



## TAKE 5 OIL RETAIL PROJECT NARRATIVE

October 5<sup>th</sup>, 2022

City of Mesa  
Development Services/Planning Division  
55 N Center St  
Mesa, AZ 85201

RE: **TAKE 5 OIL RETAIL SITE PLAN/DESIGN REVIEW**  
SEC Southern Ave & Ellsworth Rd  
Mesa, AZ

Dear Planning Team:

We are very pleased to be submitting for Site Plan/Design Review for the proposed Take 5 Oil Facility to be located at SEC Southern Ave & Ellsworth Rd on an existing .53 Acre parcel, Zoned LC and currently part of existing Lowe's Retail Center with existing Curb Cuts and interior on-site access road to remain.

Take 5 is one of the best new businesses in the US and is new to the Mesa Community/AZ Market. We bring our Quality and unparalleled Customer Service to our Customers that wait in their Vehicles for the 5-10 minute Oil Change. Our Business Model is a great success and even more so in today's challenging times. Our operating hours are from 7am to 8pm.

The proposed facility will include 1,632sf Take 5 Retail Building, along with 5 proposed Parking spaces with 1 ADA Spaces with reciprocal parking/access.

Current Lowe's Center has existing Access off of both Southern Ave and Ellsworth Rd which we intend to use with no revisions being proposed. The site also has existing On-Site Access that will remain and provide access to our pad.

We are proposing a Modern Theme, with Main Corner Tower Elements. Our Bay Doors are Pre-finished Metal doors. We are proposing Quality Design with a cohesive Color Palette complementing existing Development.

Furthermore, below are confirmation of compliance with MZO Section 11-31-6  
"Automobile/Vehicle Repair, Major and Minor"

- Minimum Lot Size: 1 acre unless part of a larger group commercial center
  - The proposed Take 5 and future Pads are part of existing Lowe's Retail Center
- Screening: Car Service and storage areas shall be screened per Sections 11-30-9(F), Auto Service Bays and 11-30-9(H), Parking Areas
  - We are providing Landscape as well as Masonry screen walls along Ellsworth screening service bays
- Litter: No used or discarded automotive parts or equipment or disabled , junked, or wrecked vehicles may be stored outside of main building.



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- There are no servicing of automobiles thus no parts or serviced vehicles will be present
- Noise: All body and fender work, or similar noise-generating activity, shall be enclosed in masonry or similar building with sound attenuating measures incorporated into the building design and construction to absorb noise to comply with [Title 6](#), Chapter 12 of the Mesa City Code. Bay openings shall be oriented so as to minimize the effects of sound emanating from the auto repair building towards residential uses, towards outdoor restaurant seating and outdoor reception areas. Compressors shall be located within separately enclosed, sound attenuated rooms.
  - There is no servicing of automobiles and no pneumatic tools being used. Oil Compressor is located in storage room within enclosed building with 25db output

We have provided a proposed Master Plan with future Pads shown for reference

We appreciate the opportunity to be making our Site Plan/Design Review Resubmittal and we look forward to your confirmation of April 26<sup>th</sup> P&Z hearing. We are eager to being Planning Process through permitting with an estimated Opening in 4<sup>th</sup> Quarter 2023. Please do not hesitate to contact us if you should have any questions and/or need any additional clarifications or supplement information.

Respectfully,



A handwritten signature in blue ink, appearing to read 'Jesse Macias'.

Jesse Macias  
President  
2645 N 7<sup>th</sup> Avenue  
Phoenix, AZ 85007  
jmacias@m3designllc.com

SEC SOUTHERN & ELLSWORTH, MESA



1) EXISTING LOWES

SEC SOUTHERN & ELLSWORTH, MESA



2) EXISTING LOWES

## SEC SOUTHERN & ELLSWORTH, MESA

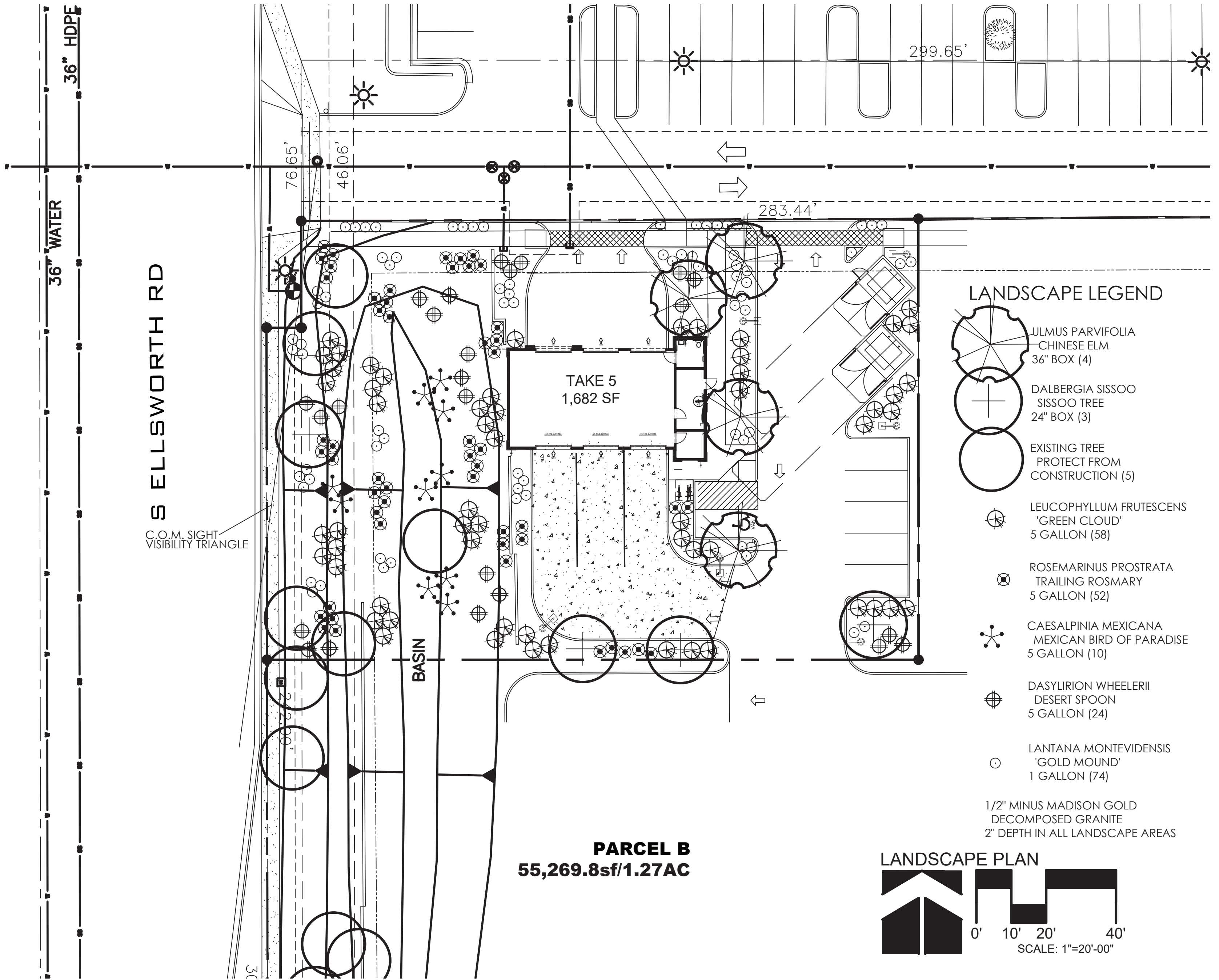
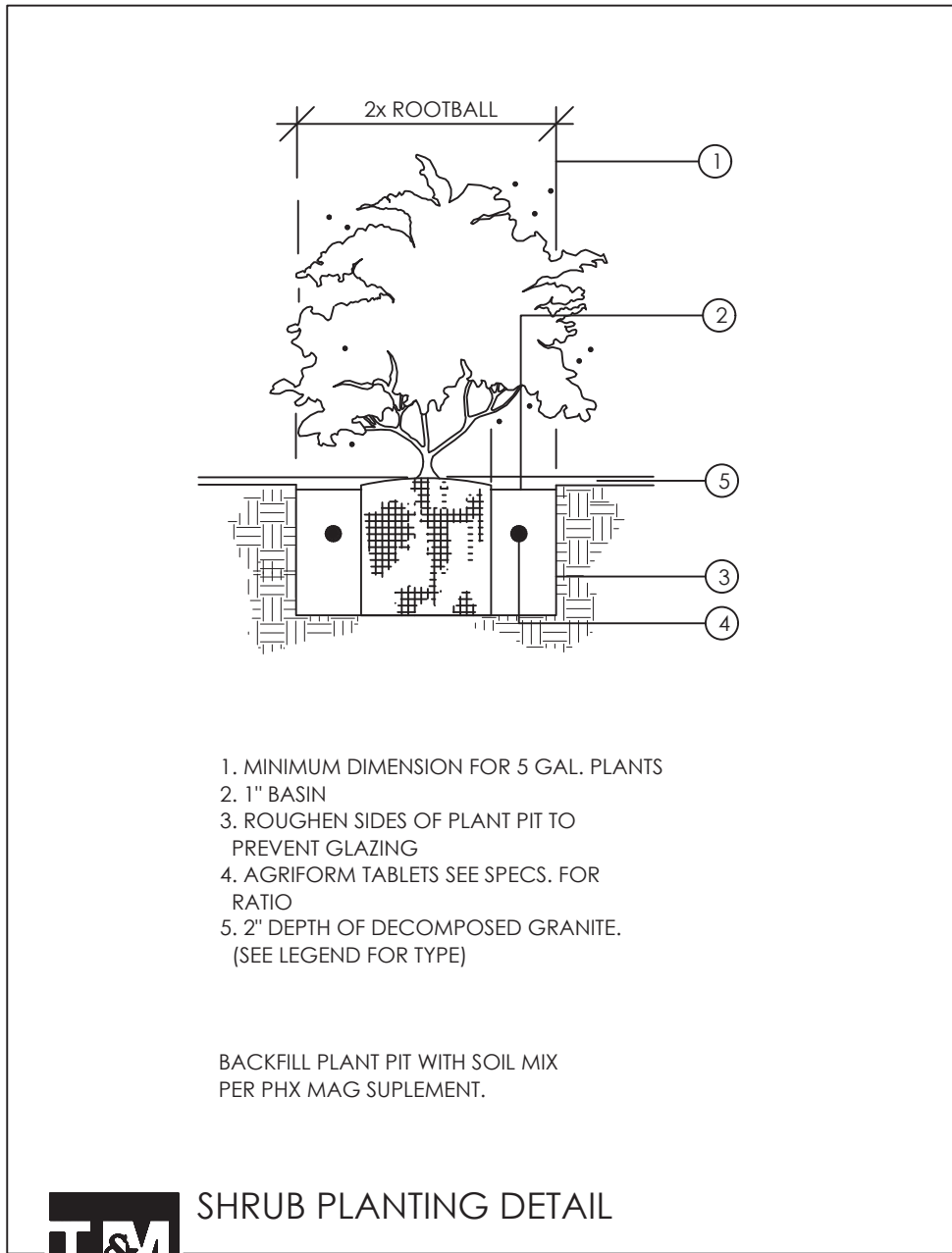
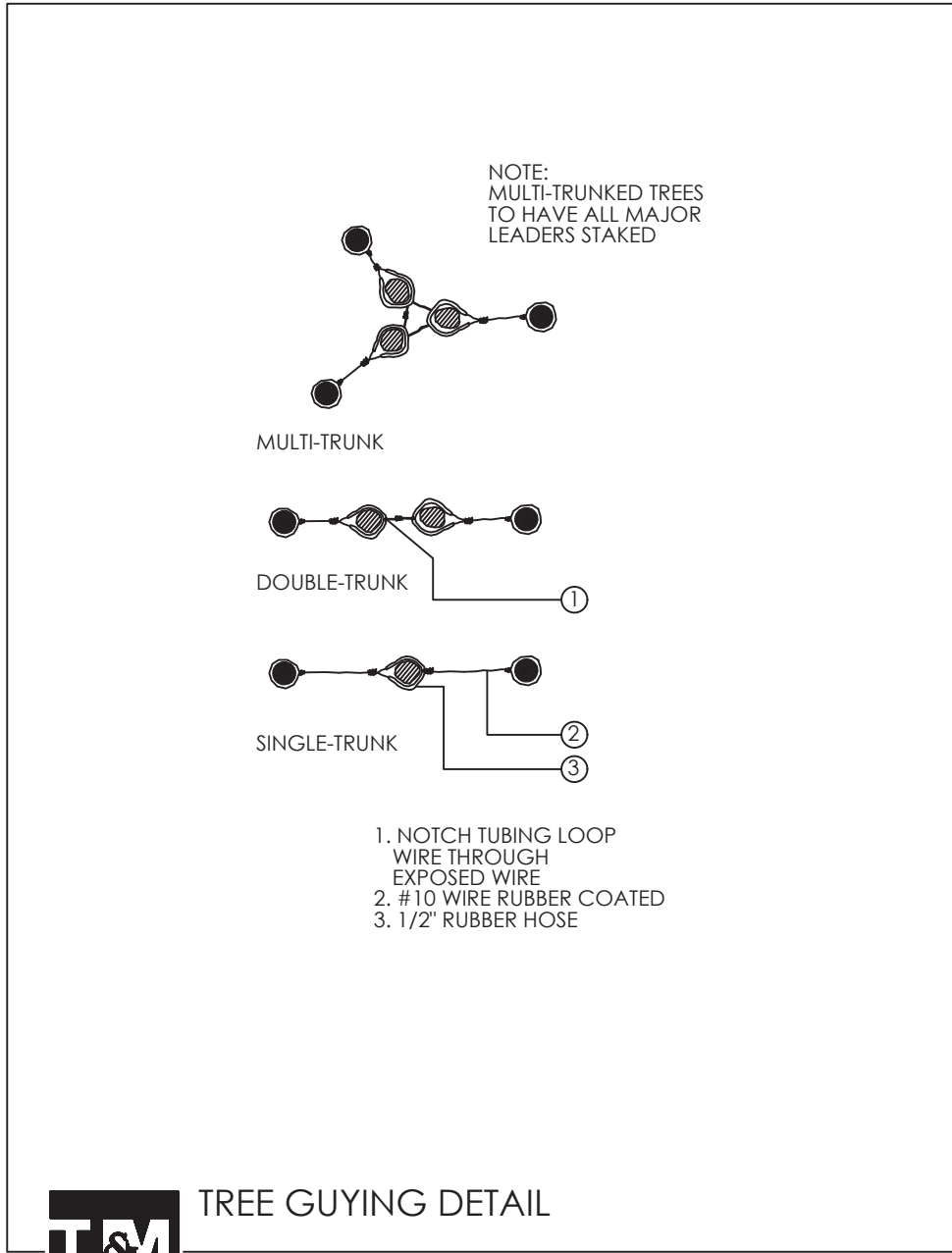
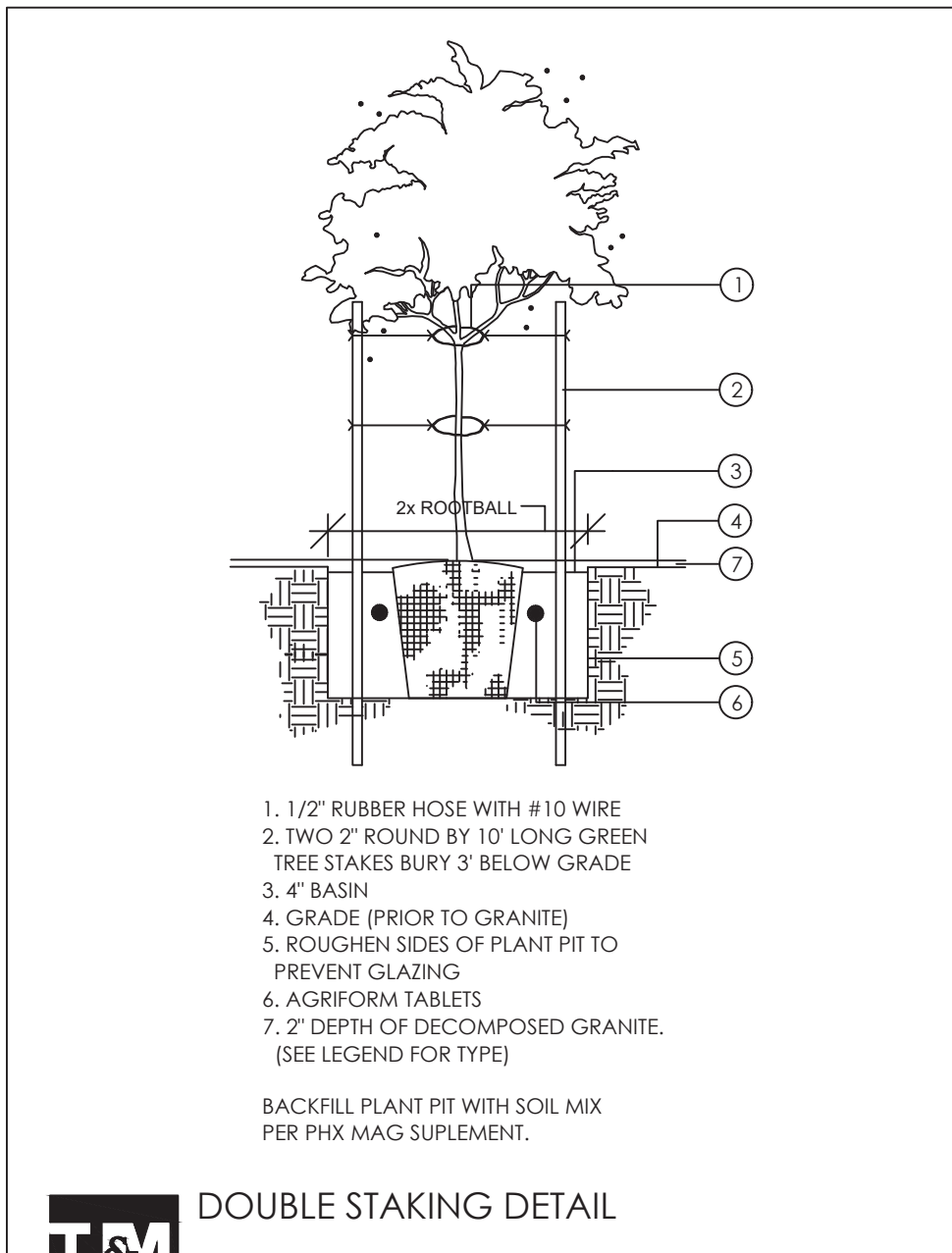


3) EXISTING LINS RESTAURANT

## SEC SOUTHERN & ELLSWORTH, MESA



4) EXISTING LINS RESTAURANT



**LANDSCAPE LEGEND**

- JILMUS PARVIFOLIA - CHINESE ELM 36" BOX (4)
- DALBERGIA SISSOO SISSOO TREE 24" BOX (3)
- EXISTING TREE PROTECT FROM CONSTRUCTION (5)
- LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' 5 GALLON (58)
- ROSEMARINUS PROSTRATA TRAILING ROSMARY 5 GALLON (52)
- CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE 5 GALLON (10)
- DASYLIRON WHEELERII DESERT SPOON 5 GALLON (24)
- LANTANA MONTEVIDENSIS 'GOLD MOUND' 1 GALLON (74)
- 1/2" MINUS MADISON GOLD DECOMPOSED GRANITE 2" DEPTH IN ALL LANDSCAPE AREAS



**ARTERIAL STREET LANDSCAPE REQUIREMENTS:**

ELLSWORTH ROAD (126'-6")  
 TREES REQUIRED: 5 TREES  
 TREES PROVIDED: 6 TREES (5-EXIST., 1-NEW)  
 SHRUBS REQUIRED: 30 SHRUBS  
 SHRUBS PROVIDED: 50 SHRUBS

**CITY OF MESA LANDSCAPE NOTES**

1. ALL LANDSCAPE AREAS TO RECEIVE 2" LAYER DECOMPOSED GRANITE
2. ALL LANDSCAPE AREA TO BE WATERED BY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
3. THE HEIGHTS AND CALIPERS SHALL COMPLY WITH 'ARIZONA NURSERY ASSOCIATION SPECIFICATIONS' FOR THAT SIZE AND TYPE OF TREE.
4. REQUIRED TREES SHALL BE PROVIDED IN EQUAL NUMBERS OF 15 GALLON SIZE AND 24" BOX SIZE OR LARGER.
5. REQUIRED SHRUBS SHALL HAVE A MATURE GROWTH HEIGHT OF 18" AT LEAST 50% OF REQUIRE SHRUBS SHALL BE 5 GALLON SIZE.
6. PLANT MATERIAL SHALL BE CALCULATED BASED ON A LINEAR MODULE OF 25 FEET. TREES AND SHRUBS MAY BE CLUSTERED.

ARTERIAL STREET:  
 (1) TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE

7. PLANT MATERIAL SIZES REQUIRED:  
TREES: (TOTAL REQUIRED TREES:)  
 25% SHALL BE 36" BOX OR LARGER  
 50% SHALL BE 24" BOX OR LARGER  
 NO TREES LESS THAN 15 GALLON

SHRUBS: (TOTAL REQUIRED SHRUBS:)  
 50% SHALL BE 5 GALLON OR LARGER.  
 NO SHRUBS LESS THAN 1 GALLON

8. 1 TREES AND 3 SHRUBS FOR EVERY 15' PARKING ISLAND
9. FOUNDATION LANDSCAPING: LANDSCAPING TO A MINIMUM HEIGHT OF 18" IS REQUIRED IMMEDIATELY ADJACENT TO, OR PROVIDED IN PLANTER AREAS ADJACENT TO BUILDING, WHICH HAVE FRONTAGE ON A PUBLIC STREET. PLANTING AREAS MUST BE A MIN. OF 5' WIDE AND A MIN. OF 50% PLANT COVERAGE.

10. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA LIST THE APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION".

11. THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE MANUFACTURER AND MODEL NUMBER DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES".

12. ALL WORK WILL BE DONE UNDER SEPARATE PERMIT FOR SIGNS".

13. ALL LANDSCAPING INSTALLED WITH THIS PROJECT TO BE MAINTAINED BY OWNERS ASSOC. OR OWNERS ASSOCIATION OF COMMERCIAL SUBDIVISION OR MANAGEMENT COMPANY IF COMMERCIAL RENTALS

14. THAT ALL TREES AND SHRUBS LOCATED IN LINE-OF-SIGHT WILL BE MAINTAINED TO A CLEAR AREA BETWEEN OF 3' TO 7'

15. RIP-RAP MUST BE ON NATURAL MATERIALS MATCHING D.G COLORS CONCRETE OR GUNITE MUST BE COLORED TO MATCH D.G. COLOR

16. TREES SHALL BE PLANTED @ LEAST 20' AWAY FROM ANY STREET LIGHT POLE OR LOCATION. SHRUBS SHALL BE PLANTED @ LEAST 7' FEET AWAY FROM ANY STREET LIGHT POLE OR LCC.

17. 10% OF TOTAL TREES IN PARKING SHALL BE 36" BOX OR LARGER.

**VISIBILITY TRIANGLE INFO:**

VISIBILITY TRIANGLES ARE BASED ON CITY OF MESA PUBLIC STREET ACCESS GUIDELINES DATED FEB. 15, 2005.

STREET SPEED: 45 MPH  
 STREET CROSS SECTION 4LU  
 FIGURE 2.3 (50MPH DESIGN SPEED) SD=625'

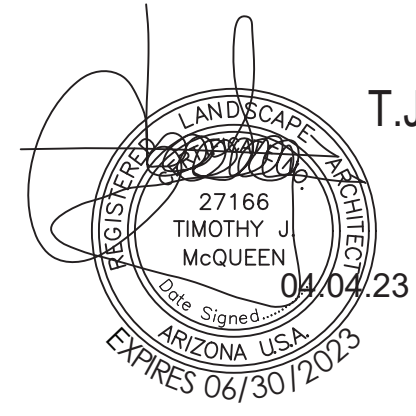
**ADDITIONAL NOTES:**

THIS LANDSCAPE IS TO BE MAINTAINED ON A WEEKLY BASIS USING A NATURAL MAINTENANCE PROGRAM AND SHALL BE MAINTAINED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICE OF THE LANDSCAPE INDUSTRY.

ALL TREES AND SHRUBS LOCATED IN THE LIGN OF SIGHT WILL BE MAINTAINED FOR A CLEAR AREA BETWEEN 3' TO 7'. THE LIGN OF SITE IS OUT OF THE SCOPE OF WORK ON THIS PROJECT.

ALL LANDSCAPE AREAS WILL BE MAINTAINED BY THIS OWNER OR LESSEE IN ACCORDANCE WITH THESE APPROVED PLANS

REQUIRED LANDSCAPE AREAS SHALL BE FREE FROM EN-CROACHMENT BY ANY USE, STRUCTURE, VEHICLE OR FEATURE NOT PART OF THE LANDSCAPE DESIGN.



**T.J. McQUEEN & ASSOCIATES, INC.**

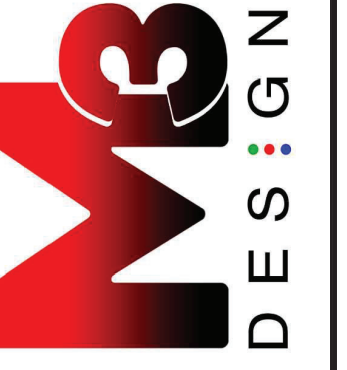
LANDSCAPE ARCHITECTURE  
 URBAN DESIGN  
 SITE PLANNING

10450 N. 74th Street, Suite 120  
 Scottsdale, Arizona 85258  
 P. (602)265-0320

EMAIL: timmqueen@tjmla.net



2645 NORTH 7TH AVENUE  
 PHOENIX, ARIZONA 85007



TAKE 5 RETAIL FACILITY  
 SOUTHERN AND ELLSWOETH  
 MESA, ARIZONA  
 LANDSCAPE PLAN

DATE:	04.04.23
SCALE:	SCALE
DRAWN BY:	JM
PROJECT NUMBER:	TFO22008.0
SHEET:	La.01
REV:	

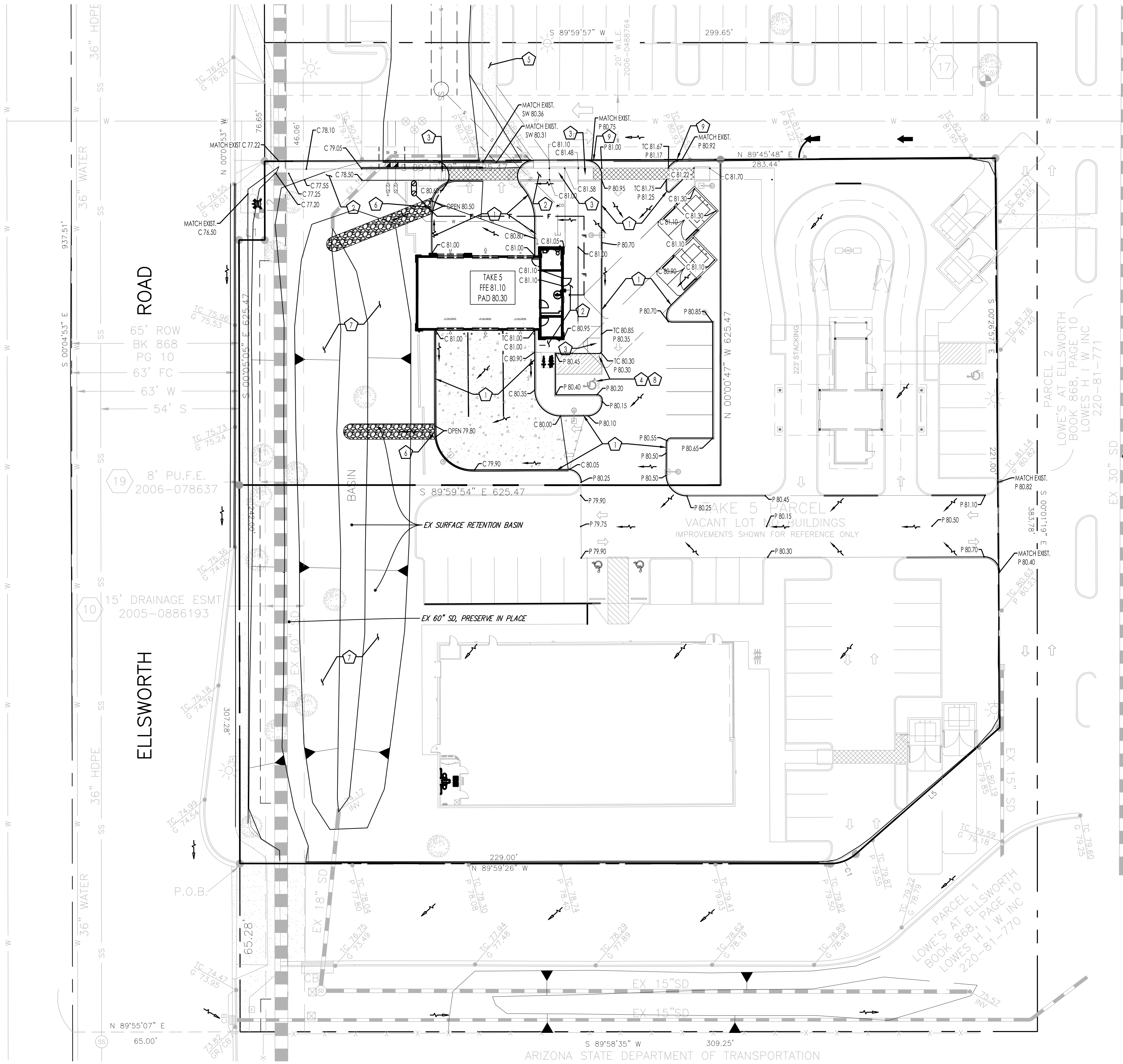
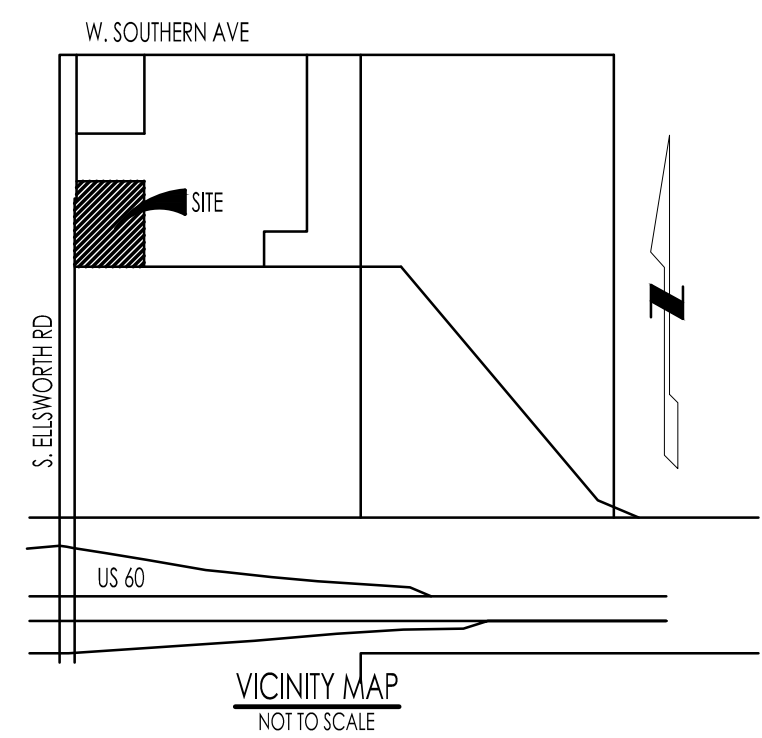
**OWNER**  
LOWES HIW INC  
1000 LOWES BLVD  
MOORESVILLE, NC 28117

**ARCHITECT**  
M3 DESIGN  
2008 N 7TH AVENUE  
PHOENIX, AZ 85007  
PH: 480.528.3136  
CONTACT: JESSE MACIAS  
EMAIL: JMACIAS@M3DESIGNLLC.COM

**ENGINEER**  
KBELL ENGINEERING LLC  
1355 N 86TH PL  
MESA, AZ 85201  
PH: 602.980.82  
CONTACT: KE  
EMAIL: KBELLE

**DEVELOPER**  
DRIVEN BRANDS  
440 S. CHURCH ST. #700  
CHARLOTTE, NC 28202  
CONTACT: MATTHEW GILBERT  
PH: 980.259.0701

# PRELIMINARY GRADING & DRAINAGE PLAN FOR TAKE 5 1315 S. ELLSWORTH ROAD



**PROJECT INFORMATION**

**PROJECT NAME**  
TAKE 5 RETAIL FACILITY  
1315 S. ELLSWORTH ROAD  
MESA, ARIZONA

**PROJECT DESCRIPTION**  
NEW 1,315SF RETAIL/OIL CHANGE FACILITY WITH 5 SPACES ON EXISTING PARCEL WITH EXISTING CURB CUT ACCESS ON S. ELLSWORTH ROAD. PROPOSING NEW ON-SITE CIRCULATION, LANDSCAPE RETAIL CENTER/ PARKING LOT OIL CHANGE/ MINOR VEHICLE APN 220-81-770 SECTION 34, 1 NORTH, 7 EAST LC 23.217 SF PARCEL 1 OF LOWES AT ELLSWORTH, ACCORDING TO THE PLAT OF RECORD BK 868 OF MAPS, PAGE 10 MCR

**EXISTING USE**  
PROPOSED USED  
PROPERTY  
S/T/R:  
ZONING:  
LOT SIZE:  
LEGAL DESCRIPTION

**RETENTION CALCULATIONS**

**WHERE:**  
VR = VOLUME REQUIRED (SF)  
C = RUNOFF COEFFICIENT = 0.95  
D = RAINFALL DEPTH (IN) FOR 100 YR 2 HR STORM EVENT = 2.2/12  
A = CONTRIBUTING DRAINAGE AREA = 55,270 SF

$V_R = C \cdot D / 12 \cdot A$

VR = 0.95 \* 2.2 / 12 \* 55270 = 9,626 CF  
EX RETENTION BASIN VOLUME = 16,974 CF  
TOTAL RETENTION REQUIRED: 9,626 CF  
TOTAL RETENTION PROVIDED: 16,974 CF EXISTING  
SEE LOWES DRAINAGE MASTER PLAN AND CIVIL IMPROVEMENT PLANS BY EN ENGINEERS DATED 2.14.2006

**PRELIMINARY GRADING AND STORM DRAIN KEYNOTES**

1. INSTALL SINGLE CURB PER MAG STD DTL 220, TYPE A.
2. INSTALL CONCRETE SIDEWALK PER MAG STD DTL 230. MATCH LINE AND GRADE AT CONNECTIONS. SIDEWALK SHALL MEET ADA STANDARDS: 1:50 MAX CROSS SLOPE AND 1:12 MAX LONGITUDINAL SLOPES.
3. INSTALL PERPENDICULAR CURB RAMP PER MAG STD DTL 238-1, MODIFIED AS SHOWN.
4. INSTALL ADA STRIPING
5. EXISTING SIDEWALK; PROTECT IN PLACE.
6. INSTALL CURB OPENING.
7. EXISTING RETENTION AREA.
8. ADA PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% IN ALL DIRECTIONS
9. SAWCUT AND REMOVE EXISTING CURB AND GUTTER AND/OR PAVEMENT FOR NEW DRIVEWAY AND UTILITY CROSSINGS.

**NOTES**

1. EX 60" RGRCP STORM DRAIN ALONG ELLSWORTH IS PRIVATE AND TO REMAIN UNDISTURBED.
2. ELLSWORTH ROAD RUNOFF PROVIDED BY SITE MASTER PLAN RETENTION BASIN. SEE LOWES DRAINAGE MASTER PLAN AND CIVIL IMPROVEMENT PLANS BY EN ENGINEERS DATED 2.14.2006

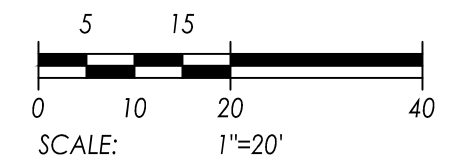
**LEGEND**

- PROP SURFACE FLOW DIRECTION
- EX SURFACE FLOW DIRECTION
- CATCH BASIN
- DRY WELL
- STORM DRAIN MANHOLE
- STORM DRAIN PIPE
- BOUNDARY LINE
- CENTER LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SEWER MANHOLE
- SEWER CLEANOUT

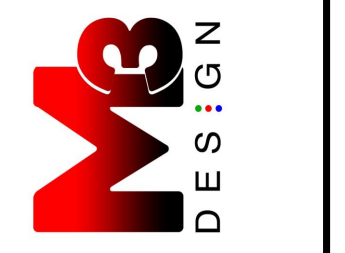
**ABBREVIATIONS**

C	CONCRETE	(W)	WEST
FFE	FINISHED FLOOR ELEVATION	AC	ACRES
FG	FINISH GRADE	CFS	CUBIC FEET PER SECOND
G	GUTTER	(DA)	DRAINAGE AREA
GR	GRATE	EX	EXISTING
(N)	NORTH	PROP	PROPOSED
(S)	SOUTH	Q <sub>10</sub>	10 YEAR FLOW
(E)	EAST	Q <sub>25</sub>	25 YEAR FLOW
Tc	TIME OF CONCENTRATION	Q <sub>100</sub>	100 YEAR FLOW
TD	TRENCH DRAIN	SD	STORM DRAIN
P	PAVEMENT		
EG	EXISTING GRADE		

**BENCHMARK**  
FD 3' FD 3" MCHD BC IN HH 0.5' DN NO STAMPING NOTE - INT ELLSWORTH AND SOUTHERN ELEVATION: 1480.556 (NGVD 29 CITY OF PHOENIX DATUM)  
LINK: <https://GIS.MARICOPA.GOV/SURVEYPOINTS/SURVEYPOINTREPORT.ASPX?PID=432>



**2008 NORTH 7th AVENUE  
PHOENIX, ARIZONA 85007**



**KBELL  
ENGINEERING**  
1355 N 86TH PLACE MESA, ARIZONA 85207  
PH: 602.980.8246 Copyright © 2022

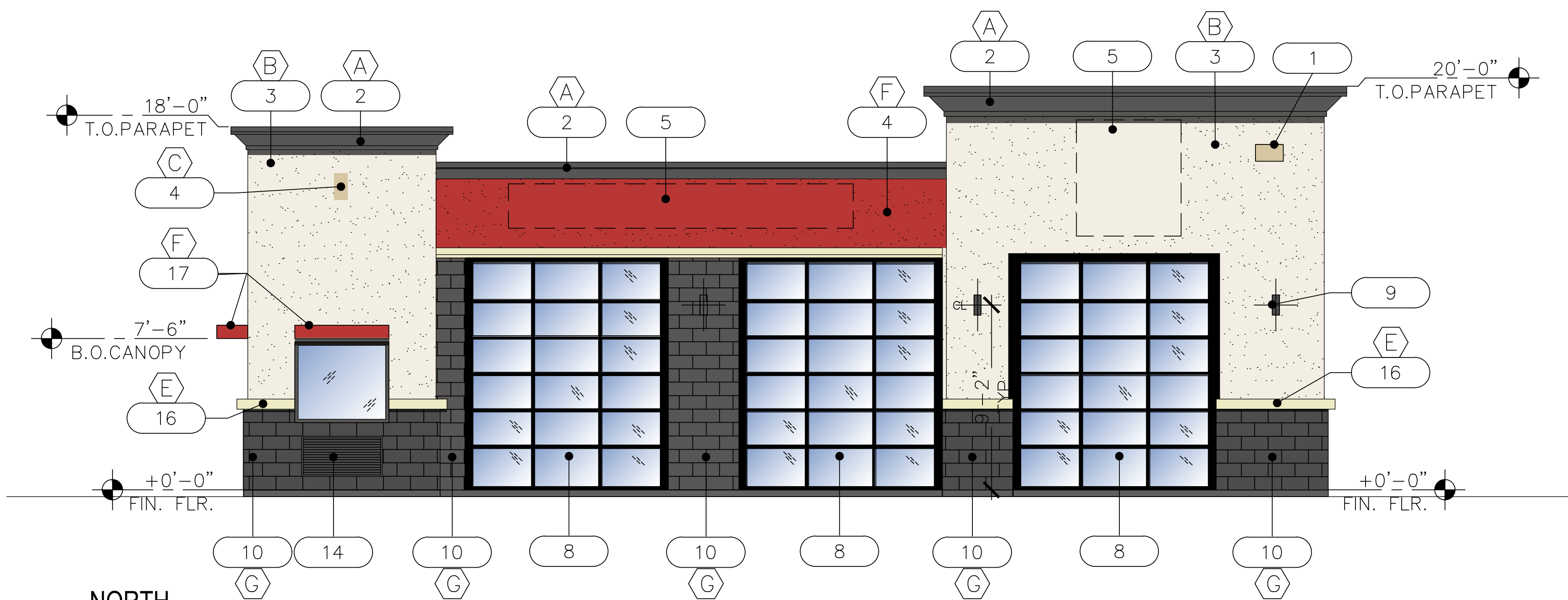


DRAFT FOR PRELIMINARY REVIEW ONLY

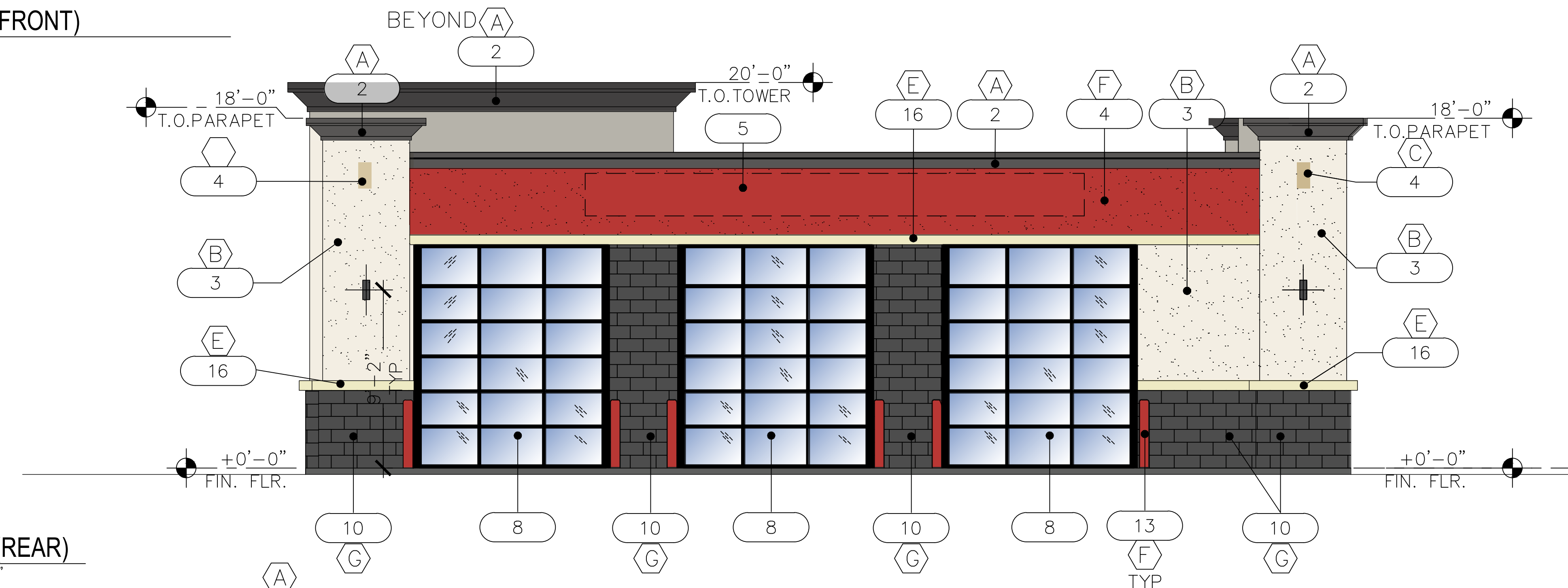
**TAKE 5  
1315 SOUTH ELLSWORTH ROAD  
MESA, ARIZONA**  
PRELIMINARY GRADING & DRAINAGE PLAN

