

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS FURNISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.

- ## CITY OF MESA PUBLIC STREET/RIGHT-OF-WAY IMPROVEMENT NOTES

- ## LEGEND

PRELIMINARY PLAT  
FOR  
THE ESTATES AT ENCANTO  
MESA, ARIZONA  
PORTION OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 1  
NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA



1. CONTRACTORS SHALL VERIFY ALL INVERT ELEVATIONS BEFORE PROCEEDING WITH THE BALANCE OF THE UTILITY TRENCHING.
2. ALL MANHOLES PER M.A.G. DETAILS MUST NECK DOWN TO USE THE STANDARD 30INCH FRAME AND COVER. STEPS SHALL NOT BE INSTALLED WITHIN THE MANHOLE.

1. THE ENGINEER, OR LAND SURVEYOR SHALL CERTIFY THAT THE REQUIRED STORM WATER RETENTION HAS BEEN PROVIDED. THE CERTIFICATION SHALL ALSO INDICATE THE ACTUAL VOLUME PROVIDED. SUCH CERTIFICATION SHALL BE PROVIDED TO THE DEPARTMENT SERVICES DEPARTMENT WHEN THE RETENTION AREA IS TO REMAIN PRIVATE PROPERTY AND TO THE ENGINEERING DEPARTMENT WHEN THE RETENTION AREA IS TO BECOME CITY OF MESA PROPERTY.
2. ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNERS WHEN THEY CEASE TO DRAIN WATER IN A 3600 HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL-SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL. IN ACCORDANCE WITH ARIZONA REVISED STATUTES, DRYWELLS ARE REQUIRED TO BE REGISTERED WITH THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (A.D.E.Q.) IT IS THE OWNER'S RESPONSIBILITY TO REGISTER ALL DRYWELLS. AN AQUIFER PROTECTION PERMIT MAY BE REQUIRED BY A.D.E.Q. FOR DRYWELLS DEEMED TO BE HAZARDOUS TO GROUNDWATER.

# Bowman

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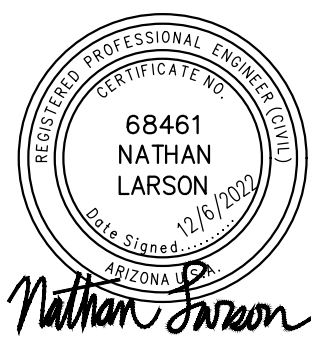
MARICOPA COUNTY

# PERLIMINARY COVER SHEET

# THE ESTATES AT ENCANTO

MESA, AZ

PROJECT NUMBER



PLAN STATUS

[illegible]

DATE	DESCRIPTION	
HC DESIGN	JDG DRAWN	NTL CHKD
SCALE	H: 1"=100' V:	

