



taylor: fracasse architecture, inc.

4425 E. Agave Rd., Suite 120 Phoenix, AZ 85044

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RWI PROPERTIES, LLC 24-UNIT MULTI-FAMILY

455 W. HOLMES AVE
MESA, AZ 85210

Re-Zoning Package

May 15, 2022

Letter of Intent and Narrative

To whom it may concern,

The applicant, Taylor:Fracasse Architecture, Inc., requests a Re-Zoning from LC to RM-4 with PAD for the purpose of developing a 24-Unit Multi-Family Apartment Complex.

The subject property is located near the intersection of South Country Club Dr. & East Superstition Highway, Lot # 3, APN: 134-22-211A, and contains a total of .773 Acres. As legally described below.

The West One Hundred Sixty-eight (168) feet of Lot Three (3), PORTER PLAZA, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, in Book 186 of Maps, page 40.

DESCRIPTION OF PROPOSAL

The parcel is proposed for rezoning to RM-4 with PAD to allow for a new multifamily residential project with superior architectural enhancements.

The development would consist of a single building. The apartment building will be 2-stories and 31'-3" in height. The overall building will be characterized with higher centralized massing with architectural reliefs consisting of stepped parapets expressing raw construction materials at the facades.



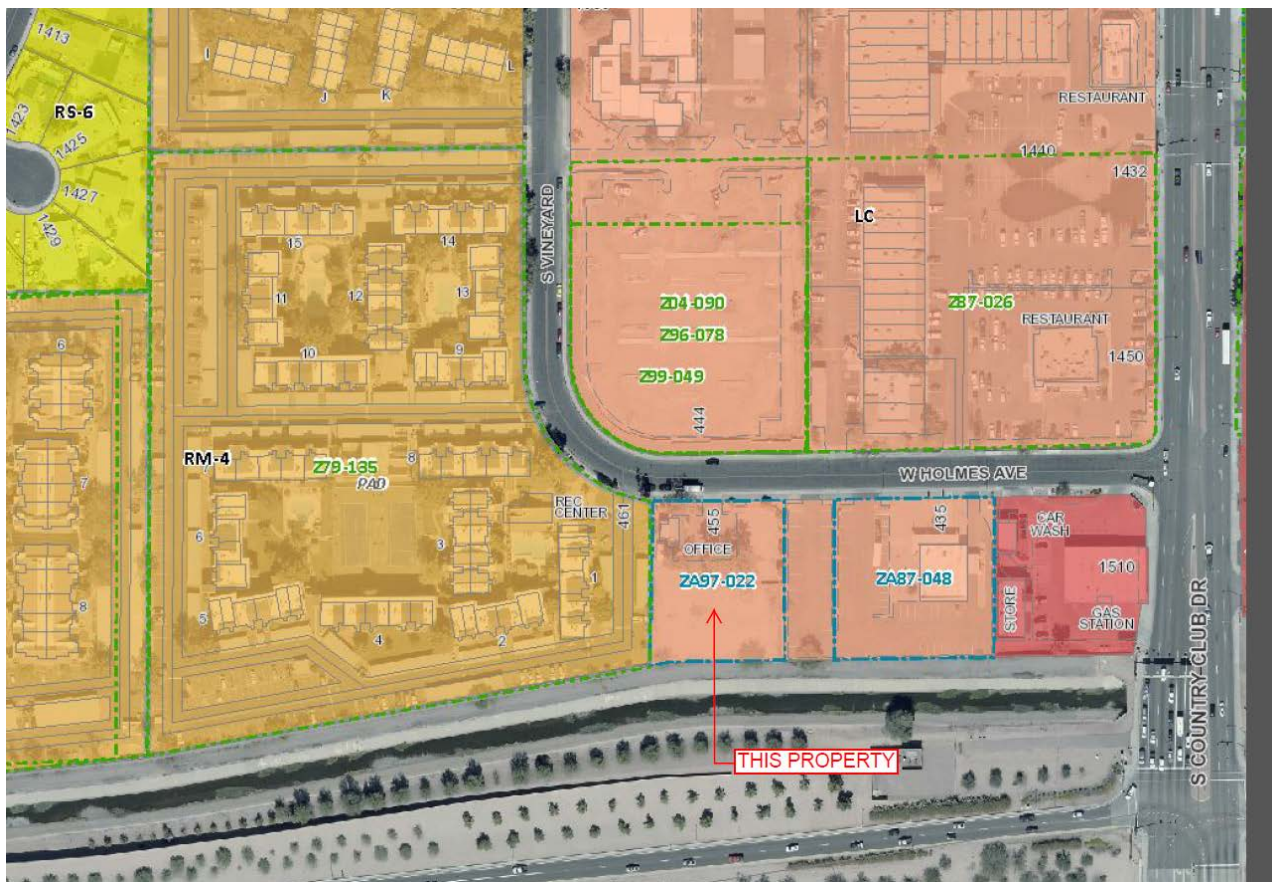
SITE

The site currently is owned by RWI Properties, INC. The Owner and its Team is committed to develop this property innovatively, expressing emphasis on neighborhood appeal, bringing prominent value to the community.

The site is in the Mesa Infill Downtown District and is just west of the corner of W. Holmes Ave and N. Country Club Dr. and is roughly two miles from downtown Mesa. The existing lot currently has curb and gutter with parking. Access into the lot is from W. Holmes Ave.

The following items are for your consideration:

1. The subject property is already surrounded by a large commercially zoned parcels (LC, RM-4 & GC), as illustrated in the below map.





2. The request for RM-4 with PAD zoning for this parcel, is consistent with the current surrounding land development uses and more importantly the Project will assist with the redevelopment of this area.

3. The Project data for the Site and new Building Floor areas will be as follows:

<u>OWNER:</u>	RWI PROPERTIES, INC.	<u>REQUIRED LANDSCAPE SETBACKS:</u>	
<u>PROJECT ADDRESS:</u>	455 W. HOLMES AVE	<u>FRONT:</u>	10'-0"
<u>PARCEL NUMBER:</u>	134-22-211A	<u>SIDES:</u>	4'-0"
		<u>REAR:</u>	20'-0"
<u>LOT #:</u>	3	<u>OCCUPANCY CONTENT:</u>	R-4 (RESIDENTIAL)
<u>ZONING:</u>	LC (RE-ZONE TO RM-4 PAD)		
<u>GROSS SITE AREA:</u>	.713 ACRES (33,665 SF.)		
<u>CONSTRUCTION TYPE:</u>	TYPE V-B		
<u>BUILDING SF AREA:</u>	10,048 SF	<u>RWI MULTI-FAMILY COMPLEX:</u>	10,048 SF
<u>BUILDING FOOTPRINT AREA:</u>	5,024 SF	<u>OCCUPANCY LOAD:</u>	
<u>BUILDING LOT COVERAGE:</u>	14.92% (55% ALLOWED)	16- STUDIO UNITS=	16 OCCUPANTS
<u>REQUIRED BUILDING SETBACKS:</u>		8-1 BR UNITS=	8 OCCUPANTS
<u>FRONT:</u>	25'-0"	<u>TOTAL:</u>	24 OCCUPANTS
<u>SIDES:</u>	28'-0"	<u>PATIOS/BALCONIES:</u>	
<u>REAR:</u>	23'-0"	12 AT 50 SF/UNIT	
<u>BUILDING HEIGHT REQUIREMENTS:</u>		8 AT 60 SF/UNIT	
<u>ALLOWABLE:</u>	30'-0"	4 AT 75 SF/UNIT	
<u>PROVIDED:</u>	31'-3"	<u>EXITING REQUIRED:</u>	AS PER UNIT
<u>PARKING DATA:</u>			
<u>PARKING REQUIRED:</u>			
<u>MULTI-FAMILY:</u>			
<u>RESIDENTIAL-24 UNITS @1 SPACE/UNIT:</u>	= 24 SPACES		
<u>ACCESSIBLE SPACE:</u>	1 SPACE		
<u>PARKING PROVIDED:</u>			
<u>REGULAR RESIDENT SPACES (COVERED):</u>	= 25 SPACES		
<u>GUEST SPACES (COVERED):</u>	= 5 SPACES		
<u>ACCESSIBLE SPACE (COVERED):</u>	1 SPACE		
<u>PARKING PER SECTION 11-5-5 OF MZO:</u>	56%		
<u>(FRONTAGE CALCULATION)</u>	94'-0" W. PROVID		
<u>BICYCLE PARKING:</u>	= 3 SPACES		
<u>OPEN SPACE REQUIRED:</u>			
<u>RESIDENTIAL - 24 UNITS @ 200 SF/UNIT:</u>	= 4,800 SF		
<u>OPEN SPACE PROVIDED:</u>			
<u>RESIDENTIAL - 24 UNITS @ 208 SF/UNIT:</u>	= 5,000 SF		

PAD Development Approach

Under the current zoning, the lot will be unable to produce a viable development for many reasons, but with the proposed rezoning, inclusive of the PAD overlay, a high-quality development is possible.

Certain developments in this area could be classified as economically challenged. There are numerous properties nearby that are vacant or have been in growing states of decay for many years. This new development will reduce the vacant lot count in this area and be a step in a new positive direction for this area. We expect that it will act as a catalyst for positive redevelopment.



RWI Properties is seeking the following modifications to the City's development guidelines to make the proposed development a viable solution on this parcel with :

- **Building Setbacks:** RWI Properties is seeking setback reductions at the side and rear yards because of the various PUE's that exist and in coordination with the parking lot layout.
- **Landscape Setbacks:** The landscape setback along the street frontage will be reduced where 15' of landscaping will be provided. Additionally, the landscape setback will be reduced along the west boundary to 4'-0"; where 15' is required. Although we are reducing to 4'-0", we will still be providing landscape.
- **Parking Reductions:** RWI Properties is seeking a reduction in parking from the Mesa parking requirement standards. The parking requirements for this project are being proposed at 1.29 spaces per Unit, with consideration based on demographics and most of the Units being Studios, where not all Occupants will have vehicles. This model is more common in other recent multi-family developments.

We are seeking to apply similar parking provisions to those that are found within other Municipalities throughout the valley. These solutions are similarly provided in the City of Phoenix and Scottsdale, for multi-family apartment design, where calculations are based on the number of bedrooms and/or actual unit sizes. The current site plan provides 1.29 spaces per unit, we are asking for 1.29 spaces per dwelling unit to provide a solution that is more suited towards this low-income housing development.

There is public transportation in proximity (300 feet to the bus route at Country Club). We believe that having a public-transit opportunity near this site will prove very attractive to renters, thereby reducing the number of cars needed per unit.

Each Unit will still receive one dedicated covered parking space assigned by its proximity to the unit with any accessibility needs.

- **Private Open Space:** RWI Properties is requesting a deviation from the private open space requirements (patio/balcony space). With only 24 units in the development, RWI Properties is providing increased open space square footage creating a large and usable rear and side (east) yard. To maintain a quality, clutter free front façade, the private patio spaces are designed to be large enough for intimate seating arrangements.
- **Solid Waste & Recycling:** In order to provide an aesthetically appealing entry and coordinate with the existing utility easements, RWI Properties is providing one trash enclosure on the
- northeast side of the property near the ingress/egress for ease of collection access. RWI intends to provide a concierge service as a supplemental plan for the recycling component.



PAD Development Standards

Lot Standards	RM-4	PAD
<i>Building Setbacks - MZO Section 11-5-5</i>		
Side (east property line)	15' per story (30')	<u>16'-0"</u>
Rear Lot Line	15' per story (30')	<u>20'</u>
<i>Perimeter Landscaping – MZO Section 11-33-3</i>		
Street Frontage Yard Width	25'	<u>10'</u>
Side Yard Width (west)	15'	<u>4'-0'</u>
<i>Parking/Unit – MZO Section 11-32-3</i>	2.1 spaces per unit	1.29 spaces per unit
<i>Minimum Lot Area per Dwelling Unit (sq. ft.)</i>	1,452 SF/Unit	1,400 SF/Unit
<i>Private Open Space</i>	24 private balconies or patios	12 private balconies or patios
<i>Private Open Space – Minimum Dimension for Ground-Floor</i>	8-feet-wide; 6-feet-deep	8-feet-wide; 5-feet-deep
<i>Location of Parking Areas – MZO Section 11-5-5</i>	Total frontage of parking areas visible from the street shall not exceed 30% of the lot frontage	Total frontage of parking areas visible from the street shall not exceed 70% of the total lot frontage – 56% prov'd

BUILDING DESIGN

1. The new building design will be of modern style with a combination of metal panels, and painted Stucco. The fenestrations will all be bronzed aluminum with low-e glazing complimenting the canopy shade structural components. Metal paneling will be implemented to incorporate exciting architectural relief.
2. Systems and Utilities: A new fire line will be installed from W. Holmes Ave with a FDC Siamese connection and new riser room. The existing water meter will be upgraded to accommodate the new plumbing fixture counts. A new Electrical SES will be provided.

Sanitary sewer and water services will connect to the existing City of Mesa public utilities located within the W. Holmes Ave proximity.

Power, telephone, and television cable are located above ground in the right-of-way of the subject property.



Electrically, we are estimating the calculations will require a 1,600A SES at 120/208V, 3-Phase, 4-wire.

An existing water main is located on the north side of W. Holmes. Assessments will be made to provide fire protection flow. Mechanical engineers for the project, have stated that a 6-inch water main is required to meet the fire protection (sprinklered system) needs for the buildings. One 6-inch ductile iron water service will connect to the 8" PVC water main with an 8"x 6"x 8" tee fitting and a 6" gate valve installed prior to the line entering the buildings. Asphalt pavement removal and replacement will be required for installation of the new water 6-inch water main. It is assumed that there will be adequate water flow and pressure with a 6" water line but this may have to be confirmed during the design development phase of the project. All water system components will follow current City of Mesa Standard Specifications and Details.

On-site retention will be provided at the east and south sections of the parcel. No storm drain structures, or underground storm drainpipe are in-place. Storm water surface runoff will sheet flow away from the building into the retention areas.

All storm drain structures and pipes will follow current City of Mesa Standard Specifications and Details. Roof drains would be routed to the ground surface and routed away from the building foundation walls. Foundation drains would be routed to storm drain catch basins/manholes if elevations were adequate. The parking lots on the north and west would drain by surface sheet flow to the retention areas.

CONCLUSION:

This proposal will not only bring a quality residential development to this underutilized, site, but it will also have a beneficial impact on the existing surrounding land uses, including nearby dining, retail, and service businesses. It will also serve as a good transition from the existing single family residential to the commercial uses.

The intent of the proposed development is to provide a high quality low-income residential development that compliments the area while adhering to and exceeding the development standards as set forth by the City of Mesa. The objective is to provide an aesthetically pleasing and high-quality residential development that will enhance the area.

If you have any questions of need any further information, please do not hesitate to contact our office.

Sincerely,

A handwritten signature in black ink that reads 'Brian Fracasse'.

Brian Fracasse, NCARB, AIA

05-15-22

Date



Revision

△ xxx	XXXXXXXX

City Plan Check #



Project No.	2176
Phase	Preliminary City Submittal
Checked By	JS, DAE
Drawn By	JM
Date	05.10.2022
Sheet	Cover Sheet
Sheet No.	L0.0
	Sheet 1 of 5

PROJECT INFORMATION

PROJECT ADDRESS: 455 W HOLMES AVE
MESA, AZ 85210

OWNER: RWI PROPERTIES LLC
455 W HOLMES AVE
MESA, AZ 85210

LANDSCAPE ARCHITECT: SBD STUDIO
JOHN SUAREZ OR EVAN BOWEN
2019 N 91ST PL
CHANDLER, ARIZONA 85224
PHONE: 480.284.4100
EMAIL: JSUAREZ@SBD-STUDIO.COM
EBOWEN@SBD-STUDIO.COM

PROJECT NARRATIVE:
NEW LANDSCAPE DESIGN FOR PROPOSED
APARTMENT COMPLEX STRUCTURE

ZONING:
LC (RE-ZONE TO RM-4 PAD)

APN:
134-22-211A

MCR:
186-40

RWI PROPERTIES PRELIMINARY LANDSCAPE PLAN

05.10.2022

TABLE OF ABBREVIATIONS

APPROX	APPROXIMATE	PT	POINT, POINT OF TANGENCY
ARCH	ARCHITECT	PVC	POLYVINYL CHLORIDE
AVG	AVERAGE	PVMT	PAVEMENT
BC	BOTTOM OF CURB	PVR	PAVER
BF	BOTTOM OF FOOTING	QTY	QUANTITY
BLDG	BUILDING	R	RADIUS
BM	BENCHMARK	RECEP	RECEPTACLE
BOC	BACK OF CURB	REF	REFERENCE
BR	BOTTOM OF RAMP	REINF	REINFORCE(D)
BS	BOTTOM OF STEP	REQ'D	REQUIRED
BW	BOTTOM OF WALL	REV	REVISION, REVISED
CAL	CALIPER	ROW	RIGHT OF WAY
CF	CUBIC FEET	SCH	SCHEDULE
CHAM	CHAMFER	SD	STORM DRAIN
CIP	CAST IN PLACE	SEC	SECTION
CJ	CONTROL JOINT	SF	SQUARE FOOT (FEET)
CL	CENTER LINE	SHT	SHEET
CLR	CLEARANCE	SI	STORM INLET
CO	CLEAN OUT	SIM	SIMILAR
COMP	COMPACTED	SPECS	SPECIFICATIONS
CONC	CONCRETE	SQ	SQUARE
CONT	CONTINUOUS	ST	STORM SEWER
CJ	CUBIC	SY	SQUARE YARD
CY	CUBIC YARD	STA	STATION
DBL	DOUBLE	STD	STANDARD
DEG	DEGREE	STL	STEEL
DIA	DIAMETER	T&B	TOP AND BOTTOM
DIM	DIMENSION	TBC	TOP OF BACK CURB
DTL	DETAIL	TC	TOP OF CURB
DWG	DRAWING	TF	TOP OF FOOTING
EA	EACH	THK	THICK
EJ	EXPANSION JOINT	T.O.	TOP OF
ELEC	ELECTRICAL	TOC	TOP OF CONCRETE
ENG	ENGINEER	TOPO	TOPOGRAPHY
EQ	EQUAL	TSL	TOP OF SLAB
EQUIP	EQUIPMENT	TRAS	TRANSFORMER
EXIST	EXISTING	TR	TOP OF RAMP
EXP	EXPANSION, EXPOSED	TS	TOP OF STEP
FF	FINISHED FLOOR ELEV.	TW	TOP OF WALL
FG	FINISHED GRADE	TYP	TYPICAL
FIN	FINISH	VAR	VARIABLE
FL	FLOW LINE	VERT	VERTICAL
FOC	FACE OF CURB	W/	WITH
FT	FOOT (FEET)	W/O	WITHOUT
FTG	FOOTING	WL	WEIR LEVEL
GA	GAUGE	WWF	WELDED WIRE FABRIC
GAL	GALVANIZED	YD	YARD
GC	GENERAL CONTRACTOR	@	AT
GEN	GENERAL		
HORIZ	HORIZONTAL		
HP	HIGH POINT		
HT	HEIGHT		
ID	INSIDE DIAMETER		
INV	INVERT ELEVATION		
IN	INCH(ES)		
INCL	INCLUDE(D)		
INL	INLET		
IRR	IRRIGATION		
JT	JOINT		
LIN	LINEAR		
LF	LINEAR FEET		
LP	LOW POINT		
LT	LIGHT		
MATL	MATERIAL		
MH	MANHOLE		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MTL	METAL		
N	NORTH		
NIC	NOT IN CONTRACT		
NO	NUMBER		
NTS	NOT TO SCALE		
OC	ON CENTER		
OD	OUTSIDE DIAMETER		
PAR	PARALLEL		
PC	POINT OF CURVATURE		
PERF	PERFORATED		
PED	PEDESTRIAN		
PI	POINT OF INTERSECTION		
PL	PROPERTY LINE		

CITY OF MESA GENERAL LANDSCAPE NOTES

- (REVISED 02-15-18) (2018 VERSION)
- LANDSCAPE CONTRACTOR SHALL CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND SHALL BE RESPONSIBLE FOR THE FOLLOWING:
 - DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES.
 - DAMAGES TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC.
 - INSPECTING THE SITE IN ORDER TO BE FULLY AWARE OF EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
 - INSTALLATION OF ALL LANDSCAPE AND IRRIGATION MATERIALS SHALL COMPLY WITH SECTIONS 424, 425, 757, AND 795 OF THE MAG STANDARD SPECIFICATIONS.
 - CONTRACTOR SHALL REPAIR ANY DAMAGE MADE TO THE EXISTING SPRINKLER SYSTEM TO THE SATISFACTION OF THE CITY AT NO ADDITIONAL COST TO THE CITY.
 - LANDSCAPE REMOVAL IS A NON-PAY ITEM UNLESS OTHERWISE NOTED.
 - ALL EXISTING VEGETATION, WEEDS, DEBRIS, ETC. NOTED TO BE REMOVED ON THE PLANS AND SPECIFICATIONS SHALL BE REMOVED FROM PROJECT AREA AND DISPOSED OF PROPERLY OFF THE SITE AT THE CONTRACTOR'S EXPENSE (SCARIFY EXISTING SUBGRADE, MINIMUM SIX (6) INCHES DEPTH).
 - DAMAGE TO TURF SHALL BE REPAIRED BY CONTRACTOR, I.E., RUTS FILLED WITH CLEAN SOIL, COMPACTED TO MATCH SURROUNDING GRADES, EXCESS SOIL, ROCK, ETC. SHALL BE REMOVED TO LEAVE THE SITE CLEAN.
 - ALL PLANT MATERIAL, OTHER THAN TREES, SHALL CONFORM TO GRADING, TYPE, ETC. AS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERMEN. ALL TREES SHALL CONFORM TO THE CURRENT ARIZONA NURSERY ASSOCIATION TREE SPECIFICATIONS AND MAG SPEC 795.7. SHOULD ANY CONFLICTS IN THE SPECIFICATIONS OCCUR, THE ARIZONA NURSERY ASSOCIATION'S SPECIFICATIONS SHALL PREVAIL.
 - CITY RESERVES THE RIGHT TO INSPECT SHRUBS AND CONTAINERED TREES FOR CONDITION OF ROOT BALLS. FOR ANY SUCH INSPECTIONS WHICH MAY DESTROY ROOTBALL, CONTRACTOR SHALL SUPPLY ADDITIONAL PLANT AT NO COST TO CITY.
 - PLANT PITS SHALL BE INSPECTED BY CITY PRIOR TO PLANTING BY THE CONTRACTOR BY REQUESTING AN INSPECTION 48 HOURS IN ADVANCE.
 - ROUGH AND FINE GRADING TO ESTABLISH UNIFORM SMOOTH GRADE IS INCLUDED IN THIS PROJECT.
 - SOIL TEST FOR FERTILITY AND ADDITIVE RECOMMENDATIONS (FOR TURF AND ORNAMENTALS) SHALL BE COMPLETED BY CONTRACTOR TO DETERMINE IF ADDITIVES ARE REQUIRED. CONTRACTOR SHALL PROVIDE COPY OF SOIL TEST RESULTS FOR REVIEW AND APPROVAL TO ENGINEERING INSPECTOR AT LEAST SEVEN (7) DAYS PRIOR TO ANTICIPATED PLANTING. AFTER APPROVAL BY THE CITY, THE CONTRACTOR SHALL PROVIDE AND INCORPORATE ANY ADDITIVES REQUIRED PRIOR TO OR AT TIME OF PLANTING.
 - PLANT PIT SOIL MIXTURE SHALL CONSIST OF FOUR AND ONE-HALF PARTS NATURAL FERTILE, FRIABLE SOIL AND ONE PART HUMUS BY VOLUME, THOROUGHLY MIXED PRIOR TO BACKFILLING IN PITS. BACKFILLING SHALL BE IN 6" LIFTS WITH EACH LIFT WATER SETTLED WITHOUT PUDDLING.
 - CONTRACTOR SHALL STAKE TREE AND SHRUB LOCATIONS FOR 5-GALLON PLANTS AND LARGER. STAKES SHALL BE MARKED WITH PLANT NAME OR PLANT LEGEND ITEM NUMBER FROM PLANS.
 - ALL EXISTING (GAS, ELECTRIC, WATER, ETC.) COVERS AND BOXES SHALL REMAIN UNCOVERED. CONTRACTOR TO ADJUST TO FINAL GRADE AS NECESSARY. NON-PAY ITEM (NPI) UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE UNDERGROUND SPRINKLER SYSTEMS IN ADVANCE OF CONSTRUCTION. THE SPRINKLER SYSTEM LOCATIONS NOTED ON PLANS ARE FOR REFERENCE ONLY.
 - CONTRACTOR TO VERIFY DEPTH OF ALL INLET STRUCTURES AND SPRINKLER SYSTEMS PRIOR TO TRENCHING FOR LOW-FLOW CHANNEL.
 - CONTRACTOR TO PROVIDE PUMPING WITHIN FIVE (5) DAYS AFTER THE NOTICE TO PROCEED IS GIVEN AS REQUIRED TO DRY THE AREA SUFFICIENTLY TO BEGIN CONSTRUCTION.
 - CONTRACTOR SHALL ARRANGE FOR SPRINKLER SYSTEM SHUTDOWN DURING CONSTRUCTION BY CONTACTING THE ENGINEERING INSPECTOR.
 - NO ROCKS LARGER THAN 1" IN DIAMETER SHALL BE ALLOWED IN THE TOP SIX (6) INCHES OF TOPSOIL WHERE TURF ESTABLISHMENT IS SPECIFIED. ROCK REMOVAL AS NECESSARY IS A NON-PAY (NPI) ITEM UNLESS OTHERWISE NOTED.
 - WHERE CALICHE IS ENCOUNTERED IN PLANT PITS, DEPTH AND WIDTH OF PIT SHALL BE INCREASED BY ONE-THIRD (1/3) OVER SPECIFICATION, AND A LIQUID PENETRATOR, "AL-KALICHE" OR EQUAL, SHALL BE INCORPORATED FOR EACH PIT PER MANUFACTURER'S RECOMMENDATIONS.
 - CONTRACTOR SHALL INSTALL DECOMPOSED GRANITE TO A ROLLED DEPTH PER THE APPROVED PLANS AND SPECIFICATIONS. DECOMPOSED GRANITE SHALL BE PER THE APPROVED PLANS AND SPECIFICATIONS WITH THE COLOR AS SPECIFIED ON THE PLANS. PRE-EMERGENT HERBICIDE SHALL BE APPLIED BEFORE AND AFTER PLACEMENT OF DECOMPOSED GRANITE PER THE MANUFACTURER'S RECOMMENDATIONS. PRE-EMERGENT HERBICIDE SHALL BE SURFLAN, DACTHAL, OR APPROVED EQUAL. SAMPLE TO BE PROVIDED FOR CITY REVIEW AND APPROVAL. CONTRACTOR SHALL WASH OFF ROCK MULCH ONCE FINAL PLACEMENT HAS OCCURRED.
 - RESTORE ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS, COMPONENTS AND LANDSCAPE AREAS IMPACTED BY ANY WORK UNDER THIS CONTRACT. RESTORE ALL EXISTING IRRIGATION AND LANDSCAPE IN ACCORDANCE WITH THE LANDSCAPE RESTORATION NOTES INDICATED WITHIN THESE DOCUMENTS. AT A MINIMUM, ALL RESTORATION SHALL BE IN ACCORDANCE WITH M.A.G. SPECIFICATION 107.9 - PROTECTION AND RESTORATION OF PROPERTY AND LANDSCAPE. ALL RESTORATION WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY OF MESA ENGINEER.
 - ALL RESTORATION WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE REFERENCED DETAILS AND ANY ADDITIONAL DETAILS PROVIDED.
 - REFER TO LANDSCAPE PLANTING SHEETS AND ENGINEERING DRAWINGS FOR ADDITIONAL RESTORATION NOTES AND REQUIRED COORDINATION.

