#### CITY OF MESA GENERAL NOTES

- 1. ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS FURNISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- 2. SEPARATE RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ALL PUBLIC UTILITIES, PUBLIC STREET IMPROVEMENTS, AND RIGHT-OF-WAY LANDSCAPING. FOR INFORMATION REGARDING AVAILABILITY AND COST OF RIGHT-OF-WAY PERMITS, CONTACT THE PERMIT SERVICES SECTION OF THE BUILDING SAFETY DIVISION AT (480) 644-4273 OR AT HTTP://WWW.MESAAZ.GOV/DEVSUSTAIN/CONSTRUCTIONPERMITS.ASPX. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED UNLESS OTHERWISE NOTED. CONTRACTORS MUST HOLD THE APPROPRIATE CLASS OF LICENSE AND SHALL HAVE ON FILE WITH THE PERMIT SERVICES SECTION PROOF OF INSURANCE COVERAGE. PERMITS BECOME INVALID AND MUST BE UPDATED IF WORK HAS NOT BEGUN WITHIN NINETY (90) DAYS. PERMITS ALSO BECOME INVALID IF THE CONTRACTOR'S INSURANCE LAPSES OR IS VOIDED.
- 3. TWENTY FOUR (24) HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK, CONSTRUCTION OR INSTALLATIONS ASSOCIATED WITH THIS PERMIT, THE PERMITTEE SHALL NOTIFY CITY OF MESA ENGINEERING DEPARTMENT AT (480) 644-2251 OF INTENT TO BEGIN AND REQUEST/SCHEDULE PRELIMINARY FIELD REVIEW AT THE PROJECT SITE WITH THE CITY OF MESA ENGINEERING DEPARTMENT CONSTRUCTION INSPECTOR (CITY INSPECTOR). FAILURE TO PROVIDE PROPER INSPECTION NOTIFICATION AS PRESCRIBED ABOVE, SHALL RESULT IN THIS PERMIT BECOMING INVALID AND WORK BEING STOPPED.
- 4. CONTRACTOR'S SHALL COMPLY WITH THE REQUIREMENTS TO OBTAIN THE NECESSARY RIGHT-OF-WAY PERMITS AND SHALL COMPLY WITH THE RIGHT-OF-WAY PERMIT CONDITIONS AS FOUND ON THE BACK OF THE PERMIT FORM.
- 5. THE CITY OF MESA PARKS & RECREATION DIVISION IS NOT REPRESENTED BY BLUE STAKE. WHEN THE CONTRACTOR EXCAVATES NEAR OR ADJACENT TO A CITY PARK, THE CONTRACTOR SHALL CONTACT THE PARKS & RECREATION ADMINISTRATION SECTION AT (480) 644-2354 TO REQUEST ASSISTANCE IN LOCATING ALL THEIR UNDERGROUND FACILITIES.
- 6. THE CONTRACTOR SHALL OBTAIN AN EARTH-MOVING PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT AND SHALL COMPLY WITH ITS REQUIREMENTS FOR DUST CONTROL.
- 7. THE ENGINEER HEREBY CERTIFIES AS EVIDENCED BY A PROFESSIONAL SEAL & SIGNATURE, THAT ALL AFFECTED UTILITY COMPANIES BOTH PUBLIC AND PRIVATE HAVE BEEN CONTACTED AND ALL EXISTING AND/OR PROPOSED UTILITY LINES AND OTHER RELATED INFORMATION HAVE BEEN TRANSFERRED ONTO THESE PLANS. THE ENGINEER OR ARCHITECT ALSO HEREBY CERTIFIES THAT ALL EXISTING AND/OR PROPOSED PUBLIC RIGHT-OF-WAY AND EASEMENTS HAVE BEEN CORRECTLY PLOTTED/SHOWN.
- 8. THE ENGINEER, OR LAND SURVEYOR OF RECORD SHALL CERTIFY UPON COMPLETION OF CONSTRUCTION THAT ALL PUBLIC IMPROVEMENTS (WATER AND SEWER UTILITIES, STORM SEWER, CONCRETE, PAVING, STREET LIGHTS, ETC.) HAVE BEEN INSTALLED AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE APPROVED PLANS. ANY CHANGES SHALL BE REFLECTED ON "AS-BUILT" DRAWINGS PROVIDED BY THE ENGINEER TO THE CITY'S ENGINEERING DEPARTMENT.
- 9. THE REGISTERED ENGINEER OR LAND SURVEYOR SHALL CERTIFY THAT THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION BETWEEN UTILITIES WITHIN PUBLIC RIGHT-OF-WAY AND EASEMENTS HAS BEEN MAINTAINED AS REQUIRED BY LAW OR POLICY.
- 10. THE DEVELOPER SHALL PROVIDE ALL CONSTRUCTION STAKING FOR THE PROJECT.
- 11. THE DEVELOPER OR THE ENGINEER IS RESPONSIBLE FOR ARRANGING FOR THE RELOCATION OR REMOVAL OF ALL UTILITIES OR FACILITIES THAT ARE IN CONFLICT WITH THE PROPOSED PUBLIC IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ALL UTILITIES, POWER POLES, IRRIGATION DRY-UPS, RESETS REMOVALS BY
- 12. THE CONTRACTORS SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATION AND AVOID DAMAGE TO SAME. CALL (602) 263-1100 FOR BLUE STAKE TWO WORKING DAYS PRIOR TO DIGGING. CALL SALT RIVER PROJECT FOR POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT (602) 273-8888.
- 13. WHEN GAS MAINS AND/OR SERVICES ARE EXPOSED, CONTACT THE CITY OF MESA AT (480) 644-2261 FOR INSPECTION OF THE EXPOSED PIPE AND COATING PRIOR TO BACKFILLING OF THE TRENCH
- 14. CONTRACTORS SHALL COMPLY WITH THE PROVISIONS FOR TRAFFIC CONTROL AND BARRICADING PER THE CURRENT CITY OF MESA TRAFFIC BARRICADE MANUAL.
- 15. IF A FIRE HYDRANT IS NEEDED TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR SHALL OBTAIN A FIRE HYDRANT METER FROM PERMIT SERVICES AND PAY ALL APPLICABLE FEES AND CHARGES.
- 16. IF DURING THE CONSTRUCTION OF A PUBLIC FACILITY, THE CONTRACTOR FAILS TO OR IS UNABLE TO COMPLY WITH A REQUEST OF THE CITY INSPECTOR, AND IT IS NECESSARY FOR CITY FORCES TO DO WORK THAT IS NORMALLY THE CONTRACTOR'S RESPONSIBILITY, THE CITY SHALL BE JUSTIFIED IN BILLING THE CONTRACTOR. EACH INCIDENT REQUIRING WORK BY CITY FORCES SHALL BE COVERED BY A SEPARATE BILLING AT THE CURRENT APPLICABLE RATES.
- 17. THE CONTRACTOR IS ADVISED THAT DAMAGE TO PUBLIC SERVICES OR SYSTEMS AS A RESULT OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AND INSPECTED BY THE CITY INSPECTOR. UNLESS OTHERWISE APPROVED BY THE CITY, ALL REPAIRS SHALL BE DONE WITHIN 24 HOURS. THE CONTRACTOR IS ADVISED THAT ANY COSTS RELATED TO REPAIR OR REPLACEMENT OF DAMAGED PUBLIC SERVICES AND SYSTEMS AS A RESULT OF CONTRACTOR'S ACTIVITIES SHALL BE BORNE BY THE CONTRACTOR.