DATE : 12/6/2022

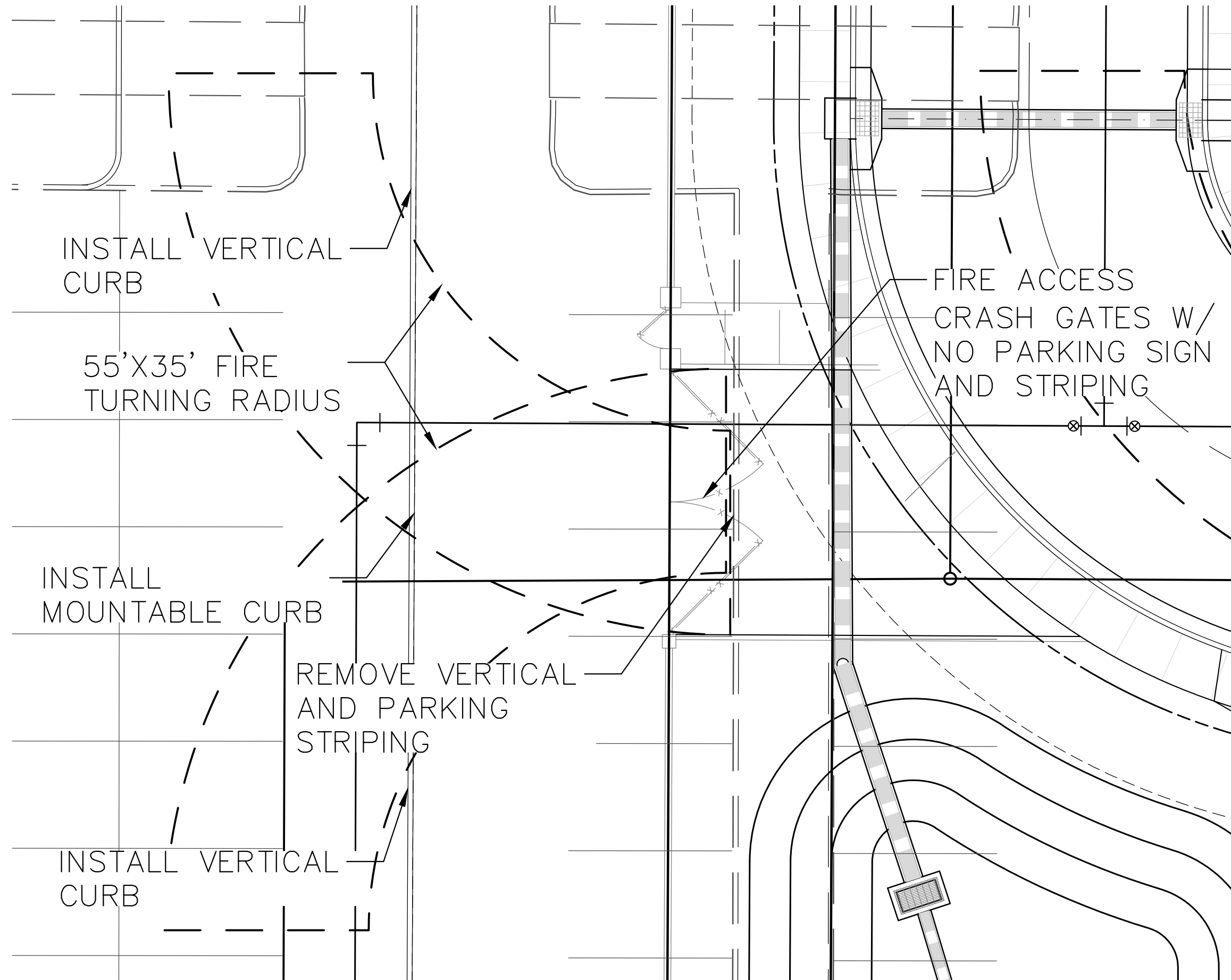
PP01  
SHEET 01 OF 05



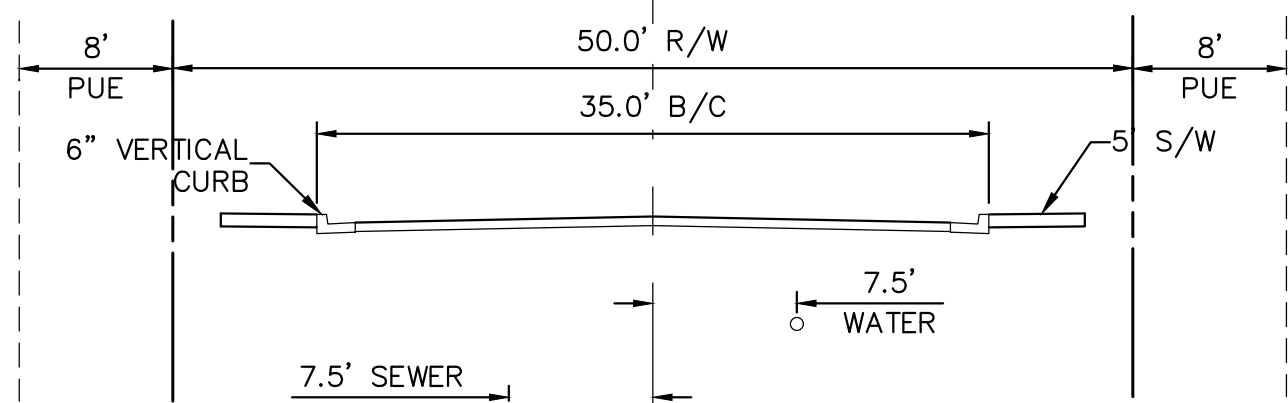
TRACT AREA		
TRACT ID	TRACT USE	AREA
A	OPEN SPACE AND RETENTION	77333.47 SF
B	OPEN SPACE AND RETENTION	14990.32 SF
C	OPEN SPACE	2406.25 SF

