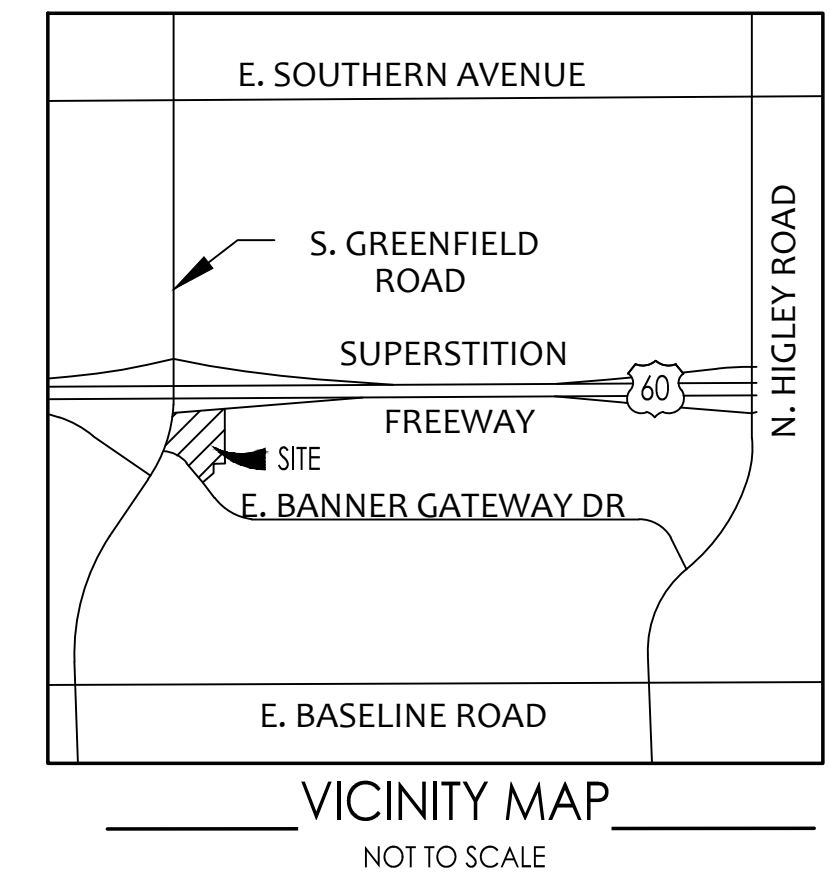
FOUNDATION BASE REQUIRED:	15 FT WIDE WITH 900 SF PLAZA AREA
FOUNDATION BASE PROVIDED:	28.7 FT WIDE X 58.72 FT LONG = 1,685 SF PLAZA AREA

## OVERALL SITE DATA

GROSS DEVELOPABLE AREA:	196,445 SF OR 4.51 AC.
NET AREA LOT 1:	93,544 SF OR 2.15 AC.
NET AREA LOT 2:	102,892 SF OR 2.36 AC.
ADDRESS:	4510 E. BANNER GATEWAY DRIVE MESA, AZ 85206
PARCEL NUMBERS:	APN 140-68-011J, 140-68-013B, 140-68-011G, 140-68-014B
ZONING:	LC
BUILDING INFORMATION LIVAWAY:	4 FLOORS, 126 KEYS, 59,712 SF
BUILDING CONSTRUCTION TYPE:	5A
OCCUPANCY:	R-1
AUTOMATIC FIRE SPRINKLER SYSTEM:	NFPA 13

## ⑥ SITE PLAN KEYNOTES

- TEMPORARY FIRE ACCESS DRIVE
- AMENITY AREA
- BUILDING ENTRANCE
- REFUSE AREA PER COM STD DTL M-62.01 THRU M-62.04.2; WIDTH TO MEET SOLID WASTE DETAIL M-62.01 AND M-62.02.2 NOTE 6.
- BICYCLE PARKING
- CONCRETE TEXTURED PAVING WITH CONTRASTING COLOR
- PEDESTRIAN ACCESS WAY RAISED 3" ABOVE THE VEHICULAR LANE
- SAFETY POST MEETING SOLID WASTE DETAIL M-62.03, M-62.04.1 AND M-62.04.2 NOTE 7
- NEW FIRE HYDRANT
- EXISTING FIRE HYDRANT
- EXISTING CMU WALL FOR THE ADJACENT PROPERTY
- PROPOSED NEW UTILITY ( WATER AND SEWER )
- PROPOSED NEW UTILITY ( STORM DRAIN )
- PROPOSED SIDEWALK
- CITY OF MESA EASTERN CANAL MULTI-USE PATHWAY (TO BE CONSTRUCTED (CIP CP0730)
- PROPOSED GRASSCRETE DRIVEWAY FOR FIRE ACCESS
- PROPOSED FIRE ACCESS GATE
- PROPOSED ROLL CURB



**KBELL ENGINEERING**  
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 PH: 602.980.8246 Copyright © 2025



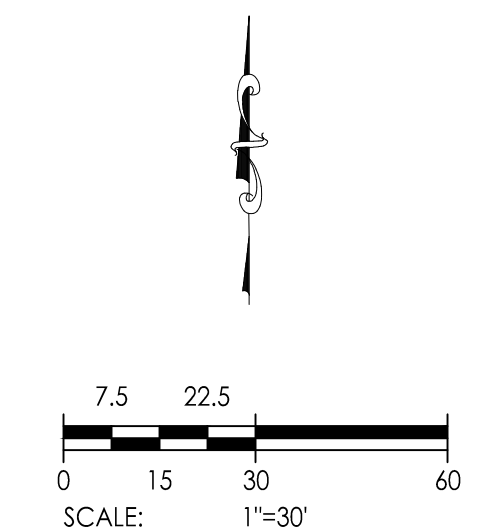
PRELIMINARY NOT FOR CONSTRUCTION

**CLIENT:**  
**WEST 77 PARTNERS**  
 WEST 77 PARTNERS  
 3300 N. TRIUMPH BLVD, SUITE G70  
 LEHI, UT 84043  
 CONTACT: MATT HOOK  
 PH: 425.974.7078  
 EMAIL: MATT@WEST77PARTNERS.COM

**CLIENT:**  
**WEST77 PARTNERS**  
 PROJECT NAME & ADDRESS:  
**LIVAWAY MESA GREENFIELD**  
 4510 E. BANNER GATEWAY DRIVE, MESA, ARIZONA  
 SHEET NO: 108802  
**PRELIMINARY SITE PLAN**

PROJECT NO: 108802  
 DESIGNED BY: KJB/GGM  
 DRAWN BY: KJB/GGM

SHEET  
**C-1**



108802 SITE PLAN.dwg modified by kbj@bell on Feb 17, 25, 1:02 PM

EXCEPTION AREA PER 2016-0023366, M.C.R.  
 A.P.N. 140-68-011H  
 GREENFIELD 60 APARTMENTS LLC  
 2016-0023366 M.C.R.