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PROJECT NUMBER: 105507  
SHEET: C1  
REV:

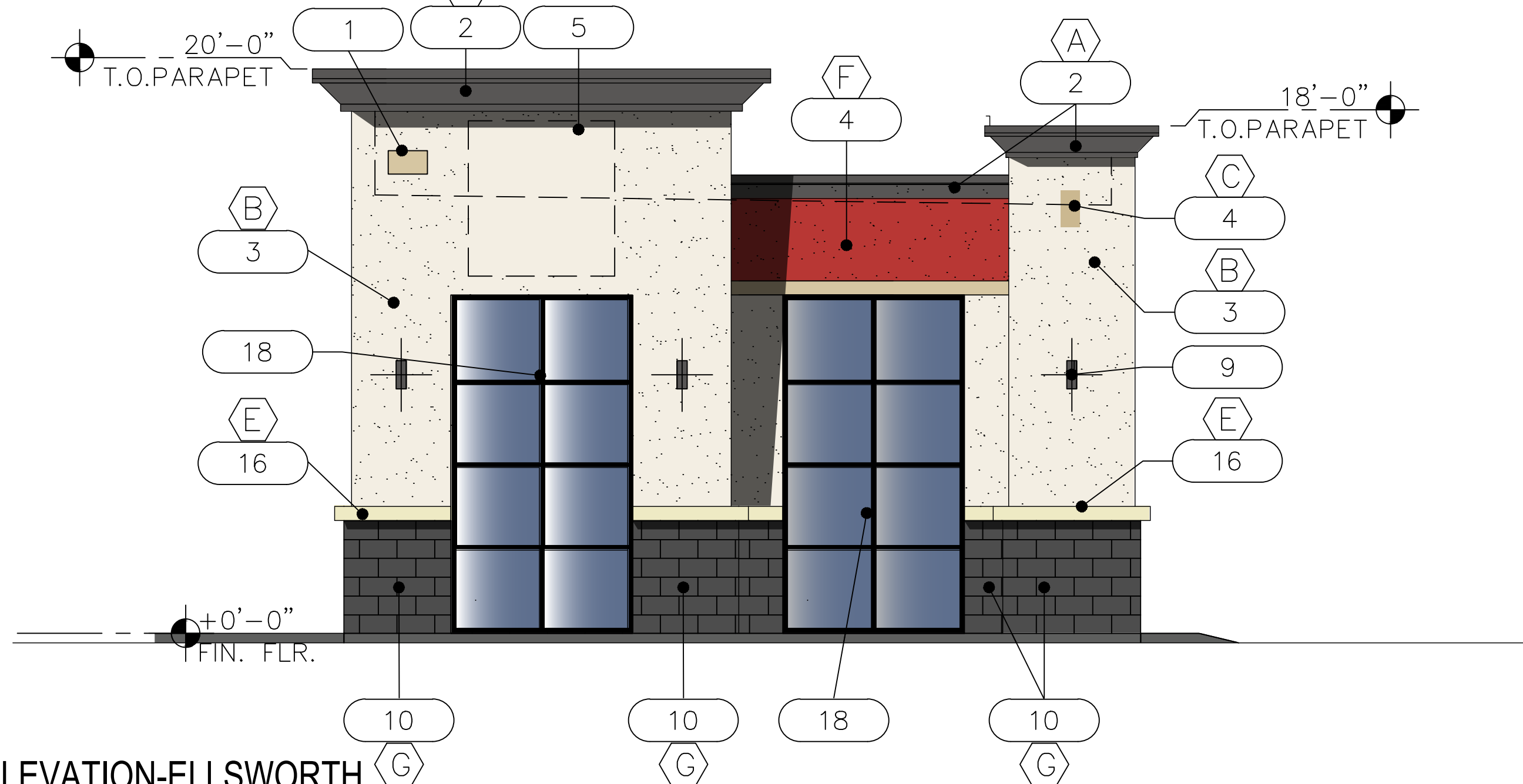




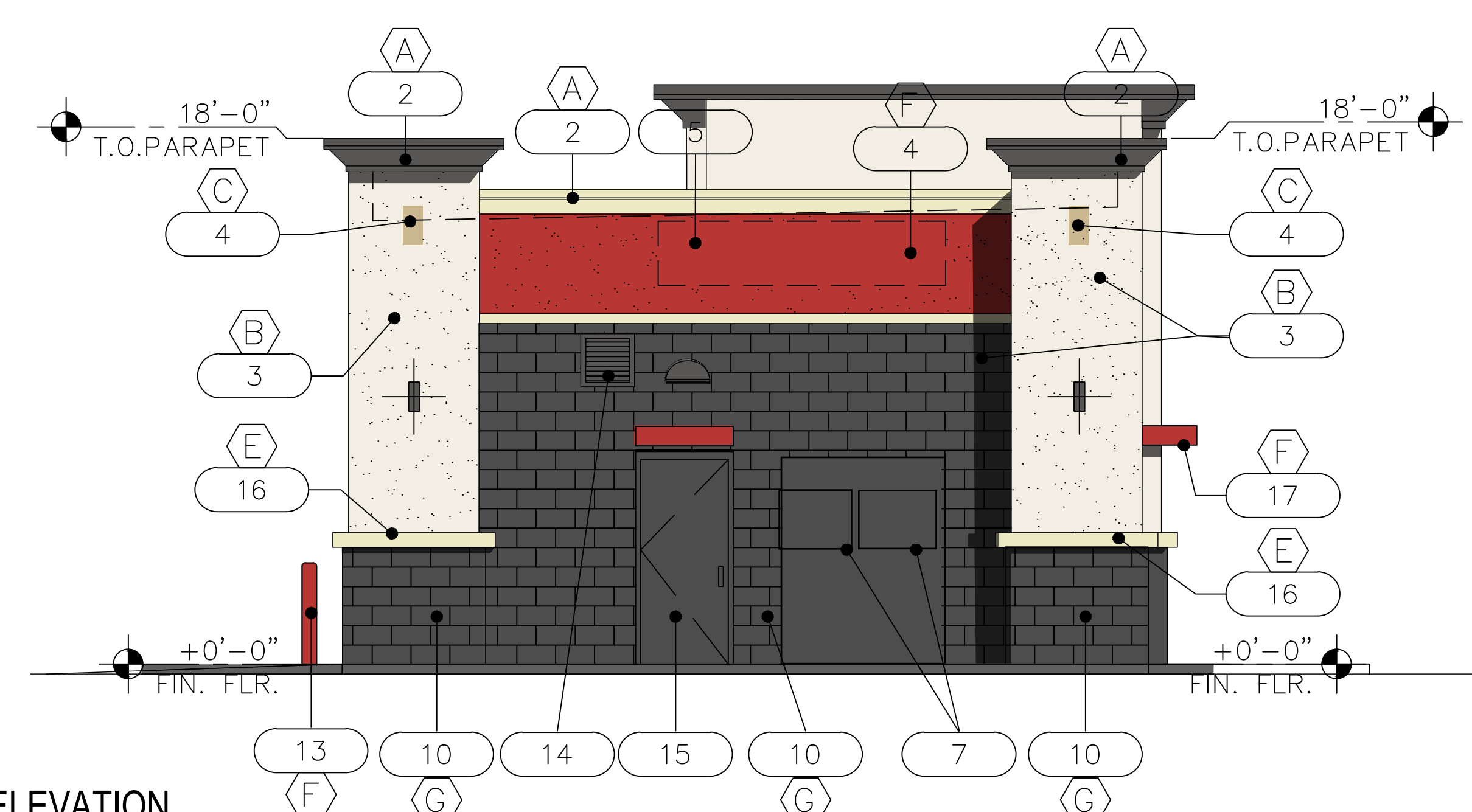
**1 NORTH ELEVATION (FRONT)**  
SCALE: 1/4" = 1'-0"



**2 SOUTH ELEVATION (REAR)**  
SCALE: 1/4" = 1'-0"



**3 WEST ELEVATION-ELLSWORTH**  
SCALE: 1/4" = 1'-0"

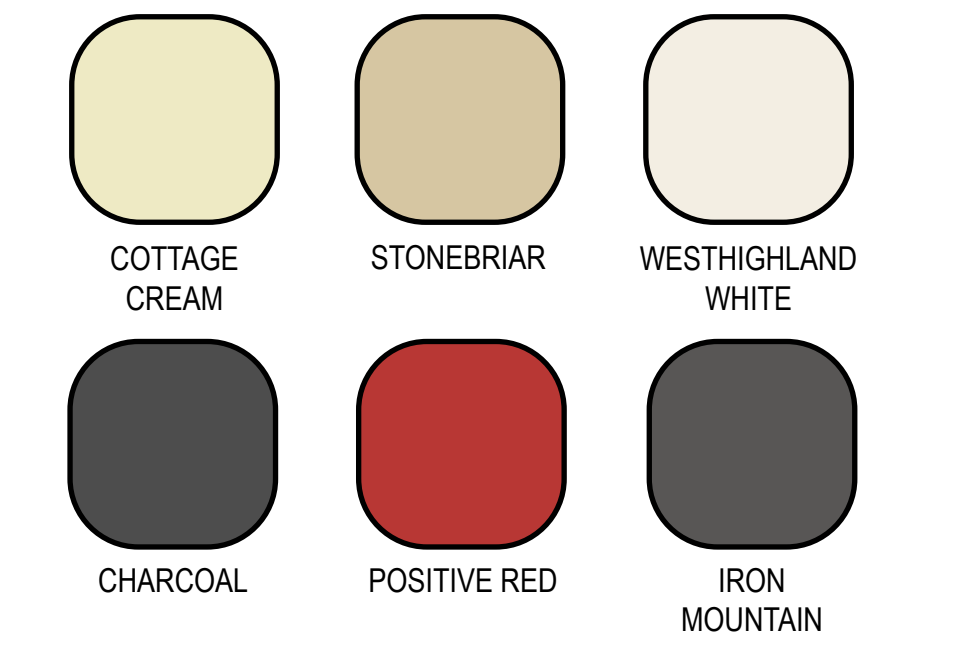


**4 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

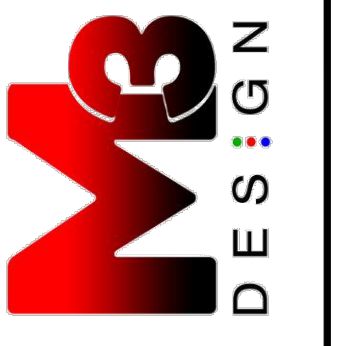
EXTERIOR FACADE FINISH CALCULATION		
SOUTH ELEVATION FACADE AREA: 959.3SF		
STUCCO	398.3 SF	41.5%
MASONRY	127.6 SF	13.3%
GLAZING	366.5 SF	38.2%
METAL/STEEL	66.9 SF	7.0%
WEST ELEVATION FACADE AREA: 461.4SF		
STUCCO	183.5SF	39.7%
MASONRY	222.1 SF	47.6%
GLAZING	0.0 SF	0.0%
METAL/STEEL	55.8 SF	12.7%
NORTH ELEVATION FACADE AREA: 876.5SF		
STUCCO	317.3 SF	36.3%
MASONRY	144.0 SF	16.4%
GLAZING	366.5 SF	41.8%
METAL/STEEL	48.7 SF	5.5%
EAST ELEVATION FACADE AREA: 516.1SF		
STUCCO	253.0 SF	49.0%
MASONRY	71.3 SF	13.8%
GLAZING	154.5 SF	29.9%
METAL/STEEL	37.3 SF	7.3%

- ### ELEVATION KEY NOTES
- BUILDING ADDRESS - MIN 6" LETTERS W/CONTRASTING BACKGROUND
  - PRE-FINISHED METAL COPING-24GA GALVALUME
  - STUCCO SYSTEM MAIN BUILDING - PAINTED
  - STUCCO PAINTED ACCENT
  - SIGNAGE SHOWN FOR REF - UNDER SEPARATE PERMIT
  - NOT USED
  - ELECTRICAL SERVICE-PAINT TO MATCH ADJACENT WALL
  - OVERHEAD ROLL UP DOOR PRE-FINISHED DARK BRONZE
  - BUILDING MOUNTED WALL SCONCE - DARK BRONZE
  - MASONRY SMOOTH VENEER - SUPERLITE PAINTED
  - STUCCO REVEAL
  - ROOF MTD UNITS - FULLY SCREENED
  - 6" PIPE BOLLARD - PAINTED
  - VENT GRILLES - PREFINISHED DARK BRONZE
  - HM METAL DOOR - PAINTED TO MATCH ADJACENT WALL
  - STUCCO TRIM CAP - PAINTED
  - STEEL CANOPY - PAINTED
  - DARK BRONZE ALUM STOREFRONT SYSTEM

- ### MATERIAL AND COLOR LEGEND
- (A) METAL COPING (PRE-FINISHED)-SW#7678 "IRON MOUNTAIN"
  - (B) STUCCO SYSTEM-MAIN BUILDING COLOR SW#7566 "WESTHIGHLAND WHITE"
  - (C) STUCCO ACCENT-SW#7693 "STONEBRIAR"
  - (D) NOT USED
  - (E) STUCCO TRIM CAP-SW#7678 "COTTAGE CREAM"
  - (F) BOLLARDS/STL CANOPY/ACCENT - SW#6871 "POSITIVE RED"
  - (G) SMOOTH MASONRY VENEER- SUPERLITE PAINTED "CHARCOAL"

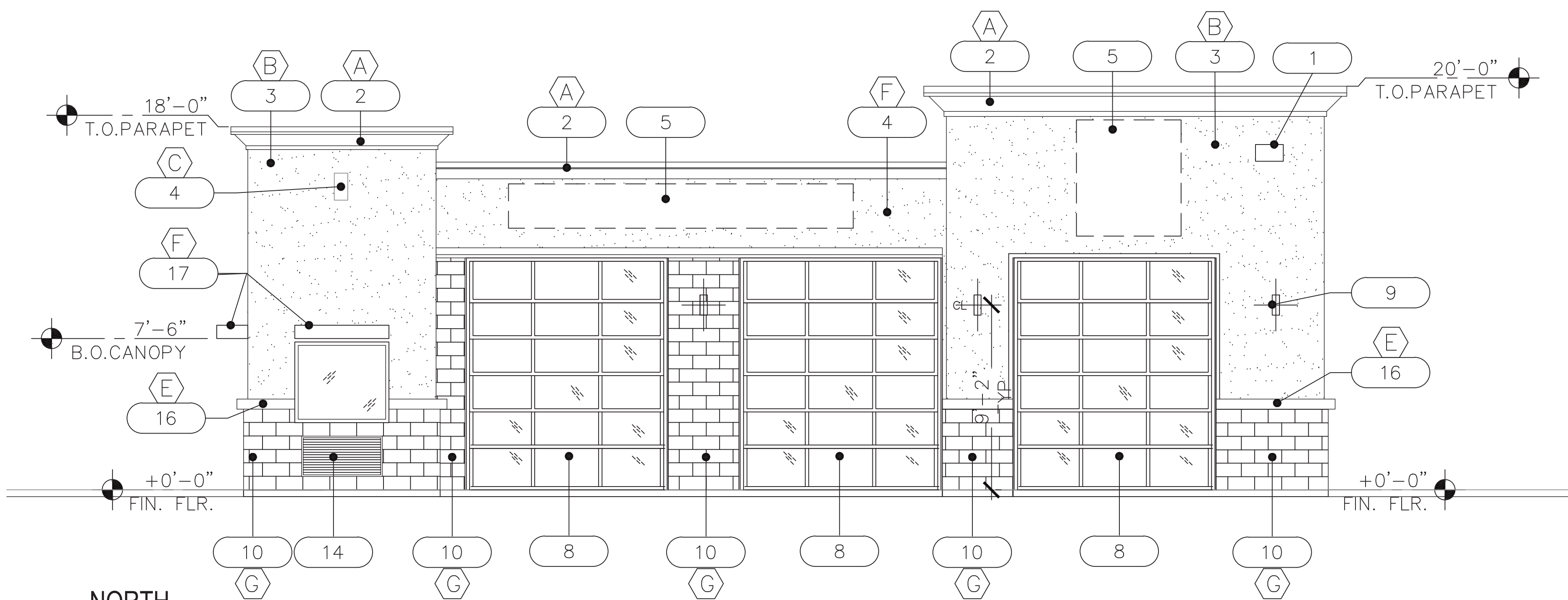


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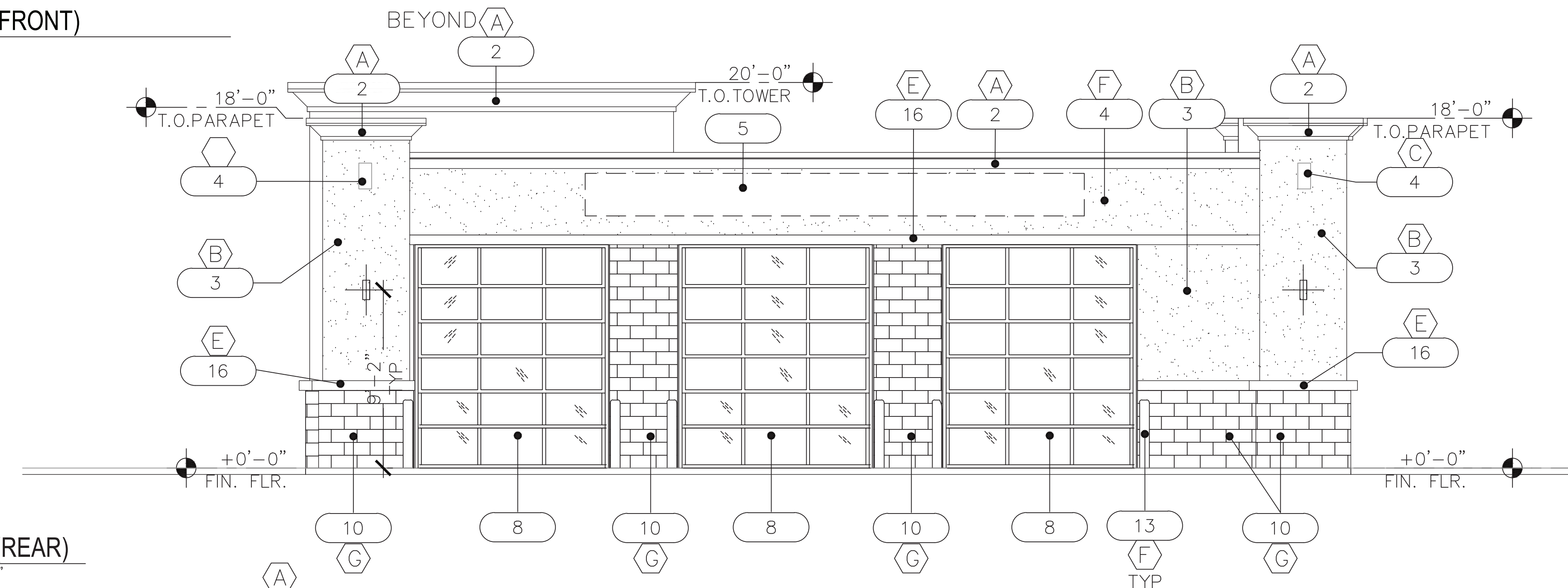