LANDSCAPE CALCULATIONS

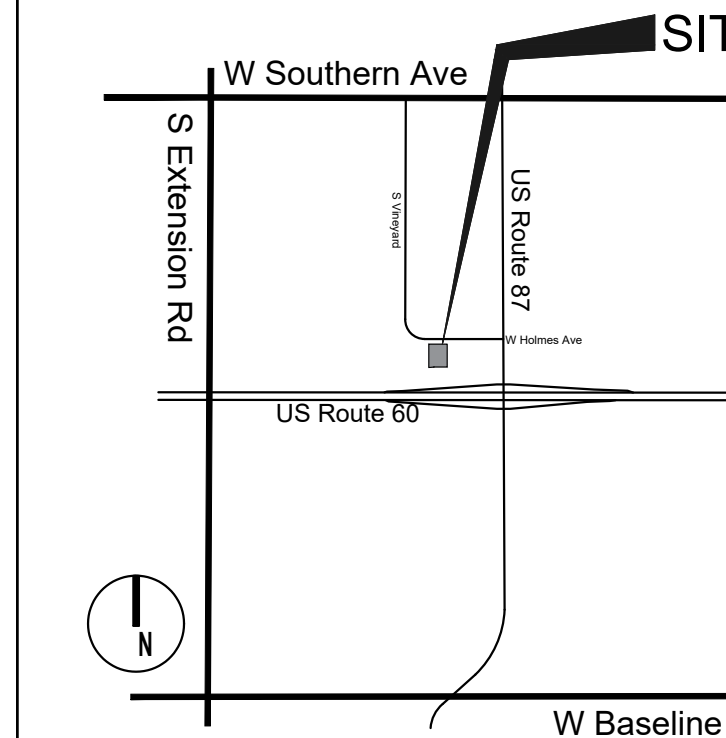
	REQUIRED	PROVIDED
STREET FRONTAGE LANDSCAPE	7 TREES, 27 SHRUBS (2-36" BOX / 4-24" BOX / 1-15 GAL)	8 TREES 43 SHRUBS (8-36" BOX / 0-24" BOX)
LANDSCAPE ADJACENT TO WEST PERIMETER	8 TREES, 50 SHRUBS (2-36" BOX / 4-24" BOX / 2-15 GAL)	10 TREES 105 SHRUBS (10-36" BOX / 0-24" BOX)
LANDSCAPE ADJACENT TO EAST PERIMETER	8 TREES, 48 SHRUBS (2-36" BOX / 4-24" BOX / 2-15 GAL)	8 TREES 59 SHRUBS (8-36" BOX / 0-24" BOX)
LANDSCAPE ADJACENT TO SOUTH PERIMETER	7 TREES, 42 SHRUBS (2-36" BOX / 4-24" BOX / 1-15 GAL)	7 TREES 57 SHRUBS (4-36" BOX / 3-24" BOX)
FOUNDATION LANDSCAPE FOR BUILDING 1>	8 TREES (2-36" BOX / 5-24" BOX)	15 TREES (5-36" BOX / 10-24" BOX)
TOTAL NUMBER OF 24" BOX TREES	16 TREES	13 TREES
TOTAL NUMBER OF 36" BOX (OR LARGER) TREES	8 TREES	32 TREES
TOTAL NUMBER OF 5 GALLON SHRUBS	167 SHRUBS	345 SHRUBS
COMMON AREA OPEN SPACE	4,800 SF	5,000 SF
ON-SITE LANDSCAPE AREA	27,957 x 50%= 13,979 SF	12,529 SF

SHEET INDEX

LANDSCAPE PLAN

L0.0	COVER SHEET
L1.0	PRELIMINARY LANDSCAPE PLAN
L1.1	PLANTING DETAILS
L1.2	IRRIGATION PLAN
L1.3	IRRIGATION DETAILS

VICINITY MAP



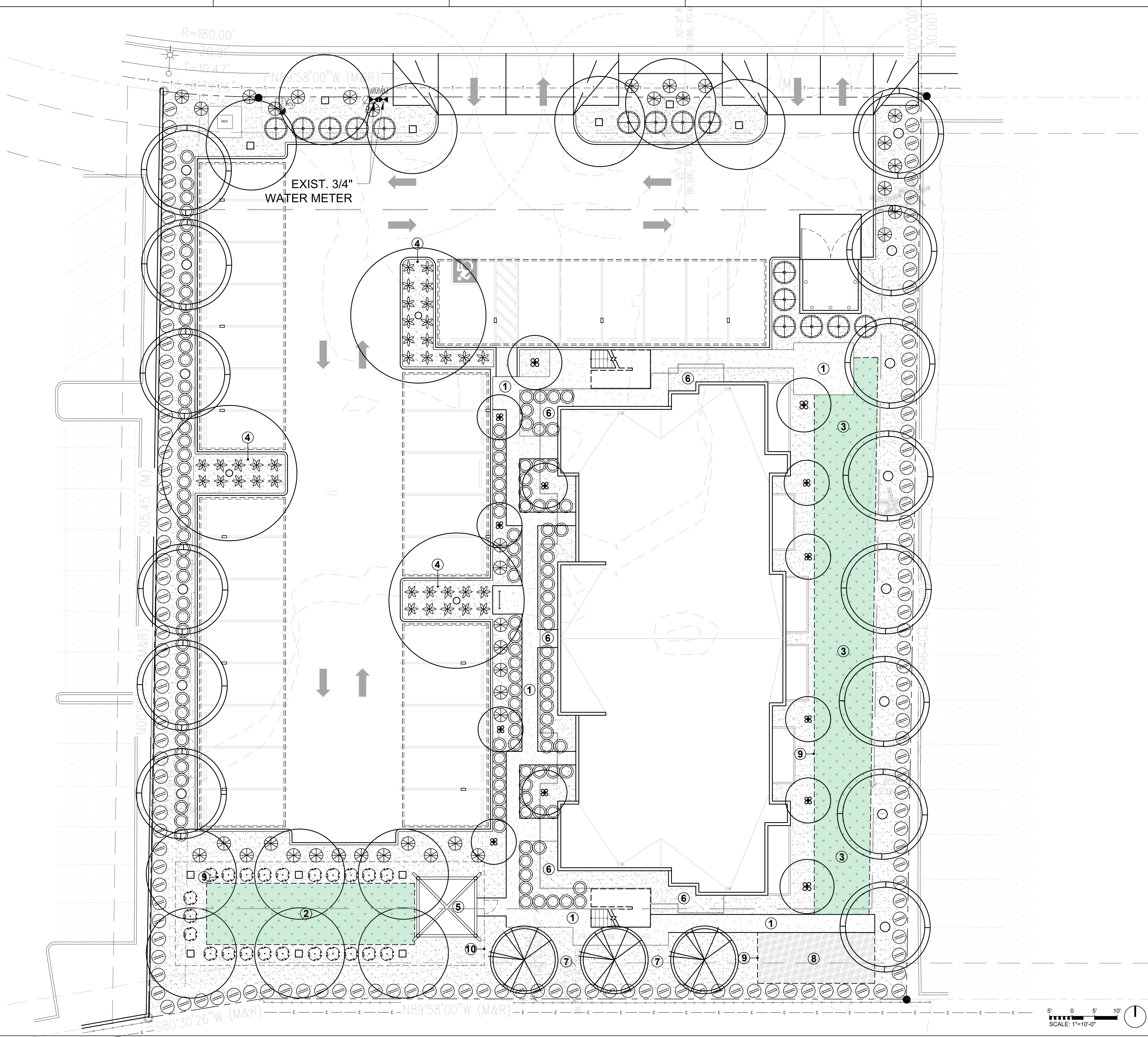
PROCESSING NUMBERS

KIVA #	TBD
HILLSIDE PRESERVATION, H#	NONE
ENVR #	N/A
City Quarter Section #	33-01
Current Zoning	LC

APPROVAL SIGNATURE

Preliminary Landscape Plan Approval, _____ Date _____
City of Mesa

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PLANT PALETTE				
SYMBOL	COMMON NAME	BOTANICAL NAME	QTY.	SIZE
NEW TREES				
●	Chinese Elm	Ulmus parvifolia	3	36" Box
○	Southern Oak	Quercus virginiana	14	36" Box
◻	Desert Willow	Chilopsis linearis	12	36" Box
⊗	Sweet Orange	Citrus x sinensis	3	24" Box
⊗	Mexican B.O.P.	Caesalpinia mexicana	10	24" Box
			3	36" Box

NEW SHRUBS				
○	Dwarf Myrtle	Myrtus communis	128	5 Gal
⊗	Torch Glow Bougainvillea	Bougainvillea spectabilis 'Torch Glow'	38	5 Gal
⊗	Hopseed bush	Dodonaea viscosa	141	5 Gal
⊗	Green Cloud	Leucophyllum frutescens	15	5 Gal
⊗	Desert Ruellia	Ruellia peninsularis	23	5 Gal

NEW CACTI / SUCCULENTS				
⊗	Medicinal Aloe	Aloe barbadensis	35	5 Gal

MATERIALS LEGEND				
SYMBOL	MATERIAL NAME	SIZE	QTY.	AREA
■	Turf	---	---	2,400 sf.
■	C.I.P. Conc. Color: Natural Grey Finish: Broom	---	---	1,650 sf.
■	Decomposed Granite Color: Madison Gold	2"	---	10,260 sf.
■	Mulch	---	---	350 sf.

- KEY NOTES**
- 1 New Proposed Concrete Walkway
 - 2 Dog Run
 - 3 Turf Area
 - 4 Aloe Planters
 - 5 BBQ Pavilion (by others)
 - 6 Building Overhang
 - 7 Fruit Tree Orchard
 - 8 Outdoor Strength Station w/ Mulch
 - 9 1/4" THK Steel Edging (typ.)
 - 10 Dog Run & BBQ Pavilion Fencing

RWI PROPERTIES
455 W Holmes Ave.
MESA, AZ 85210

SBD STUDIO
SBD Studio
2019 N 91st Pl
Chandler, AZ 85224
480.284.4100
www.sbd-studio.com

CALL TWO WORKING DAYS BEFORE YOU DIG
263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

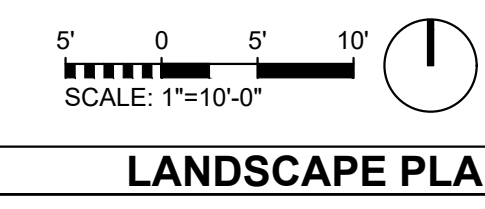
Revision
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City Plan Check #



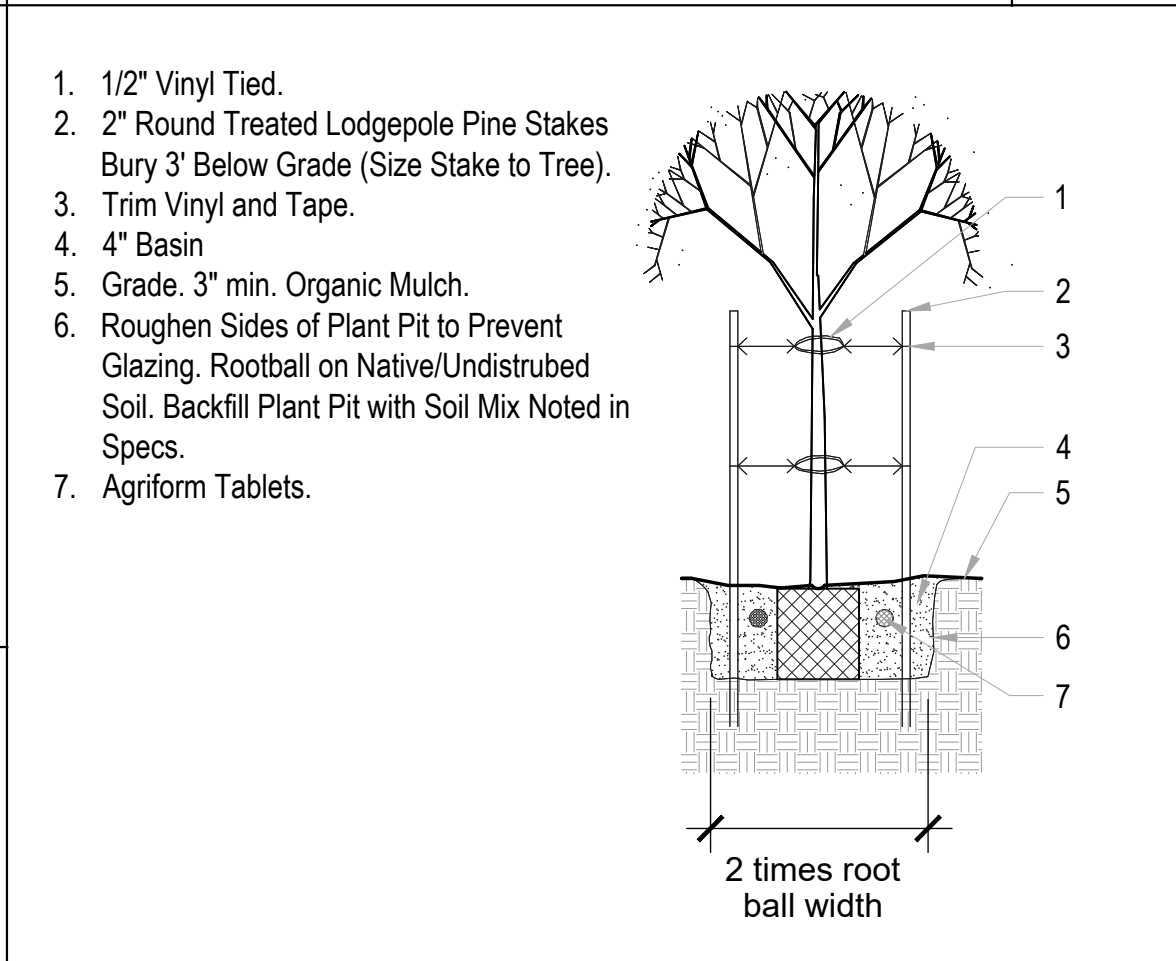
Project No. 2176
Phase Preliminary City Submittal
Checked By JS, DAE
Drawn By JM
Date 05.10.2022
Sheet