LOT AREA	
LOT #	AREA
1	9750.00 SF
2	9750.00 SF
3	9749.99 SF
4	9749.99 SF
5	9735.38 SF
6	9912.99 SF
7	9375.03 SF
8	9375.00 SF
9	9375.00 SF
10	9375.00 SF
11	9375.00 SF
12	9373.59 SF
13	9373.57 SF
14	9374.99 SF

LOT AREA	
LOT #	AREA
15	9374.99 SF
16	9374.99 SF
17	9374.99 SF
18	9374.99 SF
19	9375.61 SF
20	10022.82 SF
21	9375.00 SF
22	9375.00 SF
23	9375.00 SF
24	9375.00 SF
25	9375.00 SF
26	9375.00 SF
27	9375.00 SF
28	9375.05 SF

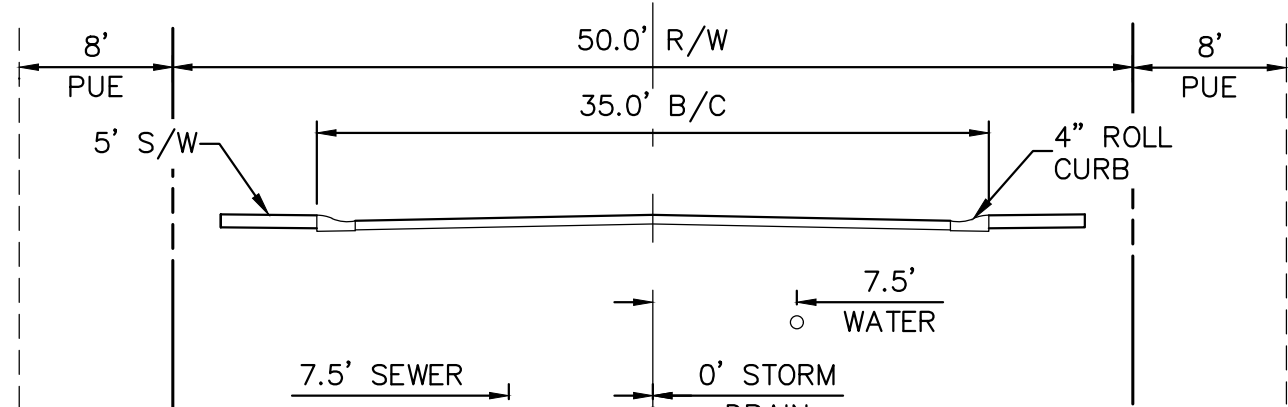


FIRE ACCESS DETAIL



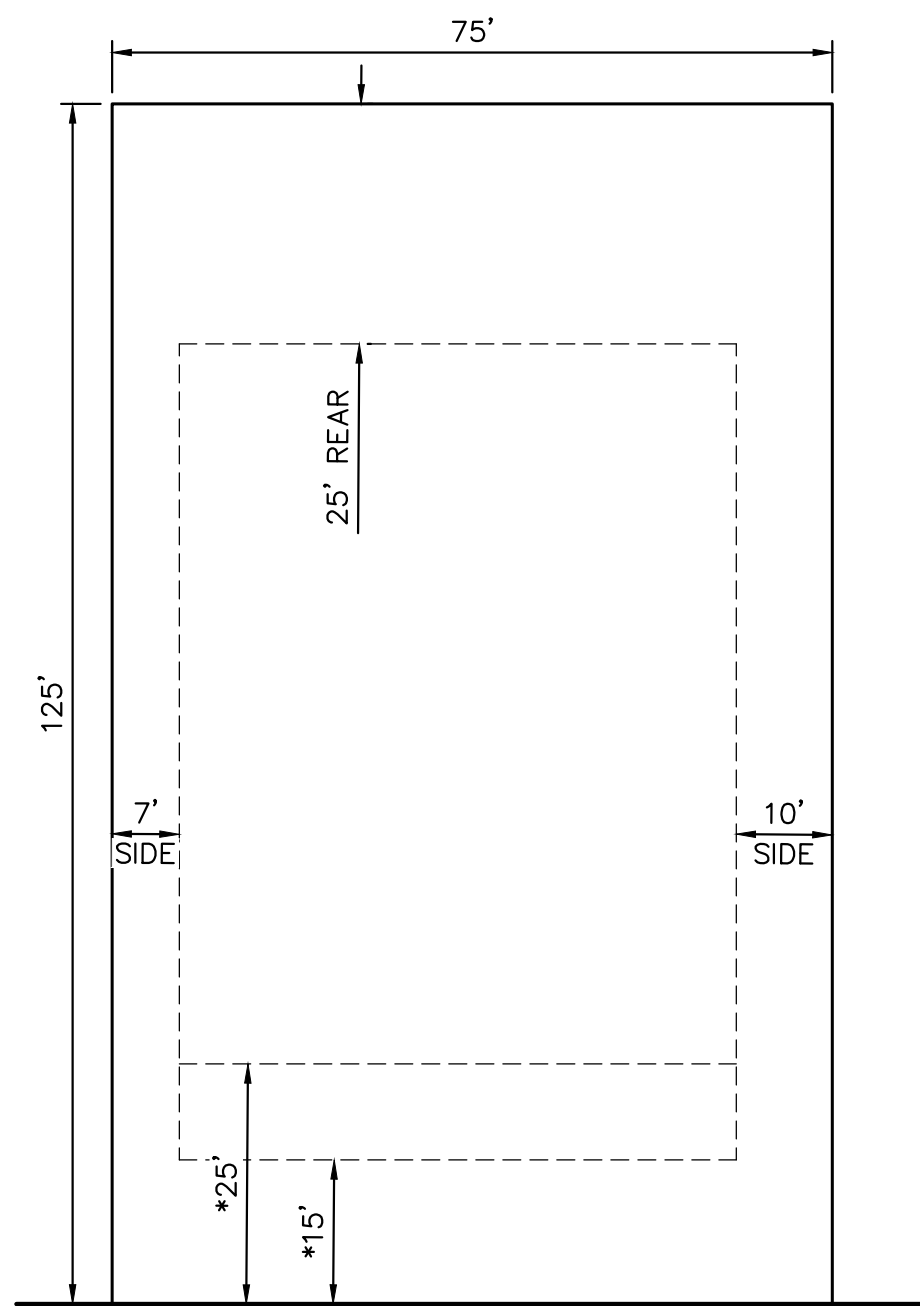
LOCAL STREET SECTION

ON-STREET PARKING BOTH SIDES  
LOOKING NORTH  
N.T.S.



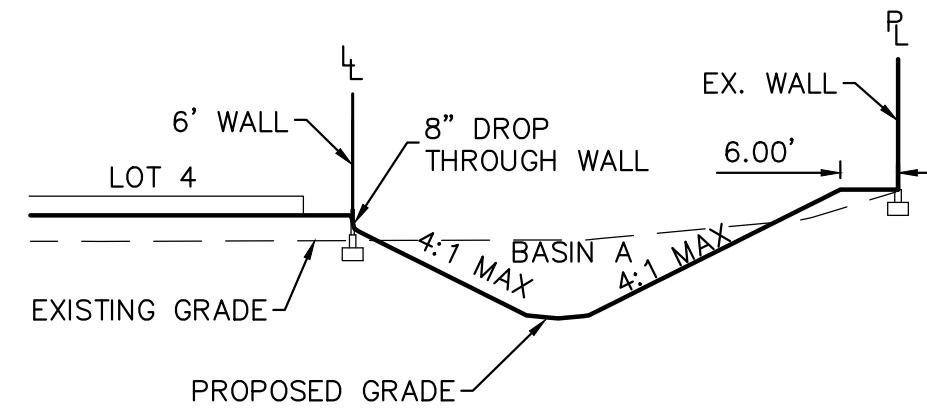
LOCAL STREET SECTION

ON-STREET PARKING BOTH SIDES  
LOOKING WEST  
N.T.S.