TAKE FIVE  
1315 S ELLSWORTH RD  
MESA, ARIZONA 85209  
COLOR ELEVATIONS

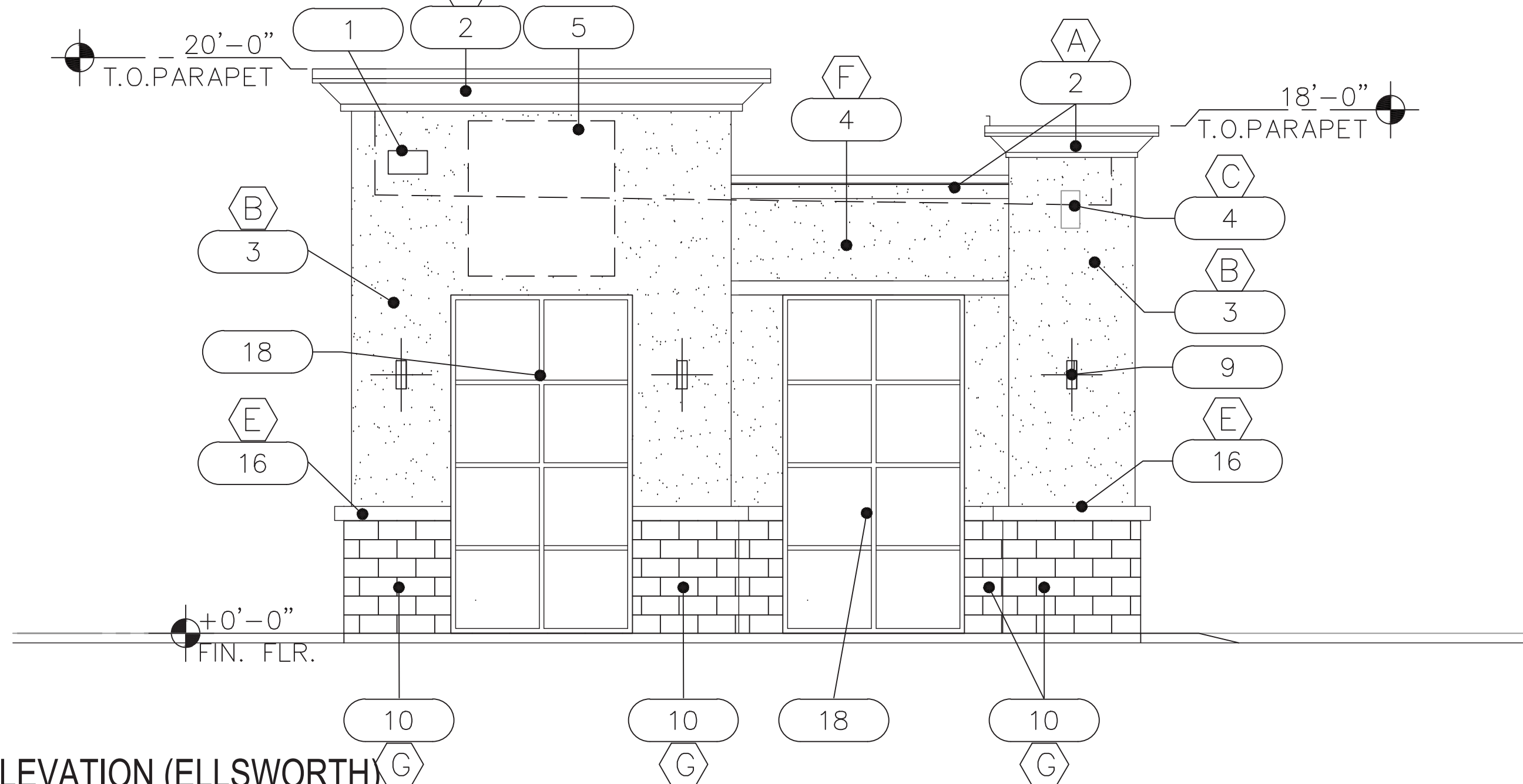
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PROJECT NUMBER: TFO22002.0  
SHEET:  
**DD3.0**  
REV:



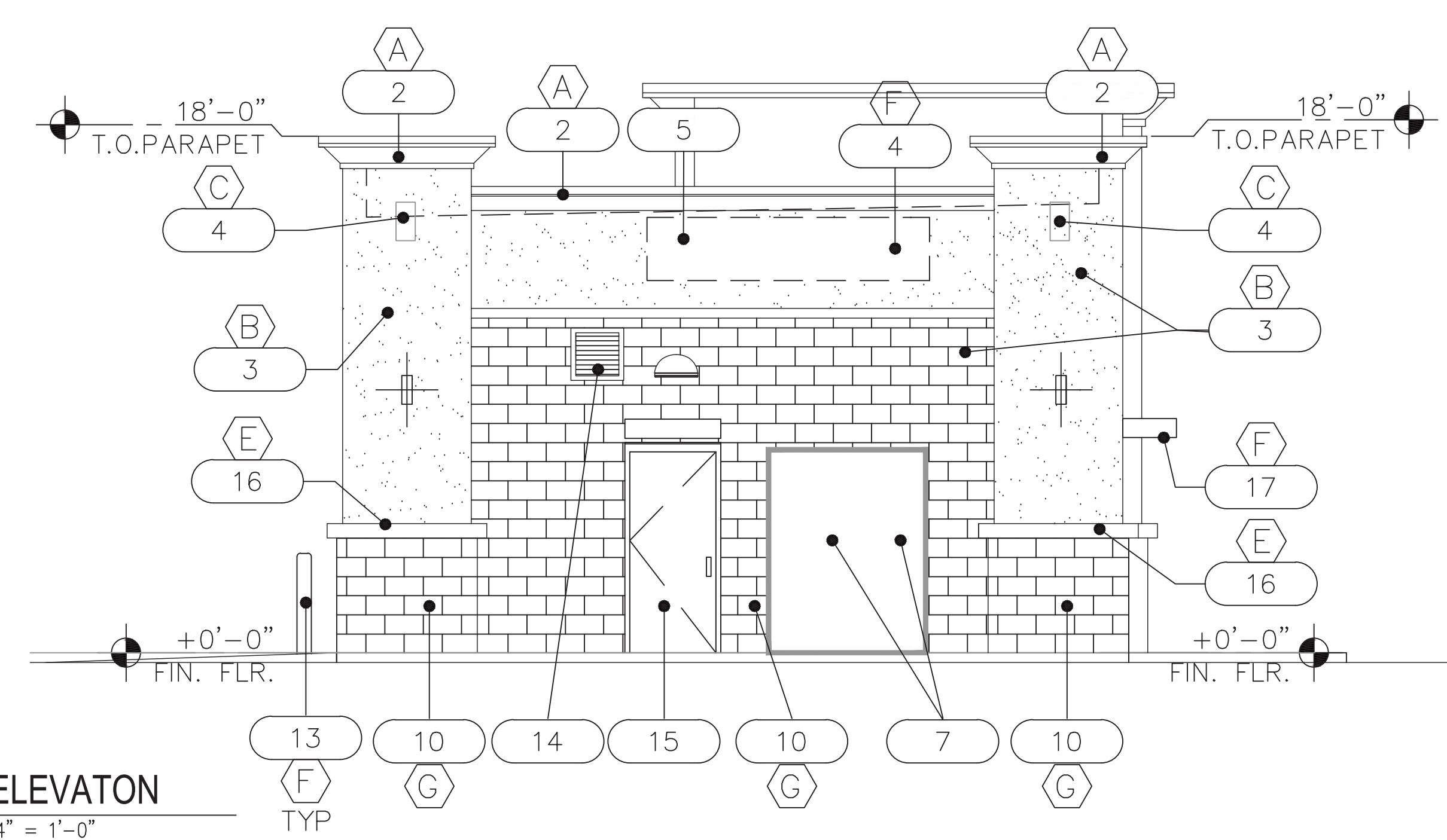
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SCALE: 1/4" = 1'-0"



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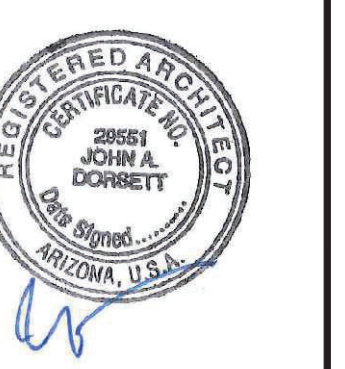
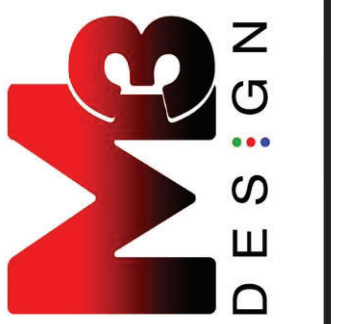
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- 10 MASONRY SMOOTH VENEER - SUPERLITE PAINTED
- 11 STUCCO REVEAL
- 12 ROOF MTD UNITS - FULLY SCREENED
- 13 6" PIPE BOLLARD - PAINTED
- 14 VENT GRILLES - PREFINISHED DARK BRONZE
- 15 HM METAL DOOR - PAINTED TO MATCH ADJACENT WALL
- 16 STUCCO TRIM CAP - PAINTED
- 17 STEEL CANOPY - PAINTED
- 18 DARK BRONZE ALUM STOREFRONT SYSTEM

**MATERIAL AND COLOR LEGEND**

- A METAL COPING (PRE-FINISHED)-SW#7678 "IRON MOUNTAIN"
- B STUCCO SYSTEM-MAIN BUILDING COLOR SW#7566 "WESTHIGHLAND WHITE"
- C STUCCO ACCENT-SW#7693 "STONEBRIAR"
- D NOT USED
- E STUCCO TRIM CAP-SW#7678 "COTTAGE CREAM"
- F BOLLARDS/STL CANOPY/ACCENT - SW#6871 "POSITIVE RED"
- G SMOOTH MASONRY VENEER- SUPERLITE PAINTED "CHARCOAL"

2645 NORTH 7th AVENUE  
PHOENIX, ARIZONA 85007



TAKE FIVE  
1315 S ELLSWORTH RD  
MESA, ARIZONA 85209  
ELEVATIONS

DATE: 2022-05-16  
SCALE: SCALE  
DRAWN BY: JM  
PROJECT NUMBER: TFO22002.0  
SHEET:  
**DD2.0**  
REV:



1  
NORTHEAST  
ELEVATION  
SCALE: 1/4" = 1'-0"

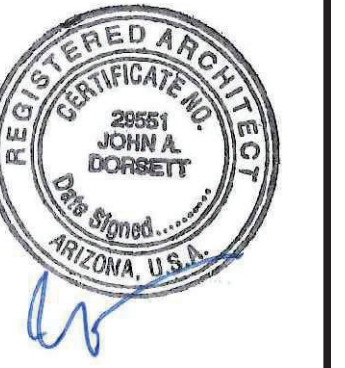


2  
SOUTHEAST  
ELEVATION  
SCALE: 1/4" = 1'-0"



3  
SOUTH  
ELEVATION  
SCALE: 1/4" = 1'-0"

2645 NORTH 7th AVENUE  
PHOENIX, ARIZONA 85007



TAKE FIVE RETAIL FACILITY  
SEC ELLSWORTH RD & SOUTHERN AVE  
MESA, ARIZONA  
PERSPECTIVES

DATE:	2023-2-01
SCALE:	SCALE
DRAWN BY:	JM
PROJECT NUMBER:	TF022009.0.0
SHEET:	DD4.0
REV:	



1 SOUTHWEST  
ELEVATION (ELLSWORTH)  
SCALE: 1/4" = 1'-0"

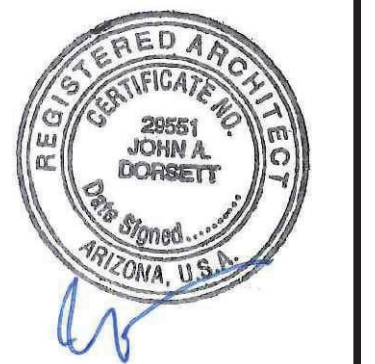
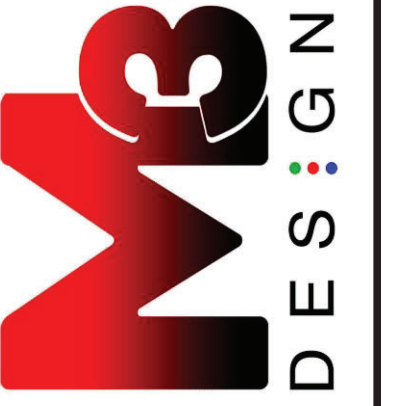


2 NORTHWEST  
ELEVATION (ELLSWORTH)  
SCALE: 1/4" = 1'-0"



3 NORTH  
ELEVATION  
SCALE: 1/4" = 1'-0"

2645 NORTH 7th AVENUE  
PHOENIX, ARIZONA 85007



TAKE FIVE RETAIL FACILITY  
SEC ELLSWORTH RD & SOUTHERN AVE  
MESA, ARIZONA  
PERSPECTIVES

DATE:	2023-2-01
SCALE:	SCALE
DRAWN BY:	JM
PROJECT NUMBER:	TF022009.0.0
SHEET:	DD5.0
REV:	



**TAKE 5 RETAIL FACILITY  
CITIZEN PARTICIPATION PLAN**

**CITIZEN  
PARTICIPATION  
PLAN  
TAKE 5 RETAIL FACILITY**

**PROPOSED OIL CHANGE FACILITY**

Location: Southern Ave & Ellsworth Rd

PRS22-00664

ZON

Original Submittal Date: 10-31-22

Resubmittal Date:

**PREPARED BY:**

M3 DESIGN

10-4-22



## TAKE 5 RETAIL FACILITY CITIZEN PARTICIPATION PLAN

**Citizen Participation Plan Purpose:** The purpose of this Citizen Participation Plan is to inform Citizens, Property Owners, Neighbor Associations, Agencies, Schools and Businesses in the vicinity of the proposed Site Plan/Design Review of Proposed 0.533 Acre Take 5 Retail within the existing Lowe's Retail Center. The site is located at SEC Southern Ave & Ellsworth Rd. This Plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on our proposal.

**Contact:**

Jesse Macias  
M3 Design  
2645 N 7<sup>th</sup> Avenue  
Phoenix, AZ 85007  
P: 480-528-3136  
E: [jmacias@m3designllc.com](mailto:jmacias@m3designllc.com)

**Pre-Application Meeting:** The Pre-Application meeting with City of Mesa planning staff was held on June 30<sup>th</sup>, 2022. Staff reviewed the application and recommended that adjacent residents and nearby registered neighbor associations be contacted.

**Action Plan:** In order to provide effective citizen participation in conjunction with our application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts our proposed development that members of the community may have.

A contact list will be developed for citizens and agencies in this area including:

- All registered neighborhood associations within one mile of the project.
- Homeowners Associations within one half mile of the project.
- Interested neighbors -focused on 1000 feet from site
- Public School District in writing, with copies to who may be affected by this application.
- Neighborhood meeting will be an introduction to the project, and opportunity to ask questions and state concerns. A sign-in list will be used and comment forms provided. Copies of the sign-in list and any comments will be given to the City of Mesa Planner assigned to this project.

Our plan is to hold a Neighborhood meeting notifying all itemized in lists provided by Staff. Our goal is to :

Make Project Presentation of our proposed project to neighbors with detailed site plan/elevations/rendering boards

Actively Listen to Neighborhood Comments/Concerns etc.. and be able to respond effectively at meeting and/or provide follow up clarifications to neighbors via letter/email/phone calls along with updating City Staff at all times during Process

If we feel it is appropriate along with responses to any neighbor concerns via letters and emails, we can meet individually or in group.



## TAKE 5 RETAIL FACILITY CITIZEN PARTICIPATION PLAN

- Subsequent Meetings/Outreach will be done as applicable.

### **Schedule:**

Pre-Submittal meeting -June 30<sup>th</sup>, 2022

First neighborhood Notification – January 2023

Follow up Submittal – TBD

Submittal of Citizen Participation Report and Notification materials – TBD

Design Review Study Session Hearing – TBD

Planning and Zoning Board Hearing – TBD

### **Proposed Project Description:**

Take 5 is one of the best new businesses in the US and is New to the Mesa Community/AZ Market. We bring our Quality and unparalleled Customer Service to our Customers that wait in their Vehicles for the 5-10 minute Oil Change. Our Business Model is a great success and even more so in today's challenging times.

The proposed facility will include 1,315sf Take 5 Retail Building, along with 5 proposed Parking spaces with 1 ADA Spaces with reciprocal parking/access. Current Lowe's Retail Center has existing Access off of both Southern Ave and Ellsworth Rd which we intend to use with no new or revised curb cuts being proposed. The site also has existing On-Site Access that will remain and provide access to our site.

With Existing LC Zoning, our proposed Take 5 is an allowed Use along with required Site Plan/Design Review Approval.

We are proposing a Modern Theme, with Main Corner Tower Elements. Our Bay Doors are Pre-finished Metal doors. We are proposing Quality Design with a cohesive Color Palette complementing existing Development. We are proposing Quality Design with sustainable materials with a cohesive Color Palette and overall unparalleled Design for the Mesa Community in accordance with 2020 Commercial Design Guidelines

Proposed Take 5 Development achieves several of the Core Goals:

- Promote Infill development to Undeveloped and vacant parcels.
  - Quality Building and Site Design providing retail services to local community being part of an existing Lowe's Retail Development.
  - Responsible Quality retail development that will provide quality services and goods to the local community.
  - Our proposed Development takes advantage of existing off-site improvement/utility infrastructure and curb cut access with no proposed revisions
- Traffic and Noise Mitigation
  - Our proposed Take 5 development takes advantage of existing and current Traffic Volumes and Patterns. Furthermore Take 5 does not utilize any pneumatic tools (all hand-tools) mitigating sound concern.



**TAKE 5 RETAIL FACILITY  
CITIZEN PARTICIPATION PLAN**

Reiterating we are excited to bring our proposed Take 5 Retail Facility providing much needed Services and Goods to local community and are very excited to hear from our Neighbors and future Valued Customers. It is highly important we obtain valuable feedback from Neighborhood and look forward to providing our input and responses at our forthcoming Neighborhood meeting and subsequent correspondence. Individuals will be free to call me at any time during the Application process – Mr. Jesse Macias at **(480) 528-3136**

Please let us know if you have any questions or need any additional information

Respectfully,



A handwritten signature in blue ink, appearing to read 'Jesse Macias'.

Jesse Macias  
President  
2645 N 7<sup>th</sup> Avenue  
Phoenix, AZ 85007  
jmacias@m3designllc.com





**TAKE 5 RETAIL FACILITY  
CITIZEN PARTICIPATION  
REPORT**

**FINAL CITIZEN  
PARTICIPATION  
REPORT  
TAKE 5 RETAIL FACILITY**

**PROPOSED OIL CHANGE FACILITY**

Location: 1315 S Ellsworth Rd

PRS22-00664

ZON22-01178

Original Submittal Date: 10-30-22

Resubmittal Date: 2-27-23

**PREPARED BY:**

M3 DESIGN



## TAKE 5 RETAIL FACILITY CITIZEN PARTICIPATION REPORT

**Citizen Participation Plan Purpose:** The purpose of this Citizen Participation Plan is to inform Citizens, Property Owners, Neighbor Associations, Agencies, Schools and Businesses in the vicinity of the proposed Site Plan/Design Review of Proposed 0.533 Acre Take 5 Retail within the existing Lowe's Retail Development. The site is located at 1315 S Ellsworth Rd. This Plan will ensure that those affected by this application had an adequate opportunity to learn about and comment on our proposal.

### **Contact:**

Jesse Macias  
M3 Design  
2645 N 7<sup>th</sup> Avenue  
Phoenix, AZ 85007  
P: 480-528-3136  
E: [jmacias@m3designllc.com](mailto:jmacias@m3designllc.com)

**Pre-Application Meeting:** The Pre-Application meeting with City of Mesa planning staff was held on June 30<sup>th</sup>, 2022. Staff reviewed the application and recommended that adjacent residents and nearby registered neighbor associations be contacted.

**Action Plan:** In order to provide effective citizen participation in conjunction with our application, the following actions were taken to provide opportunities to understand and address any real or perceived impacts our proposed development that members of the community may have.

A contact list was developed for citizens and agencies in this area including:

- All registered neighborhood associations within one mile of the project.
- Homeowners Associations within one half mile of the project.
- Interested neighbors -focused on 1000 feet from site
- Public School District in writing, with copies to who may be affected by this application.
- Neighborhood meeting was an introduction to the project, and opportunity to ask questions and state concerns. A sign-in list was available. Copies of the sign-in list and any comments will be given to the City of Mesa Planner assigned to this project.
  - **We held a Zoom Neighborhood Meeting on Monday February 7<sup>th</sup> at 6:30pm**
  - **No Neighbors participated**

### **Schedule:**

Pre-Submittal meeting -June 30<sup>th</sup>, 2022  
First neighborhood Notification – January, 2023  
Follow up Submittal – April 5<sup>th</sup>, 2023  
Submittal of Citizen Participation Report and Notification materials – April 11<sup>th</sup>, 2023  
Design Review Study Session Hearing – April 11<sup>th</sup>, 2023  
Planning and Zoning Board Hearing – April 26<sup>th</sup>, 2023

### **Proposed Project Description:**



## TAKE 5 RETAIL FACILITY CITIZEN PARTICIPATION REPORT

Take 5 is one of the best new businesses in the US and is New to the Mesa Community/AZ Market. We bring our Quality and unparalleled Customer Service to our Customers that wait in their Vehicles for the 5-10 minute Oil Change. Our Business Model is a great success and even more so in today's challenging times.

The proposed facility will include 1,632sf Take 5 Retail Building, along with 5 proposed Parking spaces with 1 ADA Spaces with reciprocal parking/access. Current Lowe's Retail Center has existing Access off of both Ellsworth Rd and Southern Ave which we intend to use with no new or revised curb cuts being proposed. The site also has existing On-Site Access that will remain and provide access to our site.

We have coordinated diligently with Staff to update site layout to address any concerns with a quality design.