## CITY OF MESA PUBLIC STREET/RIGHT-OF-WAY IMPROVEMENT NOTES

- THE DEVELOPER AND THE CONTRACTOR ARE REQUIRED TO COORDINATE THE PLACEMENT OR INSTALLATION OF DRIVEWAYS IN ORDER TO AVOID CONFLICT WITH UTILITY SERVICES.
- 2. ALL FRAMES, COVERS, VALVE BOXES, MANHOLES, ETC., SHALL BE INSTALLED TO FINISH GRADE OR SHALL BE ADJUSTED TO FINISH GRADE AFTER PLACING OF ASPHALTIC SURFACE COURSE BY THE CONTRACTOR PER M.A.G. STANDARD DETAIL 270 AND 422.
- 3. THE CONTRACTOR SHALL ADJUST ALL FRAMES, COVERS, VALVE BOXES, MANHOLES, ETC. THAT ARE LOCATED WITHIN THE PARKWAY AREA AFTER FINAL GRADING AND INSTALLATION OF LANDSCAPING.
- 4. ALL LANDSCAPING IMPROVEMENTS, INCLUDING IRRIGATION SYSTEMS WITHIN THE PUBLIC RIGHT-OF-WAY OR RETENTION BASINS THAT ARE TO BE MAINTAINED BYT HE CITY OF MESA, SHALL BE IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION STANDARDS BOOKLET.
- 5. THE STREET PAVING PERMITTEE/ CONTRACTOR IS HEREBY NOTIFIED THAT IN THE EVENT THAT ACCEPTANCE OF THE PUBLIC STREET PAVING IS DELAYED; SIX MONTHS OR MORE AFTER THE PAVEMENT WAS INSTALLED, THE PERMITTEE/ CONTRACTOR SHALL APPLY A SEAL COAT TO THE PAVEMENT. TYPE OF MATERIAL AND RATE OF APPLICATION WILL BE DIRECTED BY THE CITY OF MESA ENGINEERING DEPARTMENT.
- 6. A STANDARD RESIDENTIAL DRIVEWAY APPROACH SHALL BE CONSTRUCTED TO A MAXIMUM WIDTH OF 30 FEET UNLESS SPECIAL APPROVAL HAS BEEN OBTAINED