Landscape Plan
Sheet No. **L1.0**
Sheet 2 of 5

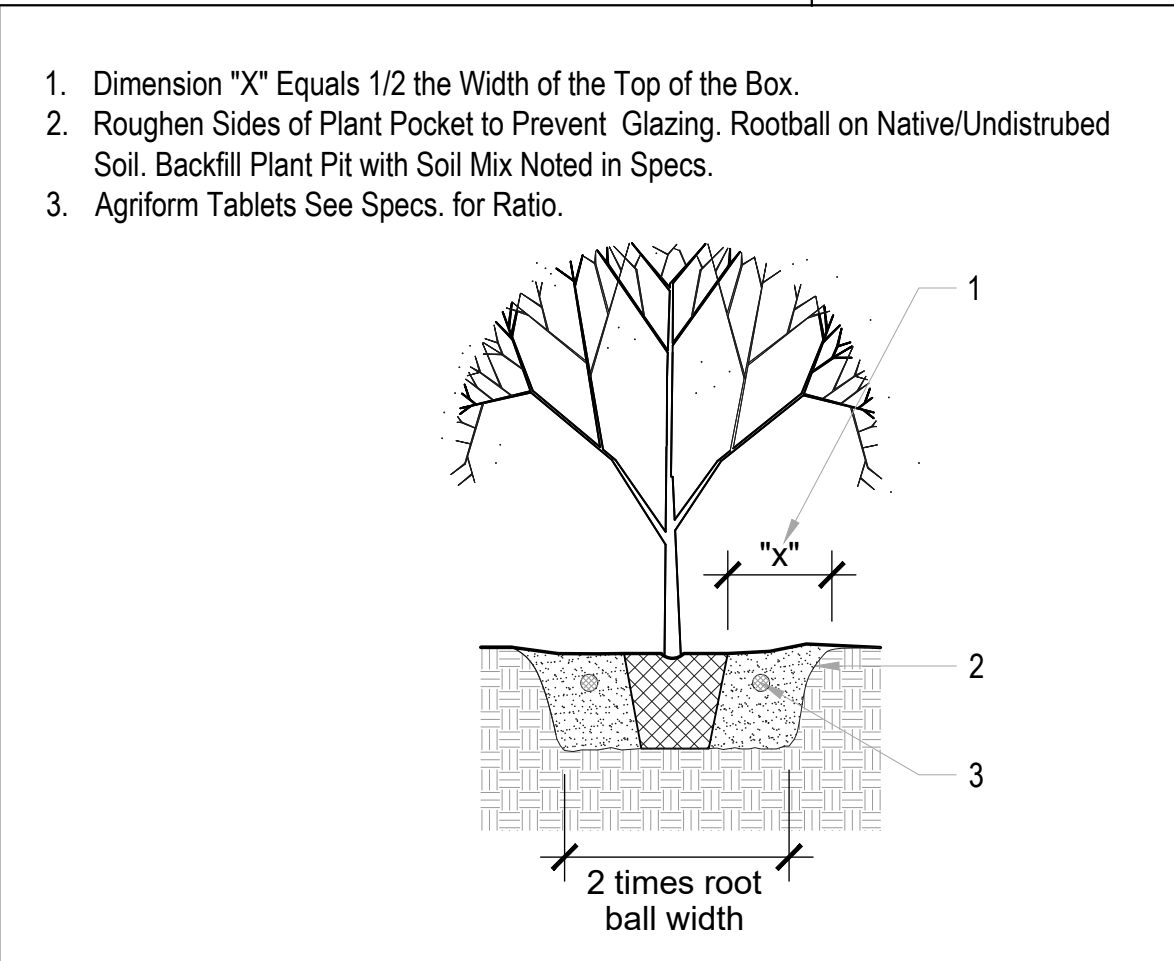


LANDSCAPE PLAN

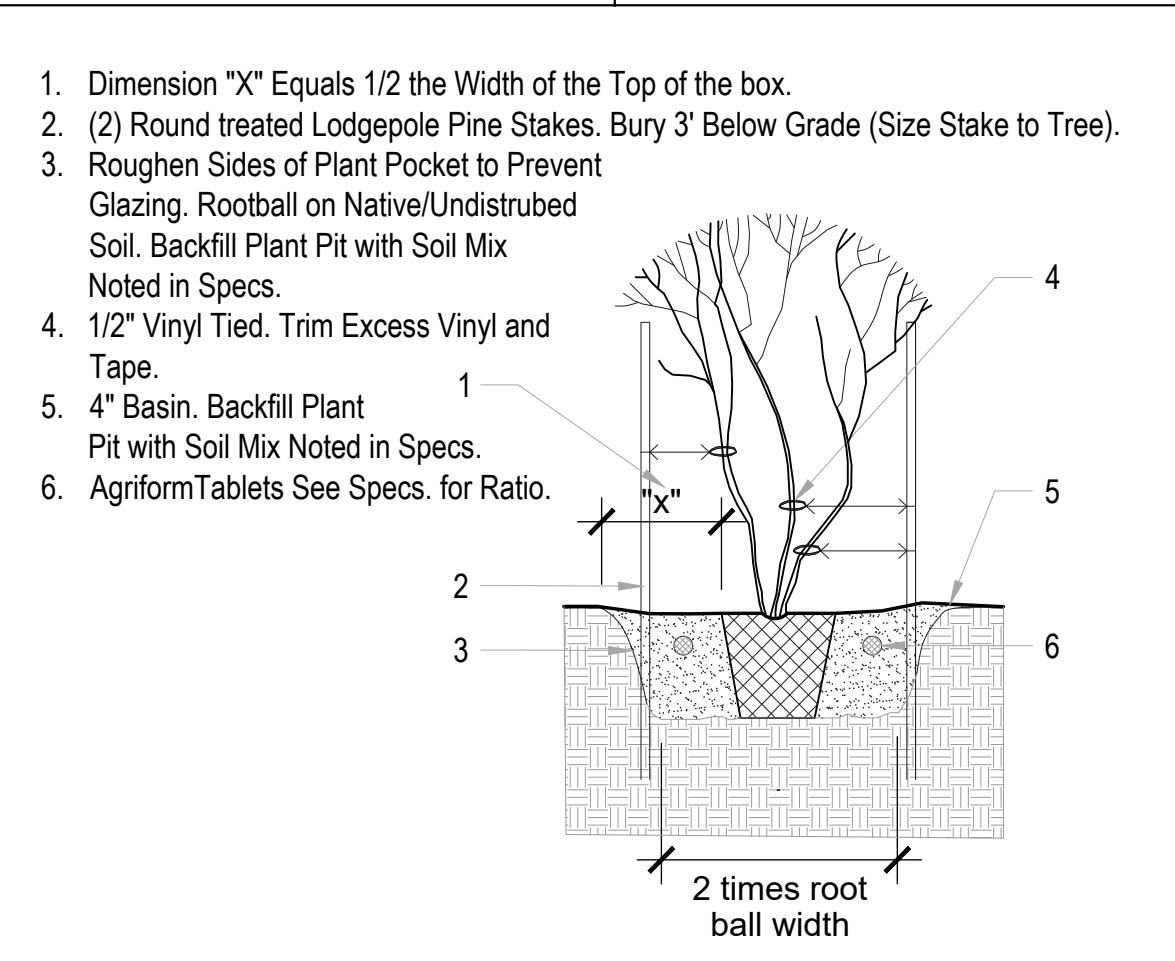
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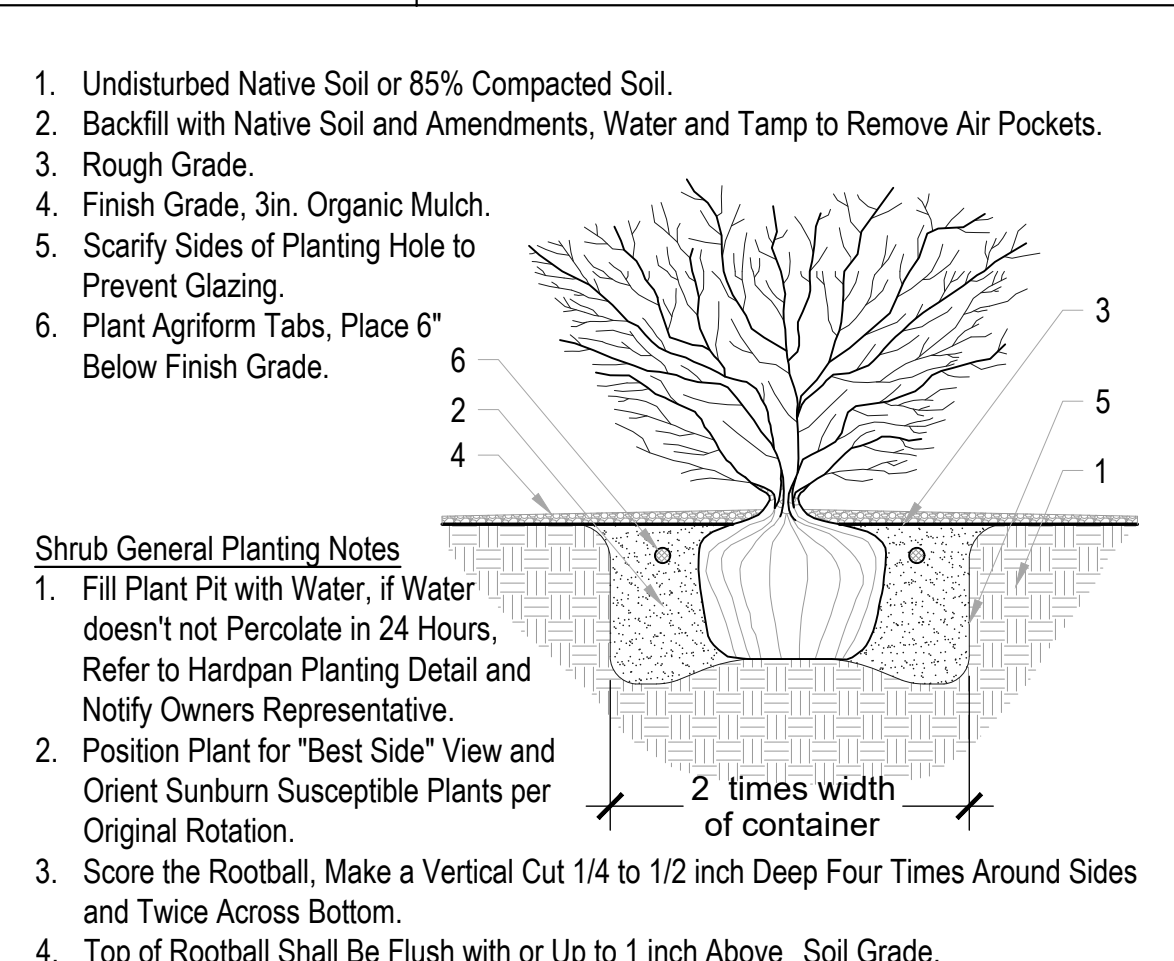
1 DOUBLE TREE STAKING
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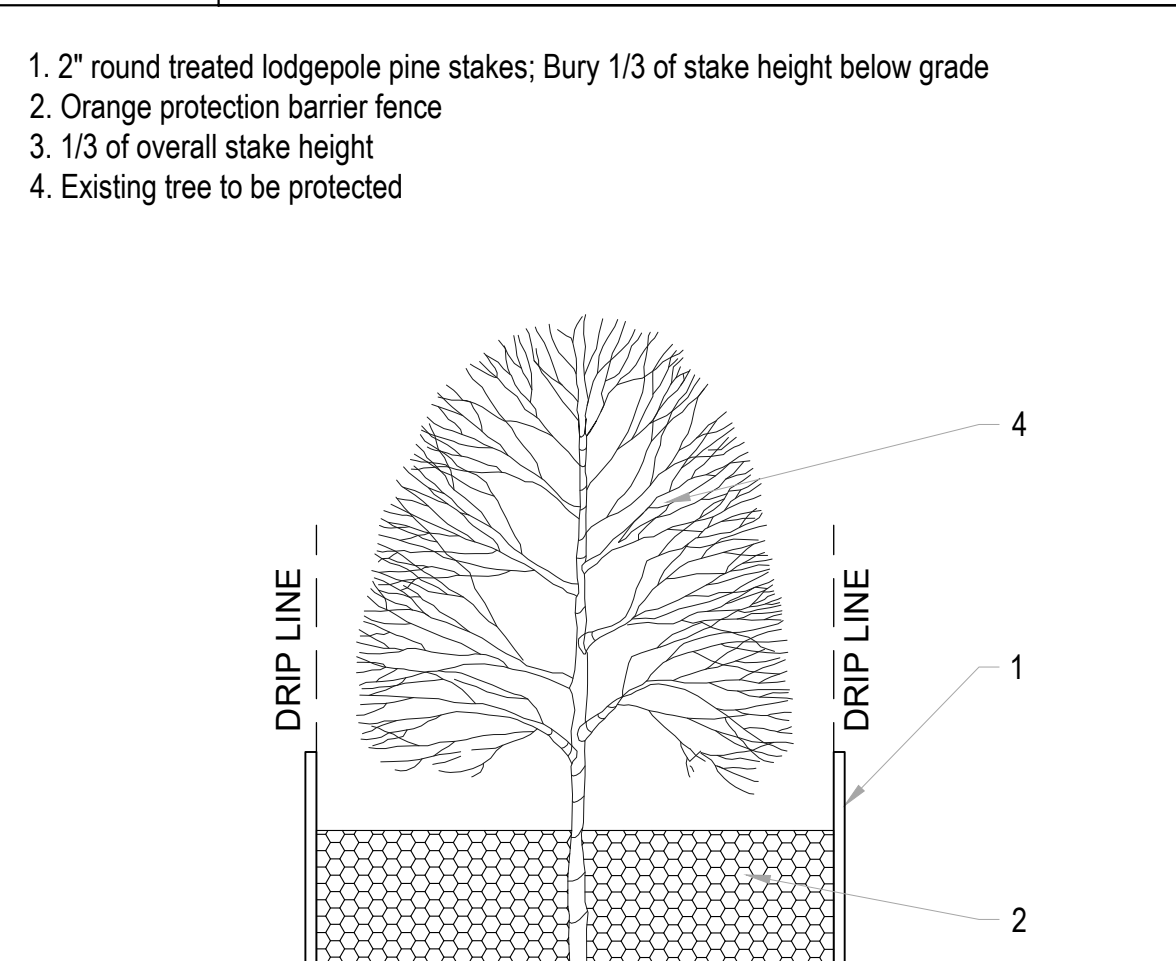
2 24" BOX TREE & LARGER
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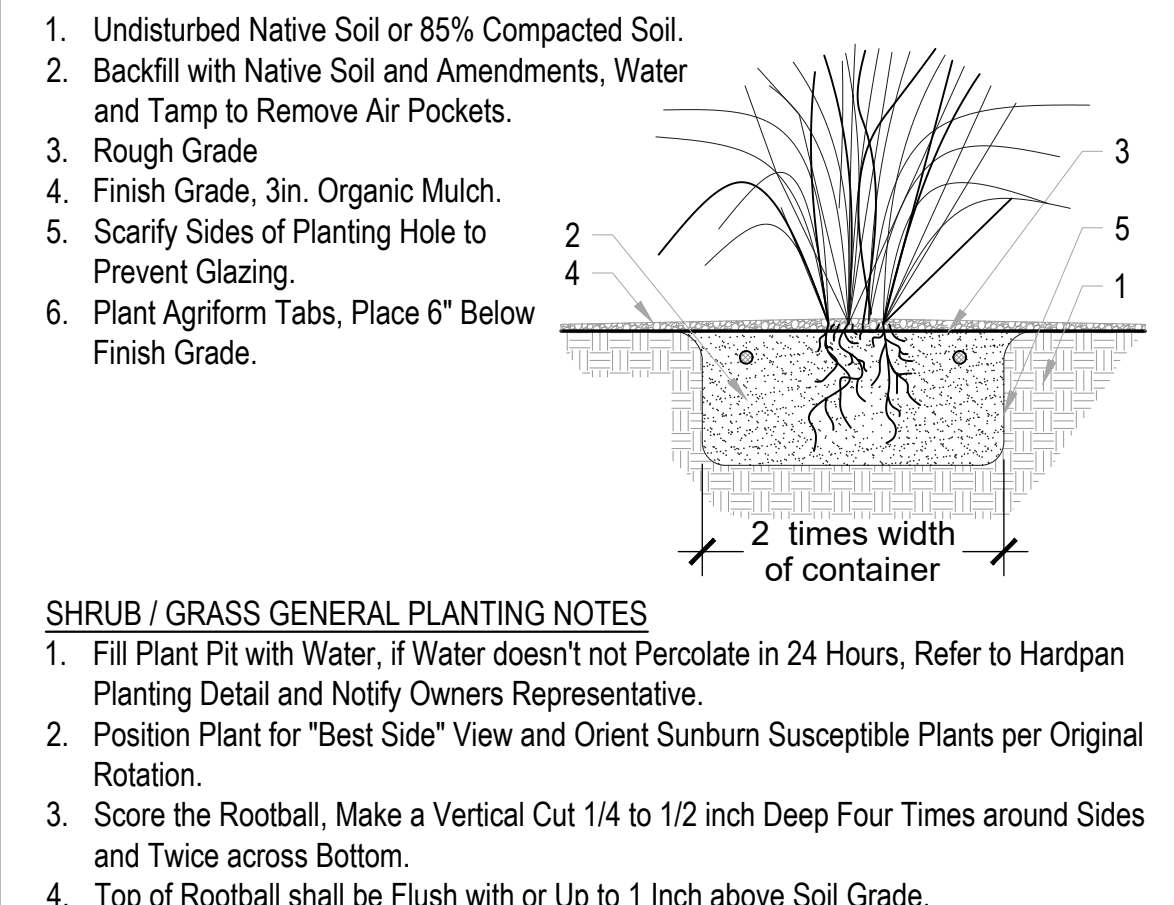
3 MULTI-STEM TREE PLANTING
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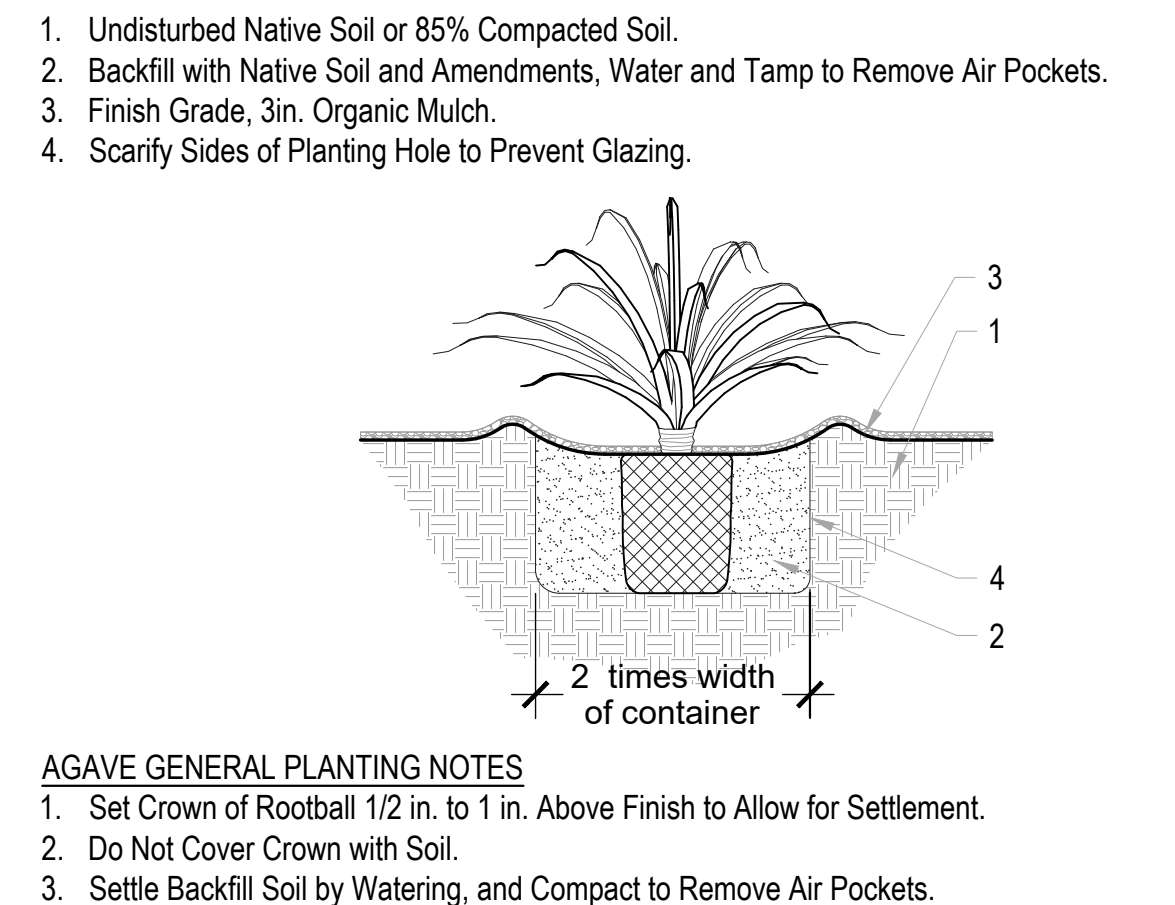
4 SHRUB PLANTING DETAIL
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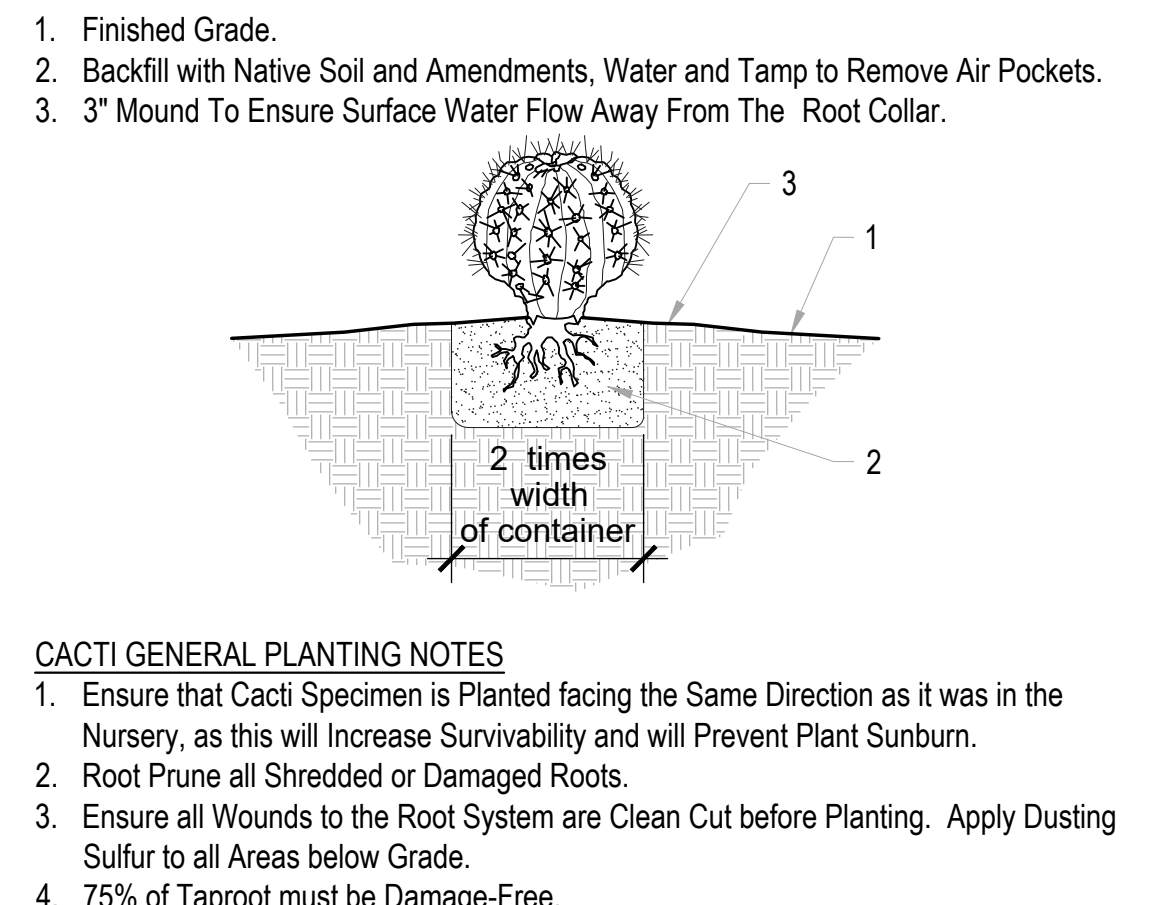
5 TREE GUYING DETAIL
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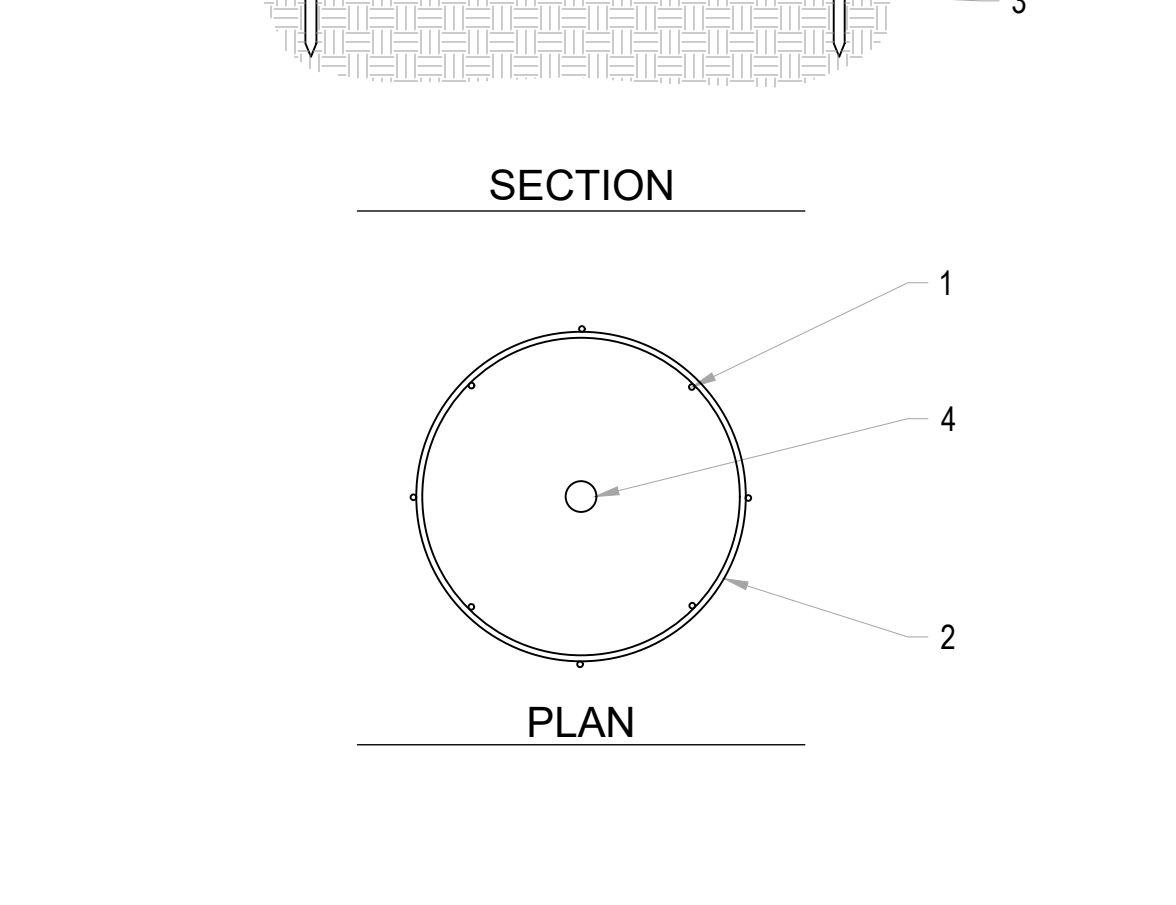
6 GRASS PLANTING DETAIL
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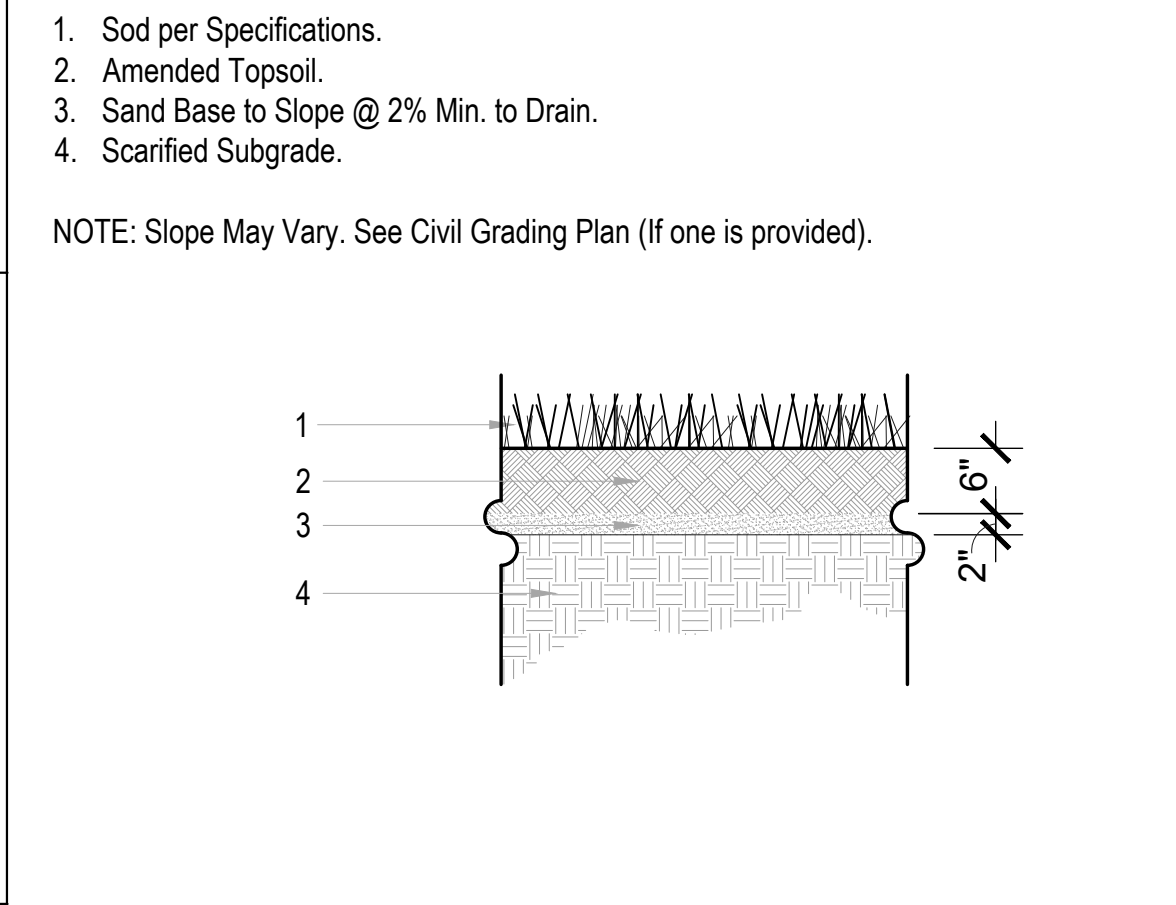
7 AGAVE PLANTING DETAIL
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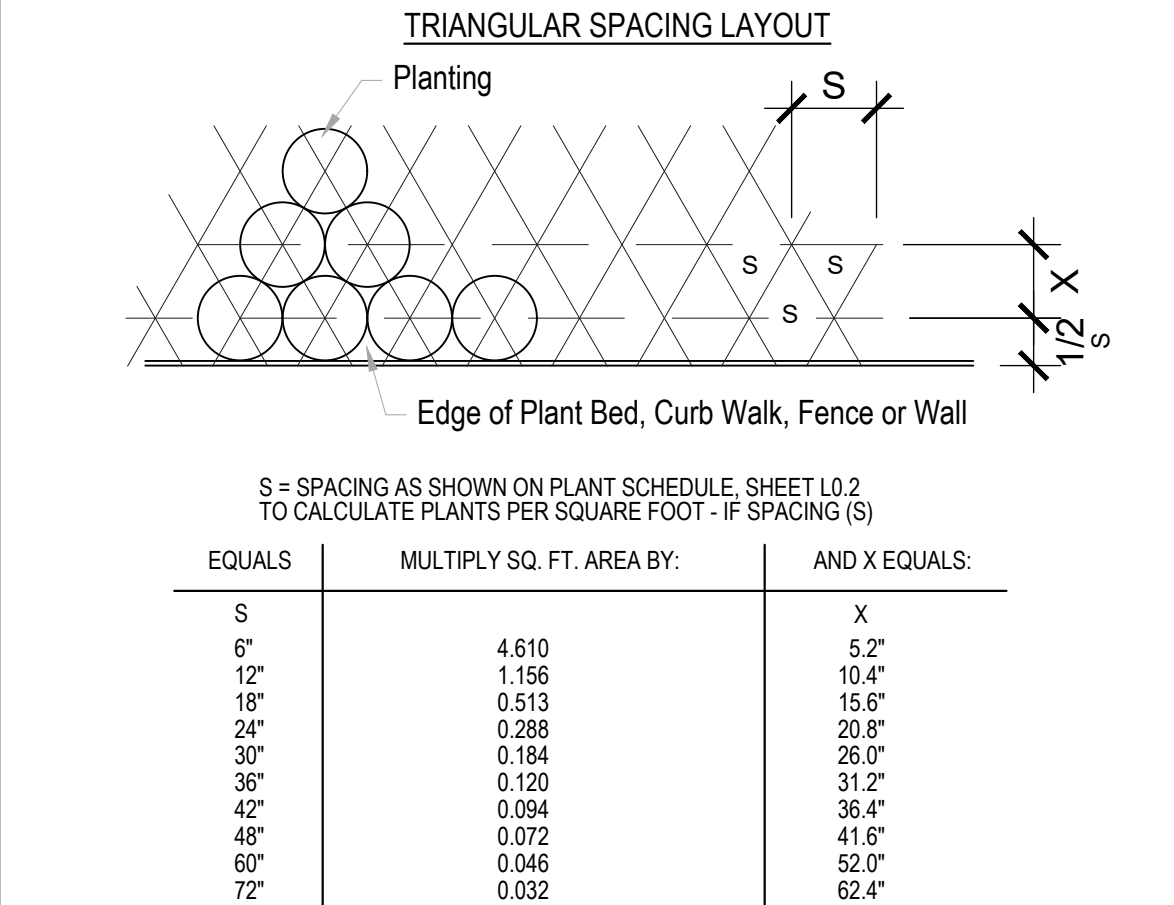
8 CACTI PLANTING DETAIL
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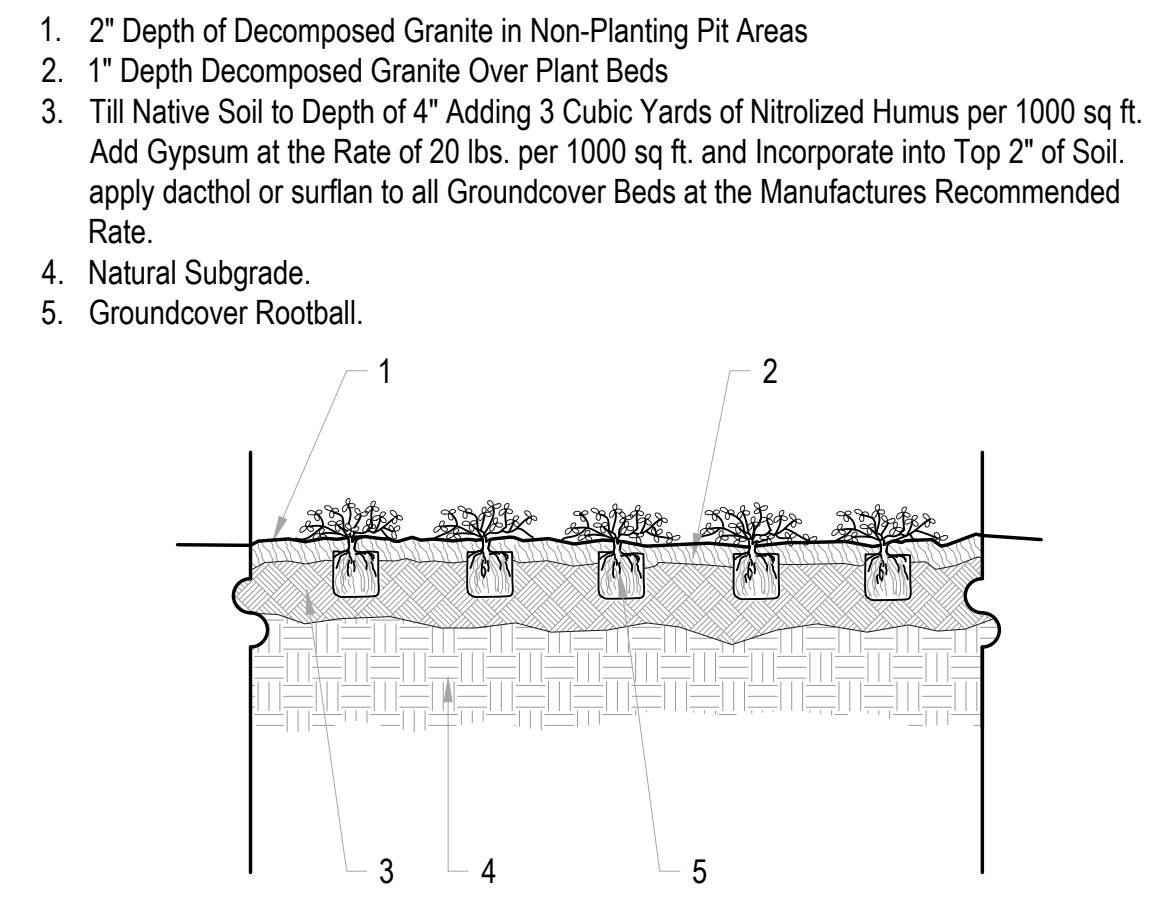
9 TREE PROTECTION FENCE
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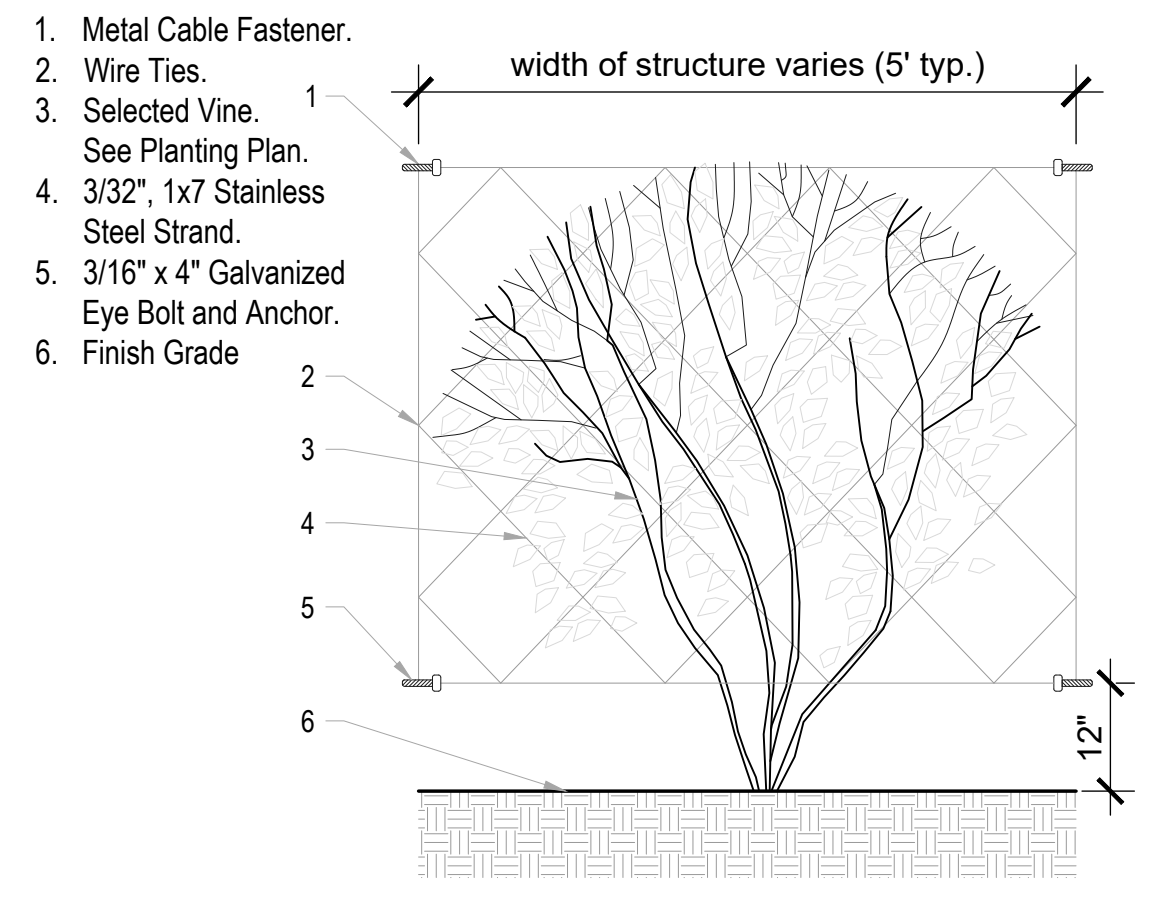
10 TURF PLANTING DETAIL
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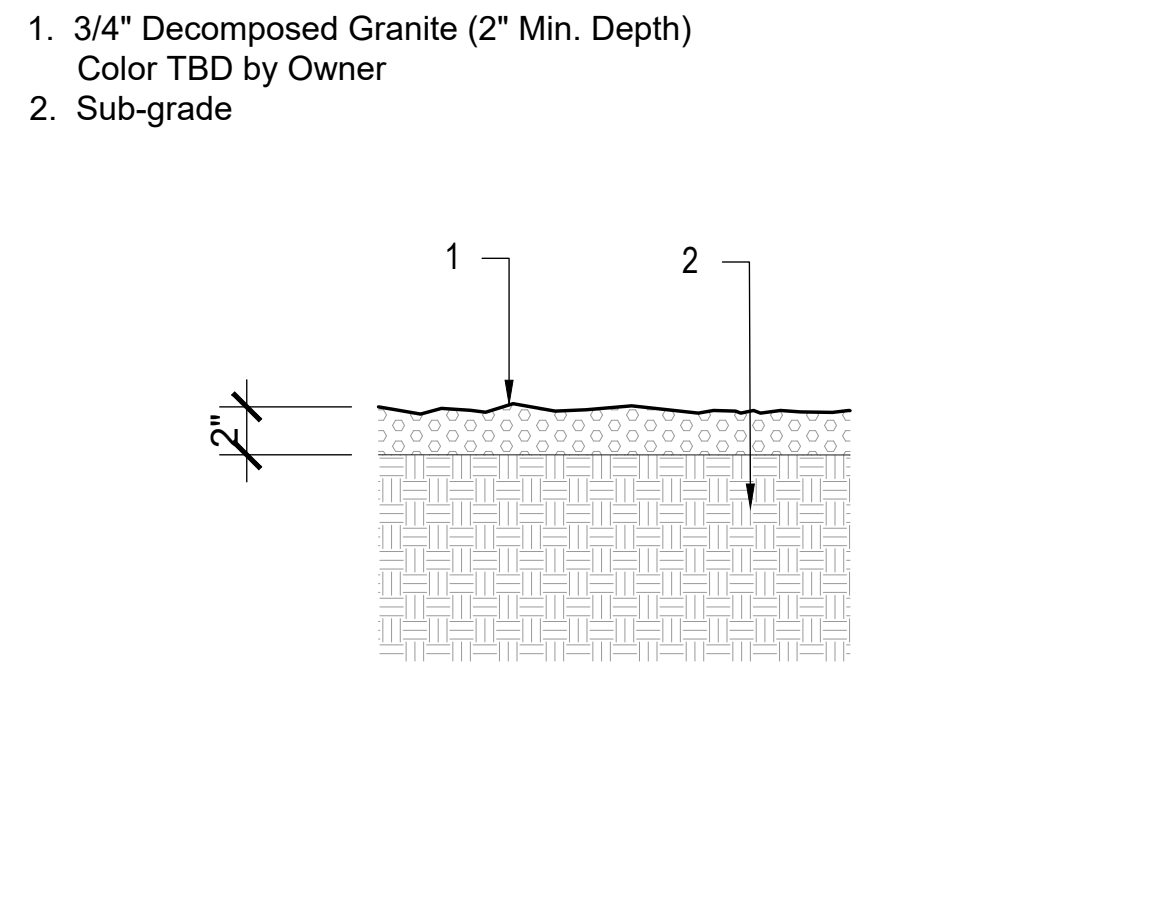
11 PLANT SPACING
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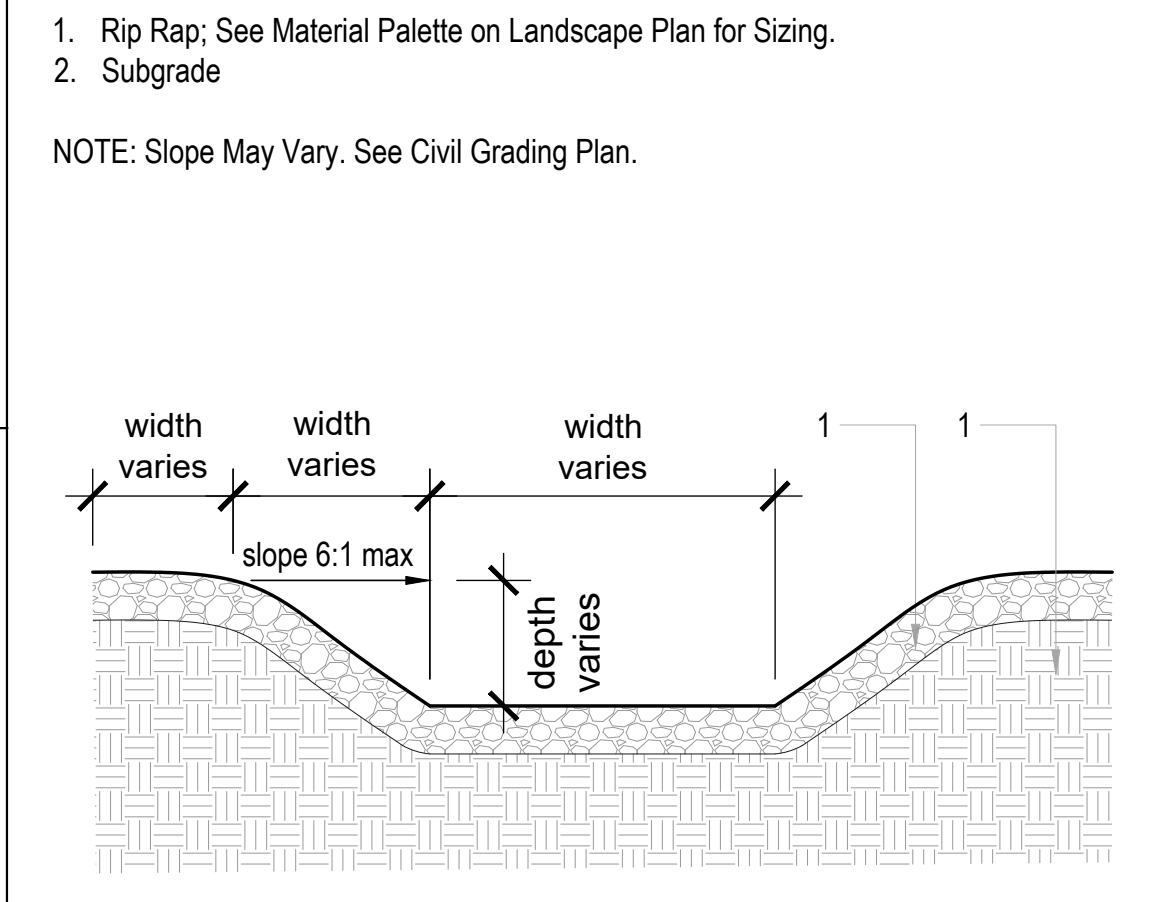
12 GROUND COVER PLANTING
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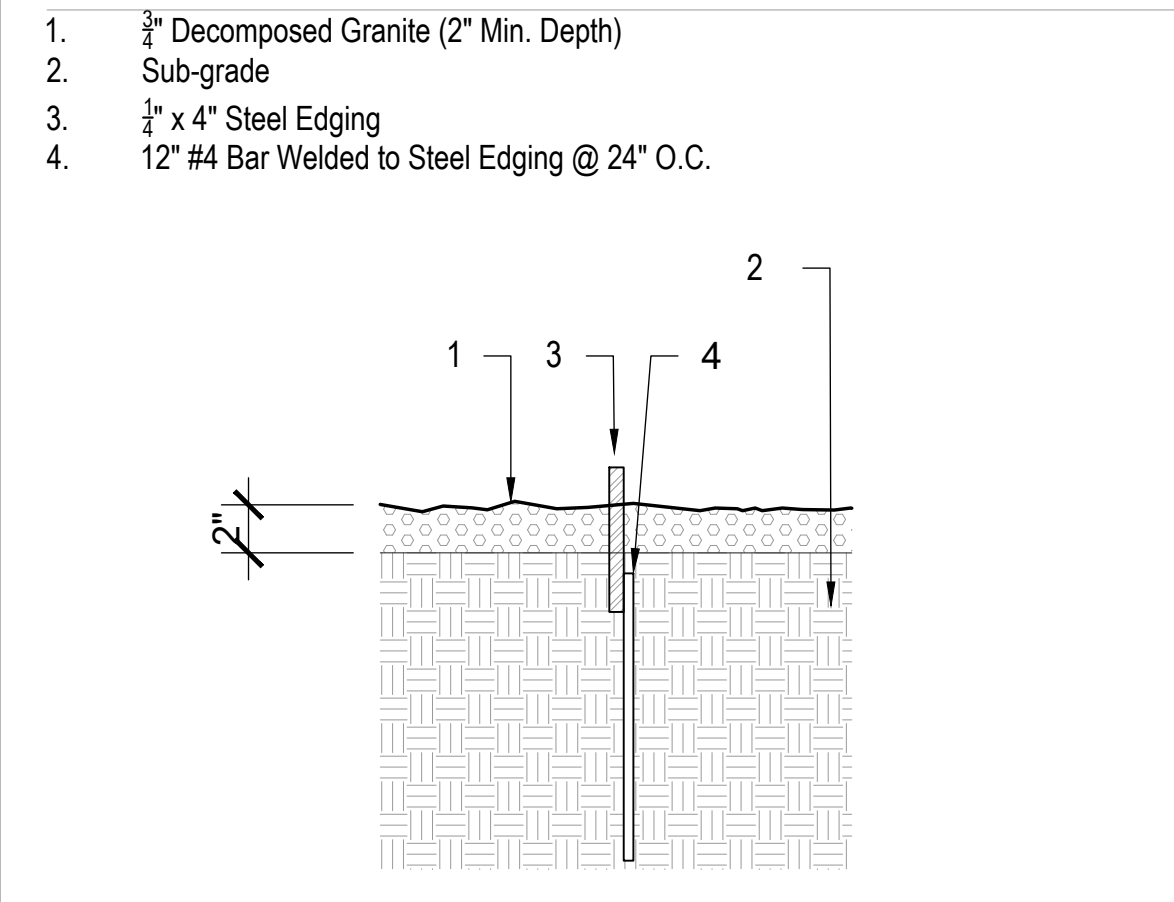
13 VINE ON TRELLIS DETAIL
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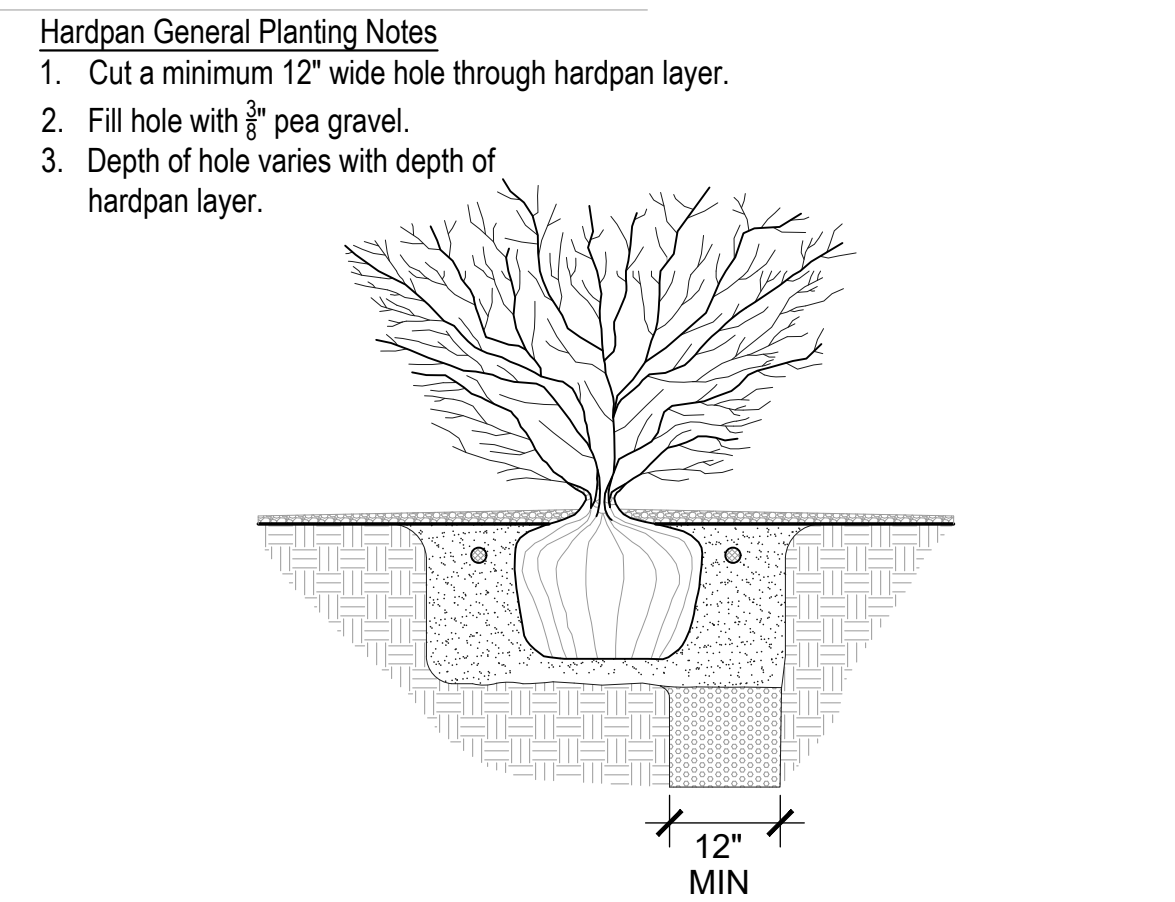
14 D.G. TOP DRESS DETAIL
SCALE: NTS