With Existing LC Zoning, our proposed Take 5 is an allowed Use along with required Site Plan/Design Review Approval.

We are proposing a Modern Theme, with Main Corner Tower Elements. Our Bay Doors are Pre-finished Metal doors. We are proposing Quality Design with a cohesive Color Palette complementing existing Development. We are proposing Quality Design with sustainable materials with a cohesive Color Palette and overall unparalleled Design for the Mesa Community in accordance with 2020 Commercial Design Guidelines

Proposed Take 5 Development achieves several of the Core Goals:

- Promote Infill development to Undeveloped and vacant parcels.
  - Quality Building and Site Design providing retail services to local community being part of an existing Lowe's Commercial Development.
  - Responsible Quality retail development that will provide quality services and goods to the local community.
  - Our proposed Development takes advantage of existing off-site improvement/utility infrastructure and curb cut access with no proposed revisions
- Traffic and Noise Mitigation
  - Our proposed Take 5 development takes advantage of existing and current Traffic Volumes and Patterns. Furthermore Take 5 does not utilize any pneumatic tools (all hand-tools) mitigating sound concern.

Reiterating we are excited to bring our proposed Take 5 Retail Facility providing much needed Services and Goods to local community and were very excited to be part of the South Mesa Community

Please let us know if you have any questions or need any additional information

Respectfully,



**TAKE 5 RETAIL FACILITY  
CITIZEN PARTICIPATION  
REPORT**



A handwritten signature in blue ink, appearing to read 'Jesse Macias'.

Jesse Macias  
President  
2645 N 7<sup>th</sup> Avenue  
Phoenix, AZ 85007  
[jmacias@m3designllc.com](mailto:jmacias@m3designllc.com)



## Notification Letter

January 5<sup>th</sup>, 2023

Jesse Macias

President

**M3 Design**

2645 N. 7<sup>th</sup> Avenue

Phoenix, AZ 85007

P: 480.528.3136

Email: [jmacias@m3designllc.com](mailto:jmacias@m3designllc.com)

**ZON22-01178** Proposed Take 5 Retail Facility SEC Southern Ave & Ellsworth Rd

Dear **Property Owner** or **Neighborhood Association representative**:

The purpose of this letter is to inform you that Take 5 has recently filed Site Plan/Design Review Application with City of Mesa. The Proposed Project is located at SEC Southern & Ellsworth within the existing Lowe's Retail Center. I/We would like to hear back from you on any feedback/comment you may have as well as provide support.

The .53 Acre parcel which is Zoned LC – Limited Commercial District and is proposed to be part of existing Lowe's retail center, which has existing Access from both E Southern Ave and S Ellsworth Rd, which we intend to use with no new or revised curb cuts being proposed. The site also has existing On-Site Access that will remain and provide on-site access to our pad.

The proposed facility will include proposed 1,315 sf Take 5 Retail Building along with 5 proposed on-Site Parking spaces, with (1) ADA space. There are no pneumatic tools being used, thus eliminating any concerns with sound within existing adjacent development.

With Existing LC Zoning, our proposed Take 5 Retail is an allowed use with required Site Plan/Design Review Approvals.

We are proposing a Modern Theme, with Main Corner Tower Elements. Our Bay Doors are Pre-finished Metal doors. We are proposing Quality Design with a cohesive Color Palette complementing existing Development.

Attached are copies of our proposed site plan, elevations and landscape plan.

**Date:** February 7<sup>th</sup>, 2023

**Time:** 6:30pm

**Location:** Virtual Zoom Meeting

**Jesse Macias is inviting you to a scheduled Zoom meeting.**

**Join Zoom Meeting**

<https://us06web.zoom.us/j/86235613602?pwd=UzNuUjRaK0Q5RHYzZEKxakpi d1Ztdz09>

**Meeting ID: 862 3561 3602**

**Passcode: 190479**

**One tap mobile**

**Find your local number: <https://us06web.zoom.us/j/kc1EGDZYfd>**

You are invited to provide feedback and/or request any clarifications/questions on our proposed project. Please contact **Jesse Macias** at [Jmacias@m3designllc.com](mailto:Jmacias@m3designllc.com) /480-528-3136 to learn more about our application and provide comments/questions. The City of Mesa Planner assigned to this case is **Ms. Charlotte Bridges** and can be reached at 480-644-6712 [charlotte.bridges@mesaz.gov](mailto:charlotte.bridges@mesaz.gov). This planner can answer your questions regarding the City review and process as well as the staff position once their report is complete.

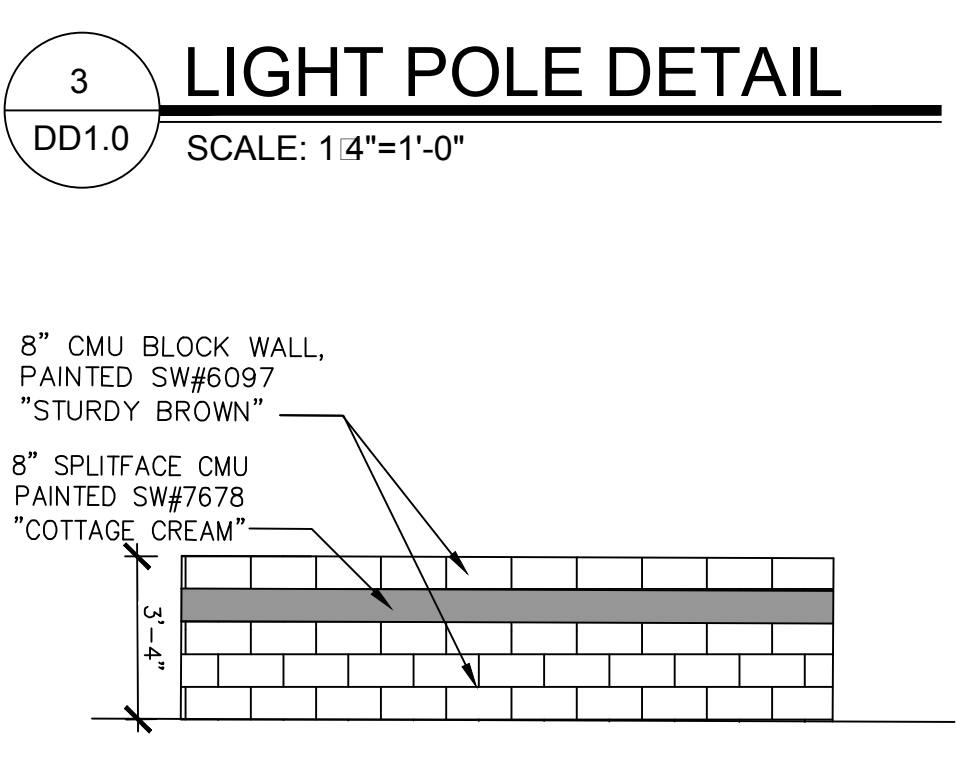
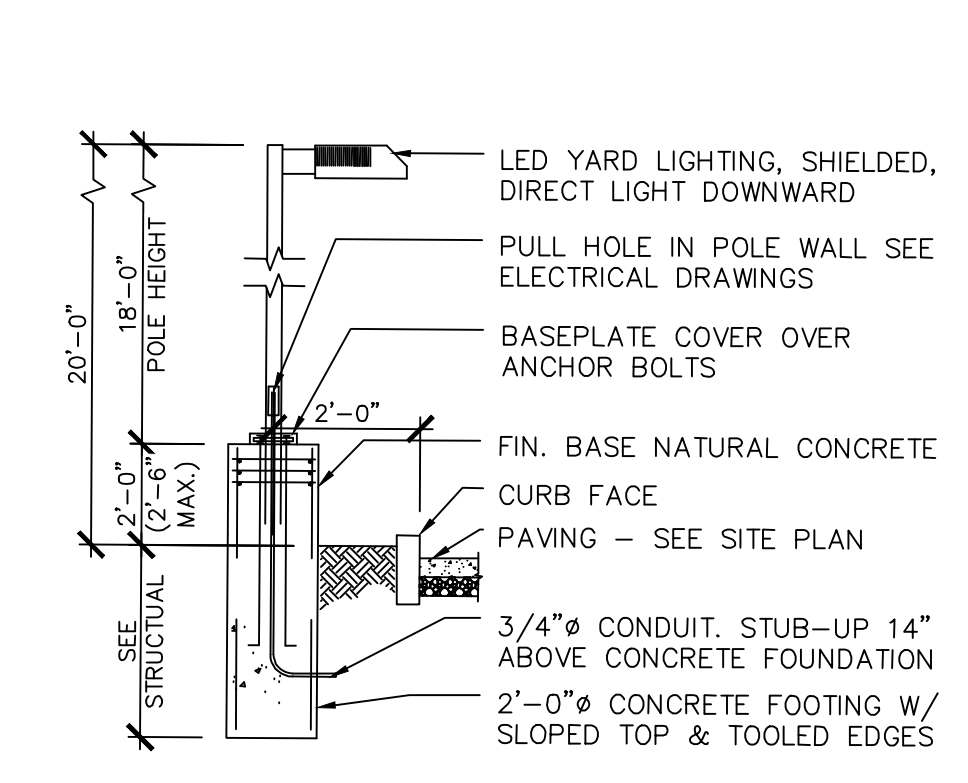
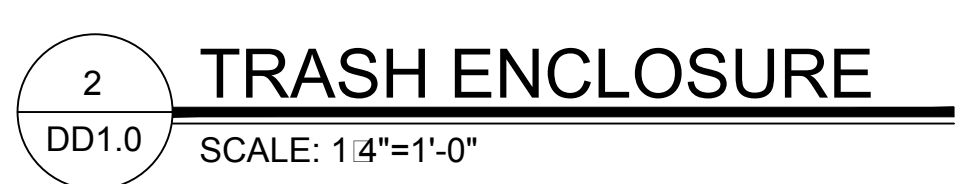
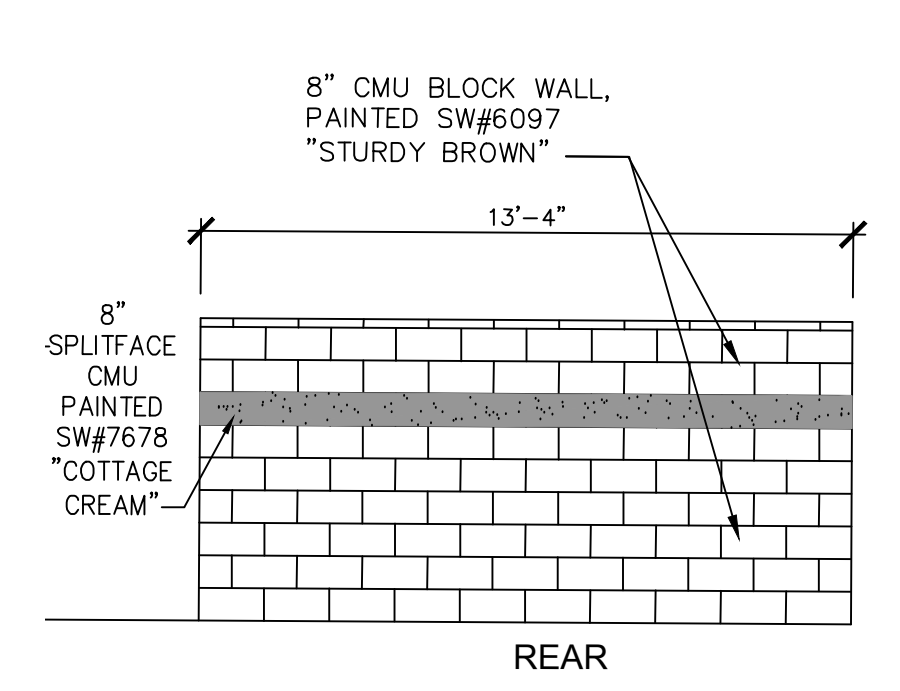
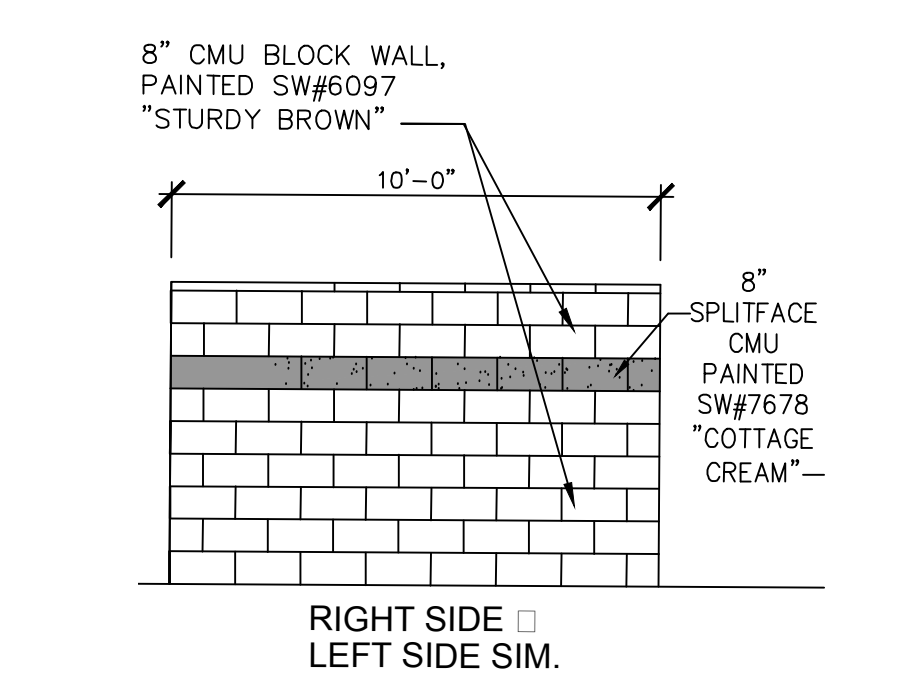
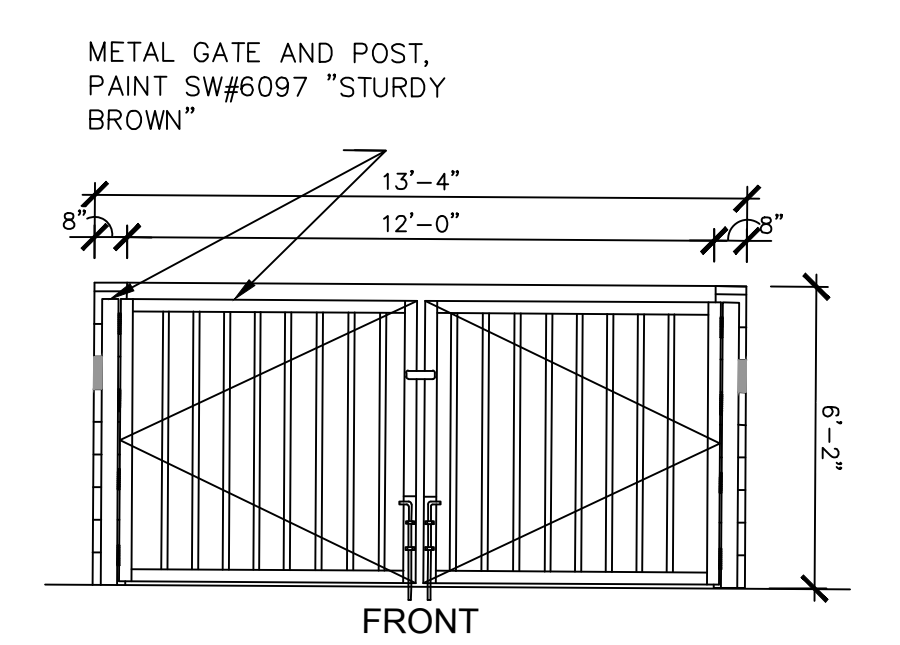
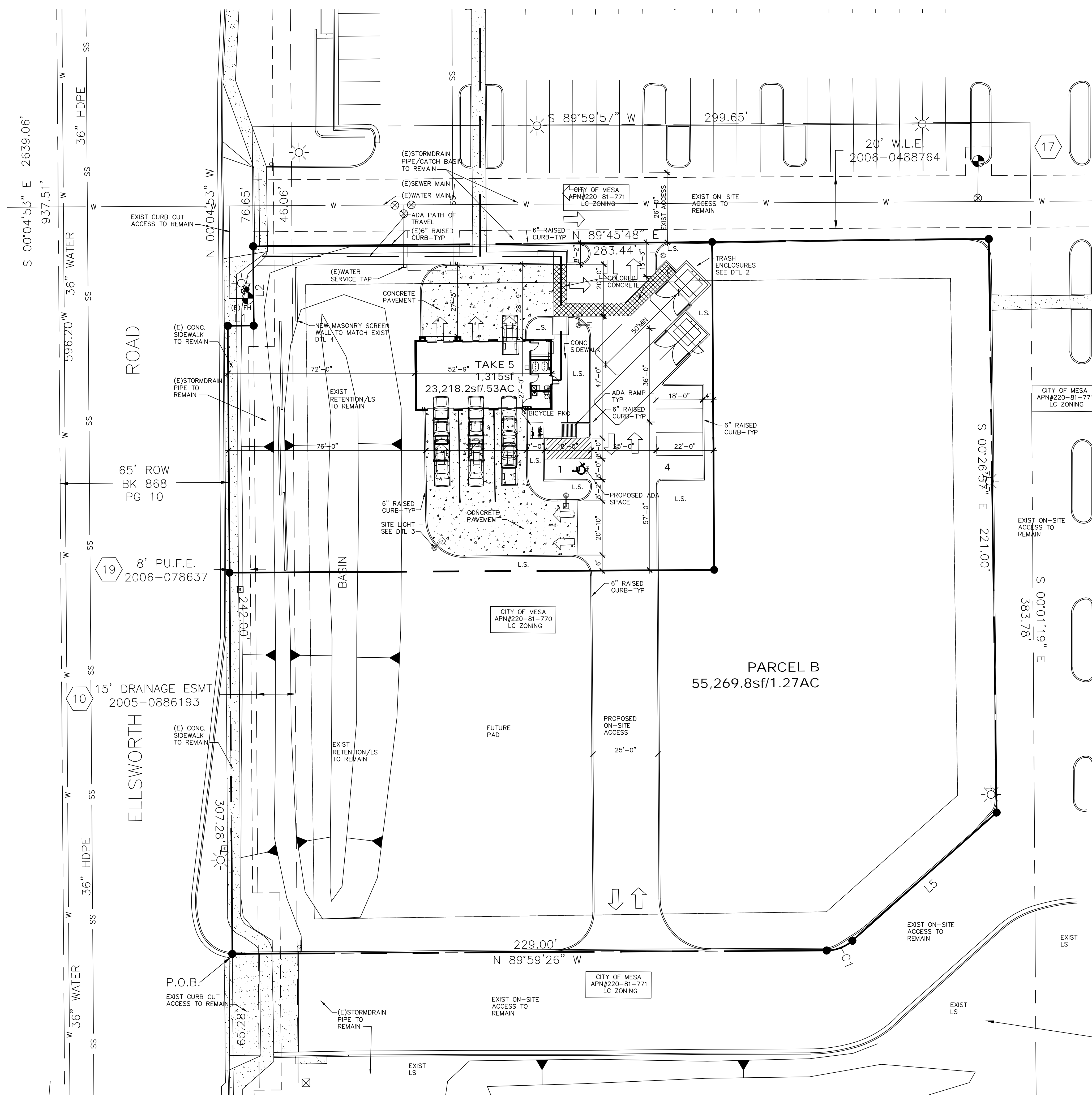
Again, I would be happy to answer any questions or hear any comments that you may have regarding this proposal. You may reach me at [jmacias@m3designllc.com](mailto:jmacias@m3designllc.com) / 480-528-3136.

Sincerely,



A handwritten signature in black ink, appearing to be 'Jesse Macias', written in a cursive style.

Attachment(s): Site Plan, Elevations & Landscape Plan



**PROJECT DATA**

PROJECT NAME: TAKE 5 RETAIL FACILITY SEC SOUTHERN AVE & ELLSWORTH RD MESA, ARIZONA

EXISTING USE: VACANT PAD/LOWE'S RETAIL CENTER

PROPOSED USE: OIL CHANGE

DEVELOPER: DRIVEN BRANDS 440 S. CHURCH ST #700 CHARLOTTE, NC 28202 CONTACT: REBECCA McCALLISTER

ARCHITECT: M3 DESIGN 2645 N 7TH AVE PHOENIX, ARIZONA 85007 (480)528-3136 CONTACT: JESSE MACIAS

**SITE DATA**

SITE NET AREA: 23,235 S.F. / 0.533 AC.

APN #: 220-81-770

GENERAL PLAN DESIGNATION: COMMERCIAL

ZONING: LC

BUILDING FOOTPRINT: TAKE 5: 1,315 S.F.