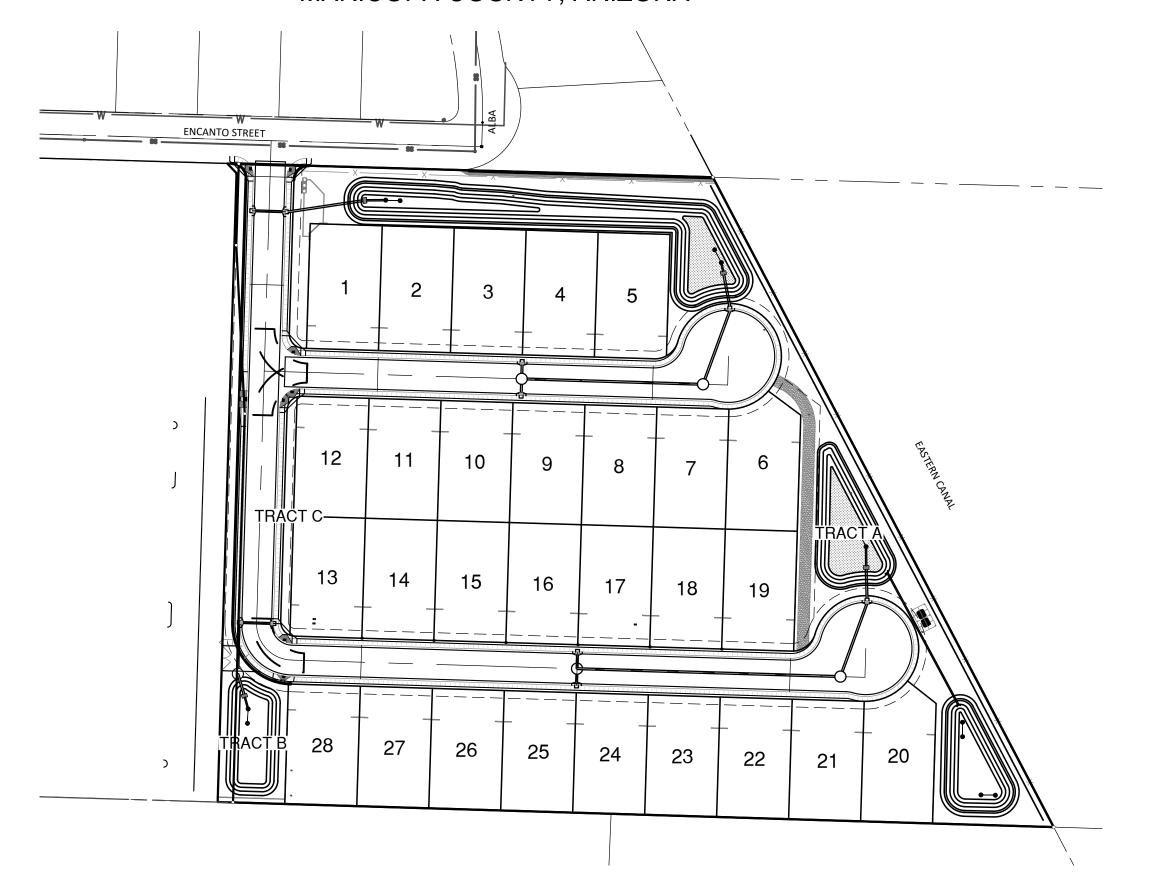
## PRELIMINARY PLAT

OR

# THE ESTATES AT ENCANTO

### MESA, ARIZONA

A PORTION OF THE NORTHWEST QUARTER OF SECTION 17,TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



### CITY OF MESA PUBLIC WASTEWATER UTILITY NOTES

- CONTRACTORS SHALL VERIFY ALL INVERT ELEVATIONS BEFORE PROCEEDING WITH THE BALANCE OF THE UTILITY TRENCHING.
- 2. ALL MANHOLES PER M.A.G. DETAILS MUST NECK DOWN TO USE THE STANDARD 30INCH FRAME AND COVER. STEPS SHALL NOT BE INSTALLED WITHIN THE MANHOLE.

# CITY OF MESA STORMWATER DRAINAGE & RETENTION NOTES

- 1. THE ENGINEER, OR LAND SURVEYOR SHALL CERTIFY THAT THE REQUIRED STORM WATER RETENTION HAS BEEN PROVIDED. THE CERTIFICATION SHALL ALSO INDICATE THE ACTUAL VOLUME PROVIDED. SUCH CERTIFICATION SHALL BE PROVIDED TO THE DEPARTMENT SERVICES DEPARTMENT WHEN THE RETENTION AREA IS TO REMAIN PRIVATE PROPERTY AND TO THE ENGINEERING DEPARTMENT WHEN THE RETENTION AREA IS TO BECOME CITY OF MESA PROPERTY.