15 SWALE DETAIL
SCALE: NTS



16 STEEL EDGING DETAIL
SCALE: NTS



17 PLANTING IN HARDPAN DETAIL
SCALE: NTS

RWI PROPERTIES
455 W Holmes Ave.
MESA, AZ 85210

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CALL TWO WORKING DAYS BEFORE YOU DIG
263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

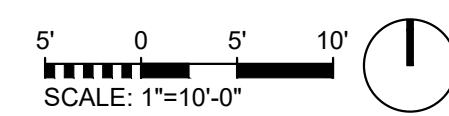
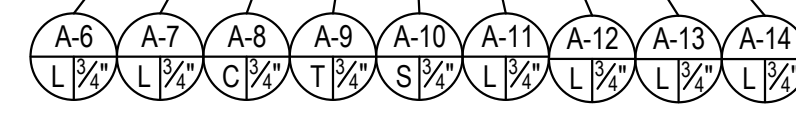
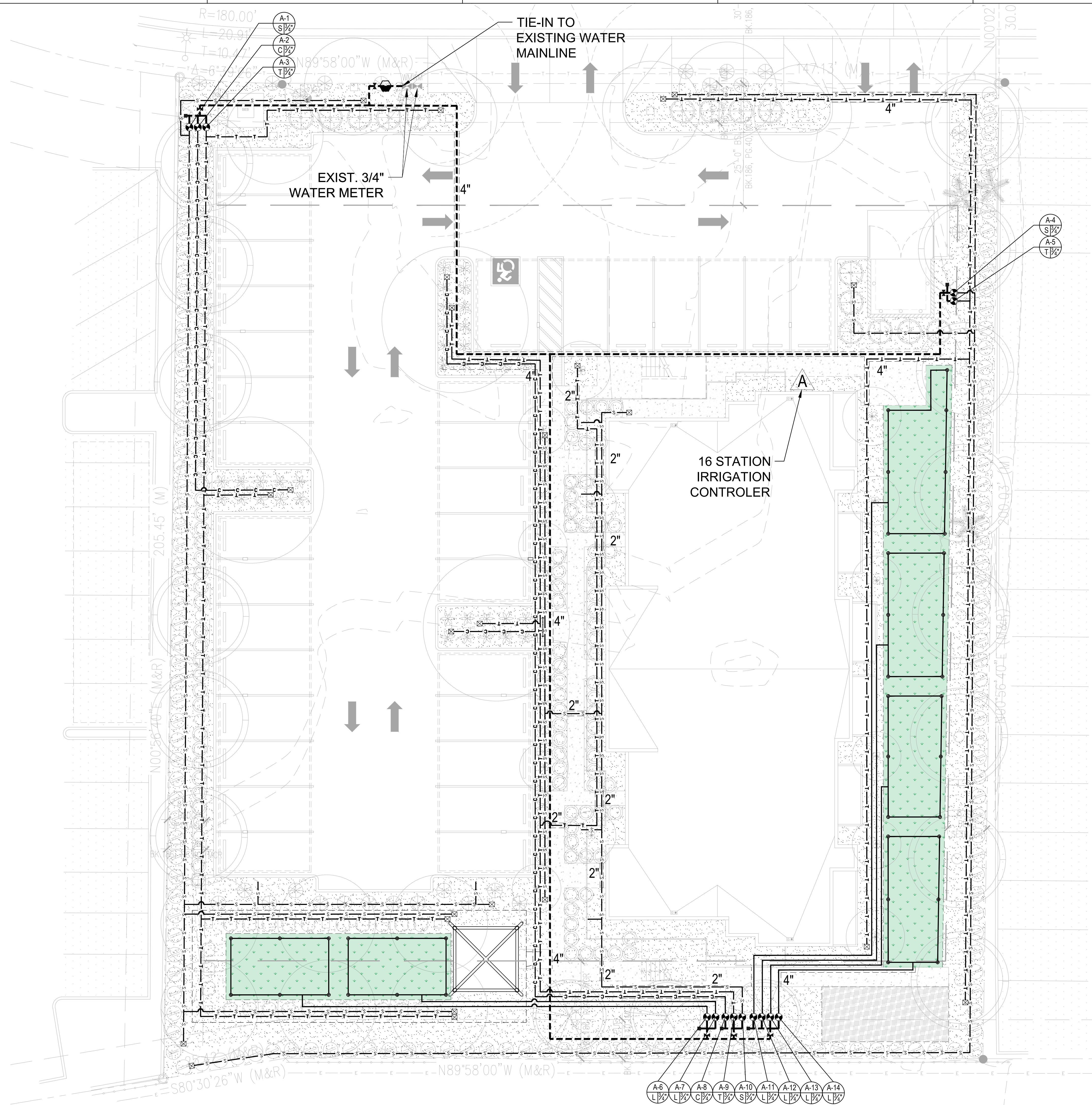
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City Plan Check #

Project No. 2176
Phase Preliminary City Submittal
Checked By JS, DAE
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Date 05.10.2022
Sheet

Planting Details
Sheet No. **L1.1**
Sheet 3 of 5

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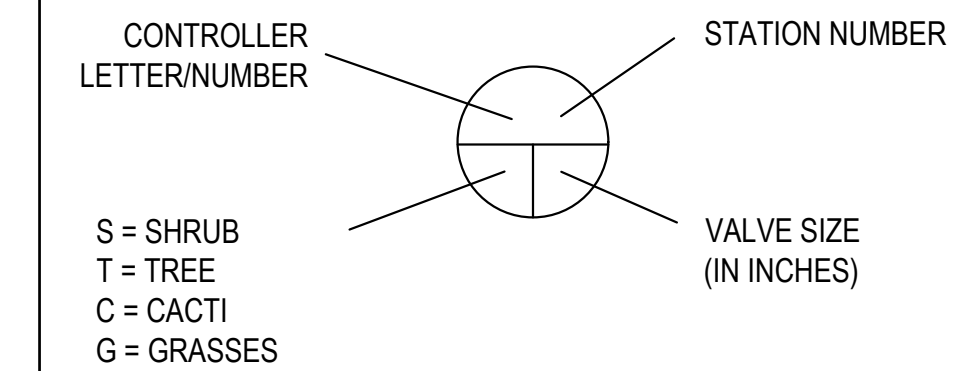
IRRIGATION PLAN

IRRIGATION SCHEDULE

- XBT-10PC RAIN BIRD SINGLE-OUTLET EMITTER (ONE PER SHRUB OR ACCENT--NOT SHOWN) (1.0 GPH @ 20 PSI)
- XBT-10-6 RAIN BIRD MULTI-OUTLET EMITTER (1 PER 15G/24" TREE--NOT SHOWN) (6.0 GPH @ 20 PSI)
- XBT-20-6 RAIN BIRD MULTI-OUTLET EMITTER (1 PER 36" TREE--NOT SHOWN) (12.0 GPH @ 20 PSI)
- ⊕ 3504-SAM SERIES RAIN BIRD ROTARY SPRINKLER (1.18 GPM @ 55 PSI)
- ⊕ RD04-S-12Q SERIES RAINBIRD POP UP LAWN SPRINKLER
- ⊕ RD04-S-12H SERIES RAINBIRD POP UP LAWN SPRINKLER
- ⊕ RD04-S-12F SERIES RAINBIRD POP UP LAWN SPRINKLER
- ⊕ PESB-SERIES RAIN BIRD ELECTRIC VALVE FOR EMITTER SYSTEM INCLUDES: RBY-200MX RAIN BIRD WYE STRAINER (200 MESH) AND: PSI M30X-075 RAIN BIRD PRESSURE REGULATOR (PRESET AT 30 PSI)
- △ IRRITROL TOTAL CONTROL-R SERIES TC-15EX-R OUTDOOR CONTROLLER; NUMBER OF STATIONS IDENTIFIED ON PLAN.
- 33DNP RAIN BIRD QUICK-COUPLER VALVE; PROVIDE (1) AT EVERY VALVE BOX
- ⊗ T-113K NIBCO MAIN LINE ISOLATION GATE VALVE
- ⊕ FEBCO 765 1 1/2" PVB BACKFLOW PREVENTER
- ⊗ MHT-1" --MANUAL DRIP FLUSH DEVICE

- 2" CLASS 200 PVC PIPE-- MAIN LINE PIPE. SOLVENT WELD.
- 3/4" CLASS 315 PVC PIPE-TO LAWN SPRINKLER HEADS. SOLVENT WELD.
- T- 3/4" CLASS 315 PVC PIPE-TO TREE EMITTERS. SOLVENT WELD.
- S- 3/4" CLASS 315 PVC PIPE-TO SHRUB EMITTERS. SOLVENT WELD.
- C- 3/4" CLASS 315 PVC PIPE-TO CACTI EMITTERS. SOLVENT WELD.
- G- 3/4" CLASS 315 PVC PIPE-TO GRASSES EMITTERS. SOLVENT WELD.
- X- SCHEDULE 40 PVC SLEEVING MATERIAL; SEE PLAN FOR SIZING

VALVE KEY:



PIPE SCHEDULE

PIPE SIZE	GAL / MIN	PIPE SIZE	GAL / MIN
1/2"	0-5	1-1/2"	26-35
3/4"	6-10	2"	36-55
1"	11-15		
1-1/4"	16-25		

PROCESSING NUMBERS

RWI PROPERTIES
455 W Holmes Ave.
MESA, AZ 85210



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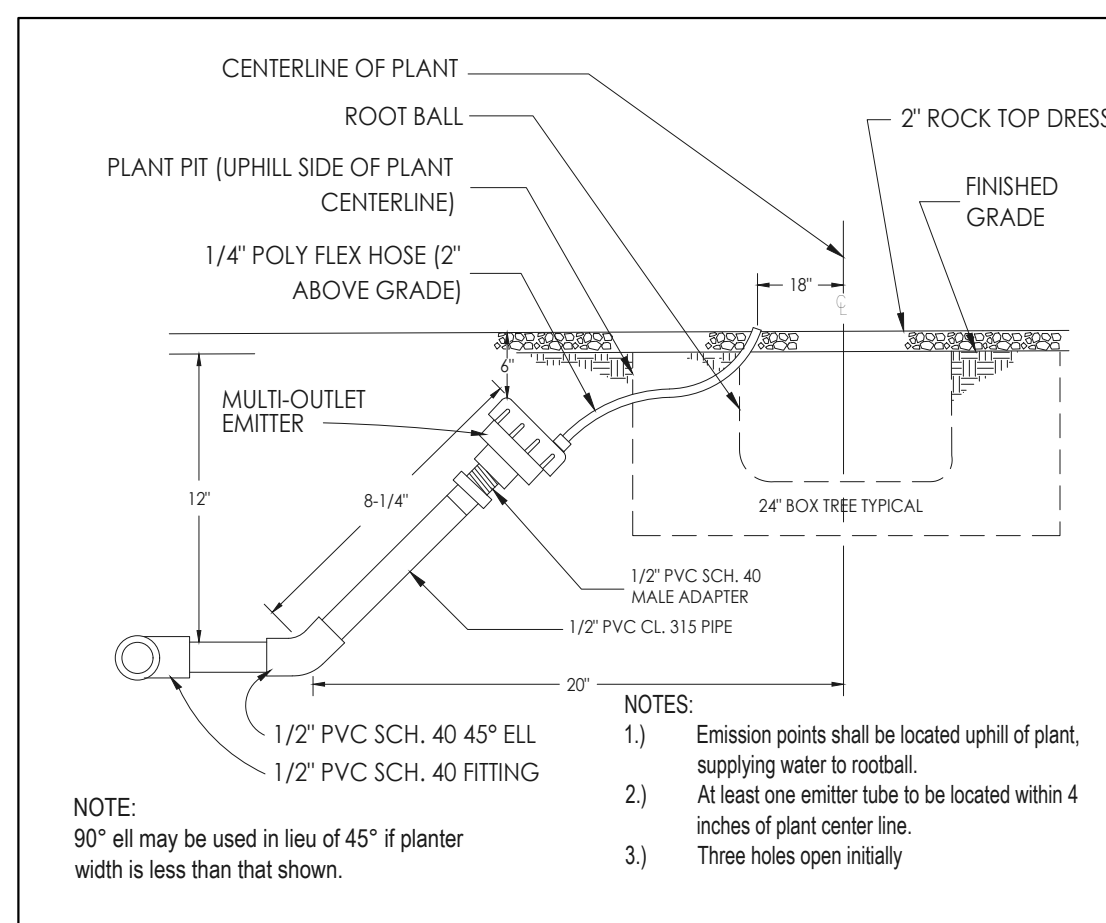
Revision
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City Plan Check #

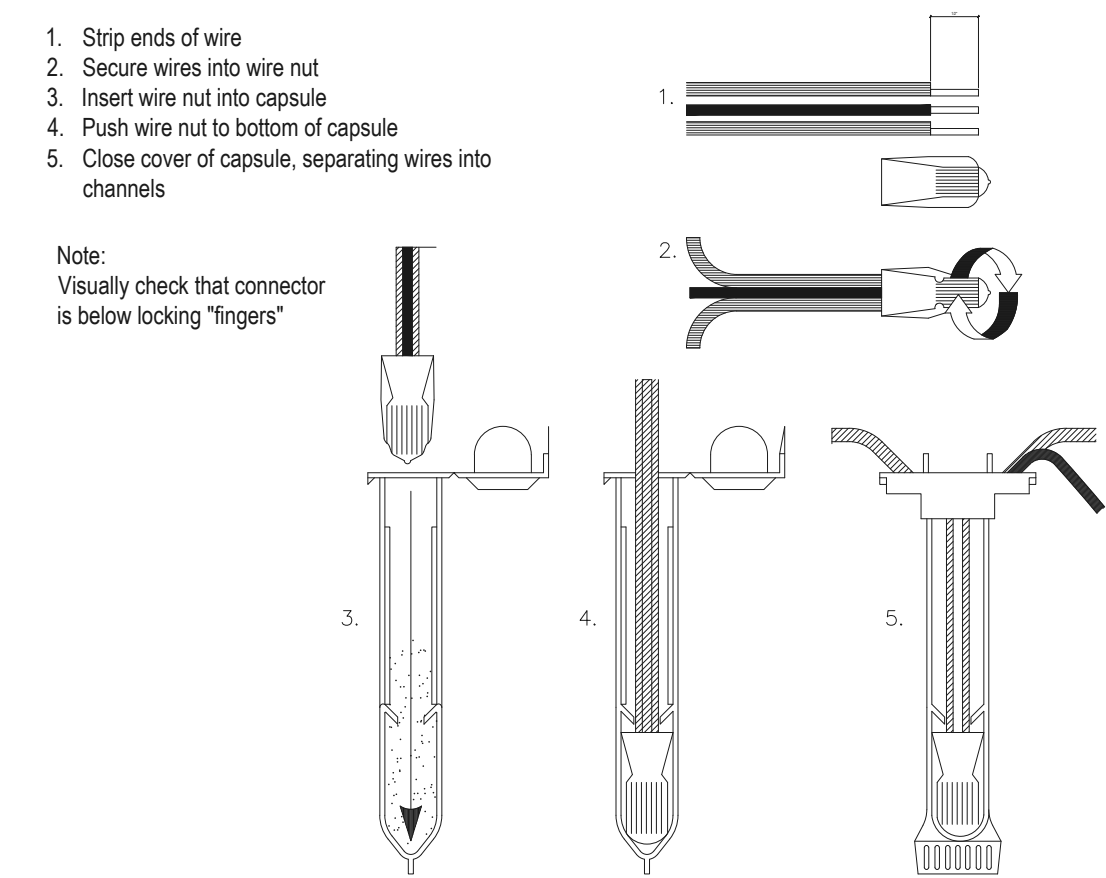
Project No. 2176
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Checked By JS, DAE
Drawn By JM
Date 05.10.2022
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Irrigation Plan
Sheet No. **L1.2**
Sheet 4 of 5

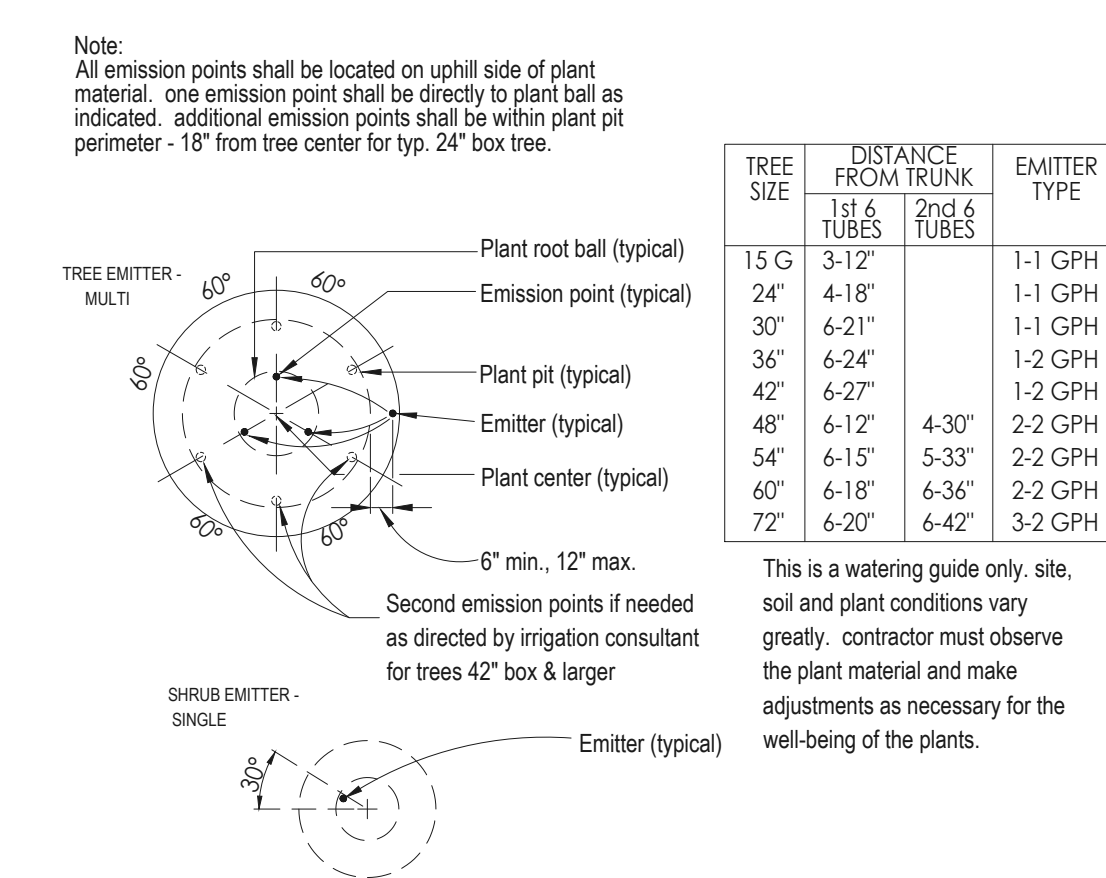
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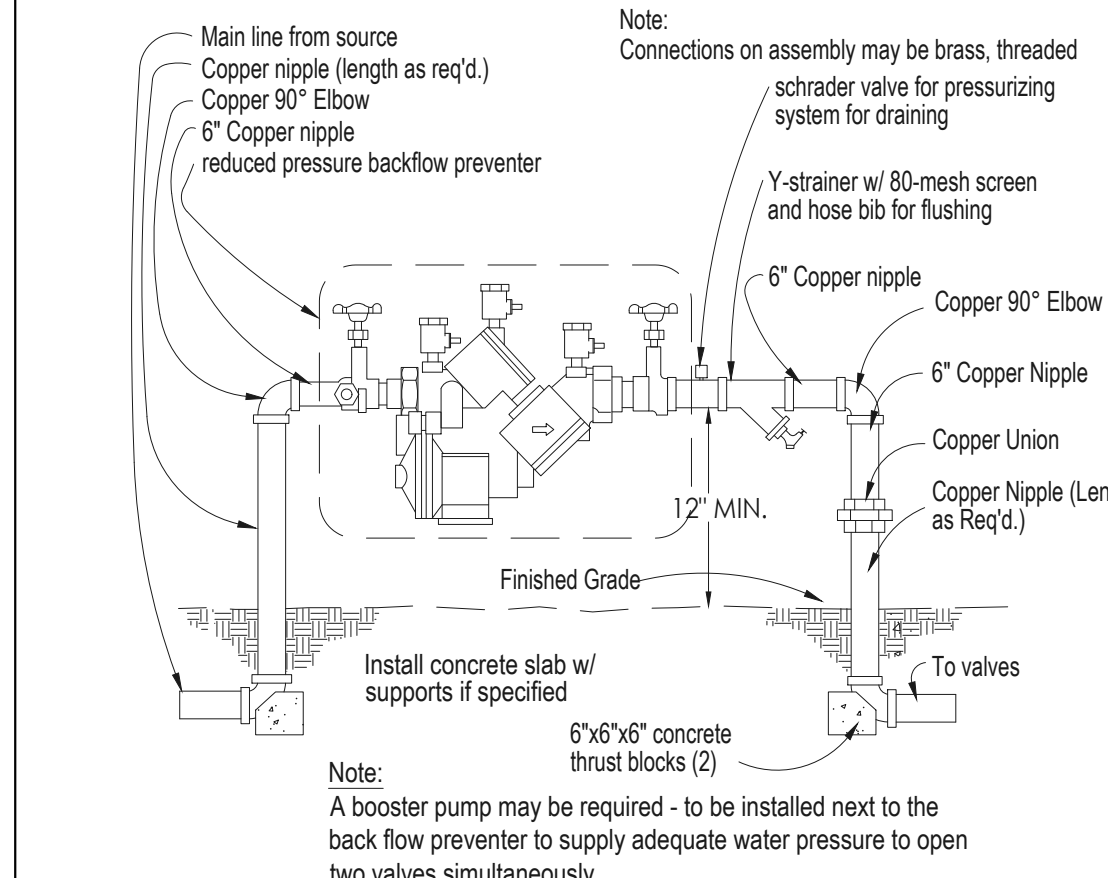
1 MULTI OUTLET EMITTER
SCALE: NTS