BUILDING COVERAGE: 1,315 S.F. / 23,235 S.F. = 5.7%

BUILDING HEIGHT: MAXIMUM: 30'-0" PROVIDED: ±25'-0"

LANDSCAPE: 12,576 S.F. / 23,235 S.F. = 54%

IMPERVIOUS COVERAGE: 9,344 S.F. / 23,235 S.F. = 40.2%

SETBACKS:	SETBACKS:	REQ'D:	PROVIDED:
STREET FRONT (WEST)	15'	70'-0"	
SIDE (EAST)	10'	20'-0"	
SIDE (NORTH)	0'	8'-0"	
REAR (EAST)	0'	6'-0"	

TYPE OF CONSTRUCTION: VB - SPRINKLERED

OCCUPANCY TYPE: S-1 (MOTOR VEHICLE GARAGE)

PARKING: REQUIRED: TAKE 5: 1,315 / 375 = 4 SPACES  
TOTAL REQUIRED: 4 SPACES

PARKING PROVIDED: ACCESSIBLE PARKING SPACES: 1 SPACES  
STANDARD PARKING SPACES: 4 SPACES  
TOTAL PROVIDED: 5 SPACES

**PROJECT DESCRIPTION**

NEW 1,315SF TAKE 5 EXPRESS OIL CHANGE FACILITY ON 0.533 VACANT ZONED LC PARCEL WITHIN EXISTING LOWE'S RETAIL CENTER WITH EXISTING ACCESS POINTS TO REMAIN

**LEGAL DESCRIPTION**

That portion of PARCEL 1, LOWE'S AT ELLSWORTH, according to the plat recorded in Book 888 of Maps, Page 10, Records of Maricopa County, Arizona, located in the Northwest quarter of Section 34, Township 1 North, Range 7 East of the Gila and Salt River Base and Meridian, more particularly described as follows: COMMENCING at the Northwest corner of said Section 34, marked by a brass cap in handhole, bears East, a distance of 2853.46 feet; Thence South 00° 04' 53" East along the West line of said section 34, a distance of 937.51 feet; Thence North 89° 59' 07" East, 85.00 feet to the Southwest corner of said Parcel 1; Thence North 00° 04' 53" West, along the West line of said Parcel 1, a distance of 212.18 feet to the POINT OF BEGINNING; Thence continuing North 00° 04' 53" West, along said West line of said Parcel 1, a distance of 95.10 feet to a corner in said West line; Thence South 89° 59' 07" East, along said West line, 10.00 feet to a corner in said West line; Thence continuing North 00° 04' 53" West, along said West line, a distance of 30.59 feet Thence North 89° 59' 07" East, 178.82 feet; Thence South 00° 00' 45" East, 126.29 feet; Thence North 89° 59' 17" West, 186.67 feet to the POINT OF BEGINNING. Said parcel contains 23,235 square feet or 0.5334 acres more or less.

**CITY OF MESA SITE PLAN NOTES**



**APPROVAL STAMPS**

2645 NORTH 7th AVENUE PHOENIX, ARIZONA 85007

TAKE FIVE RETAIL FACILITY SEC ELLSWORTH RD & SOUTHERN AVE MESA, ARIZONA

SITE PLAN

DATE: 2022-10-01

SCALE: SCALE

DRAWN BY: JM

PROJECT NUMBER: TFO22009.0.0

SHEET: DD1

REV:



**CITY OF MESA  
LANDSCAPE NOTES**

1. ALL LANDSCAPE AREAS TO RECEIVE 2" LAYER DECOMPOSED GRANITE
2. ALL LANDSCAPE AREA TO BE WATERED BY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
3. THE HEIGHTS AND CALIPERS SHALL COMPLY WITH 'ARIZONIA NURSERY ASSOCIATION SPECIFICATIONS' FOR THAT SIZE AND TYPE OF TREE.
4. REQUIRED TREES SHALL BE PROVIDED IN EQUAL NUMBERS OF 15 GALLON SIZE AND 24" BOX SIZE OR LARGER.
5. REQUIRED SHRUBS SHALL HAVE A MATURE GROWTH HEIGHT OF 18" AT LEAST 50% OF REQUIRE SHRUBS SHALL BE 5 GALLON SIZE.
6. PLANT MATERIAL SHALL BE CALCULATED BASED ON A LINEAR MODULE OF 25 FEET. TREES AND SHRUBS MAY BE CLUSTERED.

- ARTERIAL STREET:**  
(2) TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE
- MAJOR, MIDSECTION COLLECTOR STREET:**  
(2) TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE
- COLLECTOR/INDUSTRIAL/COMMERICAL STREET:**  
(1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE
- PUBLIC OR PRIVATE LOCAL STREET:**  
(1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE

7. PLANT MATERIAL SIZES REQUIRED:
- TREES: (TOTAL REQUIRED TREES:)**  
25% SHALL BE 36" BOX OR LARGER  
50% SHALL BE 24" BOX OR LARGER  
NO TREES LESS THAN 15 GALLON

- SHRUBS: (TOTAL REQUIRED SHRUBS:)**  
50% SHALL BE 5 GALLON OR LARGER.  
NO SHRUBS LESS THAN 1 GALLON

8. 1 TREES AND 3 SHRUBS FOR EVERY 15' PARKING ISLAND
9. FOUNDATION LANDSCAPING: LANDSCAPING TO A MINIMUM HEIGHT OF 18" IS REQUIRED IMMEDIATELY ADJACENT TO, OR PROVIDED IN PLANTER AREAS ADJACENT TO BUILDING, WHICH HAVE FRONTAGE ON A PUBLIC STREET. PLANTING AREAS MUST BE A MIN. OF 5' WIDE AND A MIN. OF 50% PLANT COVERAGE.
10. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA LIST THE APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION".
11. THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE MANUFACTURER AND MODEL NUMBER DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES".

12. ALL WORK WILL BE DONE UNDER SEPARATE PERMIT FOR SIGNS".
13. ALL LANDSCAPING INSTALLED WITH THIS PROJECT TO BE MAINTAINED BY OWNERS ASSOC. OR OWNERS ASSOCIATION OF COMMERCIAL SUBDIVISION OR MANAGEMENT COMPANY IF COMMERCIAL RENTALS
14. THAT ALL TREES AND SHRUBS LOCATED IN LINE-OF-SIGHT WILL BE MAINTAINED TO A CLEAR AREA BETWEEN OF 3' TO 7'
15. RIP-RAP MUST BE ON NATURAL MATERIALS MATCHING D.G COLORS CONCRETE OR GUNITE MUST BE COLORED TO MATCH D.G. COLOR
16. TREES SHALL BE PLANTED @ LEAST 20' AWAY FROM ANY STREET LIGHT POLE OR LOCATION. SHRUBS SHALL BE PLANTED @ LEAST 7' FEET AWAY FROM ANY STREET LIGHT POLE OR LCC.
17. 10% OF TOTAL TREES IN PARKING SHALL BE 36" BOX OR LARGER.

**VISIBILITY TRIANGLE INFO:**

VISIBILITY TRIANGLES ARE BASED ON CITY OF MESA PUBLIC STREET ACCESS GUIDELINES DATED FEB. 15, 2005.

STREET SPEED: 45 MPH  
STREET CROSS SECTION 4LU  
FIGURE 2.3 (50MPH DESIGN SPEED) SD=625'

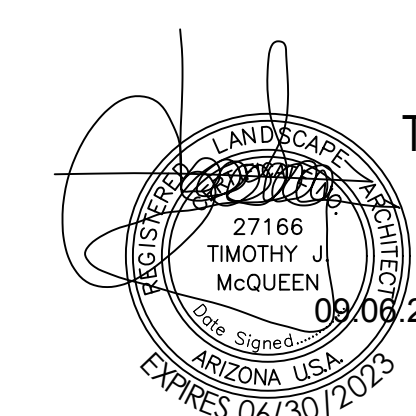
**ADDITIONAL NOTES:**

THIS LANDSCAPE IS TO BE MAINTAINED ON A WEEKLY BASIS USING A NATURAL MAINTENANCE PROGRAM AND SHALL BE MAINTAINED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICE OF THE LANDSCAPE INDUSTRY.

ALL TREES AND SHRUBS LOCATED IN THE LIGN OF SIGHT WILL BE MAINTAINED FOR A CLEAR AREA BETWEEN 3' TO 7'. THE LIGN OF SITE IS OUT OF THE SCOPE OF WORK ON THIS PROJECT.

ALL LANDSCAPE AREAS WILL BE MAINTAINED BY THIS OWNER OR LESSEE IN ACCORDANCE WITH THESE APPROVED PLANS

REQUIRED LANDSCAPE AREAS SHALL BE FREE FROM EN-CROACHMENT BY ANY USE, STRUCTURE, VEHICLE OR FEATURE NOT PART OF THE LANDSCAPE DESIGN.

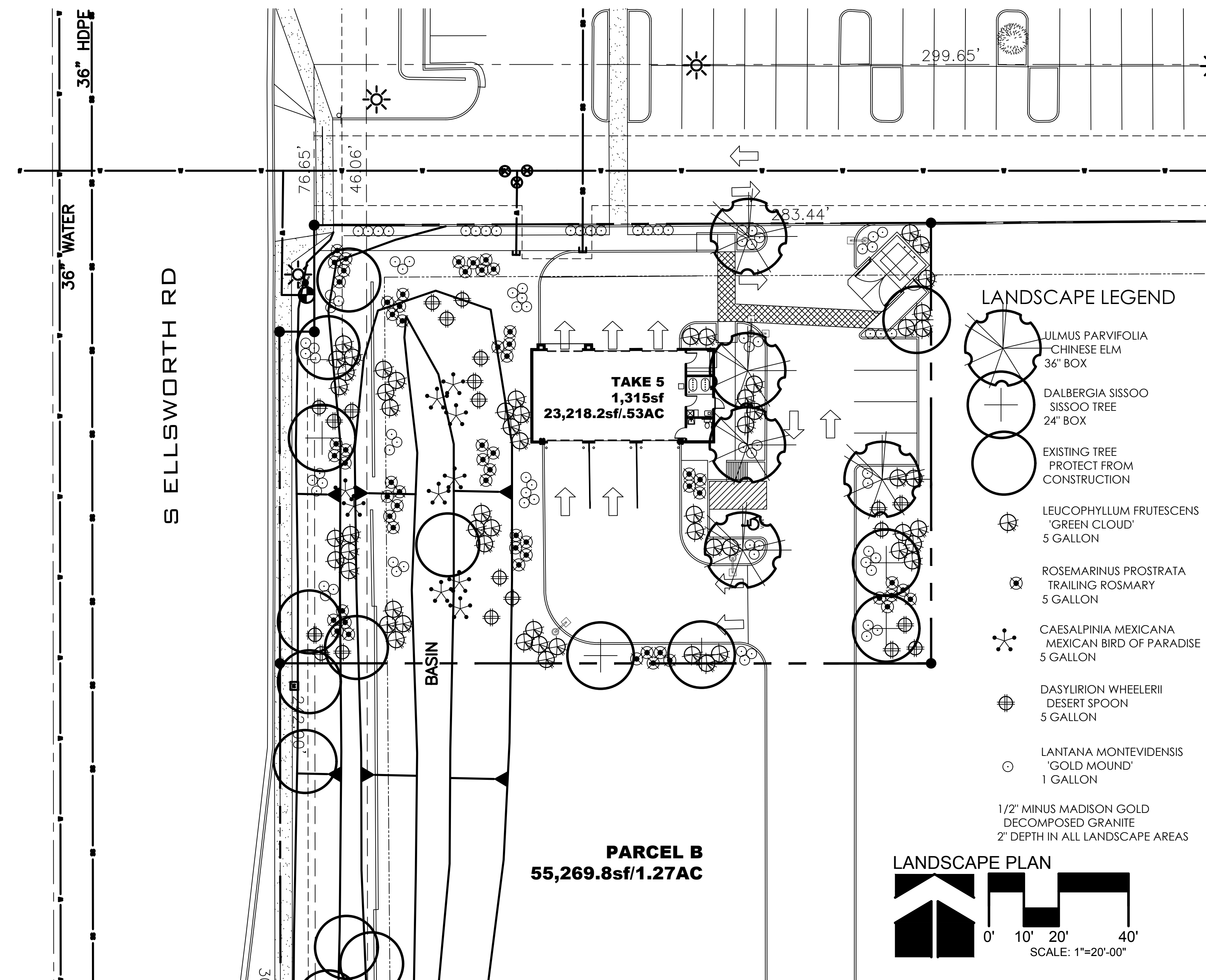


T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING

10450 N. 74th Street, Suite 120  
Scottsdale, Arizona 85258  
P. (602)265-0320

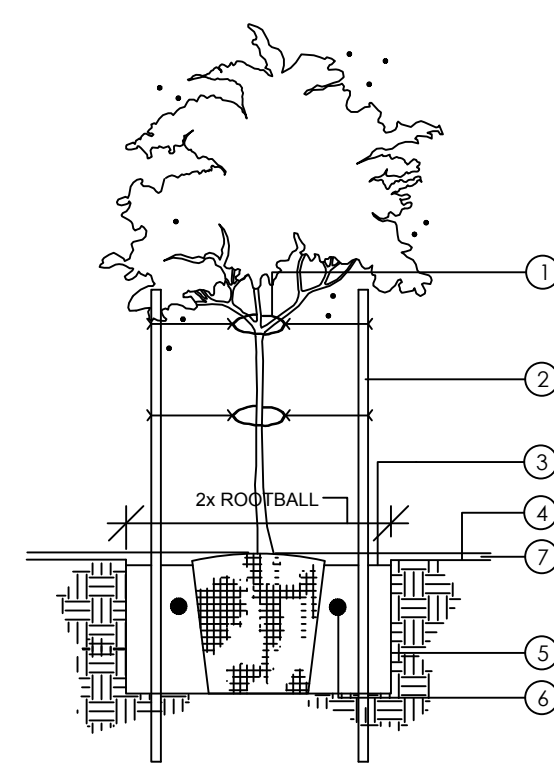
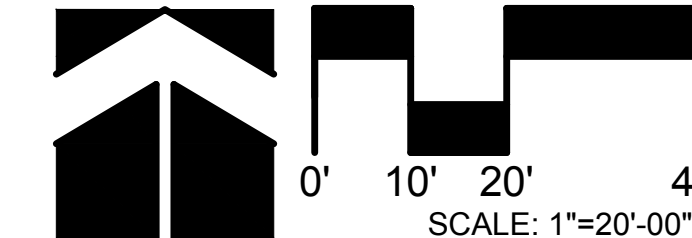
EMAIL: timmqueen@tjmla.net



**LANDSCAPE LEGEND**

- ULMUS PARVIFOLIA - CHINESE ELM 36" BOX
- DALBERGIA SISSOO - SISSOO TREE 24" BOX
- EXISTING TREE - PROTECT FROM CONSTRUCTION
- LEUCOPHYLLUM FRUTESCENS - "GREEN CLOUD" 5 GALLON
- ROSEMARINUS PROSTRATA - TRAILING ROSMARY 5 GALLON
- CAESALPINIA MEXICANA - MEXICAN BIRD OF PARADISE 5 GALLON
- DASYLIIRION WHEELERII - DESERT SPOON 5 GALLON
- LANTANA MONTEVIDENSIS - "GOLD MOUND" 1 GALLON
- 1/2" MINUS MADISON GOLD - DECOMPOSED GRANITE 2" DEPTH IN ALL LANDSCAPE AREAS

**LANDSCAPE PLAN**

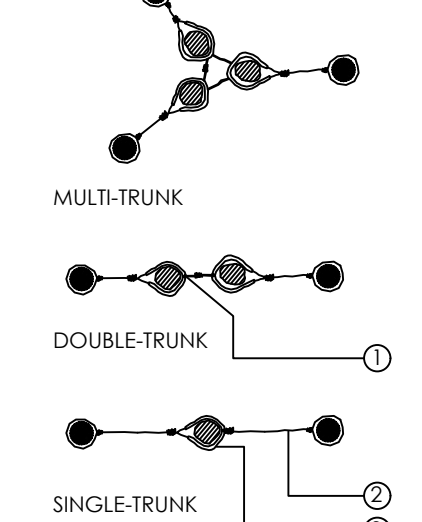


1. 1/2" RUBBER HOSE WITH #10 WIRE
  2. TWO 2" ROUND BY 10' LONG GREEN TREE STAKES BURY 3" BELOW GRADE
  3. 4" BASIN
  4. GRADE (PRIOR TO GRANITE)
  5. ROUGHEN SIDES OF PLANT PIT TO PREVENT GLAZING
  6. AGRIFORM TABLETS
  7. 2" DEPTH OF DECOMPOSED GRANITE. (SEE LEGEND FOR TYPE)
- BACKFILL PLANT PIT WITH SOIL MIX PER PHX MAG SUPPLEMENT.

**DOUBLE STAKING DETAIL**

NOT TO SCALE

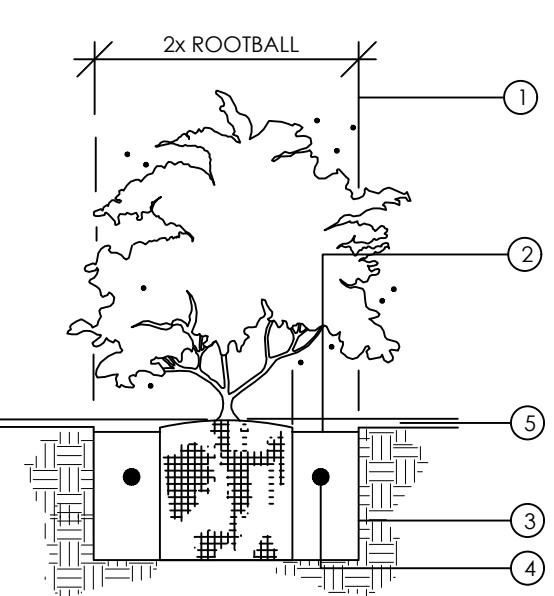
NOTE: MULTI-TRUNKED TREES TO HAVE ALL MAJOR LEADERS STAKED



1. NOTCH TUBING LOOP WIRE THROUGH EXPOSED WIRE
2. #10 WIRE RUBBER COATED
3. 1/2" RUBBER HOSE

**TREE GUYING DETAIL**

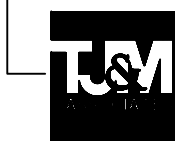
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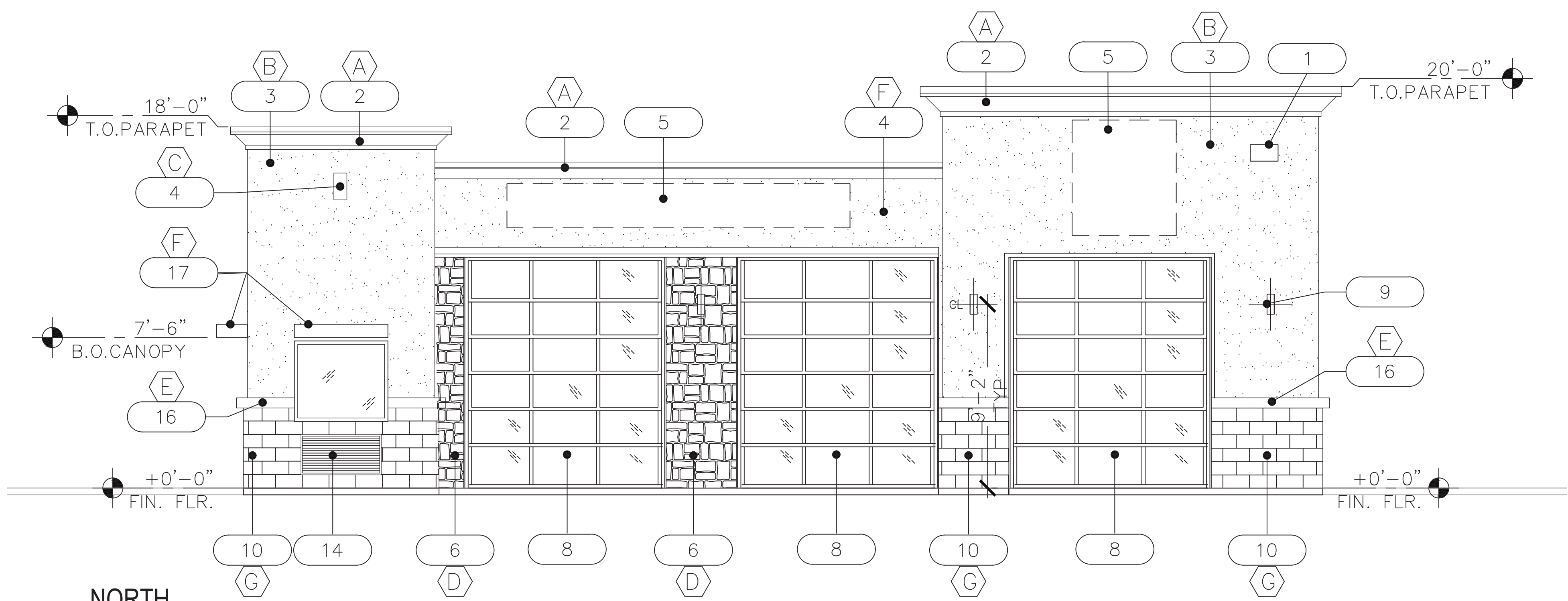
1. MINIMUM DIMENSION FOR 5 GAL. PLANTS
  2. 1" BASIN
  3. ROUGHEN SIDES OF PLANT PIT TO PREVENT GLAZING
  4. AGRIFORM TABLETS SEE SPECS. FOR RATIO
  5. 2" DEPTH OF DECOMPOSED GRANITE. (SEE LEGEND FOR TYPE)
- BACKFILL PLANT PIT WITH SOIL MIX PER PHX MAG SUPPLEMENT.