- 2. ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNERS WHEN THEY CEASE TO DRAIN WATER IN A 36HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL-SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL. IN ACCORDANCE WITH ARIZONA REVISED STATUTES, DRYWELLS ARE REQUIRED TO BE REGISTERED WITH THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (A.D.E.Q.) IT IS THE OWNER'S RESPONSIBILITY TO REGISTER ALL DRYWELLS. AN AQUIFER PROTECTION PERMIT MAY BE REQUIRED BY A.D.E.Q. FOR DRYWELLS DEEMED TO BE HAZARDOUS TO GROUNDWATER.

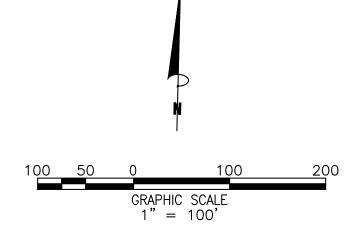
#### LEGEND

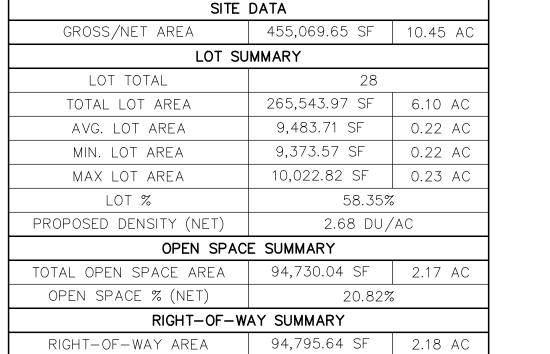
	BOUNDARY LINE	•	PROPOSED FIRE HYDRANT
	RIGHT OF WAY LINE	$\otimes$	PROPOSED WATER VALVE
	EASEMENT LINE	0	PROPOSED SEWER MANHOLE
— — ss — — –	EXISTING SEWER LINE	~~ <b>&gt;</b>	DRAINAGE FLOWS
		1418— -	EXISTING CONTOUR
— w — –	EXISTING WATER LINE	B/C	BACK OF CURB
— SD — — —	EXISTING STORM DRAIN	R/W	RIGHT OF WAY
— — G — — —	EXISTING GAS LINE	$\ominus$	POWER POLE
— — UGE— — —	UNDERGROUND ELECTRIC	$\leftarrow$	DOWN GUY
8"S	PROPOSED SEWER LINE		EXISTING FIRE HYDRANT
8"W		⊗	EXISTING WATER VALVE
——	PROPOSED WATER LINE		EXISTING SIGN
	PROPOSED STORM DRAIN	(ss)	EXISTING SEWER MANHOLE
	FOUND BRASS CAP IN HANDHOLE AS NOTE		EXISTING STORM DRAIN MANHOLE
	FOUND BRASS CAP FLUSH AS NOTED		