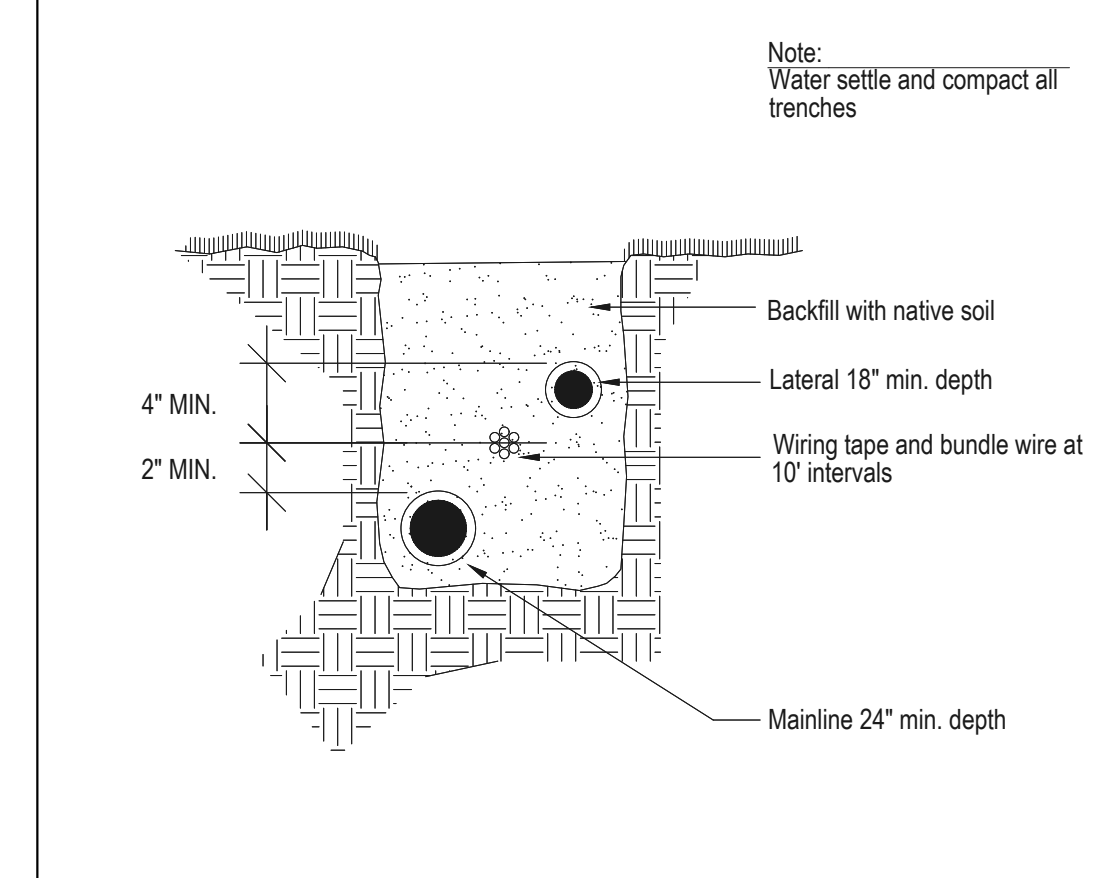
2 QUICK COUPLER DETAIL
SCALE: NTS



3 EMITTER DETAIL
SCALE: NTS

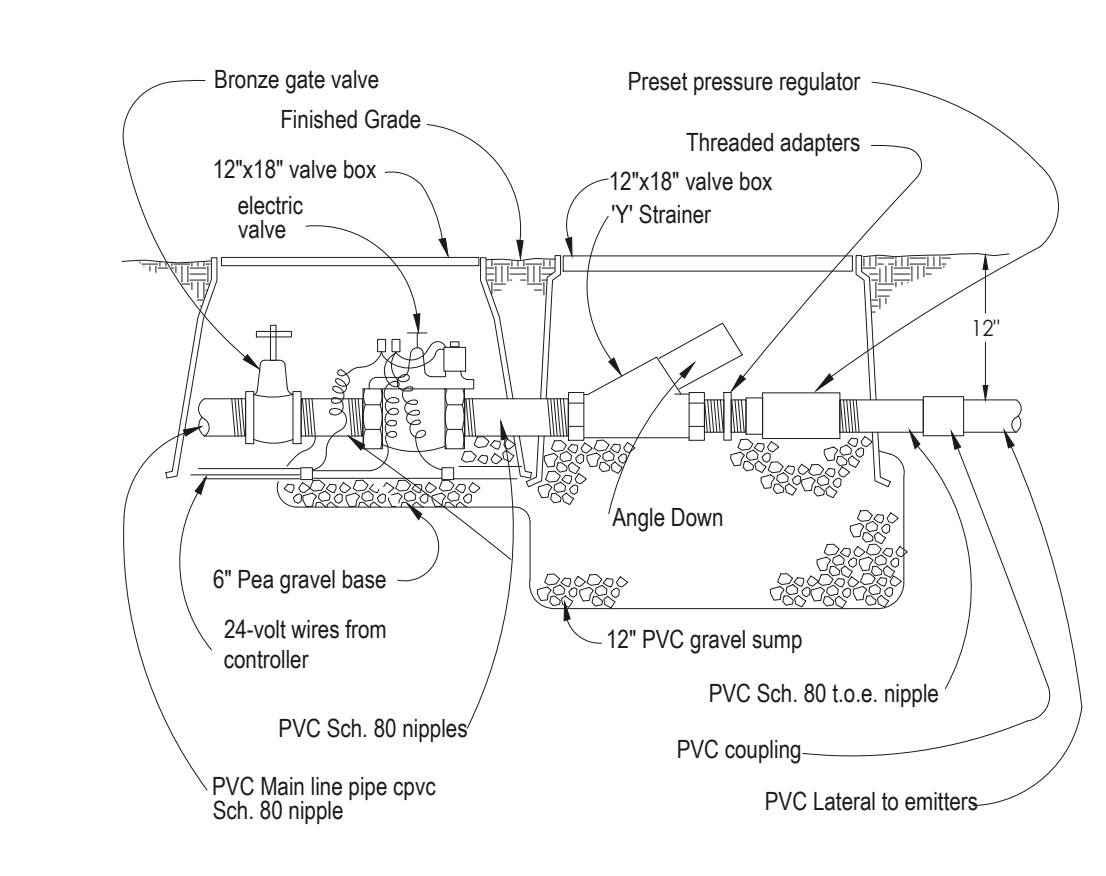


4 GATE VALVE DETAIL
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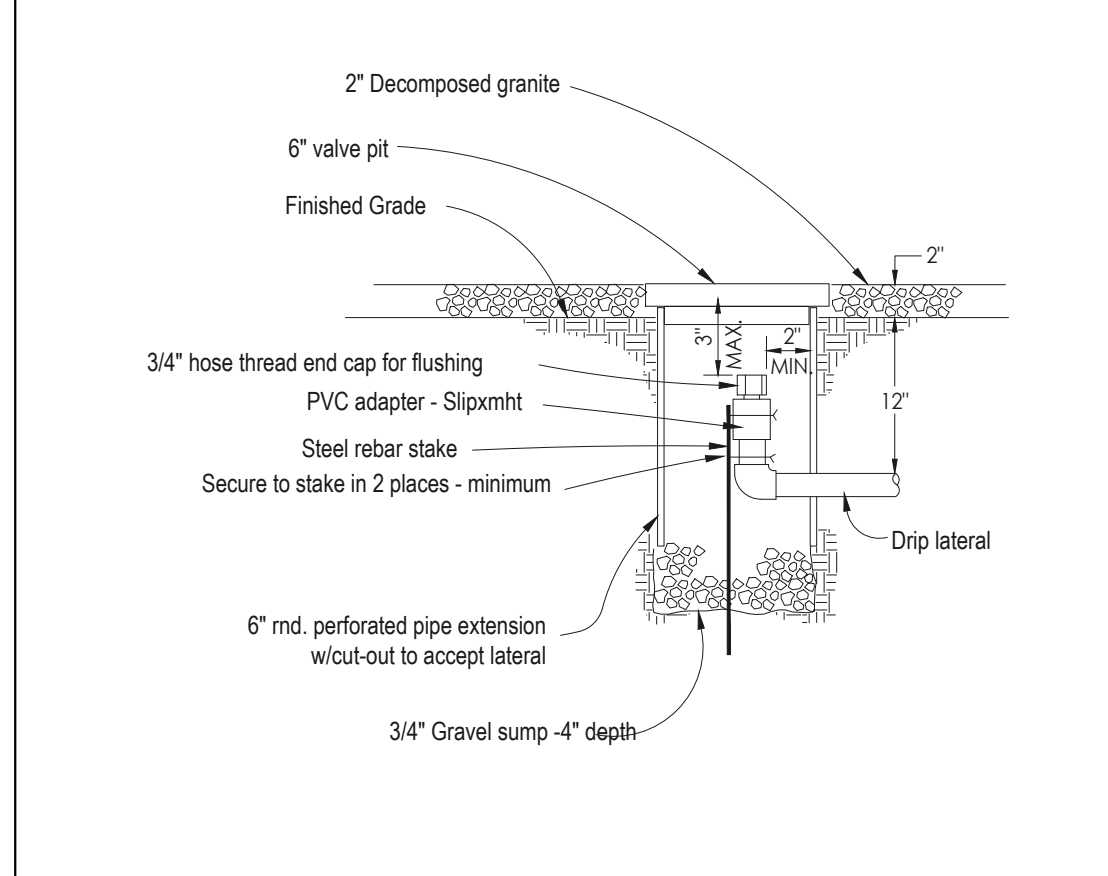


5 DIRECT BURY WIRE SPLICE
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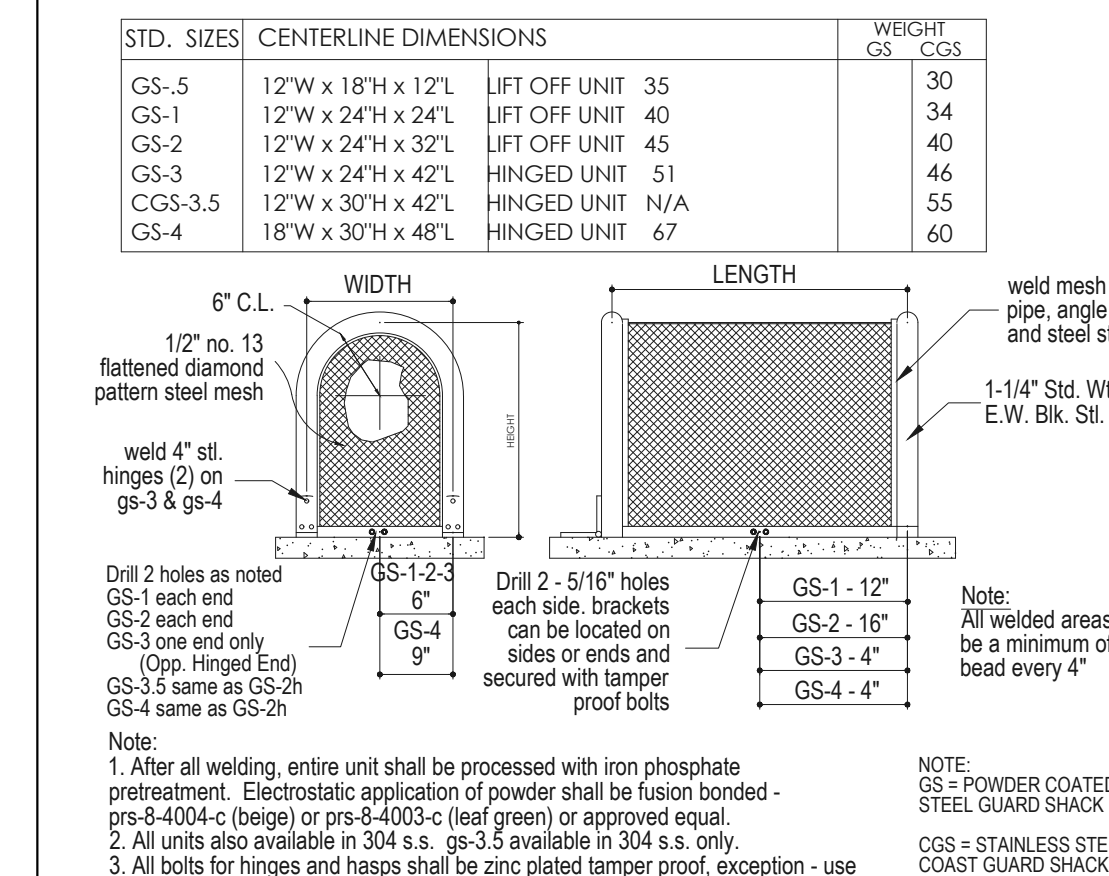
6 EMITTER LOCATION
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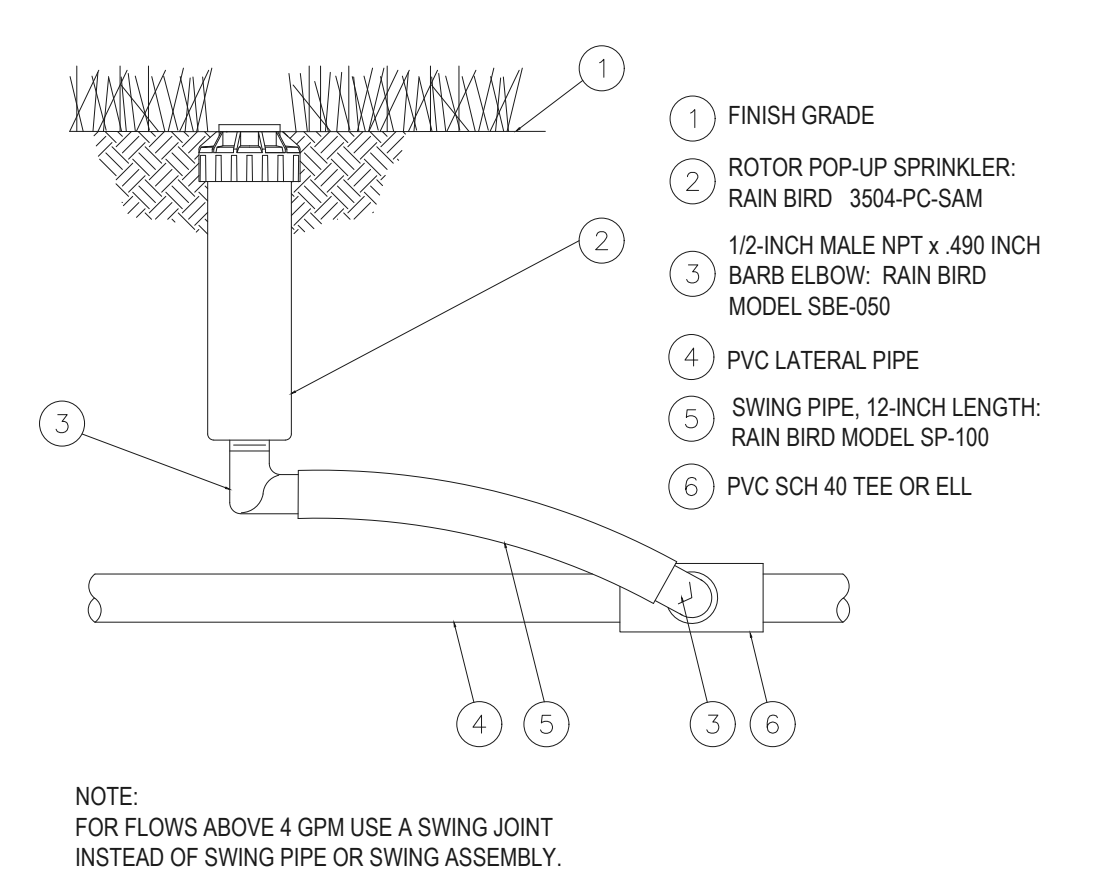
7 BACKFLOW PREVENTER
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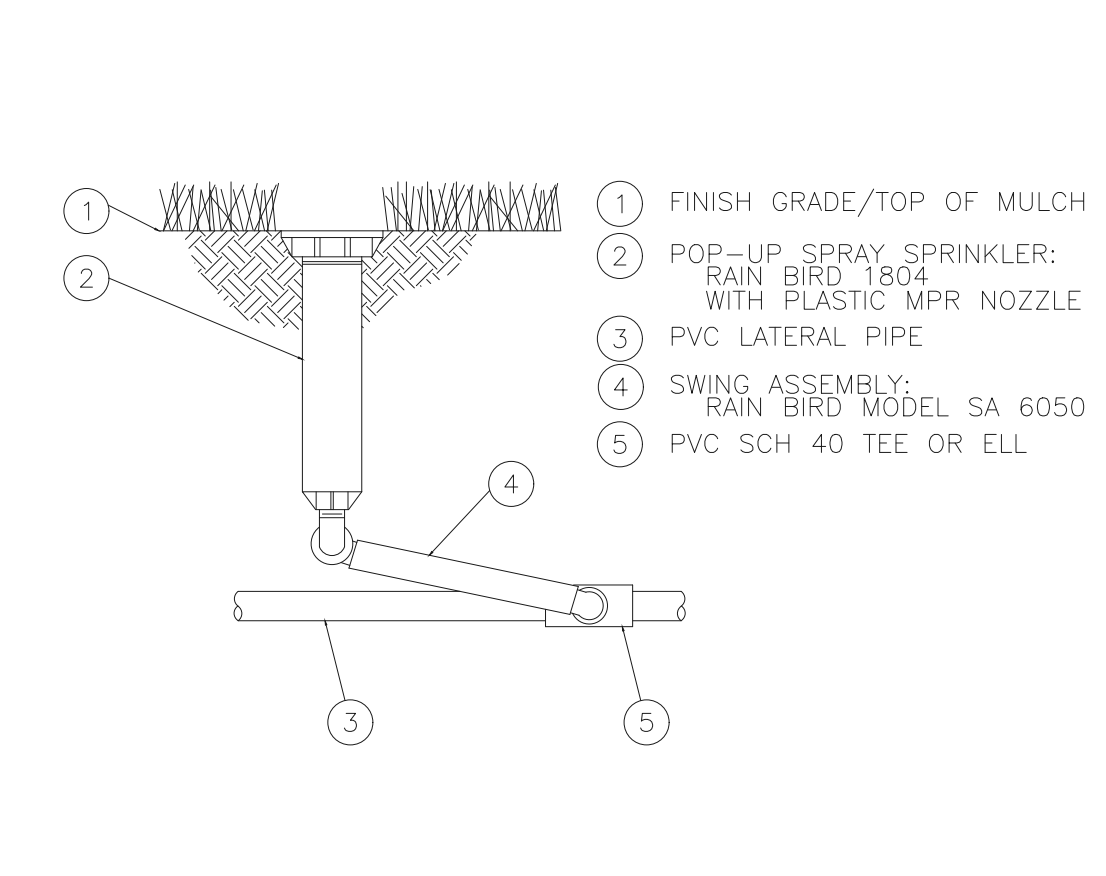
8 TRENCHING DETAIL
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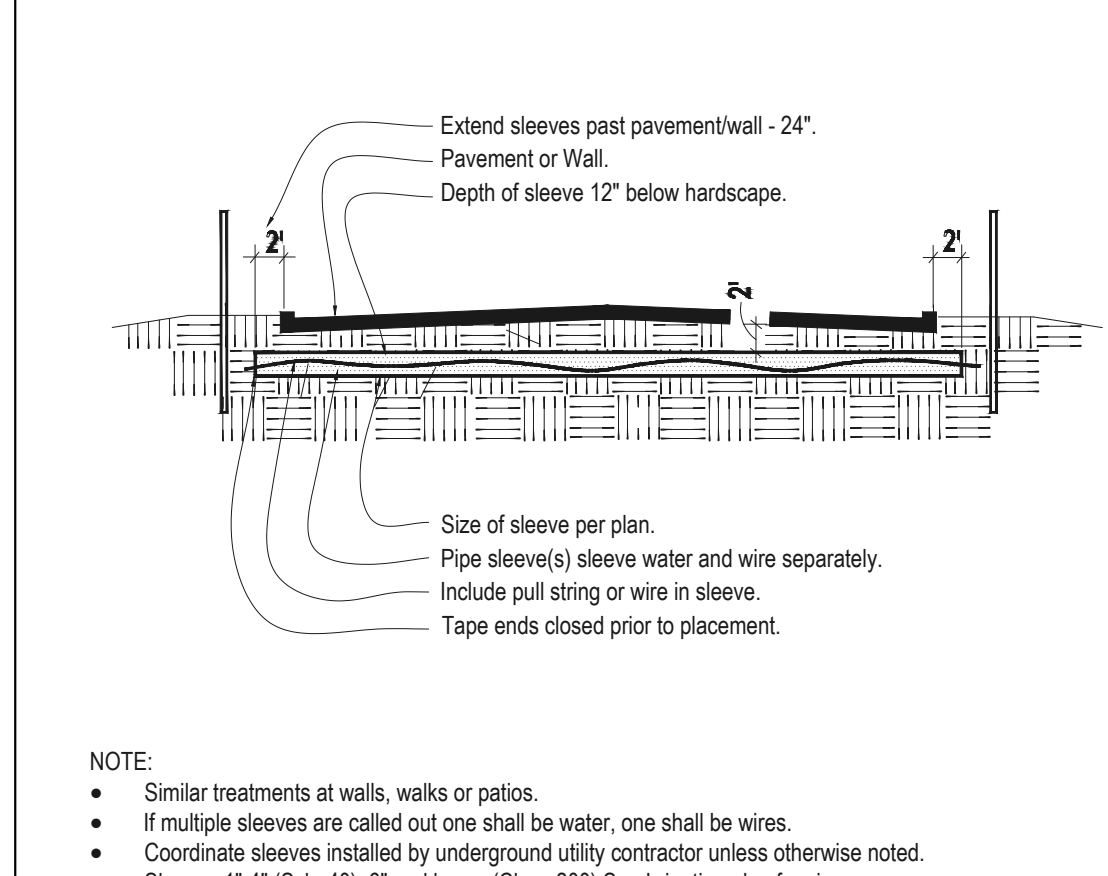
9 I-CORE METAL CONTROLLER
SCALE: NTS



10 EMITTER VALVE MANIFOLD
SCALE: NTS



11 DRIP SYSTEM FLUSH PLUG
SCALE: NTS



12 BACKFLOW PREVENTER ENC.
SCALE: NTS



13 ROTOR SPRINKLER DETAIL
SCALE: NTS

14 POP-UP SPRINKLER DETAIL
SCALE: NTS

15 PIPE SLEEVE DETAIL
SCALE: NTS

IRRIGATION SCHEDULE

- XBT-10PC RAIN BIRD SINGLE-OUTLET EMITTER (ONE PER SHRUB OR ACCENT--NOT SHOWN) (1.0 GPH @ 20 PSI)
- XBT-10-6 RAIN BIRD MULTI-OUTLET EMITTER (1 PER 15G/24\"/>

- IRRITROL TOTAL CONTROL-R SERIES TC-15EX-R OUTDOOR CONTROLLER; NUMBER OF STATIONS IDENTIFIED ON PLAN.
- 33NDP RAIN BIRD QUICK-COUPLER VALVE; PROVIDE (1) AT EVERY VALVE BOX
- T-113K NIBCO MAIN LINE ISOLATION GATE VALVE
- FEBCO 765 1 1/2\"/>

PIPE SCHEDULE

PIPE SIZE	GAL / MIN	PIPE SIZE	GAL / MIN
1/2"	0-5	1-1/2"	26-35
3/4"	6-10	2"	36-55
1"	11-15		
1-1/4"	16-25		

PROCESSING NUMBERS

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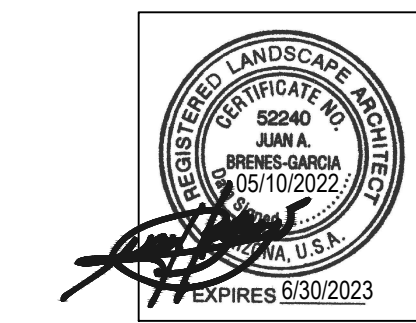


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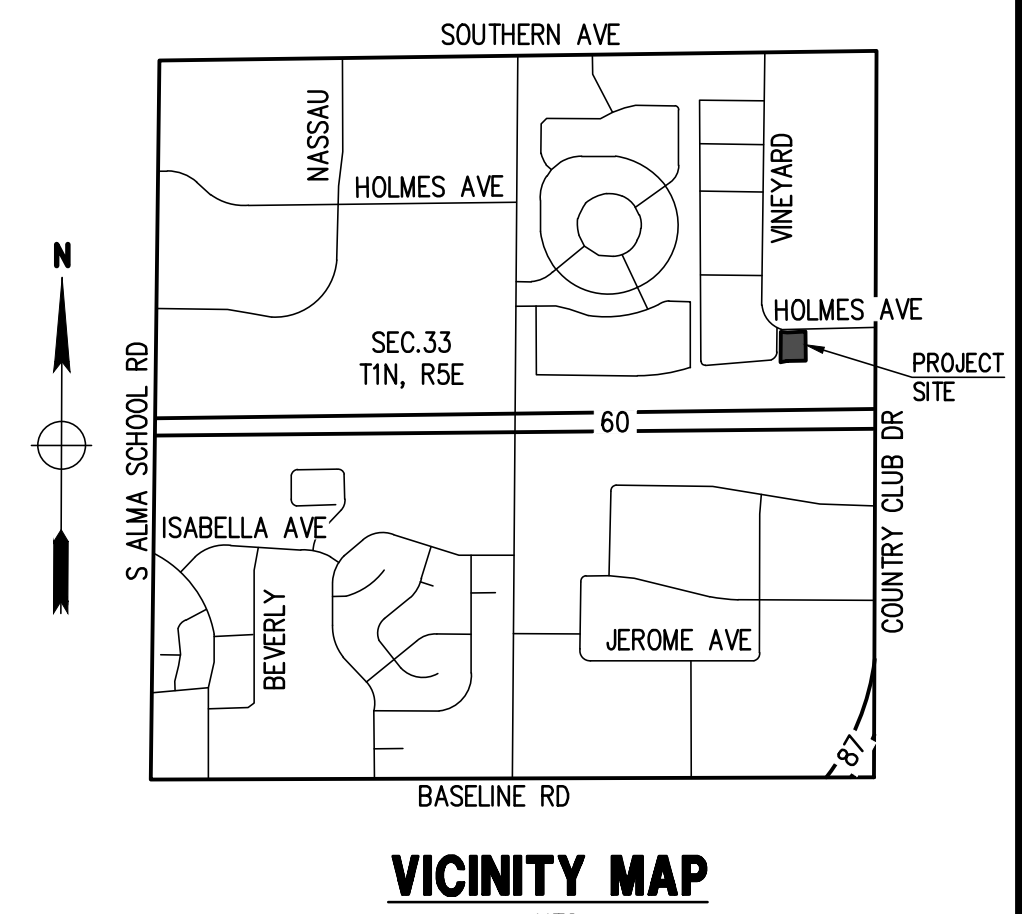
Irrigation Details
Sheet No. **L1.3**
Sheet 5 of 5

PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN

RWI PROPERTIES, LLC 24 UNIT APARTMENT HOMES

455 W HOLMES AVE., MESA, AZ 85210
 PART OF LOT 3 - PORTER PLAZA

A SUBDIVISION PLAT RECORDED IN BOOK 186 OF MAPS, PAGE 40, MCR.,
 LOCATED IN A PORTION OF THE SE 1/2 OF THE SE 1/4 OF THE NE 1/4 OF SECTION 33, T.1N, R.5E
 OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



VICINITY MAP
 NTS

OWNER
 RWI PROPERTIES LLC
 455 W HOLMES AVE.,
 MESA, AZ 85213

SITE DATA
 APN: 134-22-211A
 ADDRESS: 455 W HOLMES AVE.,
 MESA, AZ 85210
 LOT AREA: 33,665 S.F. (0.773 AC.)

ARCHITECT
 TAYLOR: FRACASSE
 ARCHITECTURE, INC
 4425 E AGAVE ROAD, SUITE #120,
 PHOENIX, AZ 85044
 P: 480-659-6745
 CONTACT: BRIAN FRACASSE

CIVIL ENGINEER
 LAND DEVELOPMENT GROUP, LLC
 8808 N CENTRAL AVE, SUITE 288
 PHOENIX, AZ 85020
 CONTACT: NICK PRODANOV, PE
 P: 602-889-1984

LEGAL DESCRIPTION
 THE WEST ONE HUNDRED SIXTY-EIGHT (168) FEET OF LOT THREE (3),
 PORTER PLAZA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF
 THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN BOOK 186 OF
 MAPS, PAGE 40.

BASIS OF BEARINGS
 THE EAST LINE OF THE NE 1/4 OF SECTION 33, T1N, R5E THE BEARING
 OF WHICH IS N00°56'40"E.

BENCHMARK
 BRASS CAP IN HAND HOLE AT THE INTERSECTION OF SOUTHERN
 AVENUE AND COUNTRY CLUB DRIVE HAVING AN ELEVATION OF 1216.22
 NAVD 88 DATUM, GDACS# 64510-1
 NOTE: CITY OF MESA VERTICAL CONTROL POINTS AT THIS
 INTERSECTION HAVE BEEN DESTROYED.