**SHRUB PLANTING DETAIL**

NOT TO SCALE

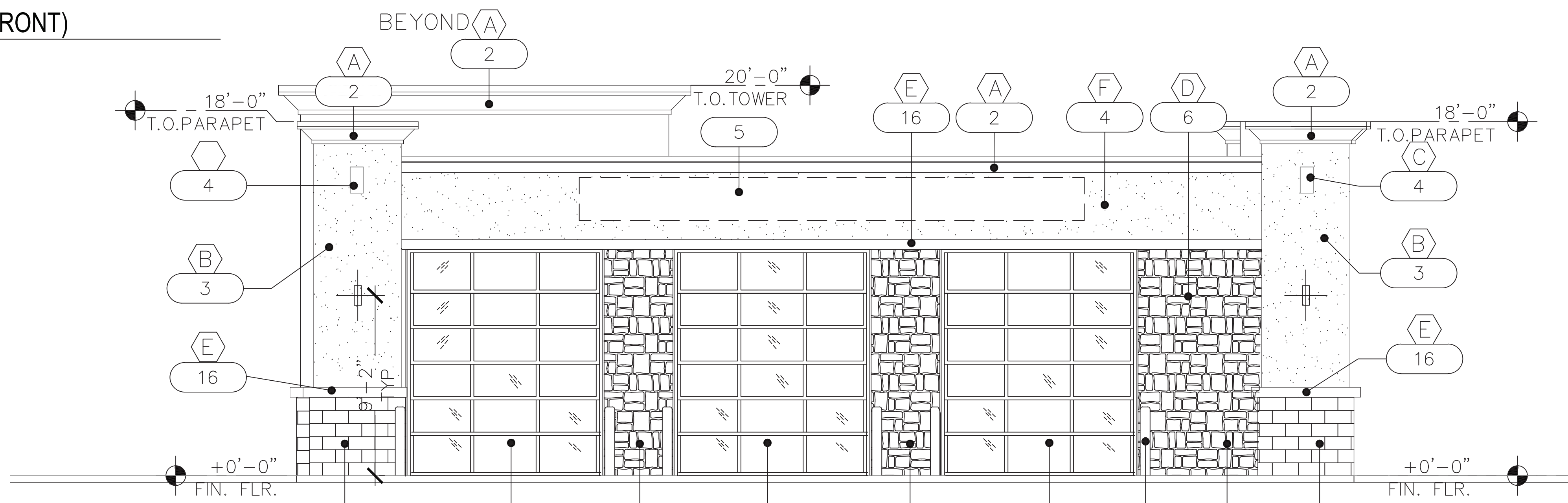






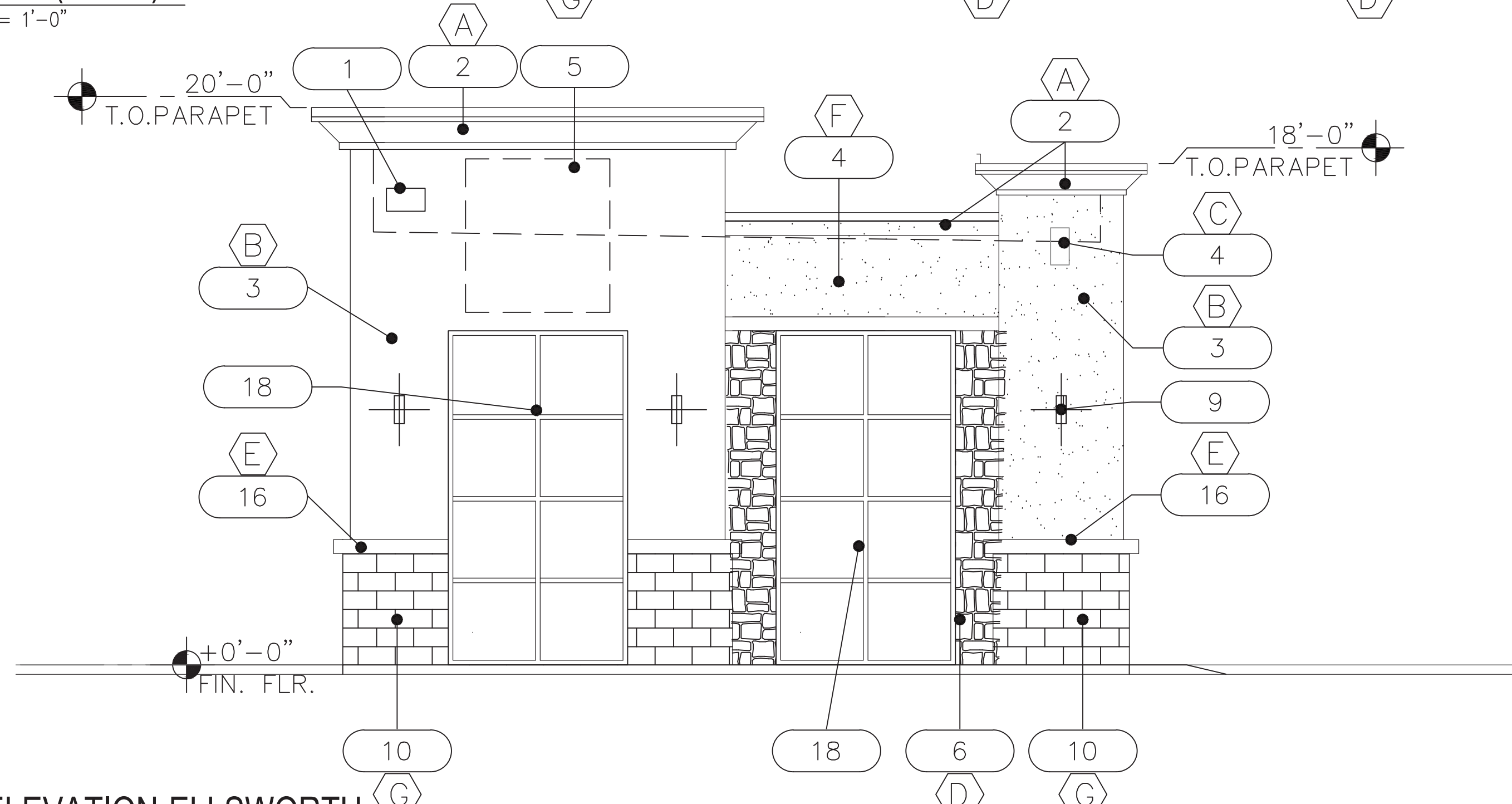
**1 NORTH ELEVATION (FRONT)**

SCALE: 1/4" = 1'-0"



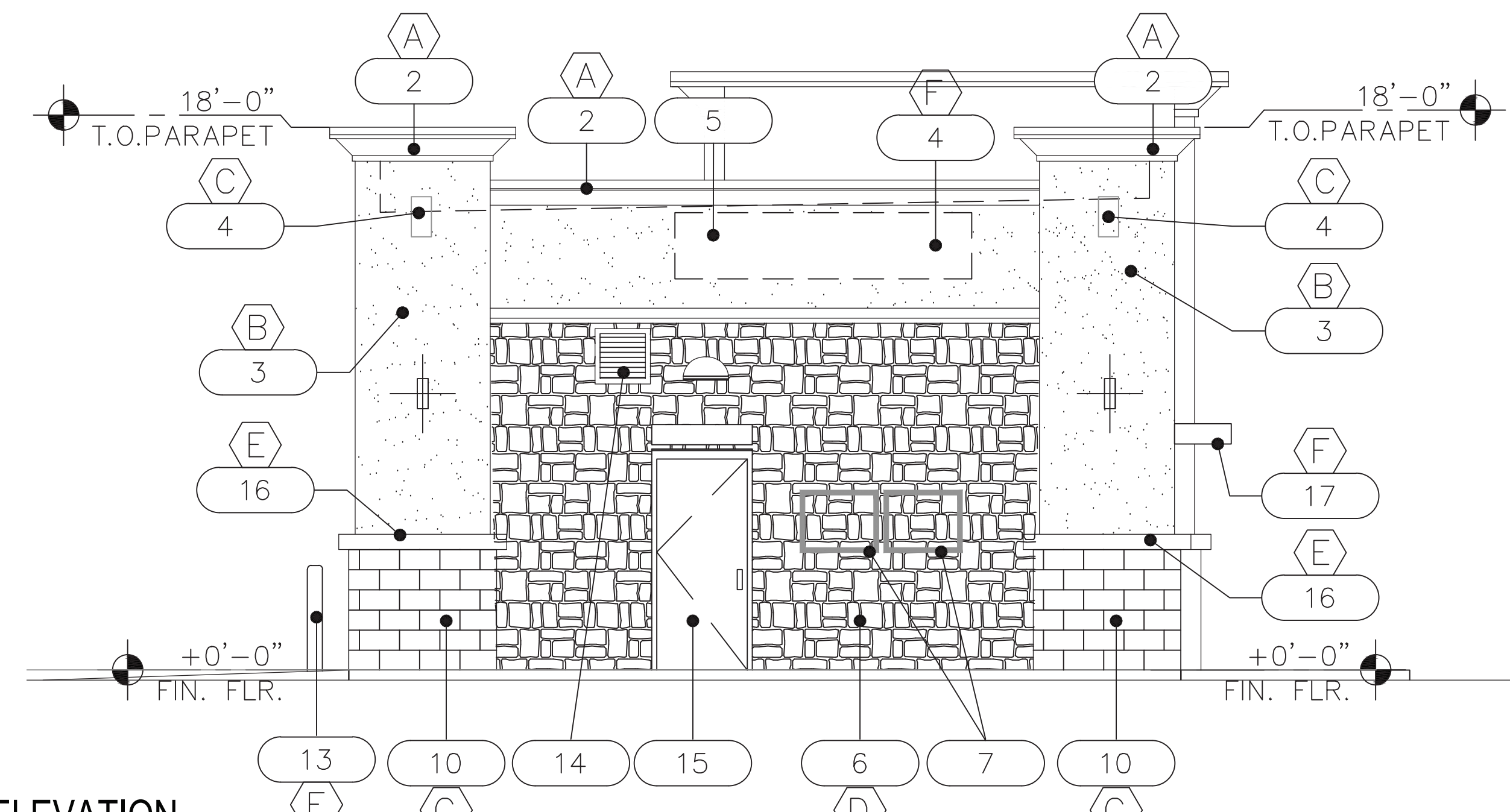
**2 SOUTH ELEVATION (REAR)**

SCALE: 1/4" = 1'-0"



**3 EAST ELEVATION-ELLSWORTH**

SCALE: 1/4" = 1'-0"



**4 WEST ELEVATION**

SCALE: 1/4" = 1'-0"

EXTERIOR FACADE FINISH CALCULATION		
SOUTH ELEVATION FACADE AREA: 959.3SF		
STUCCO	384.4 SF	40.1%
MASONRY	79.7 SF	8.3%
STONE	61.8 SF	6.4%
GLAZING	366.5 SF	38.2%
METAL/STEEL	66.9 SF	7.0%
WEST ELEVATION FACADE AREA: 461.4SF		
STUCCO	177.3 SF	38.4%
MASONRY	44.7 SF	9.9%
STONE	180.0 SF	39.0%
GLAZING	0.0 SF	0.0%
METAL/STEEL	55.8 SF	12.7%
NORTH ELEVATION FACADE AREA: 876.5SF		
STUCCO	282.2 SF	32.3%
MASONRY	44.2 SF	5.0%
STONE	134.9 SF	15.4%
GLAZING	366.5 SF	41.8%
METAL/STEEL	48.7 SF	5.5%
EAST ELEVATION FACADE AREA: 516.1SF		
STUCCO	229.4 SF	44.4%
MASONRY	56.7 SF	11.0%
STONE	38.2 SF	7.4%
GLAZING	154.5 SF	29.9%
METAL/STEEL	37.3 SF	7.3%

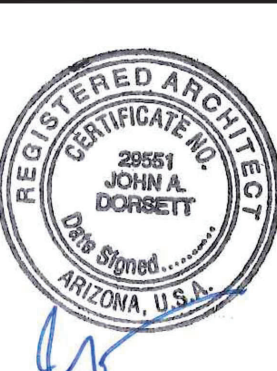
**ELEVATION KEY NOTES**

- 1 BUILDING ADDRESS - MIN 6" LETTERS W/CONTRASTING BACKGROUND
- 2 PRE-FINISHED METAL COPING-24GA GALVALUME
- 3 STUCCO SYSTEM MAIN BUILDING - PAINTED
- 4 STUCCO PAINTED ACCENT
- 5 SIGNAGE SHOWN FOR REF - UNDER SEPARATE PERMIT
- 6 STONE VENEER
- 7 ELECTRICAL SERVICE-PAINT TO MATCH ADJACENT WALL
- 8 OVERHEAD ROLL UP DOOR PRE-FINISHED DARK BRONZE
- 9 BUILDING MOUNTED WALL SCENCE - DARK BRONZE
- 10 MASONRY SMOOTH VENEER - SUPERLITE PAINTED
- 11 STUCCO REVEAL
- 12 ROOF MTD UNITS - FULLY SCREENED
- 13 6" PIPE BOLLARD - PAINTED
- 14 VENT GRILLES - PREFINISHED DARK BRONZE
- 15 HM METAL DOOR - PAINTED TO MATCH ADJACENT WALL
- 16 STUCCO TRIM CAP - PAINTED
- 17 STEEL CANOPY - PAINTED
- 18 DARK BRONZE ALUM STOREFRONT SYSTEM

**MATERIAL AND COLOR LEGEND**

- A METAL COPING (PRE-FINISHED)-SW#7678 "IRON MOUNTAIN"
- B STUCCO SYSTEM-MAIN BUILDING COLOR SW#7566 "WESTHIGHLAND WHITE"
- C STUCCO ACCENT-SW#7693 "STONEBRIAR"
- D STACKED STONE VENEER ELDORADO "SILVER LINING"
- E STUCCO TRIM CAP-SW#7678 "COTTAGE CREAM"
- F BOLLARDS/STL CANOPY/ACCENT - SW#6871 "POSITIVE RED"
- G SMOOTH MASONRY VENEER- SUPERLITE PAINTED "CHARCOAL"

2008 NORTH 7th AVENUE  
PHOENIX, ARIZONA 85007

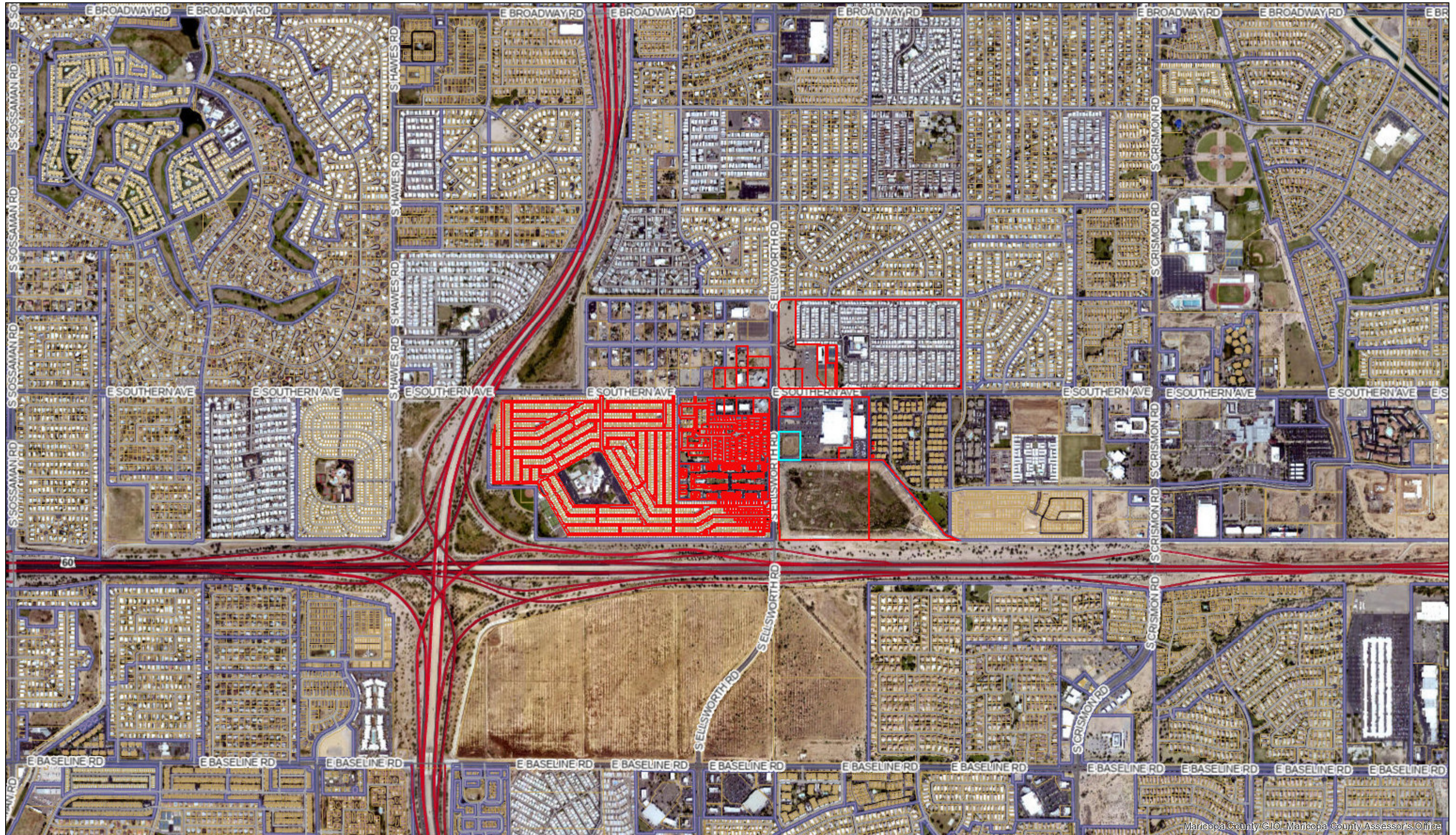


TAKE FIVE  
SEC SOUTHERN & ELLSWORTH RD  
MESA, ARIZONA  
ELEVATIONS

DATE: 2022-05-16  
SCALE: SCALE  
DRAWN BY: JM  
PROJECT NUMBER: TFO22002.0  
SHEET:  
**DD2.0**  
REV:



# Map



Parcel Number	Owner	Property Address
218-48-011C	COYLE BRYAN	9111 E FLORIAN AVE MESA 85208
218-48-012C	M AND F PROPERTY HOLDINGS LLC	1130 S ELLSWORTH RD MESA 85208
218-48-013D	MAJED MINI MART III	1148 S ELLSWORTH RD MESA 85209
218-48-014B	9112 E SOUTHERN AVE LLC	9112 E SOUTHERN AVE MESA 85209
218-48-014D	RICHARD W ARNESON JR IRREVOCABLE TRUST	9132 E SOUTHERN AVE MESA 85209
218-48-015D	9048 E SOUTHERN AVE LLC	9048 E SOUTHERN AVE MESA 85209
218-58-016A	NNN RETAIL EXCHANGE II 2008 LLC	1208 S ELLSWORTH RD MESA 85209
218-58-017B	RANCHLAND HOLDINGS II LLC	9107 E SOUTHERN AVE 101 MESA 85209
218-58-022	MURUATO GLORIA M	9044 E GALE AVE MESA 85209
218-58-023	AMH 2014-2 BORROWER LLC	1211 S MANSARD MESA 85209
218-58-024	SFR INVESTMENTS V BORROWER 1 LLC	1225 S MANSARD MESA 85209
218-58-025	WIGHTMAN BRYAN/PATRICIA	1229 S MANSARD MESA 85209
218-58-026	DWYER NICHOLAS/MEGAN	1233 S MANSARD MESA 85209
218-58-027	HOMER TREVIN/KAITLYN	9046 E GABLE AVE MESA 85209
218-58-028	CASILLAS IDA MICHELLE	9052 E GABLE AVE MESA 85209
218-58-029	OSBORNE JOHNATHON D	9056 E GABLE AVE MESA 85209
218-58-030	CANOY ERICKSON VILLA/KRISTINE NICOLE MARIANO/EMMANUEL VILLA	9060 E GABLE AVE MESA 85209
218-58-031	ETHINGTON TIMOTHY PHILLIP JR/CHARLOTTE HEINER	9064 E GABLE AVE MESA 85209
218-58-032	ARCHUNDE HENRY/ANA	9104 E GABLE AVE MESA 85209
218-58-033	KENNEDY DENNIS/ELIZABETH T	9108 E GABLE AVE MESA 85209
218-58-034	SANCHEZ ELVIA	9112 E GABLE AVE MESA 85209
218-58-035	SALDANA DANIEL E/IVETTE R	9111 E GABLE AVE MESA 85209
218-58-036	VALENCIA BERTHA B	9107 E GABLE AVE MESA 85209
218-58-037	PROGRESS RESIDENTIAL BORROWER 14 LLC	9065 E GABLE AVE MESA 85209
218-58-038	ZAPATA MANUEL C	9061 E GABLE AVE MESA 85209
218-58-039	THITIPRAYOONWONGSE UTHAI	9057 E GABLE AVE MESA 85209
218-58-040	GOSNEY JACOB W	9051 E GABLE AVE MESA 85209
218-58-041	CONNIE TAM SIN FAMILY TRUST	9047 E GABLE AVE MESA 85209
218-58-042	TRAN VUONG T	9043 E GABLE AVE MESA 85209
218-58-056	PROGRESS RESIDENTIAL 2015-1 BORROWER LLC	9042 E GARNET AVE MESA 85209
218-58-057	WALTON JARROD C	9046 E GARNET AVE MESA 85209
218-58-058	KHOURI RUSSELL A/COLLEEN M	9050 E GARNET AVE MESA 85209
218-58-059	DONNIE A YANCEY FAMILY TRUST	9056 E GARNET AVE MESA 85209
218-58-060	SRP SUB LLC	9060 E GARNET AVE MESA 85209