FOUND 1/2" REBAR AS NOTED

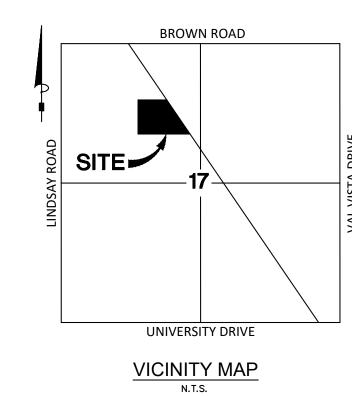
#### SHEET INDEX

	SHEETI	NDEX	
Sheet Number	Drawing Number	Sheet Title	
01	PP01	PERLIMINARY COVER SHEET	,
02	PP02	DETAILS	
03	PP03	PRELIMINARY PLAT	
04	PP04	PRELIMINARY GRADING PLAN	N
05	PP05	PRELIMINARY UTILITY PLAN	





RIGHT-OF-WAY %



ENGINEER

BOWMAN CONSULTING
2420 S POWER RD
SUITE 105
MESA, ARIZONA 85209
PH: 480.605,2400

CONTACT: NATHAN LARSON

DEVELOPER

NEW VILLAGE HOMES

890 W ELLIOT RD

SUITE 101

GILBERT, ARIZONA 85233

### **BASIS OF BEARING**

NORTH 01°03'06" EAST ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 1 NORTH, RANGE 6 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, ACCORDING TO BOOK 382 OF MAPS, PAGE 4, M.C.R.

#### BENCHMARK

CITY OF MESA BRASS TAG IN TOP OF CURB AT NORTH EAST CORNER OF LINDSAY & UNIVERSITY ELEV=1270.29 (NAVD88)

#### LEGAL DESCRIPTION PER TITLE COMMITMENT

THAT PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 17, BEING MARKED BY A BRASS CAP IN HAND HOLE, FROM WHICH POINT THE NORTHWEST CORNER OF SAID SECTION 17, BEING MARKED BY A BRASS CAP IN HAND HOLE, BEARS NORTH 01°03'06" EAST (BASIS OF BEARINGS), A DISTANCE OF 2650.27 FEET;

OF SAID SECTION 17, A DISTANCE OF 1325.135 FEET TO THE NORTH LINE OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SAID SECTION 17;

THENCE NORTH 01°03'06" EAST, ALONG THE WEST LINE OF THE NORTHWEST QUARTER

THENCE SOUTH 89°48'55" EAST, ALONG SAID NORTH LINE, A DISTANCE OF 1577.39 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 89°48'55" EAST, ALONG SAID NORTH LINE, A DISTANCE

OF 494.08 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE EASTERN

CANAL;

THENCE SOUTH 29°07'21" EAST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 764.27 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF THE SOUTH

HALF OF THE NORTHWEST QUARTER OF SAID SECTION 17;

THENCE NORTH 89°43'23" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 855.26 FEET;

THENCE NORTH 00°16'37" EAST, A DISTANCE OF 405.08 FEET;

THENCE NORTH 04°17'49" WEST, A DISTANCE OF 175.56 FEET;

THENCE NORTH 00°16'37" EAST, A DISTANCE OF 84.97 FEET TO THE POINT OF BEGINNING.