UTILITIES
 WATER: CITY OF MESA
 SANITARY SEWER: CITY OF MESA
 ELECTRIC: SRP
 TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
 NATURAL GAS: CITY OF MESA
 CABLE TV: CENTURY LINK, COX COMMUNICATIONS

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040046	2264 OF 4425	M	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	11/04/2015	11/04/2015	X*

*AREAS OF 0.2% ANNUAL CHANCE FLOOD;
 AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS
 THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE;
 AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD

- LEGEND**
- SECTION CORNER
 - 1/4 QUARTER
 - BRASS CAP IN HANDHOLE
 - BRASS CAP FLUSH
 - FOUND REBAR OR AS NOTED
 - SET 1/2" REBAR & TAG OR AS NOTED
 - CALCULATED POINT
 - PROPERTY LINE
 - EASEMENT LINE
 - MONUMENT LINE
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT
 - TELEPHONE PEDESTAL
 - CABLE TV RISER
 - SEWER MANHOLE
 - SCHEDULE B ITEM, EASEMENT
 - LIGHT POLE W/ARM
 - GAS LINE
 - CATV, PHONE
 - SEWER LINE
 - WATER LINE
 - ELECTRIC LINE
 - COMMUNICATIONS LINE
 - PALM TREE
 - TREE
 - EXISTING CONTOUR
 - EXIST. DRAINAGE FLOW
 - EXIST. SPOT ELEVATION
 - SLOPE DIRECTION
 - PROPOSED SPOT ELEVATION
 - PROPOSED CONTOUR
 - FLOW LINE

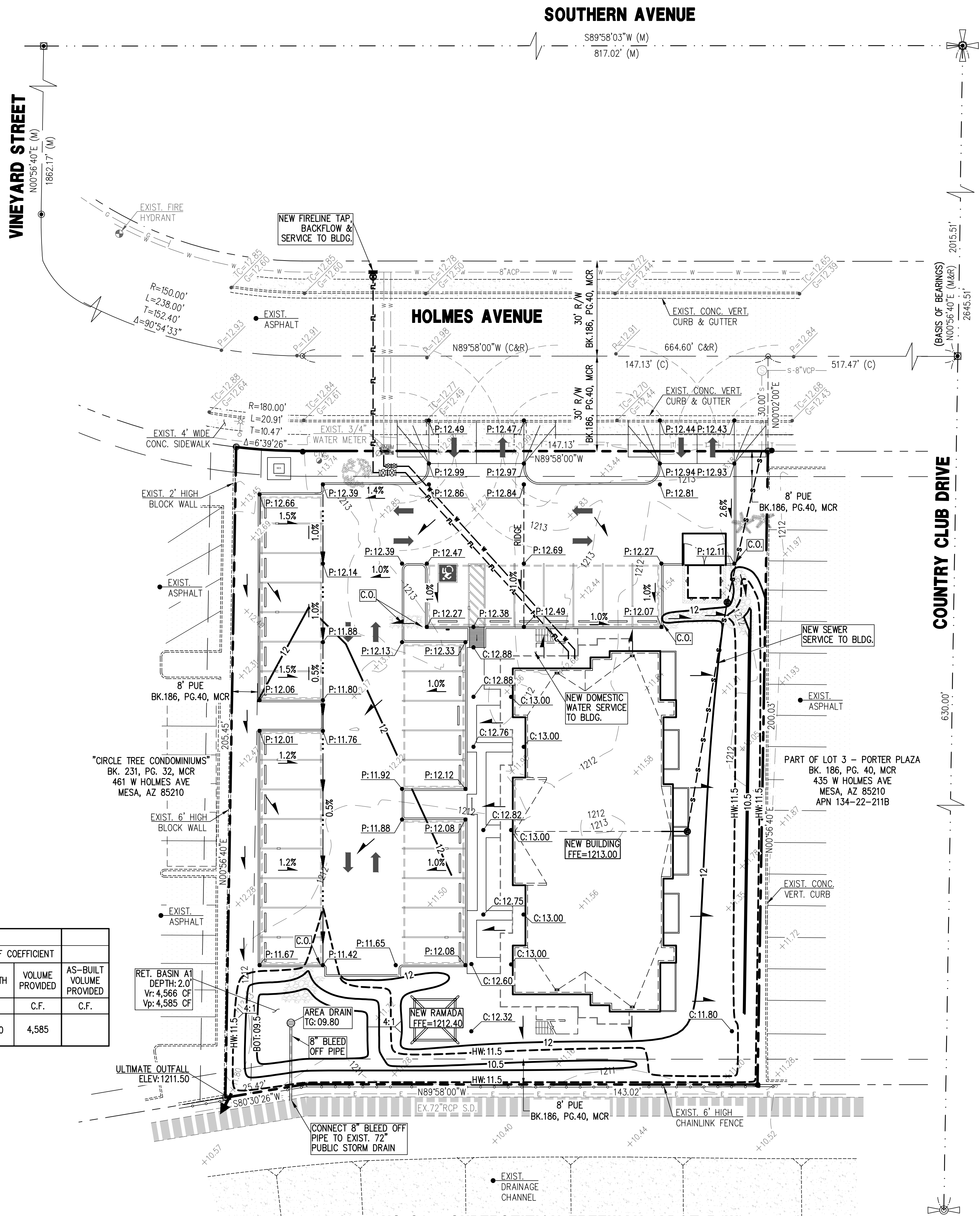
- ABBREVIATIONS**
- BC BACK OF CURB
 - BSL BUILDING SETBACK LINE
 - EL, ELEV ELEVATION
 - EP EDGE OF PAVEMENT
 - ESMT EASEMENT
 - EX, EXIST. EXISTING
 - G GUTTER, GAS
 - INV INVERT
 - (M) MEASURED
 - MCR MARICOPA COUNTY RECORDER
 - MH MANHOLE
 - P, PVMT PAVEMENT
 - (R), REC. RECORDED
 - T TANGENT, TELEPHONE
 - TC TOP OF CURB
 - W WEST, WATERLINE
 - WM WATER METER

ON-SITE RETENTION FOR THE RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT
 $V = D \times A \times C / 12$ | D - RAINFALL DEPTH=2.17"(NOAA) | A - TRIBUTARY AREA, SF | C_w - WEIGHTED RUNOFF COEFFICIENT

DRAINAGE AREA	AREA S.F.	RUNOFF COEFFICIENT C _w	VOLUME REQUIRED C.F.	RETENTION BASIN ID	CONTOUR ELEVATION		DEPTH FT.	VOLUME PROVIDED C.F.	AS-BUILT VOLUME PROVIDED C.F.
					HW	BOTTOM			
DA-1	33,665	0.75	4,566	A1	1,211.50	1,209.50	2.00	4,585	

WEIGHTED RUNOFF COEFFICIENT, C_w AREA A

SURFACE TYPE	RUNOFF COEFFICIENT C	AREA SF	C*AREA
PAVEMENT	0.95	13,103	12,448
LANDSCAPE	0.50	14,703	7,352
TOTAL		33,665	25,365
$C_w = C * AREA / TOTAL AREA$			0.75



US 60 - SUPERSTITION FREEWAY (ADOT R/W)

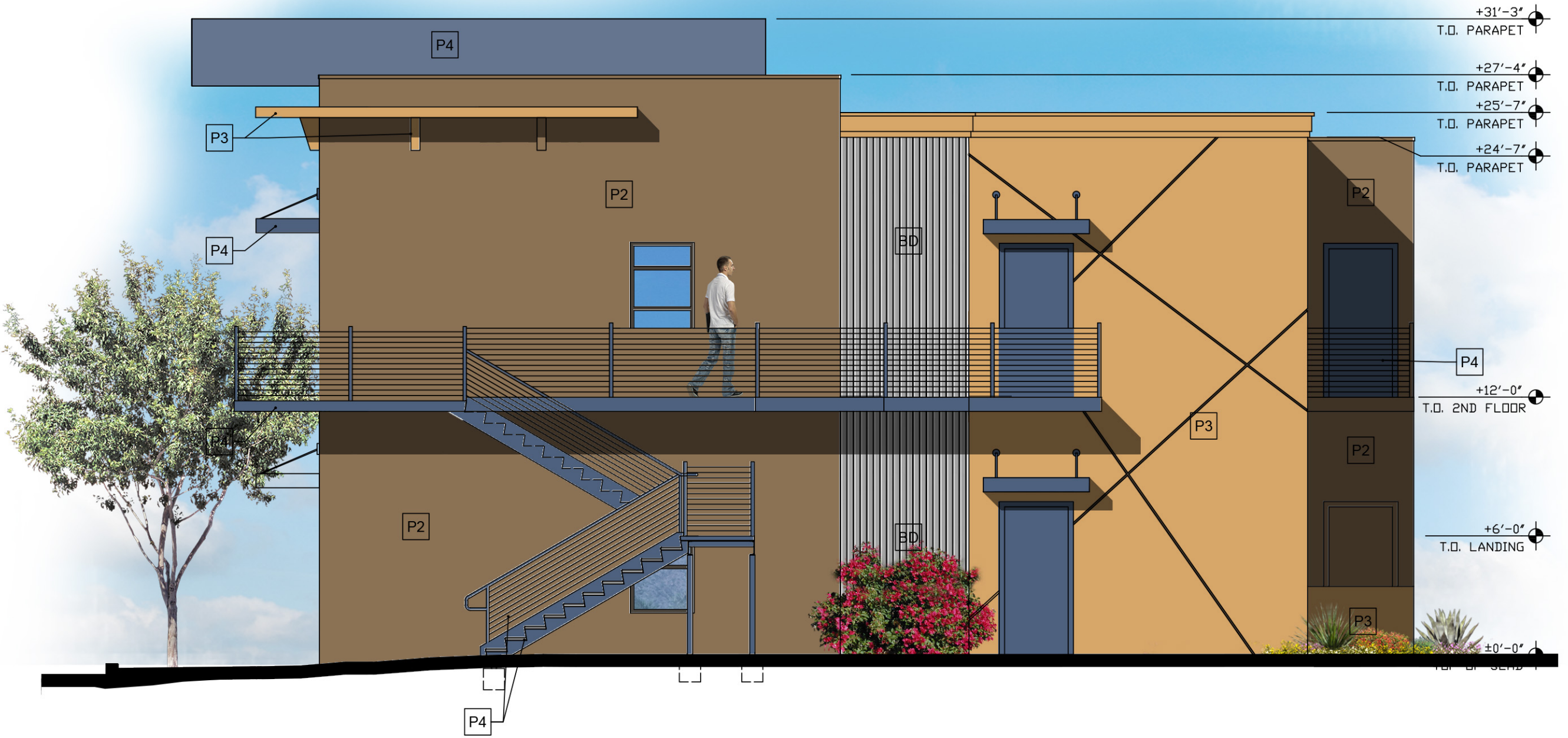
**PRELIMINARY GRADING,
 DRAINAGE & UTILITY PLAN**
 RWI PROPERTIES, LLC 24 UNIT
 APARTMENT HOMES
 455 W HOLMES AVE.,
 MESA, AZ 85210

P: 602-889-1984 | F: 602-445-9482
 8808 N CENTRAL AVE., SUITE 288
 PHOENIX, AZ 85020
 PHOENIX@LDG.COM

GENERAL NOTES:		PAINT NOTES:	
1. SEE STRUCTURAL DRAWINGS FOR LINTEL INFORMATION.		1. PAINTER TO PROVIDE COLOR SCHEME WITH ALL DECORATIVE BANDS MARKED AND PAINTED IN COLORS AS SELECTED.	
2. SEE DOOR SCHEDULE FOR ROLL-UP DOOR HEIGHTS.		2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.	
3. SEE STRUCTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS.		3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.	
GLAZING KEY:		4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.	
MATERIAL	DESCRIPTION:		
NON-RATED EXTERIOR FRAMES:	ARCADIA 2 X 4 1/2" BROWN ALUMINUM STOREFRONT		
NON-RATED EXTERIOR GLAZING:	1" GRAY REFLECTIVE INSULATED GLAZING		
ELEVATION NOTES:		PAINT KEY:	
1. FIELD VERIFY ALL EXACT CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY, TYP.		KEY: DESCRIPTION:	
2. ALL NEW GLASS PANELS TO BE TEMPERED, WHERE OCCURS BY CODE.		P1 SHERWIN WILLIAMS #SW 7023 "REQUISITE GRAY"	
3. ALL NEW SIGNAGE TO BE BY SEPARATE CONTRACTOR, G.C. TO PROVIDE POWER AND COORDINATE DETAILS WITH ACTUAL SITE CONDITIONS, TYP.		P2 SHERWIN WILLIAMS #SW 3114 "FALLEN LEAVES"	
4. ALL EXTERIOR WINDOWS & DOORS TO MEET THE 2018 I.E.C.C. COM-CHECK.		P3 SHERWIN WILLIAMS #SW 6301 "ANJOU PEAR"	
5. NEW EXTERIOR STOREFRONT SYSTEM MFS BY ARCADIA FRONT GLAZED ALUMINUM STOREFRONT FOR 1" OVERALL BLUE REFLECTIVE INSULATED GLAZING - CLEAR ANODIZED CLASS II FINISH.		P4 SHERWIN WILLIAMS #SW 6531 "LUXE BLUE"	
6. SEE STRUCTURAL DRAWINGS FOR EXTERIOR CANOPY CONNECTIONS AND DETAILS.		BD CORRUGATED METALS (OR EQUAL) 6" BOX RIB	
7. SEE SCHEDULES FOR ALL DOOR AND WINDOW TYPES AND NOTES, SHT. A8.0			
BUILDING MATERIAL LEGEND:			
PER Section 11-5-B(B)(5) of the MZO.			
FRONT/REAR ELEVATIONS:			
STUCCO SYSTEM, PAINTED 3,460 SF - 45%			
VERTICAL CORRUGATED METAL PANEL SYSTEM 1,110 SF - 15%			
SIDE ELEVATIONS:			
STUCCO SYSTEM, PAINTED 2,270 SF - 32%			
VERTICAL CORRUGATED METAL PANEL SYSTEM 236 SF - 4%			
TOTAL: 7,152 SF			



4 EXTERIOR ELEVATION- NORTH
SCALE: 1/8"=1'-0"



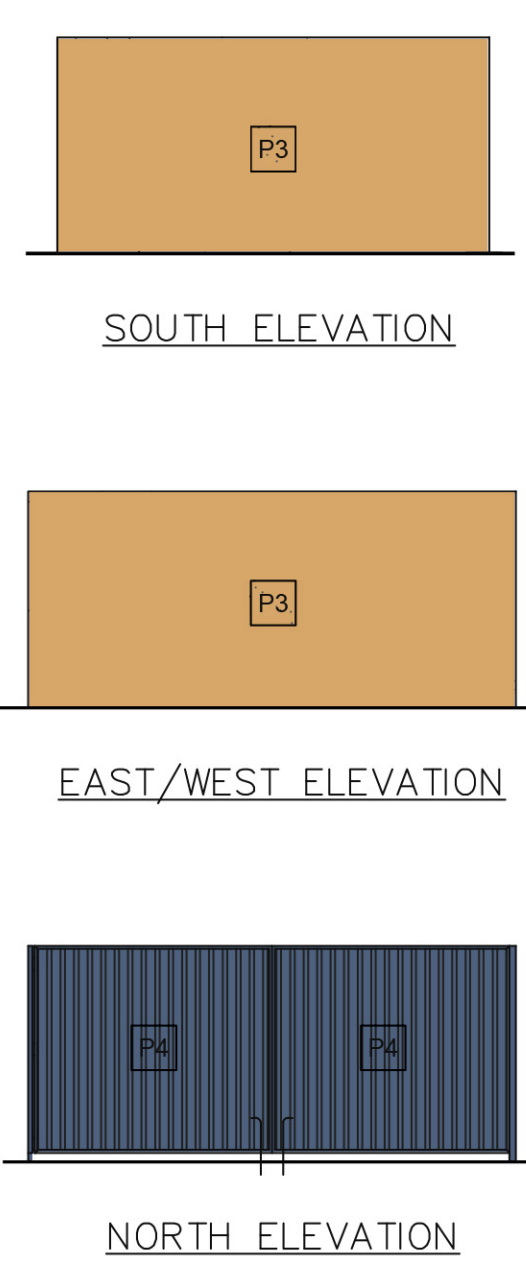
3 EXTERIOR ELEVATION- SOUTH
SCALE: 1/8"=1'-0"



2 EXTERIOR ELEVATION- EAST
SCALE: 1/8"=1'-0"



1 EXTERIOR ELEVATION- WEST
SCALE: 3/16"=1'-0"



5 ELEVATIONS AT TRASH ENCLOSURE
SCALE: 3/16"=1'-0"

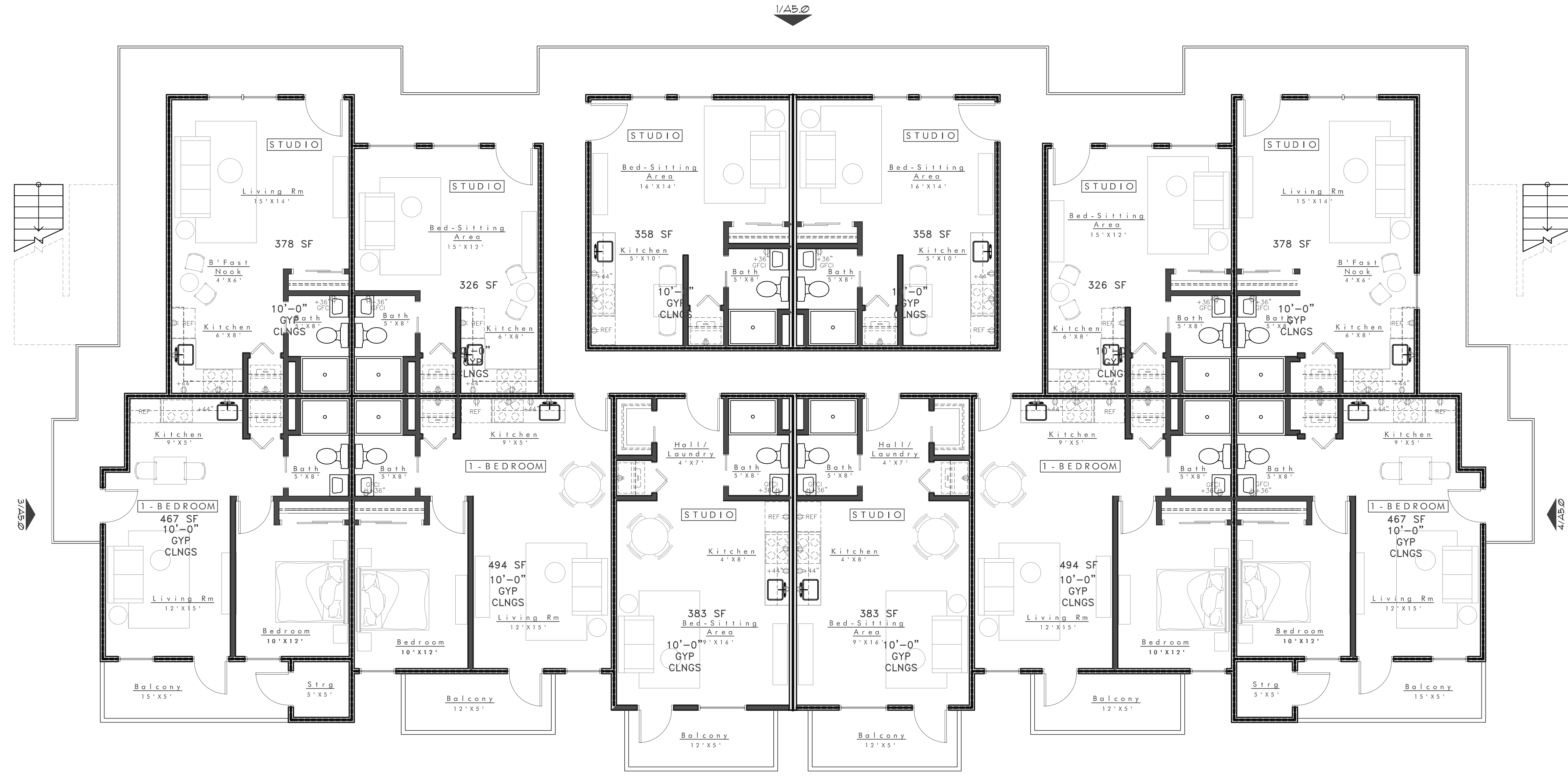
RWI PROPERTIES
24 UNIT APARTMENT COMPLEX
455 W. HOLMES AVE
MESA, AZ 85210

revisions:

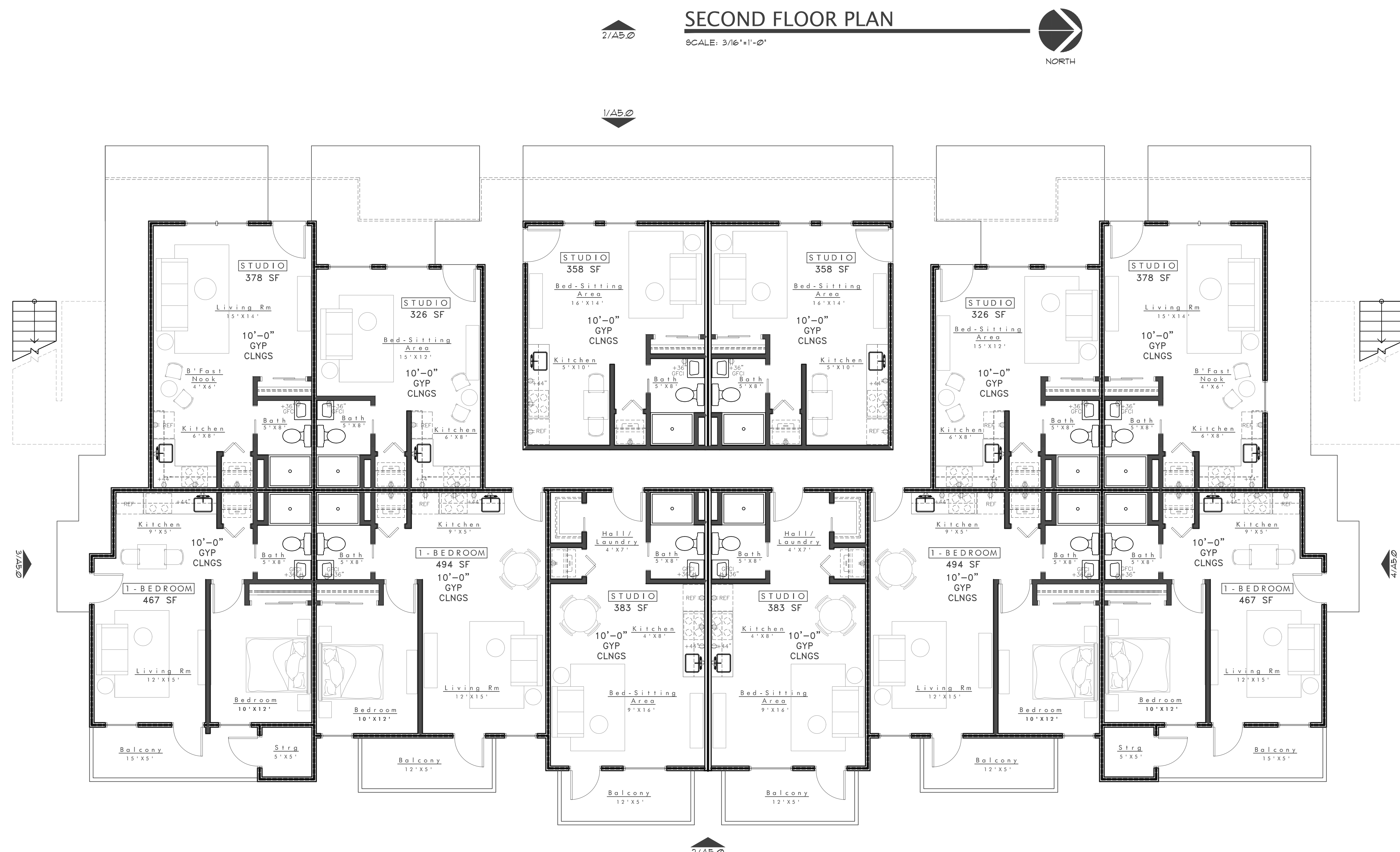
ISSUE DATE: 03.04.22
JOB NUMBER: 21-025
SCALE: AS NOTED
DRAWN: BF
CHECKED: BF
TITLE: BUILDING ELEVATIONS

A5.0

- ### GENERAL NOTES
- GENERAL CONTRACTOR TO CONFIRM EXISTING CONDITIONS PRIOR TO START OF WORK. ANY DISCREPANCIES, PLEASE CONTACT ARCHITECT.
 - ALL NEW CONSTRUCTION, INCLUDING MILLWORK, CABINETS, SINK AND FAUCETS TO COMPLY WITH CURRENT ADA REGULATIONS.
 - ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
 - THE FLOOR AND LANDING ON EACH SIDE OF EXIT DOORS SHALL BE LEVEL. THE THRESHOLD SHALL NOT BE MORE THAN 1/2" HIGH.
 - ACCESSIBLE MEANS OF EGRESS SHALL BE PROVIDED IN THE SAME NUMBER REQUIRED FOR EXITS BY CHAPTER 10.
 - AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING AND BETWEEN THE PUBLIC WAY.
 - ALL ACCESSIBLE FLOOR/GROUND SURFACES SHALL COMPLY WITH CABO/ANSI 111.2002 AND SECTION 1010 OF THE IBC.
 - ALL FLOORING TRANSITIONS TO OCCUR BETWEEN CENTER OF DOOR.
 - PROVIDE SMOOTH DRYWALL (LEVEL-4 FINISH) WITH (1) COAT PRIMER AND (2) COATS OF PAINT, PROVIDE EGGSHELL FINISH, TYPICAL. PROVIDE EGGSHELL FINISH AT ALL GYPSUM BOARD SOFFITS/CEILING.
 - PROVIDE GREEN BOARD AT ALL VERTICAL SURFACES TO RECEIVE TILE FINISH.
 - DOORS SHALL HAVE MIN. 18" CLEARANCE ON THE PULL SIDE, AND MIN. 12" CLEARANCE ON THE PUSH SIDE, TYPICAL.
 - VERIFY ALL HARDWARE SPECIFICATIONS WITH OWNER PRIOR TO INSTALLATION. G.G. TO COORDINATE ALL KEYING WITH OWNER. DOOR HARDWARE COMPLY WITH CABO/ANSI 111.
 - ALL INTERIOR GLASS SHALL BE CLEAR TEMPERED GLASS UNO. GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN AND POLISH GLASS PRIOR TO PROJECT DELIVERY AND AFTER INSTALLATION.
 - SAFETY GLAZING: GLASS IN DOORS WITHIN 24" OF DOORS AND WITHIN 18" OF FLOORS SHALL BE TEMPERED GLASS (IBC 2406.4).
 - GENERAL CONTRACTOR TO PROVIDE ALL MATERIAL AND LABOR TO MAKE NECESSARY HOOKUPS, TIE-INS AND ADDITIONS TO THE BUILDING SYSTEMS FOR ALL EMS, FIRE SPRINKLERS, SMOKE DETECTORS, ALARMS, HOOKUPS, STROBES, EXIT SIGNS AND EMERGENCY LIGHTING AS DIRECTED BY THE CITY FIRE AND BUILDING INSPECTORS.
 - FABRICATE CABINETWORK ITEMS IN ACCORDANCE WITH RECOMMENDATIONS OR QUALITY STANDARDS OF ARCHITECTURAL WOODWORK INSTITUTE (AWI). ALL MILLWORK CONSTRUCTION AND FINISH TO CONFORM TO THE AWI. "PREMIUM GRADE" QUALITY STANDARDS UNLESS NOTED OTHERWISE.
 - PROVIDE METAL STRAPPING IN ALL PARTITIONS REQUIRED TO SUPPORT ANY WALL MOUNTED MILLWORK OR FURNITURE. REFER TO DETAIL 4/A10.
 - REFER TO DETAIL 5/A10 FOR TYPICAL MOUNTING HEIGHTS.
 - REFER TO PARTITION SCHEDULE, DETAILS 1 & 2/A10 FOR ALL STUD SIZINGS (IN COORDINATION WITH WALL LEGEND, THIS SHEET).



SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"

BUILDING UNIT SF:

STUDIO-1:	378 SF
STUDIO-2:	326 SF
STUDIO-3:	358 SF
STUDIO-4:	358 SF
STUDIO-5:	326 SF
STUDIO-6:	378 SF
STUDIO-7:	383 SF
STUDIO-8:	383 SF
1BR-1:	467 SF
1BR-2:	494 SF
1BR-3:	494 SF
1BR-4:	467 SF
1ST FLOOR TOTAL:	4,812 SF

STUDIO-1:	378 SF
STUDIO-2:	326 SF
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STUDIO-4:	358 SF
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STUDIO-8:	383 SF
1BR-1:	467 SF
1BR-2:	494 SF
1BR-3:	494 SF
1BR-4:	467 SF
1ST FLOOR TOTAL:	4,812 SF

TOTAL BUILDING SF:	9,624 SF
LIVABLE (UNDER ROOF):	
1ST FLOOR:	5,024 SF
2ND FLOOR:	5,024 SF
TOTAL:	10,048 SF

BALCONY/PATIO:

1ST FLOOR:	6-390 SF (HARDSCAPE)
2ND FLOOR:	6-390 SF (STRUCTURE)

UNIT COUNTS

1 BR	- 8 UNITS
STUDIO	- 16 UNITS
TOTAL:	- 24 UNITS

- ### KEY NOTES
- GENERAL BUILDING / COMMON AREA ITEMS:**
- Div 2 Site: Supply and install 3" dia. bronze nutters at the outside of each unit, from floor area.
 - Div 7 Flooring: Verify all roof penetrations, waterproof and seal as necessary. Check flashings, facias and gables and replace as necessary for roof flashing.
 - Div 7 Roofing: Provide attic insulation to achieve an R-38 rating (to be blown in cellulose).
 - Div 8 Windows: Supply and install low-e, dual pane windows, v.g. all rough openings for sizes shown are to be fabricated with aluminum and with corners, muntins and sashes. All windows shall be installed as exterior secondary unit (operate from inside without use of keys, tools or any special knowledge) with one pane of 1/2" thick low e clear operable and 1/2" high 1/2" thick insulating glass unit (IGU) preferred above floor, adjust as required to comply with code. Note: all windows shall be 1/2" thick and all windows shall have 1/2" A.I.T. at window frame in both tops and bottom. (IBC 2406.4).
 - Div 8 Windows: Caulk all windows with silicone, non-stick, clear caulk (exterior grade).
 - Div 8 Doors: Supply and install exterior grade doors and frames, provide thresholds with seals and hardware.
 - Div 8 Doors: Caulk all door frames with silicone non-stick caulk (exterior grade) and paint doors and frames with one coat primer/sealer and top coat of exterior grade latex paint.
 - Div 9 Finishes: Paint masonry stem walls with one coat primer/sealer and top coat of exterior grade latex paint.
 - Div 9 Electrical: Supply and install wall mounted exterior grade light fixtures adjacent to front and rear exterior doors, unless noted otherwise.
- GENERAL UNIT INTERIOR ITEMS:**
- Div 4 Woods: Provide kitchen cabinetry and countertops per plans. Tops shall be plastic laminate on 3/4" particle board with a 4" back splash (verify with appliance selections prior to ordering).
 - Div 4 Woods: At Hall closets, provide residential grade recessed shelving.
 - Div 4 Woods: Provide residential grade shelving and rod, at bedroom closets.
 - Div 8 Windows: Supply and install 2" vertical blinds at front elevation windows.
 - Div 8 Doors: Supply and install wood doors and frames, including lever hardware.
 - Div 9 Finishes: Provide wood base, prep for paint.
 - Div 9 Finishes: Patch and repair all ceilings and re-texture as needed, prep for paint.
 - Div 9 Finishes: Prime ceilings with one coat primer/sealer and top coats of Sherwin Williams or approved equal interior grade latex paint (flat).
 - Div 9 Finishes: Supply and install residential grade vinyl to the following areas: Living and Dining Rooms and Bedroom with rubber strips at all joints or exposed edges, as needed.
 - Div 9 Finishes: Supply and install non-porcelain tile at Bathrooms, as selected by Owner, with aluminum threshold/leading strips at all joints or exposed edges.
 - Div 9 Finishes: Supply and install porcelain tile at each tub surround to 4'-0"; provide bullnose trim at top corners and window sills.
 - Div 10 Specialties: Provide and install 24" chrome towel bars, 2 per bathroom (1 above toilet and 1 behind door swing).
 - Div 10 Specialties: Provide and install shower curtain rod, per bathroom.
 - Div 10 Plumbing: Supply and install Eco plumbing fixtures, include supply piping, fittings and chrome faucets (as provided by Delta or equal) refer to plumbing engineering.
 - Div 10 Plumbing: Supply and install non-stainless steel double sink at Kitchen and supply piping for water to the refrigerator location, include new supply piping, fittings and chrome clear faucets (as provided by Delta or equal) connect to existing drain line.
 - Div 10 Plumbing: Supply and install hot-water heaters by Rheem, RFE B 50PM, with supply lines, and electrical feeds.
 - Div 10 Mechanical: All existing duct work to remain, clean and prepared as needed for new HVAC units, v.g.
 - Div 10 Mechanical: Provide ceiling grilles throughout (unless) as both supply and return grilles.
 - Div 10 Mechanical: Supply and install new 2 ton A/C units throughout. All units are to meet applicable Energy Codes and shall have a 14 SEER rating or better, provide insulation, refer to Mechanical Engineering, typ.
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 - Div 10 Mechanical: Provide smoke detectors.
 - Div 10 Electrical: Supply and install electrical panels at each unit, refer to Electrical Engineering.
 - Div 10 Electrical: Supply and install new ceiling fans with lights to all existing 2-bones at each bedroom and living room (refer above).
 - Div 10 Electrical: Supply and install flush-mount light fixtures and can lighting as shown, as per reflected ceiling plans.
 - Div 10 Electrical: Supply and install switches and receptacles throughout all in base color (provide outlets at 2'-0" per IBC) provide fire resistance "bunny pads" at all back-to-back outlet locations, per IBC 240.3, supply and install new ceiling fans with lights in bedrooms and lounge areas.
 - Div 10 Electrical: Supply and install wall mounted from door bell adjacent to front exterior door.