218-58-061	SALINAS SANTOS/AMY	9064 E GARNET AVE MESA 85209
218-58-062	MILE HIGH TL BORROWER 1 CORE LLC	9116 E GABLE AVE MESA 85209
218-58-063	BEAZER PRE OWNED HOMES LLC	1239 S LOOMIS MESA 85209
218-58-064	RODRIGUEZ CARLA M	1243 S LOOMIS MESA 85209
218-58-065	YORK CHRISTOPHER	1247 S LOOMIS MESA 85209
218-58-066	RICHARDSON KHRYSTYNA/MARK	1252 S TACOMA MESA 85209
218-58-067	DLG INVESTMENTS OZ LLC	1248 S TACOMA MESA 85209
218-58-068	AMERICAN HOMES 4 RENT TRS LLC	1244 S TACOMA MESA 85209
218-58-069	GECKO PROPERTIES LLC	1240 S TACOMA MESA 85209
218-58-070	SUN YUHAN/LIU ZHOUYANG	1241 S TACOMA MESA 85209
218-58-071	BYERS WILLIAM E/DEBORAH	1245 S TACOMA MESA 85209
218-58-072	DEVINE MICHAEL J/NITTAYA	1251 S TACOMA MESA 85209
218-58-073	ARP 2014-1 BORROWER LLC	1252 S PROVIDENCE MESA 85209
218-58-074	COSMANN CASSANDRA	1246 S PROVIDENCE MESA 85209
218-58-075	DONALD A CLUETT LIVING TRUST/KATHERINE B RASMUSSEN LIVING TRUS	1242 S PROVIDENCE MESA 85209
218-58-076	GILDLEY MARTIN/CONEPACION	1239 S PROVIDENCE MESA 85209
218-58-077	IH2 PROPERTY BORROWER LP	1243 S PROVIDENCE MESA 85209
218-58-078	JEANNE MAE VOGT TRUST	1247 S PROVIDENCE MESA 85209
218-58-079	WALTERS STEVEN E	1253 S PROVIDENCE MESA 85209
218-58-080	JONES KAYLA	1261 S TACOMA MESA 85209
218-58-081	HARREL BOBBY L/DANIELLE D	1301 S TACOMA MESA 85209
218-58-082	ALVAREZ ENRIQUE	1309 S TACOMA MESA 85209
218-58-083	ZANTOUT JACOB/DEBBIE MERIDETH	1313 S TACOMA MESA 85209
218-58-084	IH6 PROPERTY PHOENIX LP	1319 S TACOMA MESA 85209
218-58-085	COTNOIR ZACHARY	1325 S TACOMA MESA 85209
218-58-086	BRIDGES STEPHEN/EMIE	1331 S TACOMA MESA 85209
218-58-087	DAME MONICA JOYCE	1335 S TACOMA MESA 85209
218-58-088	BROOKS JOY B	1330 S TACOMA MESA 85209
218-58-089	REISS ROSALIN	1326 S TACOMA MESA 85209
218-58-090	PROGRESS RESIDENTIAL BORROWER 5 LLC	1320 S TACOMA MESA 85209
218-58-091	2018-2 IH BORROWER LP	1314 S TACOMA MESA 85209
218-58-092	GULASY AMY	1310 S TACOMA MESA 85209
218-58-093	ANGOTTI CHERYL L	1306 S TACOMA MESA 85209
218-58-094	ORTIZ ANTHONY	1264 S TACOMA MESA 85209
218-58-095	MACNAB GEORGE	1305 S LOOMIS MESA 85209

218-58-096	RUTHERFORD STERLING/TAYLOR	1309 S LOOMIS	MESA	85209
218-58-097	SOTO RAZO CESAR/SOTO MARINA/CONEJO MARIA	1317 S LOOMIS	MESA	85209
218-58-098	LOOMIS AVENUE LLC	1321 S LOOMIS	MESA	85209
218-58-099	BIA NATHANIEL L/MADELINE M	1325 S LOOMIS	MESA	85209
218-58-100	KUBEK-MCCRITE ALEXIS H/MCCRITE DILLON	1331 S LOOMIS	MESA	85209
218-58-101	GARCIA ANASTASHA NIKKOLE	1334 S LOOMIS	MESA	85209
218-58-102	PAUL JOHN STEVEN II	1330 S LOOMIS	MESA	85209
218-58-103	ROJAS LIDIA	1326 S LOOMIS	MESA	85209
218-58-104	AMH 2014-2 BORROWER LLC	1322 S LOOMIS	MESA	85209
218-58-105	KALLEBERG FAMILY TRUST	1318 S LOOMIS	MESA	85209
218-58-106	HELBER EVYN/MISTY	1310 S LOOMIS	MESA	85209
218-58-107	THR PHOENIX LP	1306 S LOOMIS	MESA	85209
218-58-108	LEWIS ERIN/CALVIN	1301 S ROSEANN	MESA	85209
218-58-109	BELLAMY DAVID	1305 S ROSEANN	MESA	85209
218-58-110	2017-1 IH BORROWER LP	1309 S ROSEANN	MESA	85209
218-58-111	MANRIQUEZ JOSE A/GRACIELA	1313 S ROSEANN	MESA	85209
218-58-112	BASSO BERNADETTE	1321 S ROSEANN	MESA	85209
218-58-113	ENTRUST ARIZONA LLC FBO	1325 S ROSEANN	MESA	85209
218-58-114	PURINTON JOANN	1329 S ROSEANN	MESA	85209
218-58-115	STEWART NICHOLAS	1328 S ROSEANN	MESA	85209
218-58-116	DIFIORE DONALD/DEBORAH	1322 S ROSEANN	MESA	85209
218-58-117	BROWN RAY N	1316 S ROSEANN	MESA	85209
218-58-118	RUBIO BRIAN A	1312 S ROSEANN	MESA	85209
218-58-119	QUIDERA JUANITA/COLLINS JOHN A	1308 S ROSEANN	MESA	85209
218-58-120	LEE TIFFANY T/STEPHEN L	1304 S ROSEANN	MESA	85209
218-58-121	YAMASA CO LTD	1303 S MANSARD	MESA	85209
218-58-122	ROWE HEATHER	1307 S MANSARD	MESA	85209
218-58-123	WEBBER DAVID	1311 S MANSARD	MESA	85209
218-58-124	IH6 PROPERTY PHOENIX LP	1315 S MANSARD	MESA	85209
218-58-125	PROGRESS RESIDENTIAL BORROWER 18 LLC	1319 S MANSARD	MESA	85209
218-58-126	SNOW AMELIA/SCOW DEVIN MATTHEW	1323 S MANSARD	MESA	85209
218-58-127	WHYTE SHAWN	9039 E GLADE AVE	MESA	85209
218-58-135	BOCK JENNIFER A/MATTHEW D	9045 E GARNET AVE	MESA	85209
218-58-136	ARVM 5 LLC	9040 E GLADE AVE	MESA	85209
218-58-165	RODRIGUEZ JAVIER/LAUREANO MIRIAM	1261 S PROVIDENCE CIR	MESA	85209

218-58-166	HERNANDEZ REBECCA	1265 S PROVIDENCE CIR	MESA	85209
218-58-167	2017-1 IH BORROWER LP	1311 S PROVIDENCE CIR	MESA	85209
218-58-168	SALARI I AFSANEH	1315 S PROVIDENCE CIR	MESA	85209
218-58-169	LAM STEVEN CHOY	1319 S PROVIDENCE CIR	MESA	85209
218-58-170	BEAN FAMILY TRUST	1323 S PROVIDENCE CIR	MESA	85209
218-58-171	BEAN FAMILY TRUST	1332 S PROVIDENCE CIR	MESA	85209
218-58-172	PRESQUEZ STEPHANIE M	1328 S PROVIDENCE CIR	MESA	85209
218-58-173	BEASLEY BRIAN	1324 S PROVIDENCE CIR	MESA	85209
218-58-174	BEAN FAMILY TRUST	1320 S PROVIDENCE CIR	MESA	85209
218-58-175	LARSON SPENCER/DANIELLE	1316 S PROVIDENCE CIR	MESA	85209
218-58-176	DEAN RYAN	1312 S PROVIDENCE CIR	MESA	85209
218-58-177	WRIGHT TODD MARSHALL JR	1308 S PROVIDENCE CIR	MESA	85209
218-58-178	MULHEARN NICOLE	1264 S PROVIDENCE CIR	MESA	85209
218-58-179	MOSTELLER GARY S	1260 S PROVIDENCE CIR	MESA	85209
218-58-180	AMADOR HOMEOWNERS ASSOCIATION			
218-58-181	AMADOR HOMEOWNERS ASSOCIATION	9001 E GLADE AVE	MESA	85209
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218-58-201	AMADOR HOMEOWNERS ASSOCIATION			
218-58-202	DOBSON/SOUTHERN LLC	9123 E SOUTHERN AVE	MESA	85209
218-58-203	RANCLAND HOLDINGS II LLC	9107 E SOUTHERN AVE	MESA	85209
218-58-499	BELLA VICTORIA LLC	1350 S ELLSWORTH RD	MESA	85209
218-58-500	BELLA VICTORIA LLC	1350 S ELLSWORTH RD	MESA	85209
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218-58-565 BELLA VICTORIA LLC  
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218-58-618 BELLA VICTORIA LLC  
218-58-619 BELLA VICTORIA LLC

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1350 S ELLSWORTH RD 1068 MESA 85209  
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1350 S ELLSWORTH RD 2120 MESA 85209  
1350 S ELLSWORTH RD MESA 85209







218-58-729	BELLA VICTORIA LLC	1350 S ELLSWORTH RD	MESA	85209
218-58-730	BELLA VICTORIA LLC	1350 S ELLSWORTH RD	MESA	85209
218-58-731	BELLA VICTORIA LLC	1350 S ELLSWORTH RD	MESA	85209
218-58-732	BELLA VICTORIA LLC	1350 S ELLSWORTH RD	MESA	85209
218-58-733	BELLA VICTORIA LLC	1350 S ELLSWORTH RD	MESA	85209
218-58-734	BELLA VICTORIA LLC	1350 S ELLSWORTH RD	MESA	85209
218-58-735	BELLA VICTORIA LLC	1350 S ELLSWORTH RD	MESA	85209
218-73-001	KARNO NORTON S TR	1452 S ELLSWORTH RD	1 MESA	85209
218-73-002	KARNO NORTON S TR	1452 S ELLSWORTH RD	2 MESA	85209
218-73-003	KARNO NORTON S TR	1452 S ELLSWORTH RD	3 MESA	85209
218-73-004	KARNO NORTON S TR	1452 S ELLSWORTH RD	4 MESA	85209
218-73-005	KARNO NORTON S TR	1452 S ELLSWORTH RD	5 MESA	85209
218-73-006	KARNO NORTON S TR	1452 S ELLSWORTH RD	6 MESA	85209
218-73-007	KARNO NORTON S TR	1452 S ELLSWORTH RD	7 MESA	85209
218-73-008	KARNO NORTON S TR	1452 S ELLSWORTH RD	8 MESA	85209
218-73-009	KARNO NORTON S TR	1452 S ELLSWORTH RD	9 MESA	85209
218-73-010	KARNO NORTON S TR	1452 S ELLSWORTH RD	10 MESA	85209
218-73-011	KARNO NORTON S TR	1452 S ELLSWORTH RD	11 MESA	85209
218-73-012	KARNO NORTON S TR	1452 S ELLSWORTH RD	12 MESA	85209
218-73-013	KARNO NORTON S TR	1452 S ELLSWORTH RD	13 MESA	85209
218-73-014	KARNO NORTON S TR	1452 S ELLSWORTH RD	14 MESA	85209
218-73-015	KARNO NORTON S TR	1452 S ELLSWORTH RD	15 MESA	85209
218-73-016	KARNO NORTON S TR	1452 S ELLSWORTH RD	16 MESA	85209
218-73-017	KARNO NORTON S TR	1452 S ELLSWORTH RD	17 MESA	85209
218-73-018	KARNO NORTON S TR	1452 S ELLSWORTH RD	18 MESA	85209
218-73-019	KARNO NORTON S TR	1452 S ELLSWORTH RD	19 MESA	85209
218-73-020	KARNO NORTON S TR	1452 S ELLSWORTH RD	20 MESA	85209
218-73-021	KARNO NORTON S TR	1452 S ELLSWORTH RD	21 MESA	85209
218-74-364	KARNO NORTON S TR	1452 S ELLSWORTH RD	1294 MESA	85209
218-74-365	KARNO NORTON S TR	1452 S ELLSWORTH RD	1295 MESA	85209
218-74-366	KARNO NORTON S TR	1452 S ELLSWORTH RD	1296 MESA	85209
218-74-367	KARNO NORTON S TR	1452 S ELLSWORTH RD	1297 MESA	85209
218-74-368	KARNO NORTON S TR	1452 S ELLSWORTH RD	1298 MESA	85209
218-74-369	KARNO NORTON S TR	1452 S ELLSWORTH RD	1299 MESA	85209
218-74-370	KARNO NORTON S TR	1452 S ELLSWORTH RD	1300 MESA	85209

218-74-371	KARNO NORTON S TR	1452 S ELLSWORTH RD	1301 MESA	85209
218-74-372	KARNO NORTON S TR	1452 S ELLSWORTH RD	1302 MESA	85209
218-74-373	KARNO NORTON S TR	1452 S ELLSWORTH RD	1303 MESA	85209
218-74-374	KARNO NORTON S TR	1452 S ELLSWORTH RD	1304 MESA	85209
218-74-375	KARNO NORTON S TR	1452 S ELLSWORTH RD	1305 MESA	85209
218-74-376	KARNO NORTON S TR	1452 S ELLSWORTH RD	1306 MESA	85209
218-74-377	KARNO NORTON S TR	1452 S ELLSWORTH RD	1307 MESA	85209
218-74-378	KARNO NORTON S TR	1452 S ELLSWORTH RD	1308 MESA	85209
218-74-379	KARNO NORTON S TR	1452 S ELLSWORTH RD	1309 MESA	85209
218-74-380	KARNO NORTON S TR	1452 S ELLSWORTH RD	1310 MESA	85209
218-74-381	KARNO NORTON S TR	1452 S ELLSWORTH RD	1311 MESA	85209
218-74-382	KARNO NORTON S TR	1452 S ELLSWORTH RD	1312 MESA	85209
218-74-383	KARNO NORTON S TR	1452 S ELLSWORTH RD	1313 MESA	85209
218-74-384	KARNO NORTON S TR	1452 S ELLSWORTH RD	1314 MESA	85209
218-74-385	KARNO NORTON S TR	1452 S ELLSWORTH RD	1315 MESA	85209
218-74-386	KARNO NORTON S TR	1452 S ELLSWORTH RD	1316 MESA	85209
218-74-387	KARNO NORTON S TR	1452 S ELLSWORTH RD	1317 MESA	85209
218-74-388	KARNO NORTON S TR	1452 S ELLSWORTH RD	1318 MESA	85209
218-74-389	KARNO NORTON S TR	1452 S ELLSWORTH RD	1319 MESA	85209
218-74-390	KARNO NORTON S TR	1452 S ELLSWORTH RD	1320 MESA	85209
218-74-391	KARNO NORTON S TR	1452 S ELLSWORTH RD	1321 MESA	85209
218-74-392	KARNO NORTON S TR	1452 S ELLSWORTH RD	1322 MESA	85209
218-74-667	KARNO NORTON S TR	1452 S ELLSWORTH RD	1597 MESA	85209
218-74-668	KARNO NORTON S TR	1452 S ELLSWORTH RD	1598 MESA	85209
218-74-669	KARNO NORTON S TR	1452 S ELLSWORTH RD	1599 MESA	85209
218-74-670	KARNO NORTON S TR	1452 S ELLSWORTH RD	1600 MESA	85209
218-74-671	KARNO NORTON S TR	1452 S ELLSWORTH RD	1601 MESA	85209
218-74-672	KARNO NORTON S TR	1452 S ELLSWORTH RD	1602 MESA	85209
218-74-673	KARNO NORTON S TR	1452 S ELLSWORTH RD	1603 MESA	85209
218-74-674	KARNO NORTON S TR	1452 S ELLSWORTH RD	1604 MESA	85209
218-74-675	KARNO NORTON S TR	1452 S ELLSWORTH RD	1605 MESA	85209
218-74-676	KARNO NORTON S TR	1452 S ELLSWORTH RD	1606 MESA	85209
218-74-677	KARNO NORTON S TR	1452 S ELLSWORTH RD	1607 MESA	85209
218-74-678	KARNO NORTON S TR	1452 S ELLSWORTH RD	1608 MESA	85209
218-74-679	KARNO NORTON S TR	1452 S ELLSWORTH RD	1609 MESA	85209

218-74-680	KARNO NORTON S TR	1452 S ELLSWORTH RD	1610 MESA	85209
218-74-681	KARNO NORTON S TR	1452 S ELLSWORTH RD	1611 MESA	85209
218-74-682	KARNO NORTON S TR	1452 S ELLSWORTH RD	1612 MESA	85209
218-74-683	KARNO NORTON S TR	1452 S ELLSWORTH RD	1613 MESA	85209
218-74-684	KARNO NORTON S TR	1452 S ELLSWORTH RD	1614 MESA	85209
218-74-685	KARNO NORTON S TR	1452 S ELLSWORTH RD	1615 MESA	85209
218-74-686	KARNO NORTON S TR	1452 S ELLSWORTH RD	1616 MESA	85209
218-74-687	KARNO NORTON S TR	1452 S ELLSWORTH RD	1617 MESA	85209
218-74-831	KARNO NORTON S TR	1452 S ELLSWORTH RD	1761 MESA	85209
218-74-832	KARNO NORTON S TR	1452 S ELLSWORTH RD	1762 MESA	85209
218-74-833	KARNO NORTON S TR	1452 S ELLSWORTH RD	1763 MESA	85209
218-74-834	KARNO NORTON S TR	1452 S ELLSWORTH RD	1764 MESA	85209
218-74-835	KARNO NORTON S TR	1452 S ELLSWORTH RD	1765 MESA	85209
218-74-868	KARNO NORTON S TR	1452 S ELLSWORTH RD	1798 MESA	85209
218-74-869	KARNO NORTON S TR	1452 S ELLSWORTH RD	1799 MESA	85209
218-74-870	KARNO NORTON S TR	1452 S ELLSWORTH RD	1800 MESA	85209
218-74-871	KARNO NORTON S TR	1452 S ELLSWORTH RD	1801 MESA	85209
218-74-872	KARNO NORTON S TR	1452 S ELLSWORTH RD	1802 MESA	85209
218-74-873A	KARNO NORTON S TR	1452 S ELLSWORTH RD	MESA	85209
218-74-874	KARNO NORTON S TR	1452 S ELLSWORTH RD	MESA	85209
218-74-875	KARNO NORTON S TR	1452 S ELLSWORTH RD	MESA	85209
220-70-011F	ILA RESORT LLC II	1101 S 92ND ST	MESA	85208
220-70-011H	ILA RESORT LLC II			
220-70-011J	ILA RESORT LLC II			
220-70-011L	ILA RESORT LLC II			
220-70-011N	BCIF MESA PROPERTY I LLC			
220-70-011Q	ILA RESORT LLC II			
220-70-011R	BCIF MESA PROPERTY I LLC	1101 S ELLSWORTH RD	MESA	85208
220-80-001E	ARIZONA STATE DEPT OF TRANSPORTATION	1505 S ELLSWORTH RD	MESA	85209
220-80-001J	ELLSWORTH 60 LLC	1215 S ELLSWORTH RD	MESA	85209
220-80-002N	ARIZONA STATE DEPT OF TRANSPORTATION			
220-81-770	LOWES HIW INC	1315 S ELLSWORTH RD	MESA	85209
220-81-771	LOWES HIW INC	1229 S ELLSWORTH RD	MESA	85209
220-81-772C	EXTRA SPACE PROPERTIES TWO LLC	9355 E SOUTHERN AVE	MESA	85209
220-86-256	ABU ASIM FAMILY TRUST	1250 S RIALTO	59 MESA	85209

220-86-259 SROCK JAMES P/LINDA K  
220-86-275 HALES LAUREN/TODD JASON

1250 S RIALTO 62 MESA 85209  
1250 S RIALTO 78 MESA 85209

Neighborhood	FirstName	LastName	Address	Unit	City	State	Zip	HOA	AZCC
Augusta Ranch Community Master Association	Kamin	Havens	2401 S Lansing		Mesa	AZ	85209	Yes	<a href="https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=08260989">https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=08260989</a>
Augusta Ranch Community Master Association	Monte	McCall	2256 S Faith		Mesa	AZ	85209	Yes	<a href="https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=08260989">https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=08260989</a>
Crison Crossing Homeowners Association	Carol	Sheppard	1122 S Cerise		Mesa	AZ	85209	Yes	<a href="https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=08638092">https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=08638092</a>
Sierra Ranch Homeowners Association	Joseph	Oasias	9633 E Irwin Ave		Mesa	AZ	85209	Yes	<a href="https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=07458583">https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=07458583</a>
Sierra Ranch III Homeowners Association	Joseph	Casias	9633 E Irwin Ave		Mesa	AZ	85209	Yes	<a href="https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=08402121">https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=08402121</a>
Sierra Ranch III Homeowners Association	David	Wells	9642 E Irwin Ave		Mesa	AZ	85209	Yes	<a href="https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=08402121">https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=08402121</a>