#### FLOOD ZONE CERTIFICATION

FLOOD INSURANCE MAP NUMBER 04013C2270M EFFECTIVE ON 11.04.2015

ZONE "X", AREAS OF 0.2% ANNUAL CHANCE FOR FLOOD; AREAS OF 1% ANNUAL CHANCE OF FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE OF FLOOD.

FLOOD ZONE DESIGNATION PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



www.bowmanconsulting.c

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----PROJECT NUMBER

PRIZONAL ENCAPERATION OF THE PROPERTY OF THE P

PLAN STATUS

DATE DESCRIPTION

HC JDG NTL

DESIGN DRAWN CHKD

SCALE H: 1"=100'
V:

JOB No. 051158-01-001

PP01

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DATE: 12/6/2022

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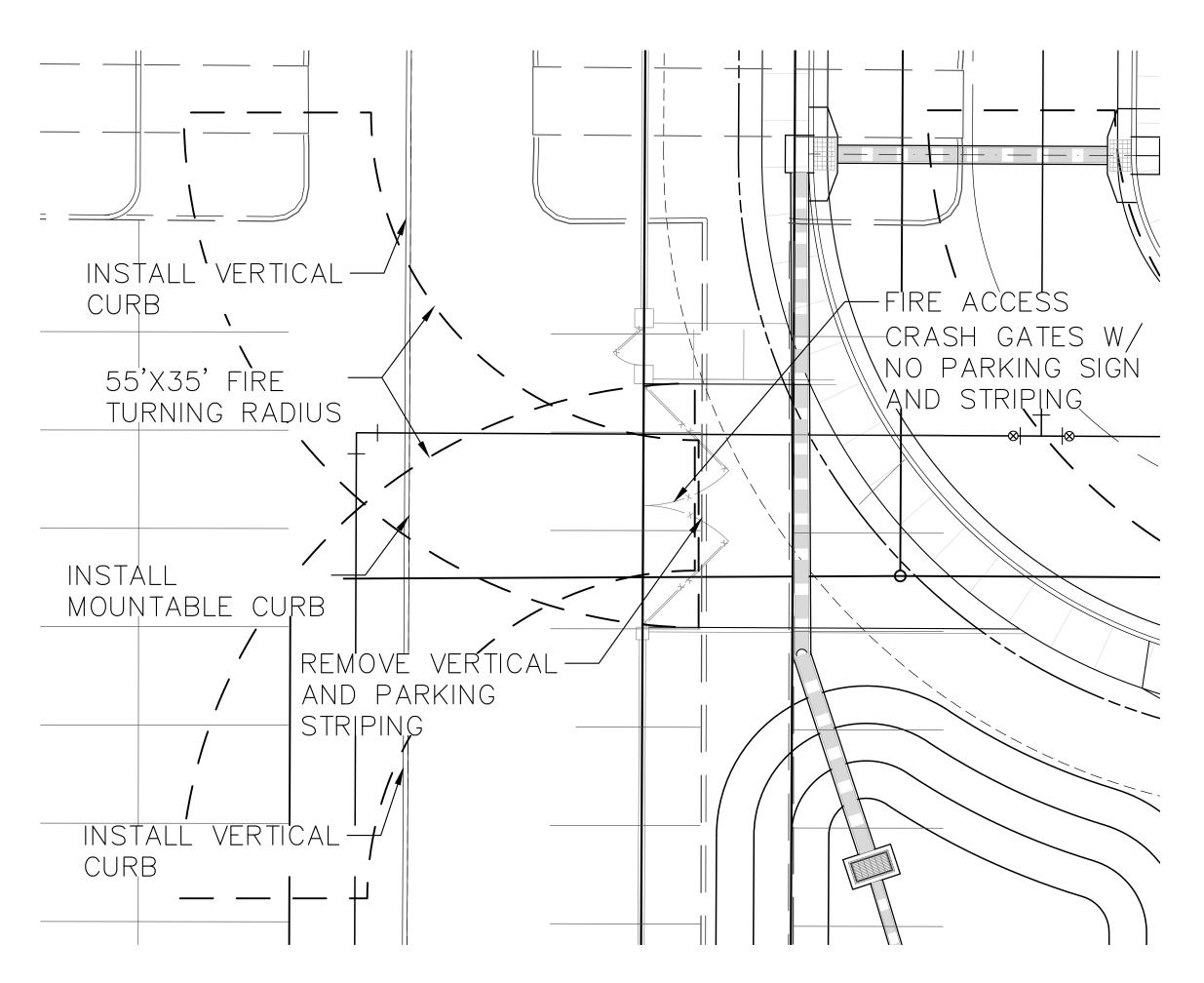
Nath	ARIZONA JONA
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DATE	DESCRIPTION