WALL TYPE LEGEND

	NEW 6" 20 GA. METAL STUD PARTITION, FULL HEIGHT TO UNDERSIDE OF ROOF ABOVE, REFER TO DETAIL 1/A10.
	NEW 6" 20 GA. METAL STUD FULL HEIGHT WALL, REFER TO DETAIL 2/A10.
	NEW 3 1/2" 25 GA. METAL STUD TO 6" ABOVE CEILING, REFER TO DETAIL 3/A10.
	NEW DOOR, REFER TO DOOR SCHEDULE

RWI PROPERTIES
24 UNIT APARTMENT COMPLEX
455 W. HOLMES AVE
MESA, AZ 85210

revisions:

ISSUE DATE:	05.17.22
JOB NUMBER:	21-025
SCALE:	AS NOTED
DRAWN BY:	BF
CHECKED BY:	BF
TITLE:	FLOOR PLANS, NOTES

A2.0

ISSUED FOR REVIEW

Citizen Participation Plan
for
RWI PROPERTIES – 24-UNIT MULTI-FAMILY
Case# ZON21-00793

Date: May 19, 2022

Purpose: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, schools and businesses in the vicinity of the site of an application for the RWI Properties 24-Unit Multi-Family project. This site is located at 455 W. Holmes Ave, near the intersection of South Country Club Dr. & East Superstition Highway and is an application for the rezoning of .773 acres from LC to RM-4 with PAD. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

Brian Fracasse

4425 E. Agave Road,

Suite #120

Phoenix, Arizona 85044

(480) 659-6745

email: bfracasse@taylorfracasse.com

Pre-application Meeting: The pre-application meeting with City of Mesa planning staff was held on August 16, 2021. Staff reviewed the application and recommended that adjacent residents, Mesa School District, and nearby registered neighborhoods be contacted.

Action Plan: In order to provide effective citizen participation in conjunction with their application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have.

A contact list was developed for citizens and agencies in this area including:

- All registered neighborhood associations within one mile of the project.
- Homeowners Associations within one half mile of the project.
- Interested neighbors -focused on 1,000 feet from site, but may include more

Timeline:

Pre-Submittal meeting: July 15, 2021

First neighborhood meeting: March 21, 2022

Application Submittal: May 14, 2022

Submittal of Citizen Participation Report and Notification materials: May 24, 2022

Planning and Zoning Board Hearing: June 8, 2022

Results:

In our efforts of outreach, there were no responses or reciprocating interest from anyone in the area. However, the owner and developer who currently occupies an office at 455 W. Holmes Ave, has had private discussions with his adjacent neighbors who have expressed a warm interest in the project. Additionally, Taylor Fracasse Architecture, Inc. and the Mesa Planning Department have undertaken an above and beyond level of review asserting a high level of attention to detail to ensure that all the Municipality requirements and design criteria are met.

Citizen Participation Report
for
RWI PROPERTIES – 24-UNIT MULTI-FAMILY
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Dear Neighbor,

We have applied for Rezone from Limited Commercial (LC) to Multiple Residence 4 with a Planned Area Development overlay (RM-4-PAD) and Site Plan Review for the property located at 455 W. Holmes Ave, Mesa, AZ 85210 . This request is for development of a 24-Unit Multi-Family Project . The case number assigned to this project is ZON21 - 00793 .

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 480-659-6745 or e-mail me at bfracasse@taylorfracasse.com .

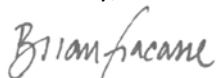
This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on June 8 , 2022 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by **calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts**. If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at **least 1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Sean Pesek of their Planning Division staff. He can be reached at 480-644-6716 or sean.pesek@mesaaz.gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,



Brian Fracasse, NCARB, AIA

Taylor:Fracasse Architecture, Inc.

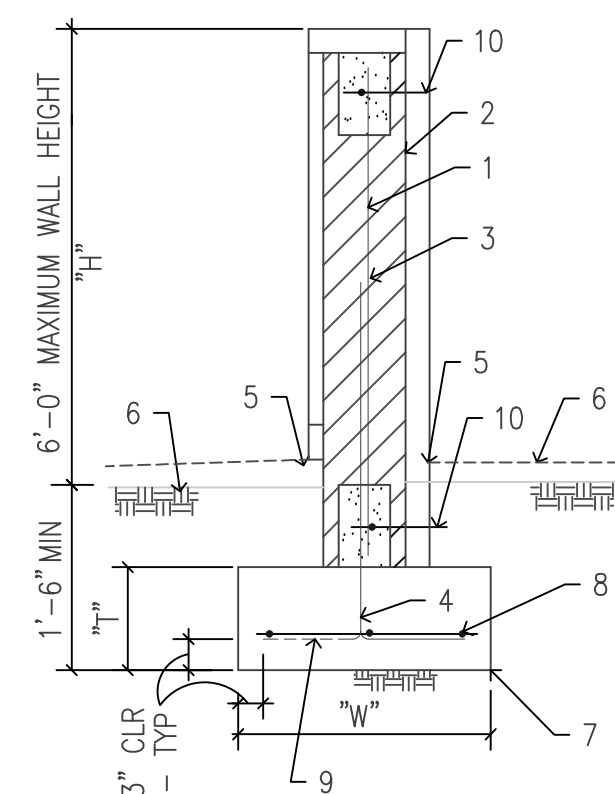


2 OUTDOOR STRENGTH STATION
SCALE: N.T.S.

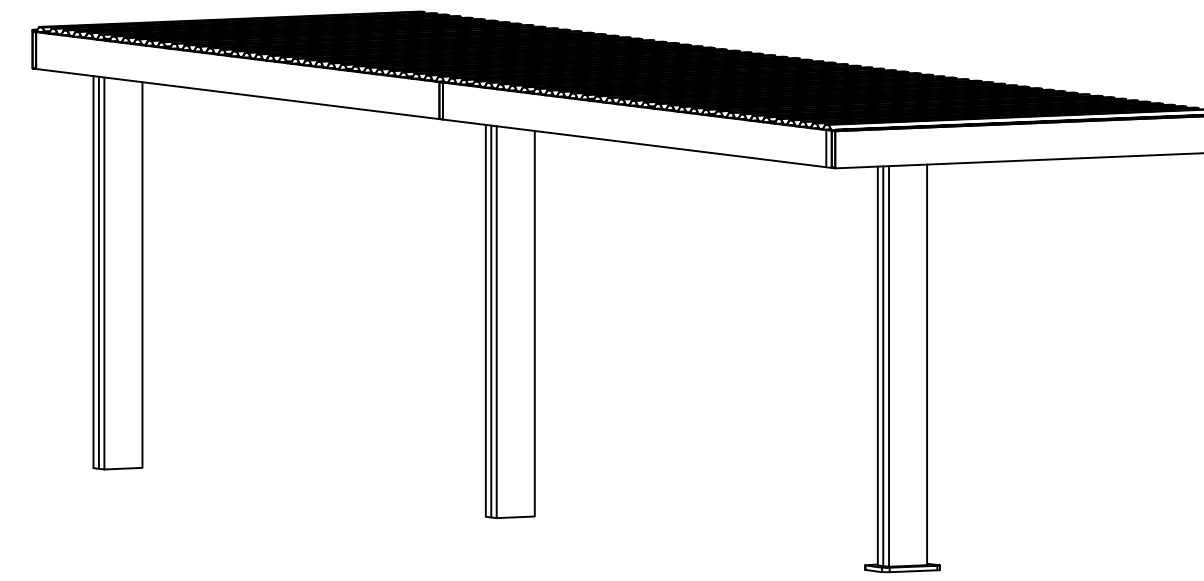
DETAIL NOTES

1. VERTICAL REINFORCING ("V") PER SCHEDULE
2. 8" CMU FENCE WALL - SOLID GROUT, W / STONE VENEER
3. PORTION OF WALL BELOW GRADE
4. #9 GAGE HORIZONTAL LADDER REINFORCING AT 16" O.C. VERTICALLY
5. DOWELS MATCH VERTICAL REINFORCING AND LAP PER THE G.S.N.
6. PAVERS OVER SAND BED
7. FINISHED GRADE
8. CONCRETE FOOTING PER SCHEDULE
9. #4 CONTINUOUS HORIZ. AT 12" O.C.
10. ALTERNATE BENDS
11. (1) #4 CONTINUOUS IN 8" DEEP GROUTED BOND BEAM.

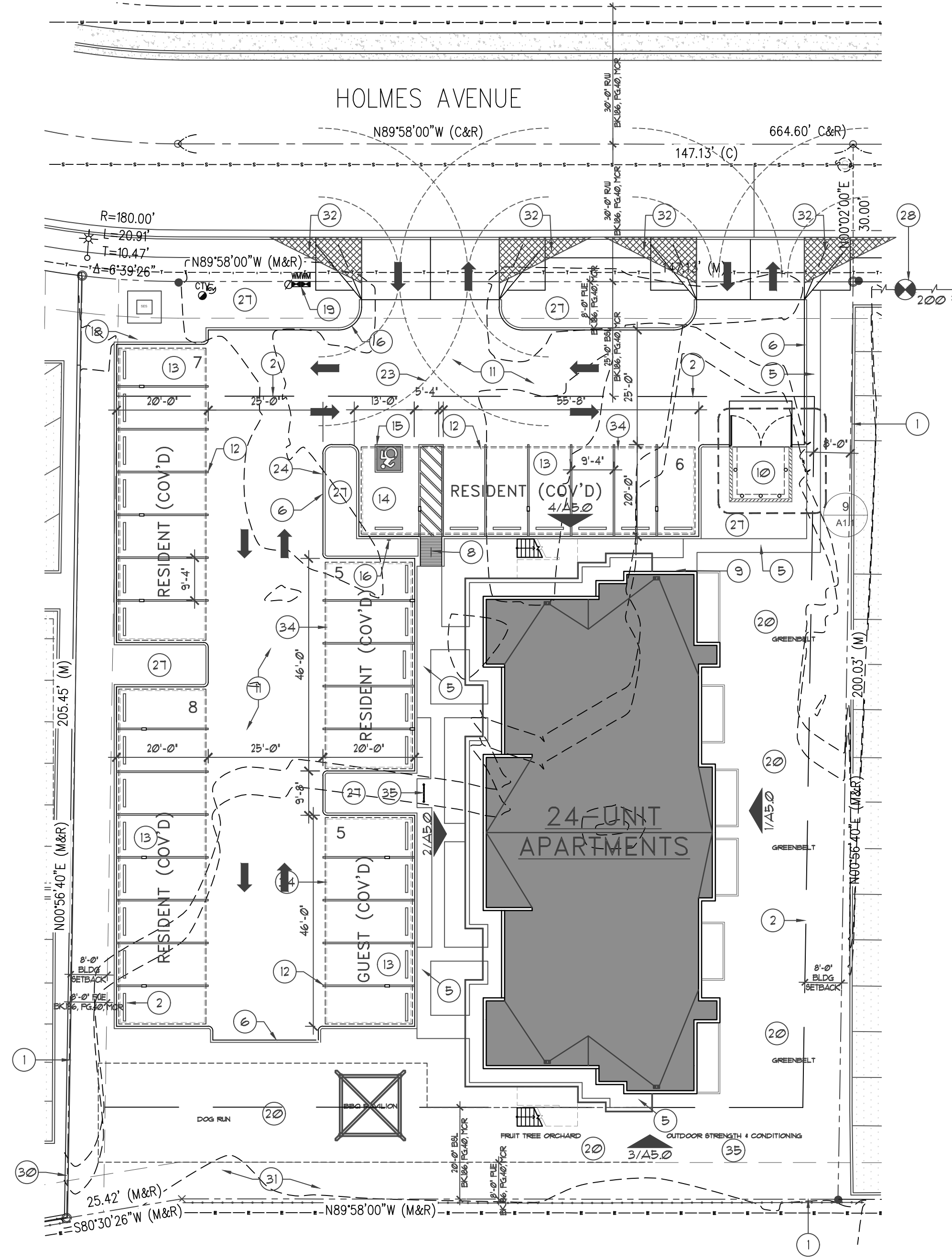
MAX. WALL HEIGHT ("H")	VERTICAL REINFORC. ("V")	FOOTING WIDTH ("W")	FOOTING THICKNESS ("T")
4'-0"	#4 AT 48" O.C.	1'-4"	0'-10"
6'-0"	#5 AT 48" O.C.	1'-10"	0'-10"



1 SITE FENCE WALL DETAIL
SCALE: 3/4"=1'-0"



3 TYPICAL COVERED PARKING
SCALE: N.T.S.

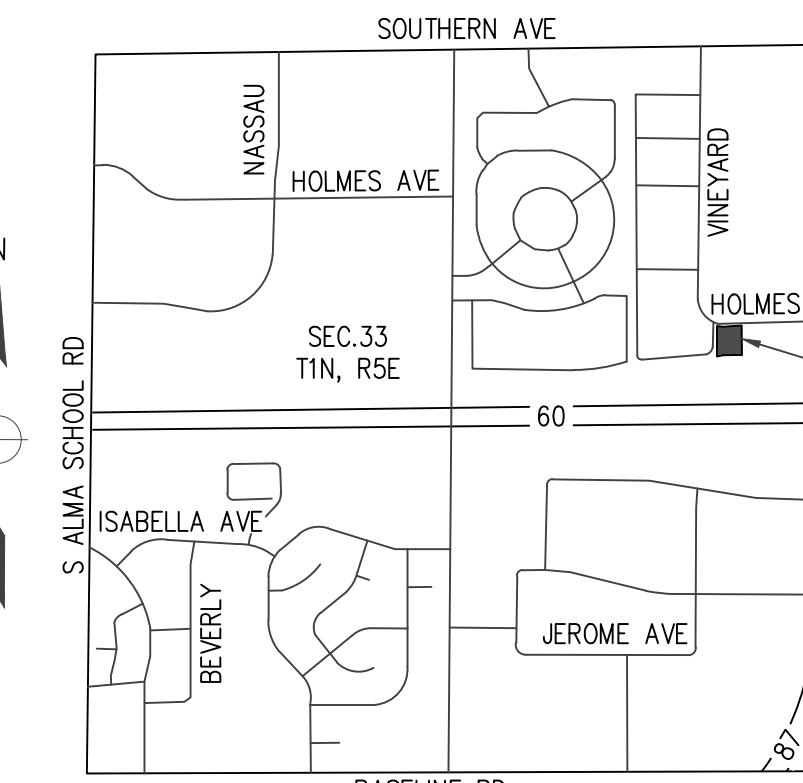


SITE PLAN
SCALE: 1"=20'

SITE PLAN NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. THIS PROJECT IS LOCATED IN THE CITY OF MESA WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. ALL SIGNAGE REQUIRES SEPARATE APPROVALS AND PERMITS.
5. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM THE ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED SO THAT IT EXCEEDS THE GENERAL LEVEL OF NOISE, ODOR OR VIBRATION EMITTED BY USES OUTSIDE OF THE SITE.
6. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.
7. RETENTION IS REQUIRED, 50% DRAIN TO STREET.

VICINITY MAP



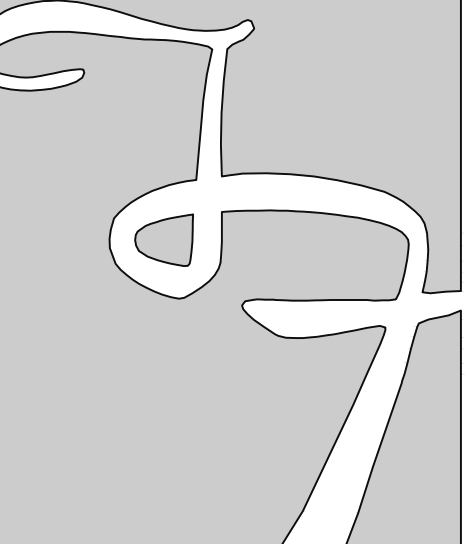
KEY NOTES

1. PROPERTY LINE.
2. LINE OF BUILDING SETBACK.
3. ACCESSIBLE EXIT TO HAVE 1/2" MINIMUM THRESHOLDS AT DOOR AND LANDING PAD TO ASPHALT PAVING.
4. IRRIGATION CONTROL, REFER TO LANDSCAPE, PROVIDE DRIP LINES AS REQUIRED TO PLANTINGS AT ENTRY AND LANDSCAPE ISLANDS, PROVIDE WALL MOUNTED TIERS AT INTERIORS.
5. 4" T. CONCRETE SIDEWALK OR EQUIPMENT PAD OVER 4" COMPACTED A.B.C., NATURAL GRAY, WIDTH AS SHOWN. (CONTROL JOINTS @ 5'-0" O.C., EXPANSION JOINTS @ 20'-0" O.C.) (PER ICC A111), SECTION 403.3, AT SIDEWALKS, ACCESSIBLE ROUTE SLOPE COMPLIANCE OF 5% MAXIMUM RUNNING SLOPES AND A MAXIMUM OF 2% FOR CROSS SLOPES).
6. CONCRETE CURBING, REFER TO CIVIL DRAWINGS FOR MORE INFO.
7. 5" T. CONCRETE APRON OVER 4" COMPACTED A.B.C., NATURAL GRAY.
8. ACCESSIBILITY RAMP PER DETAIL 3/02 (PER ICC A111), SECTION 405 FOR AT SIDEWALK RAMP; 4 SECTION 406 FOR AT CURB RAMP.
9. PROVIDE HORN/STROBE DEVICE, MOUNTED AT THE EXTERIOR OF THE BUILDING SO EASILY RECOGNIZABLE FROM THE STREET FRONTAGE (INCLUDE AS PART OF FIRE ALARM AND SPRINKLER DEFERRED SUBMITTAL PACKAGE).
10. TRASH ENCLOSURE WITH GATES AND CONCRETE SLAB, REFER TO ENLARGED DETAILS, TO COMPLY WITH COM SOLID WASTE DETAIL M-62.01 THRU M-62.04.2, ENCLOSURE TO BE COMPATIBLE WITH COLORS AND MATERIALS WITH NEW BUILDING BEING CONSTRUCTED.
11. 3" AC OVER 5" ABC, REFER TO CIVIL DRAWINGS FOR MORE INFO.
12. 4" WIDE WHITE PAVEMENT MARKINGS, TYP.
13. REGULAR PARKING STALL, 9'-0" W. X 20'-0" L., TYP.
14. ACCESSIBLE PARKING STALL, 11'-0" W. X 20'-0" L. WITH 5'-0" W. X 20'-0" L. ACCESS ZONE.
15. INTERNATIONAL ACCESSIBILITY SYMBOL PAVEMENT MARKING, REFER TO DETAIL 9/A03.
16. ACCESSIBLE PARKING SIGN, PER GOVERNING AGENCY REQUIREMENTS. REFER TO DETAIL 9/A02.
17. HOSE BIB, REFER TO PLUMBING ENGINEERING DRAWINGS FOR MORE INFO.
18. ELECTRICAL 96S/SWITCH GEAR AND TRANSFORMER LOCATION ON CONCRETE SLAB, REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR MORE INFO.
19. WATER METER W/ TAP FROM METER TO MAIN, REFER TO PLUMBING AND CIVIL DRAWINGS FOR MORE INFO.
20. OPEN SPACE REQUIREMENTS (BBQ/GAZEBO/ORCHID).
21. FIRE DEPARTMENT SIAMSE CONNECTION AND BUILDING MOUNTED DC SIGMA. THE ROUTE FROM THE HYDRANT TO THE DC IS MEASURED AS THE SUPPLY HOSE WOULD BE LAID OUT BY A FIRE APPARATUS ON APPROVED ACCESS DRIVES, (PER IC 912).
22. FIRE DEPARTMENT KNOX BOX LOCATION (RECESSED WALL MNTD-TYP OF 2). PROVIDE 3FT X 3FT ACCESS/WORK CLEAR SPACE.
23. FIRE TRUCK APPARATUS TURNING RADIUS (35 FT INSIDE/55 FT OUTSIDE).
24. FIRE LANE MARKED BY CURB PAINTED RED AND LABELED "FIRE LANE NO PARKING" PER REGULATION FIRE LANES.
25. FIRE LANE "NO PARKING" SIGN, WALL MOUNT WHEN APPLICABLE.
26. STARTING POINT FOR NEW BUILDING LAYOUT. (SEE FLOOR PLAN, SHEET A3.0 FOR BUILDING AS PER CITY OF APACHE JUNCTION DEVELOPMENT STANDARDS, REFER TO LANDSCAPE DESIGN FOR MORE INFO DIMENSIONS).
27. NATIVE LANDSCAPING.
28. EXISTING ADJUD FIRE HYDRANT - DISTANCE 200 FT.
29. PARKING LOT LIGHT POLES W/ CONCRETE BASE, PER DETAIL 4/A02, REFER TO ELECTRICAL ENGINEERING FOR MORE INFO.
30. 6'-0" HIGH-MASONRY SITE FENCE WALL.
31. RETENTION LOCATION, REFER TO CIVIL DRAWINGS FOR MORE INFO.
32. 10'-0" X 20'-0" SITE VIABILITY TRIANGLES.
33. EXIST'G SITE SCREEN WALL TO REMAIN, PROVIDE NEW PAINT.
34. SEMI-CANTILEVER COVERED PARKING STRUCTURE W/ LIGHTS AT UNDERSIDE.
35. BICYCLE PARKING, 3 SPACES PROVIDED.
36. OUTDOOR STRENGTH AND CONDITIONING EQUIPMENT, 4 STATIONS, BY FITCORE OF EQUAL.

PROJECT DATA

OWNER:	RWI PROPERTIES, INC.	REQUIRED LANDSCAPE SETBACKS:	
PROJECT ADDRESS:	455 W. HOLMES AVE	FRONT:	10'-0"
PARCEL NUMBER:	134-22-211A	SIDES:	4'-0"
		REAR:	20'-0"
LOT #:	3	OCCUPANCY CONTENT:	R-4 (RESIDENTIAL)
ZONING:	LC (RE-ZONE TO RM-1.4 PAD)	RWI MULTI-FAMILY COMPLEX:	10,048 SF
GROSS SITE AREA:	.713 ACRES (33,665 SF)	OCCUPANCY LOAD:	16-8 STUDIO UNITS = 16 OCCUPANTS 8-1 BR UNITS = 8 OCCUPANTS TOTAL: 24 OCCUPANTS
CONSTRUCTION TYPE:	TYPE V-B	PATIO/BALCONIES:	12 AT 50 SF/UNIT 8 AT 60 SF/UNIT 4 AT 75 SF/UNIT
BUILDING SF AREA:	10,048 SF	EXITING REQUIRED:	AS PER UNIT
BUILDING FOOTPRINT AREA:	5,024 SF		
BUILDING LOT COVERAGE:	14.92% (95% ALLOWED)		
REQUIRED BUILDING SETBACKS:			
FRONT:	25'-0"		
SIDES:	28'-0"		
REAR:	23'-0"		
BUILDING HEIGHT REQUIREMENTS:			
ALLOWABLE:	30'-0"		
PROVIDED:	31'-3"		

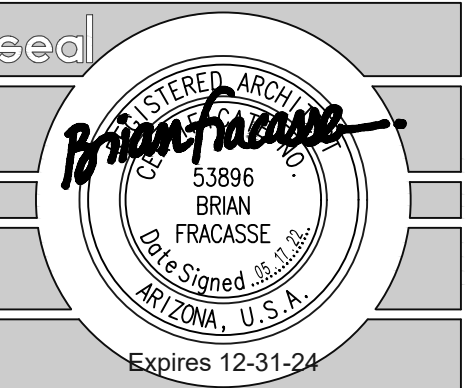
PARKING DATA:	
PARKING REQUIRED:	
MULTI-FAMILY:	
RESIDENTIAL - 24 UNITS @ 1 SPACE/UNIT:	= 24 SPACES
ACCESSIBLE SPACE:	1 SPACE
PARKING PROVIDED:	
REGULAR RESIDENT SPACES (COVERED):	= 25 SPACES
GUEST SPACES (COVERED):	= 5 SPACES
ACCESSIBLE SPACE (COVERED):	1 SPACE
PARKING PER SECTION II-5-5 OF MZO:	56%
(FRONTAGE CALCULATION)	94'-0" W. PROVID
BICYCLE PARKING:	= 3 SPACES
OPEN SPACE REQUIRED:	
RESIDENTIAL - 24 UNITS @ 200 SF/UNIT:	= 4,800 SF
OPEN SPACE PROVIDED:	
RESIDENTIAL - 24 UNITS @ 208 SF/UNIT:	= 5,000 SF



4425 East Agave Road, Suite #120
Phoenix, Arizona 85044
Tel: 480.659.6745
www.taylorfracasse.com

ARCHITECTURE • PLANNING
INTERIORS • RESEARCH DESIGN

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Expires 12-31-24

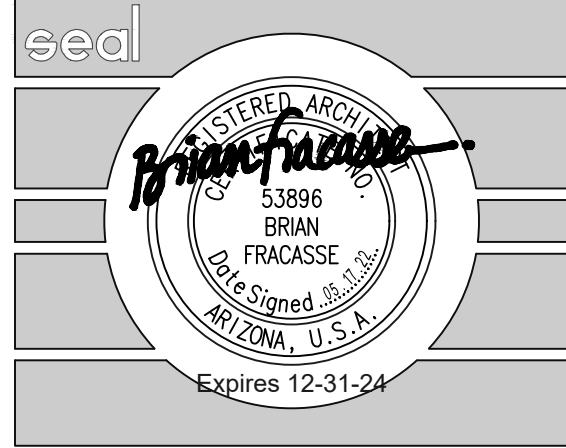
RWI PROPERTIES, LLC
24 UNIT - APARTMENT HOMES
455 W. HOLMES AVENUE
MESA, AZ 85210

revisions:

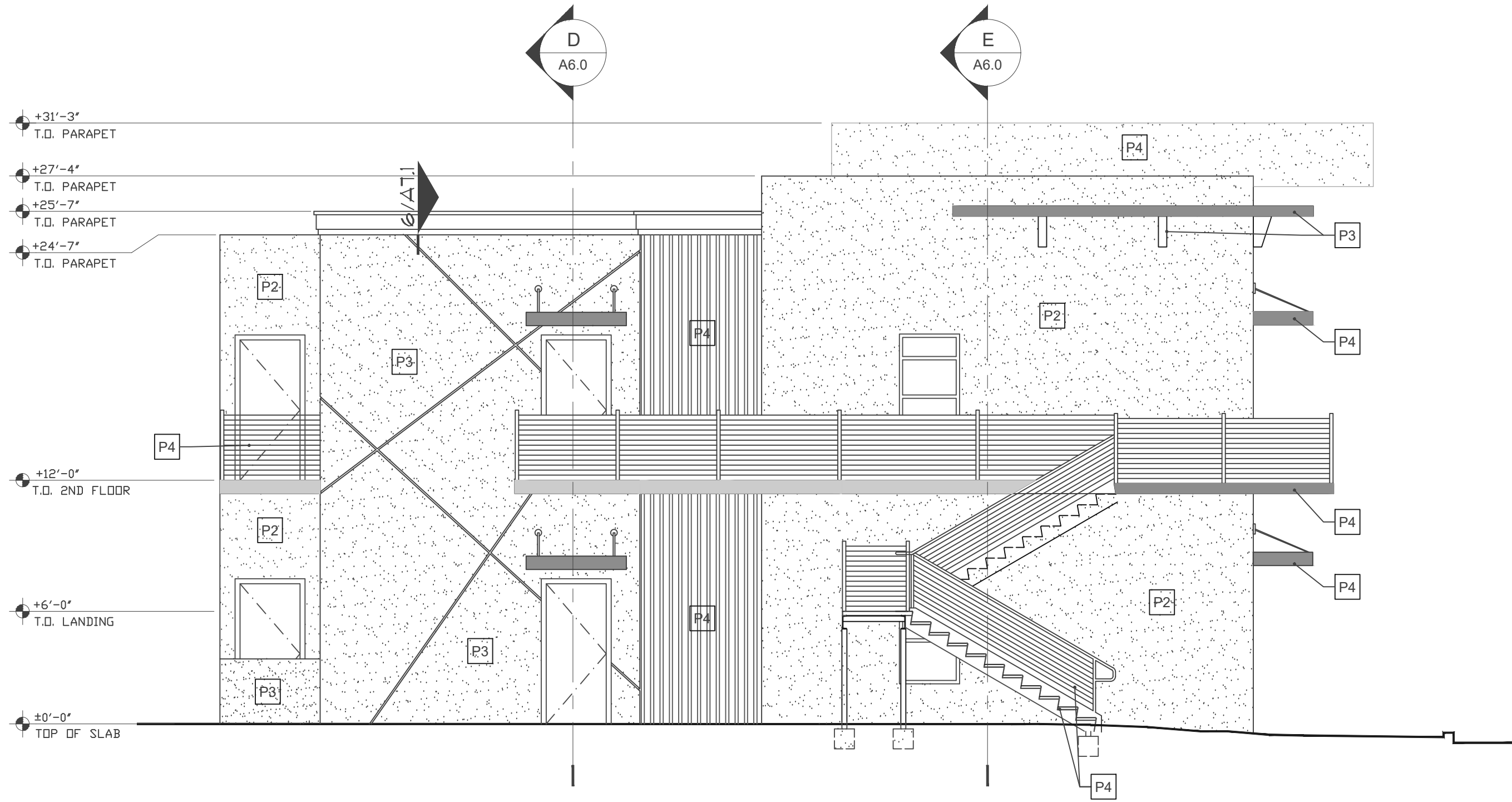
ISSUE DATE: 05.17.22
JOB NUMBER: 21-025
SCALE: AS NOTED
DRAWN: BF
CHECKED: BF
TITLE: SITE PLAN