HC JDG NTL DESIGN DRAWN CHKD SCALE JOB No. 051158-01-001

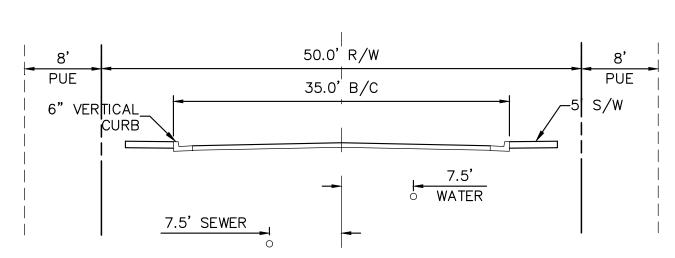
DATE: 12/6/2022 SHEET 02 OF 05

	TRACT AR	EA
TRACT ID	TRACT USE	AREA
Α	OPEN SPACE AND RE	TENTION 77333.47 SF
В	OPEN SPACE AND RE	TENTION 14990.32 SF
С	OPEN SPACE	2406.25 SF

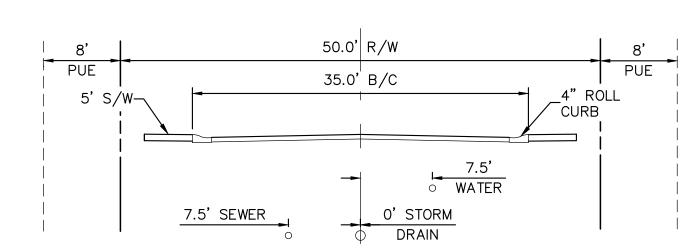
LOT AREA	
LOT #	AREA
1	9750.00 SF
2	9750.00 SF
3	9749.99 SF
4	9749.99 SF
5	9735.38 SF
6	9912.99 SF
7	9375.03 SF
8	9375.00 SF
9	9375.00 SF
10	9375.00 SF
11	9375.00 SF
12	9373.59 SF
13	9373.57 SF
14	9374.99 SF



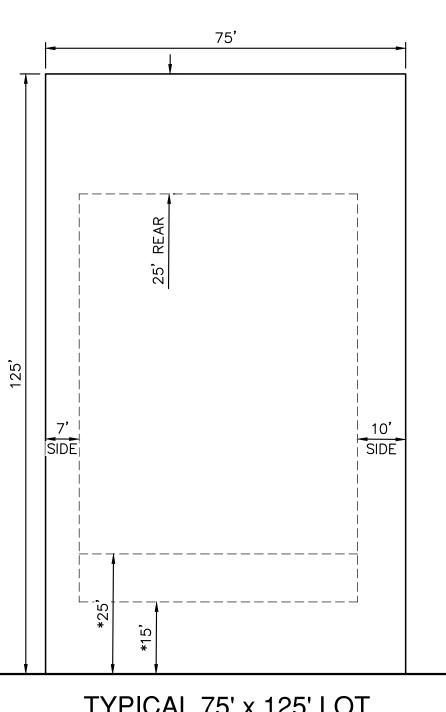
FIRE ACCESS DETAIL



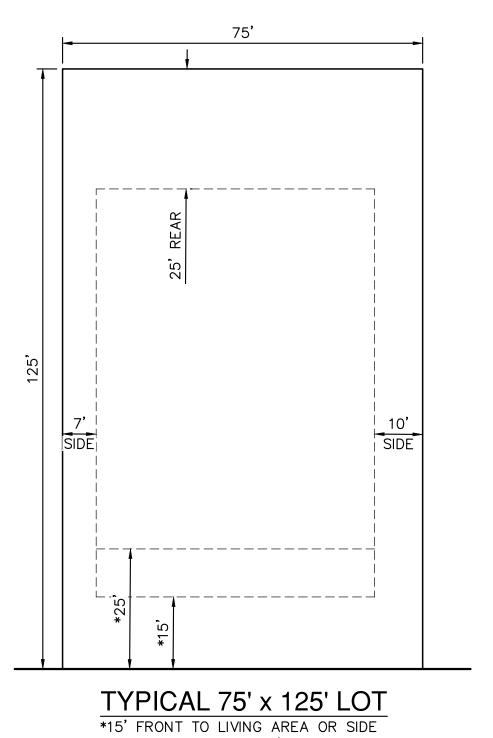
LOCAL STREET SECTION ON-STREET PARKING BOTH SIDES LOOKING NORTH N.T.S.



LOCAL STREET SECTION ON-STREET PARKING BOTH SIDES LOOKING WEST N.T.S.



\*15' FRONT TO LIVING AREA OR SIDE ENTRY GARAGE AND 25' TO FRONT ENTRY GARAGE

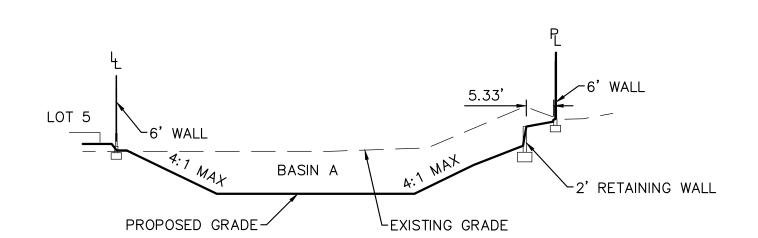


EXISTING GRADE PROPOSED GRADE~ <u>A PROFILE VIEW</u> HORIZONTAL SCALE: 1"=20' VERTICAL SCALE: 1"=10'

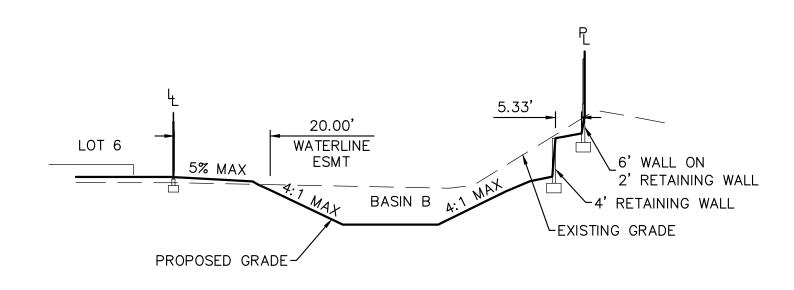
\_8" DROP THROUGH WALL

LOT 4

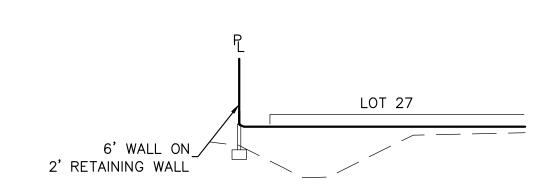
EX. WALL —



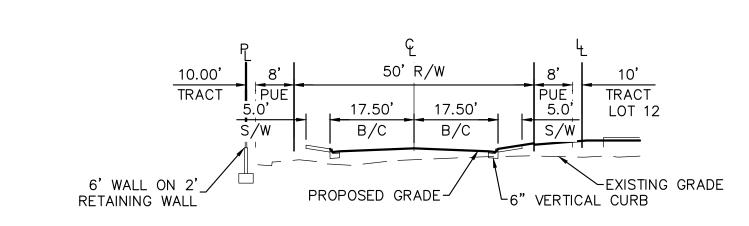
B PROFILE VIEW HORIZONTAL SCALE: 1"=20' VERTICAL SCALE: 1"=10'



C PROFILE VIEW HORIZONTAL SCALE: 1"=20' VERTICAL SCALE: 1"=10'



D PROFILE VIEW HORIZONTAL SCALE: 1"=20' VERTICAL SCALE: 1"=10'



E PROFILE VIEW HORIZONTAL SCALE: 1"=20' VERTICAL SCALE: 1"=10'