SP - 1

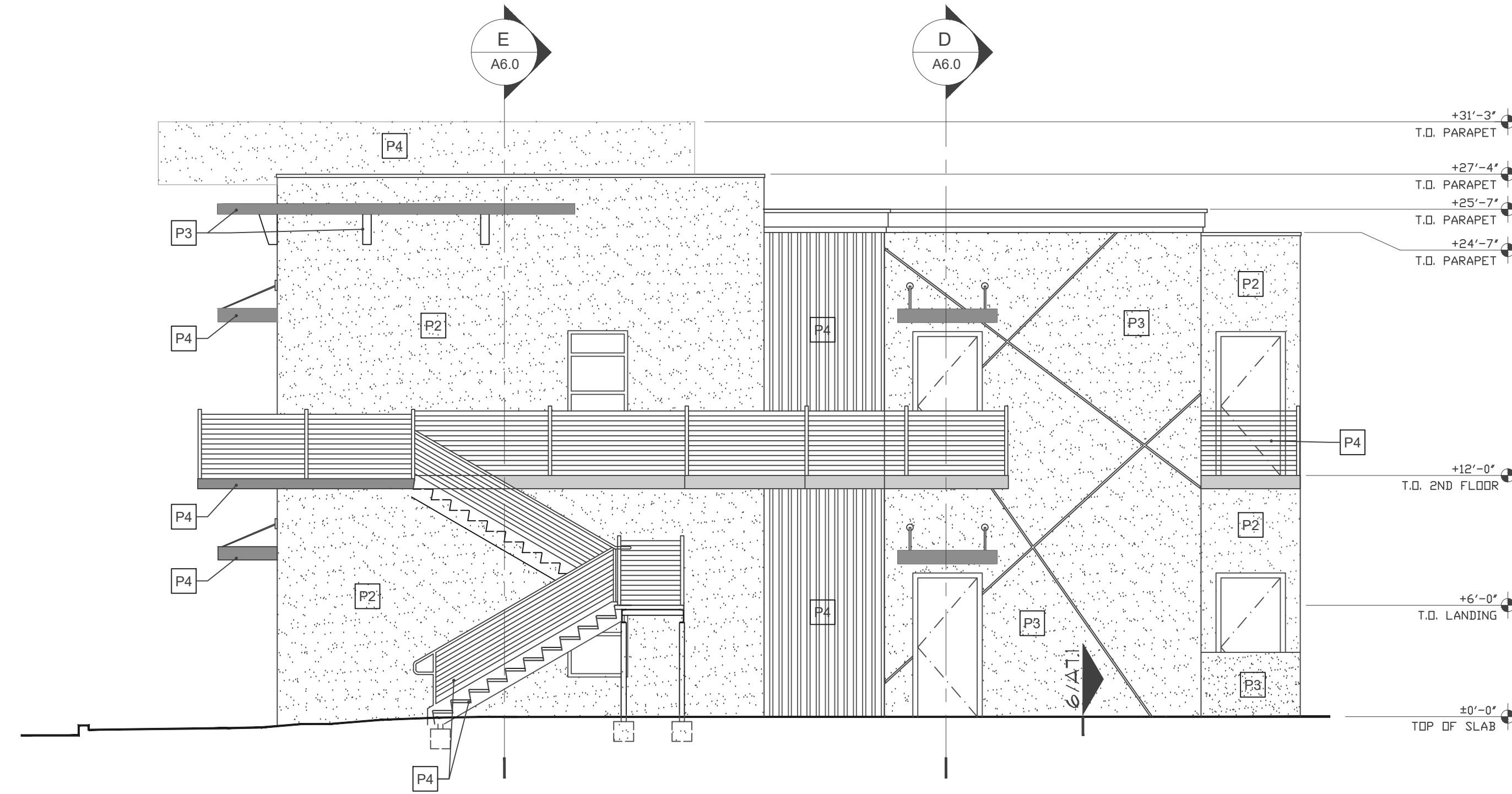
ISSUED FOR REVIEW



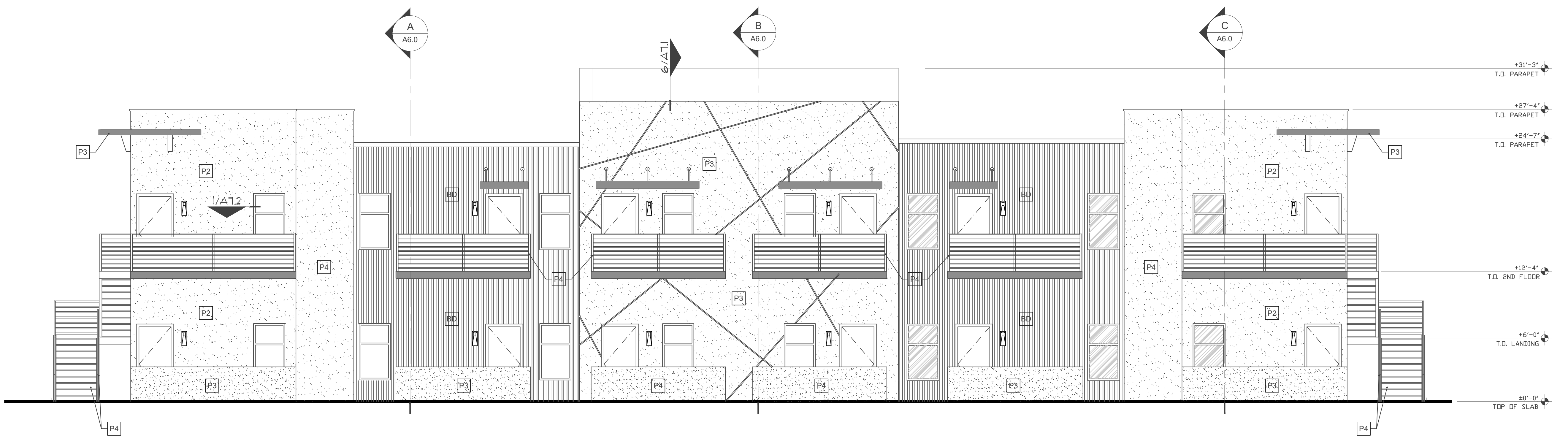
GENERAL NOTES:		PAINT NOTES:	
1. SEE STRUCTURAL DRAWINGS FOR LINTEL INFORMATION.		1. PAINTER TO PROVIDE COLOR SCHEME WITH ALL DECORATIVE BANDS MARKED AND PAINTED IN COLORS AS SELECTED.	
2. SEE DOOR SCHEDULE FOR ROLL-UP DOOR HEIGHTS.		2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.	
3. SEE STRUCTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS.		3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.	
GLAZING KEY:		4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.	
MATERIAL DESCRIPTION:			
NON-RATED EXTERIOR FRAMES: ARCADIA 2 X 4 1/2" BROWN ALUMINUM STOREFRONT			
NON-RATED EXTERIOR GLAZING: 1" GRAY REFLECTIVE INSULATED GLAZING			
ELEVATION NOTES:		PAINT KEY:	
1. FIELD VERIFY ALL EXACT CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. TYP.		KEY: DESCRIPTION: P1 SHERWIN WILLIAMS® #SW 7023 "REQUISITE GRAY"	
2. ALL NEW GLASS PANELS TO BE TEMPERED, WHERE OCCURS BY CODE.		P2 SHERWIN WILLIAMS® #SW 3114 "FALLEN LEAVES"	
3. ALL NEW SIGNAGE TO BE BY SEPARATE CONTRACTOR, S.C. TO PROVIDE POWER AND COORDINATE DETAILS WITH ACTUAL SITE CONDITIONS. TYP.		P3 SHERWIN WILLIAMS® #SW 6381 "ANJOU PEAR"	
4. ALL EXTERIOR WINDOWS & DOORS TO MEET THE 2018 I.E.C.C. COM-CHECK.		P4 SHERWIN WILLIAMS® #SW 6531 "LUKE BLUE"	
5. NEW EXTERIOR STOREFRONT SYSTEM MFR BY ARCADIA FRONT GLAZES ALUMINUM STOREFRONT FOR 1" OVERALL BLUE REFLECTIVE INSULATED GLAZING - CLEAR ANODIZED CLASS II FINISH.		BD CORRUGATED METALS (OR EQUAL) 6" BOX RIB	
6. SEE STRUCTURAL DRAWINGS FOR EXTERIOR CANOPY CONNECTIONS AND DETAILS.			
7. SEE SCHEDULES FOR ALL DOOR AND WINDOW TYPES AND NOTES, SHT. A8.0			
BUILDING MATERIAL LEGEND:			
PER Section 11-5-B(BX3) of the MZO.			
FRONT/REAR ELEVATIONS:			
[P3] STUCCO SYSTEM, PAINTED 3,468 SF - 45%			
[P4] VERTICAL CORRUGATED METAL PANEL SYSTEM 1,110 SF - 15%			
SIDE ELEVATIONS:			
[P3] STUCCO SYSTEM, PAINTED 2,278 SF - 32%			
[P4] VERTICAL CORRUGATED METAL PANEL SYSTEM 296 SF - 4%			
TOTAL: 7,152 SF			



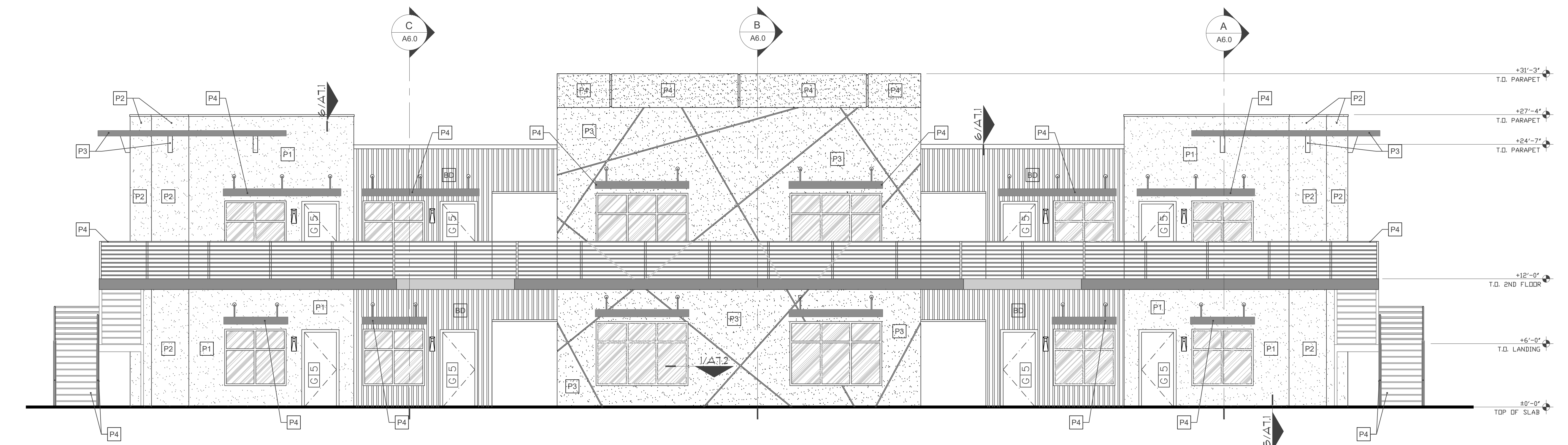
4 EXTERIOR ELEVATION- NORTH
SCALE: 1/8"=1'-0"



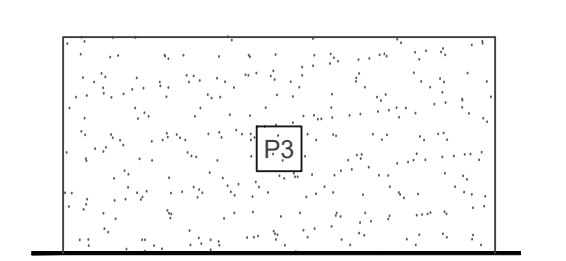
3 EXTERIOR ELEVATION- SOUTH
SCALE: 1/8"=1'-0"



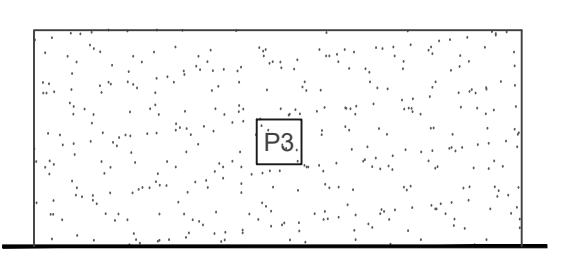
2 EXTERIOR ELEVATION- EAST
SCALE: 1/8"=1'-0"



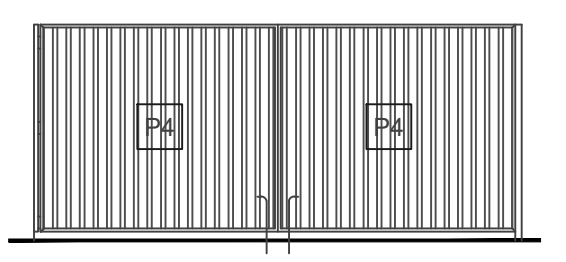
1 EXTERIOR ELEVATION- WEST
SCALE: 3/16"=1'-0"



SOUTH ELEVATION



EAST/WEST ELEVATION



NORTH ELEVATION

5 ELEVATIONS AT TRASH ENCLOSURE
SCALE: 3/16"=1'-0"

RWI PROPERTIES
24 UNIT APARTMENT COMPLEX
455 W. HOLMES AVE
MESA, AZ 85210

revisions:

ISSUE DATE: 05.17.22
JOB NUMBER: 21-025
SCALE: AS NOTED
DRAWN: BF
CHECKED: BF
TITLE: BUILDING ELEVATIONS

A5.0

ISSUED FOR REVIEW

Owner

City of Mesa Planning, Attention: Sean Pesek
ARIZONA CONFERENCE CORPORATION OF SEVENTH-DAY ADVENTISTS
MORMINO INVESTMENTS LIMITED PARTNERSHIP
ENG KENNY
NEW CREATION CHURCH
ASCENDA USA INC
ADJ LLC
RWI PROPERTIES LLC
MORIARTY STEVEN
STAMMEYER JUDY MARIE
GARY S JOHNSON AND MARCIE L JOHNSON REVOCABLE TRUST
C & R REALTY II LLC
KSL INVESTMENTS LLC
KENNEDY JOHN C
UDO EMA EMA E
BARRANCA MARIO
GARCIA CARLOS/DEL CARMEN GARCIA MARIA
MILLER WARREN K/TAWNYA R
BARRANCA MARIO
NORMITAS LLC
TB LLC
KULICK FAMILY REVOCABLE LIVING TRUST
MORUZZI TIMOTHY J
PATIENCE AND GRACE LLC
AJA PROPERTY INVESTMENTS LLC
CORWIN ROBERT
BECK MINDY
SCHRAND SUSAN
ACOSTA FRANCISCO H
BUEHRLE DAVID
SAISSAN JOHN/ESMAEILLOO BITA
IKEBUEGO NELLY
BRANDT RALPH ALEXANDER (LIFE ESTATE)
DUANE D POOLEY TRUST
SOUTHWESTERN RENTALS LLC
HOOVER JEFFREY JAY/PERLASCA NORA JANETTA
SONG DAVID W
MARTINEZ ALFONSO S
STEPHEN R SWOOPE AND KAREN FORD SWOOPE FAM TR
DUANE POOLEY TRUST
BEHENA ALFA
YOON PHILEMON
RUSSELL ERIC R
GOODE KEITH L
DAO LLC

MASSY PHILIP/WARNER JANELL
DUANE POOLEY TRUST
SUNDBERG STORME
GONZALEZ SANTIAGO
WALTON GARY/TRAVIS
JFJ PROPERTIES LLC
GARVIN SUSAN LEE/WILLIAM J SR/WILLIAM J II
SHIVELY WILLIAM JOE
MICHAEL KATHERINE B
PEOPLES TERRANCE
GIBB JOHN S/PATRICIA N
AJA PROPERTY INVESTMENTS LLC
KENNEDY MARY ANN/DAVIS CHARLES J
HERBELLA SHAWN P/NIKKIA S
TRENHAILE GUY/LISA
ROWBERRY HAROLD L/ALTA C
SINGH WILLIAM
KSL LLC
CHUNG GABRIELLE
WESTWOOD C&I LLC
STALKER YONG MI
C & R REALTY INVESTMENT I LLC
YANAGIHARA KEIKO/STEVE
JANDA ROBERT SR
CHARITY AND GENEROSITY LLC
BROWN DONNA L
REESE LAWRENCE
BECHERER RUSSELL J
BRENNAN THEODORE/LESLIE
EPTING MICHAEL D
PERROZZI JOSEPH A/PATRICIA J
DEBUSSCHERE GARRETT
COLLINS CHRISTOPHER CODY
ROMA HEPFER REVOCABLE TRUST
LUNDE MARC B
YELLAT LLC
SARABIA STEVEN F/CHRISTY D
COULOMBE JASON J
NATH YERANOHE/YARJANIC
LACY JON L
GARINER JOHN F
EMENHISER FAMILY LIVING TRUST
QUIGLEY MARK
BURKLUND CATHERINE A/D L
BUORS RAYMOND
COULTER LORI
DESAI KAMINI

NAVARRO DUVIER
STENBERG TRACY L
CROY AMY J
C P REAL ESTATE INVESTMENT LC
PADDA BALDISH/RAVINDER
FIMBRES LAUREN CHRISTINE/RUDY
ROPP FAMILY TRUST
BOKEH LLC
JOHN JOSEPH JR
CARTER ROSE A
JOHNSON GARY S/MARCIE L
DECKER GINA L
CLAWSON CHRISTINA K
JANET SCOTT BROOKS TRUST
461 W HOLMES 307 LLC
DAO LLC
DUANE POOLEY TRUST
GREEN EMERALD LUXURY CONDOS LLC
DASGUPTA PARTHA
HAYES SARAH L/TOM W
FRANK NEVAR
EVOL PROPERTY 4 LLC
BITTER JACK
T&BS LLC
TRENHAILE GUY/LISA
PANE JANE W/TING LUCAS HEHSHI
RICK EDWARD J/EDWARD JR
MANDEL INVESTMENTS III LLC
MANDEL INVESTMENTS VI LLC
PAWLUK-HERMAN FAMILY TRUST
HANCOCK RICHARD
FARAG AMR
DUANE D POOLEY TRUST
SIEFKEN KEITH L/SUSAN D
ODELL SHANDY J/TASHA
WUEST HEAVEN
HERTEL GAVIN
VILLA FAMILY TRUST
STANKOWSKI MICHAEL
PK INVESTMENTS INC
CARO SOLE LLC
PERDOMO SUSANA CARMEN/SILVA-PERDOMO PAOLA VALENTINA
MARDER JOHN B/DAWN E
DOMINGUEZ ELVIA MUNOZ
BARANOR PRODUCTION DESIGN LLC
HUG ROBERT P
AHMAD FAMILY LIVING TRUST

REID RASHAUN T
LUDLOW TYLER/SODERBLOM KERSTYN
KHALIL LINDA
MASTERS SEAN
HUOT TIM/LOVELACE JANET
RODNEY MICKEL D
MASTERS WILLIAM A TR
HODGES KAYLA R
ELICERIO EVA F
WILLIAM F APPEGET REVOCABLE TRUST
ERNESTI SUZANNE E/MICHAEL F
JURNO VENTURES LLC

MAIL_ADDR1	MAIL_CITY	MAIL_STATE	MAIL_ZIP
PO Box 1466 Mail Stop 9953	MESA	AZ	85211
13405 N SCOTTSDALE RD	SCOTTSDALE	AZ	85254
10923 N 126TH WAY	SCOTTSDALE	AZ	85259
1440 S COUNTRY CLUB DR SUITE 20	MESA	AZ	85210
1363 S VINEYARD	MESA	AZ	85210
200-240 KENNEDY ST	WINNIPEG	MB	R3C1T1
1599 E ORANGEWOOD AVE SIUTE 175	PHOENIX	AZ	85020
455 W HOLMES AVE	MESA	AZ	85210
461 W HOLMES AVE UNIT 102	MESA	AZ	85210
305 S E 7TH	ANKENY	IA	50021
1280 BURROWS RD	CAMPBELL	CA	95008
1909 E RAY RD STE 9-116	CHANDLER	AZ	85225
BOX 3103	CULTAN LAKE	BC	V2R5H6
461 W HOLMES NO 107	MESA	AZ	85210
461 W HOLMES AVE STE 106	MESA	AZ	85210
711 W UNIVERSITY DR	MESA	AZ	85201
1310 E HARMONY CIR	MESA	AZ	85204
461 W HOLMES AVE NO 112	MESA	AZ	85210
461 W HOLMES AVE UNIT 113	MESA	AZ	85210
1030 E SUNBURST LN	TEMPE	AZ	85284
PO BOX 84	COLTON	WA	99113
33674 DISCOVERY DR	DANA POINT	CA	92629
461 W HOLMES AVE UNIT 117	MESA	AZ	85210
9550 E KEATS AVE	MESA	AZ	85209
2975 N GERONIMO RD	APACHE JUNCTION	AZ	85119
461 W HOLMES AVE UNIT 120	MESA	AZ	85210
14430 S 32ND ST	PHOENIX	AZ	85044
PO BOX 7755	CHANDLER	AZ	85246
461 W HOLMSS AVE NO 267	MESA	AZ	85210
461 W HOLMES AVE UNIT 124	MESA	AZ	85210
2712 E BLUE RIDGE WAY	CHANDLER	AZ	85249
461 W HOLMES AVE UNIT 126	MESA	AZ	85210
730 E BROWN RD SUITE 104-256	MESA	AZ	85203
7611 S 9TH WAY	PHOENIX	AZ	85042
461 W HOLMES AVE NO 178	MESA	AZ	85210
2737 DAVID ST	JUNEAU	AK	99801
818 S WESTWOOD UNIT 239	MESA	AZ	85210
461 W HOLMES AVE UNIT 148	MESA	AZ	85210
8450 W FAIRMOUNT	SCOTTSDALE	AZ	85251
7611 S 9TH WY	PHOENIX	AZ	85042
461 W HOLMES	MESA	AZ	85210
1406 W MAIN ST UNIT 106	MESA	AZ	85201
461 W HOLMES AVE UNIT 153	MESA	AZ	85210
461 W HOLMES AVE	MESA	AZ	85210
10105 E VIA LINDA SUITE 103 PMB 244	SCOTTSDALE	AZ	85258

461 W HOLMES AVE UNIT 156	MESA	AZ	85210
7611 S 9TH WAY	PHOENIX	AZ	85047
461 W HOLMES AVE UNIT 162	MESA	AZ	85210
461 W HOLMES AVE UNIT 163	MESA	AZ	85210-5180
461 W HOLMES AVE UNIT 183	MESA	AZ	85210
1661 150TH AVE	LAKE PARK	IA	51347
461 W HOLMES AVE UNIT 186	MESA	AZ	85210
461 W HOLMES AVE NO 187	MESA	AZ	85210
461 W HOLMES AVE NO 188	MESA	AZ	85210
461 W HOLMES AVE UNIT 203	MESA	AZ	85210
PO BOX 148	HILL SPRING	AB	TOK1E0
2975 N GERONIMO RD	APACHE JUNCTION	AZ	85119
461 W HOLMES AVE 206	MESA	AZ	85210
1848 W JUANITA AVE	MESA	AZ	85202
1224 15TH AVENUE NE	ABERDEEN	SD	57401
2891 TIPPERARY LN	IDAHO FALLS	ID	83404
461 W HOLMES AVE UNIT 210	MESA	AZ	85210
461 W HOLMES AVE UNIT 211	MESA	AZ	85210-5166
1295 N ASH ST UNIT 118	GILBERT	AZ	85233
39506 N DAISY MOUNTAIN DR NO 122-226	ANTHEM	AZ	85086
461 W HOLMES AVE UNIT 214	MESA	AZ	85210
1909 E RAY RD STE 9-116	CHANDLER	AZ	85225
461 W HOLMES AVE UNIT 216	MESA	AZ	85210
461 W HOLMES UNIT 217	MESA	AZ	85210
9550 E KEATS AVE	MESA	AZ	85209
461 W HOLMES AVE UNIT 219	MESA	AZ	85210
29705 N 141ST PL	SCOTTSDALE	AZ	85262
461 W HOLMES AVE NO 221	MESA	AZ	85210
39523 N RATTLESNAKE RD	QUEEN CREEK	AZ	85242
1522 E SOUTHERN AVE APT 2031	MESA	AZ	85210
1559 L ST	ANCHORAGE	AK	99501
461 W HOLMES AVE UNIT 225	MESA	AZ	85210
461 W HOLMES AVE UNIT 226	MESA	AZ	85210
818 GOLF LN	LAKE BARRINGTON	IL	60010-3867
461 W HOLMES AVE UNIT 244	MESA	AZ	85210
1050 LAKE DR	BIG STONE CITY	SD	57216
373 CARPENTER HILL RD	FOLSOM	CA	95630
461 W HOLMES AVE NO 247	MESA	AZ	85210
1599 E BERETTA PL	CHANDLER	AZ	85286
461 W HOLMES AVE 249	MESA	AZ	85202
461 W HOLMES AVE 250	MESA	AZ	85210
461 W HOLMES AVE UNIT 251	MESA	AZ	85210
461 W HOLMES NO 252	MESA	AZ	85210
PO BOX 407	CERESCO	NE	68017
11 HARVEST WAY	EAST ST PAUL	MB	R2E0L5
549 W LA DONNA DR	TEMPE	AZ	85283
6811 SEABISCUIT TRL	TALLAHASSEE	FL	32309

15683 W HARVARD ST	GOODYEAR	AZ	85395
461 W HOLMES AVE UNIT 262	MESA	AZ	85210
461 W HOLMES AVE NO 263	MESA	AZ	85210
6321 S SHANNON DR	TEMPE	AZ	85283
5958 136TH ST	SURREY	BC	V3X 1H8
1724 W COTTONWOOD LN	PHOENIX	AZ	85045
1210 ALMA ST	GLENDALE	CA	91202
2052 SAINT ANDREWS DR	BILLINGS	MT	59105
461 W HOLMES AVE 288	MESA	AZ	85210
461 W HOLMES #289	MESA	AZ	85210
1280 BURROWS RD	CAMPBELL	CA	95008
461 W HOLMES AVE UNIT 304	MESA	AZ	85210
461 W HOLMES UNIT 305	MESA	AZ	85210
2975 N GERONIMO RD	APACHE JUNCTION	AZ	85119
3056 E HAMPTON AVE	MESA	AZ	85204
10105 E VIA LINDA SUITE 103 PMB 244	SCOTTSDALE	AZ	85258
7611 S 9TH WAY	PHOENIX	AZ	85042
7850 S GRANDVIEW AVE	TEMPE	AZ	85284
PO BOX 889	TEMPE	AZ	85280
1004 TONY PL	LONGMONT	CO	80501
461 W HOLMES AVE UNIT 313	MESA	AZ	85210
3820 N SAWTOOTH CIR	MESA	AZ	85215
461 W HOLMES AVE UNIT 315	MESA	AZ	85210
PO BOX 84	COLTON	WA	99113
1224 15TH AVENUE NE	ABERDEEN	SD	57401
38553 BEECHWOOD AVE	SPRING GROVE	IL	60081
7163 KINGSTON COVE LN	WILLIS	TX	77318
540 N MAY ST UNIT 2052	MESA	AZ	85201
921 W UNIVERISTY AVE UNIT 1028	MESA	AZ	85201
2820 S CALLE ROSA CIR	MESA	AZ	85202
461 W HOLMES AVE UNIT 323	MESA	AZ	85210
461 W HOLMES AVE UNIT 324	MESA	AZ	85210
7611 S 9TH WY	PHOENIX	AZ	85042
1702 2ND AVE N	DENISON	IA	51442
1726 E PRIMAVERA WY	SAN TAN VALLEY	AZ	85140
461 W HOLMES AVE UNIT 344	MESA	AZ	85210
461 W HOLMES AVE UNIT 345	MESA	AZ	85210
153 KEYSTONE CT	EL DORADO HILLS	CA	95762
532 W SILVER CREEK RD	GILBERT	AZ	85233
4628 E COUNTY DOWN DR	CHANDLER	AZ	85249
11608 W CYPRUS DR	AVONDALE	AZ	85392
461 W HOLMES AVE UNIT 350	MESA	AZ	85210-5139
461 W HOLMES AVE #351	MESA	AZ	85210
461 W HOLMES AVE UNIT 352	MESA	AZ	85210
1825 W RAY RD UNIT 1017	CHANDLER	AZ	85224
461 W HOLMES AVE UNIT 354	MESA	AZ	85210
474 W THOMPSON PL	CHANDLER	AZ	85286

461 W HOLMES AVE UNIT 356	MESA	AZ	85210
461 W HOMES AVE NO 361	MESA	AZ	85210
461 W HOLMES AVE UNIT 362	MESA	AZ	85210
461 W HOLMES AVE UNIT 363	MESA	AZ	85210
8625 E LAREDO LN	SCOTTSDALE	AZ	85250
461 W HOLMES AVE UNIT 384	MESA	AZ	85210
2533 W HAZELWOOD ST 17	PHOENIX	AZ	85017
461 W HOLMES AVE UNIT 386	MESA	AZ	85210
461 W HOLMES AVE #387	MESA	AZ	85210
8109 E OLLA AVE	MESA	AZ	85212
509 E MESQUITE ST	GILBERT	AZ	85296
1510 S COUNTRY CLUB DR	MESA	AZ	85210

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

Date: 05/23/22

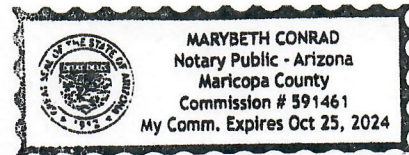
I, Meghan Liggett, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to case # ZON21-00793, on 455 W Holmes. The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant's/Representative's signature: *Meghan Liggett*

SUBSCRIBED AND SWORN before me on 05/23/22

MaryBeth Conrad
Notary Public



CITY OF MESA PUBLIC NOTICE
ZONING HEARING

PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

TIME: 4:00 PM DATE: June 8, 2022

CASE: ZON21-00793

REQUEST: Rezone from Limited Commercial (LC) to Multiple Residence 4 with a Planned Area Development overlay (RM-4-PAD) and Site Plan Review. This request will allow for a multiple residence development.

**APPLICANT: TAYLOR FRACASSE
ARCHITECTURE, INC.**

PHONE: 480-659-6745

Planning Division 480-644-2385

Posting date: 5/23/2022

May 23, 2022 at 3:23:39 PM