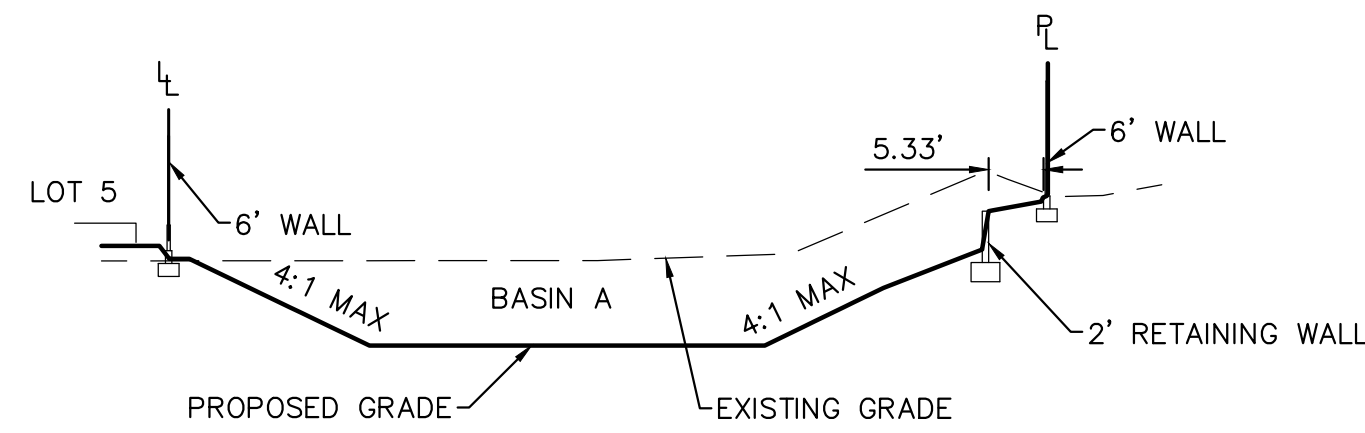
TYPICAL 75' x 125' LOT

\*15' FRONT TO LIVING AREA OR SIDE  
ENTRY GARAGE AND 25' TO FRONT  
ENTRY GARAGE



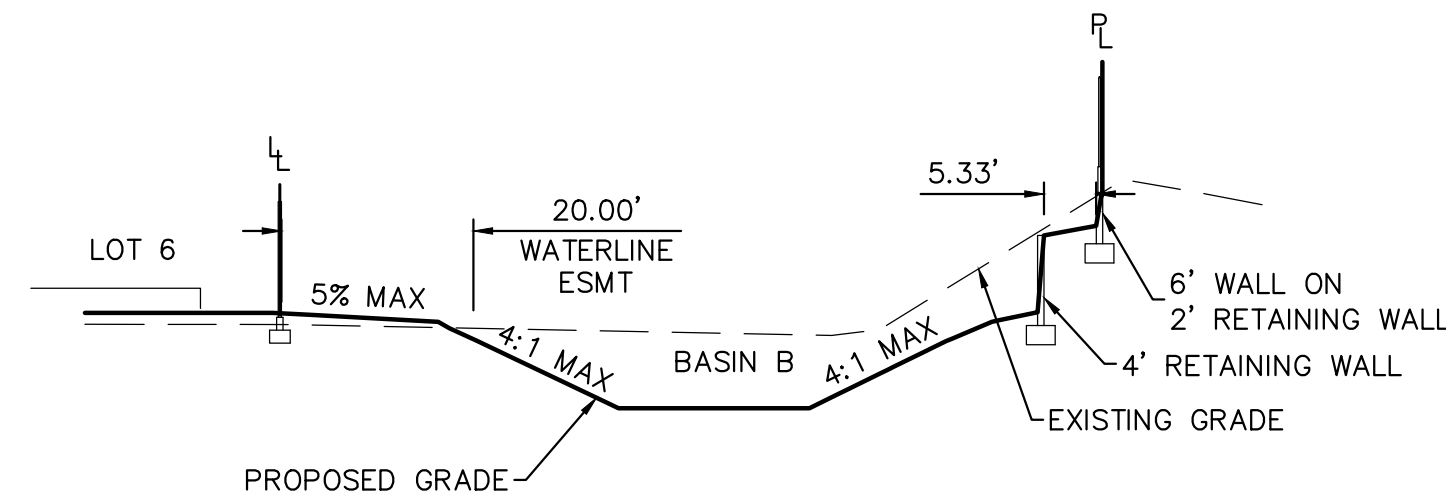
A PROFILE VIEW

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=10'



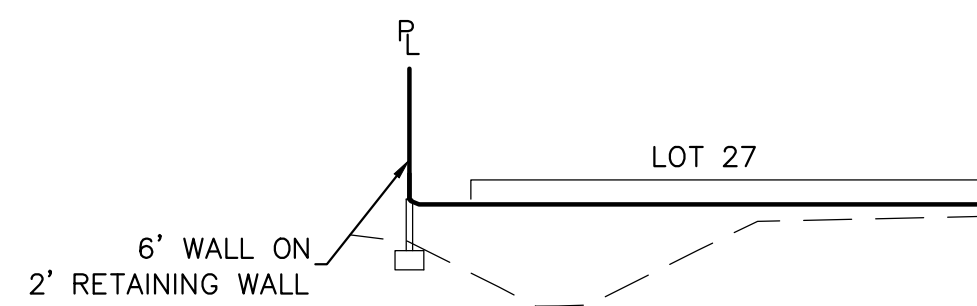
B PROFILE VIEW

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=10'



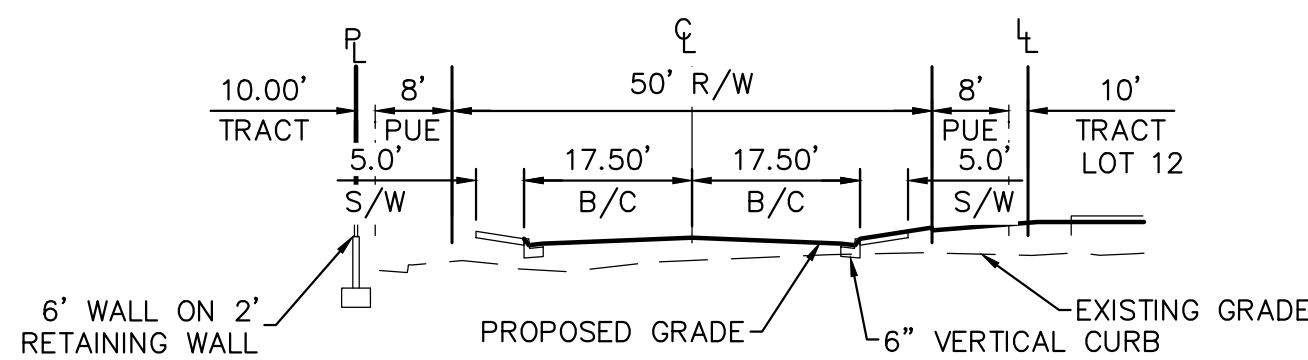
C PROFILE VIEW

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=10'



D PROFILE VIEW

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=10'



E PROFILE VIEW

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=10'

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MARICOPA COUNTY

MESA, AZ

DETAILS  
THE ESTATES AT ENCANTO

PROJECT NUMBER



PLAN STATUS

DATE DESCRIPTION

HC JDG NTL

DESIGN DRAWN CHKD

SCALE H: V:

JOB No. 051158-01-001

DATE : 12/6/2022

PP02

SHEET 02 OF 05



## PRELIMINARY PLAT

## THE ESTATES AT ENCANTO

PROJECT NUMBER

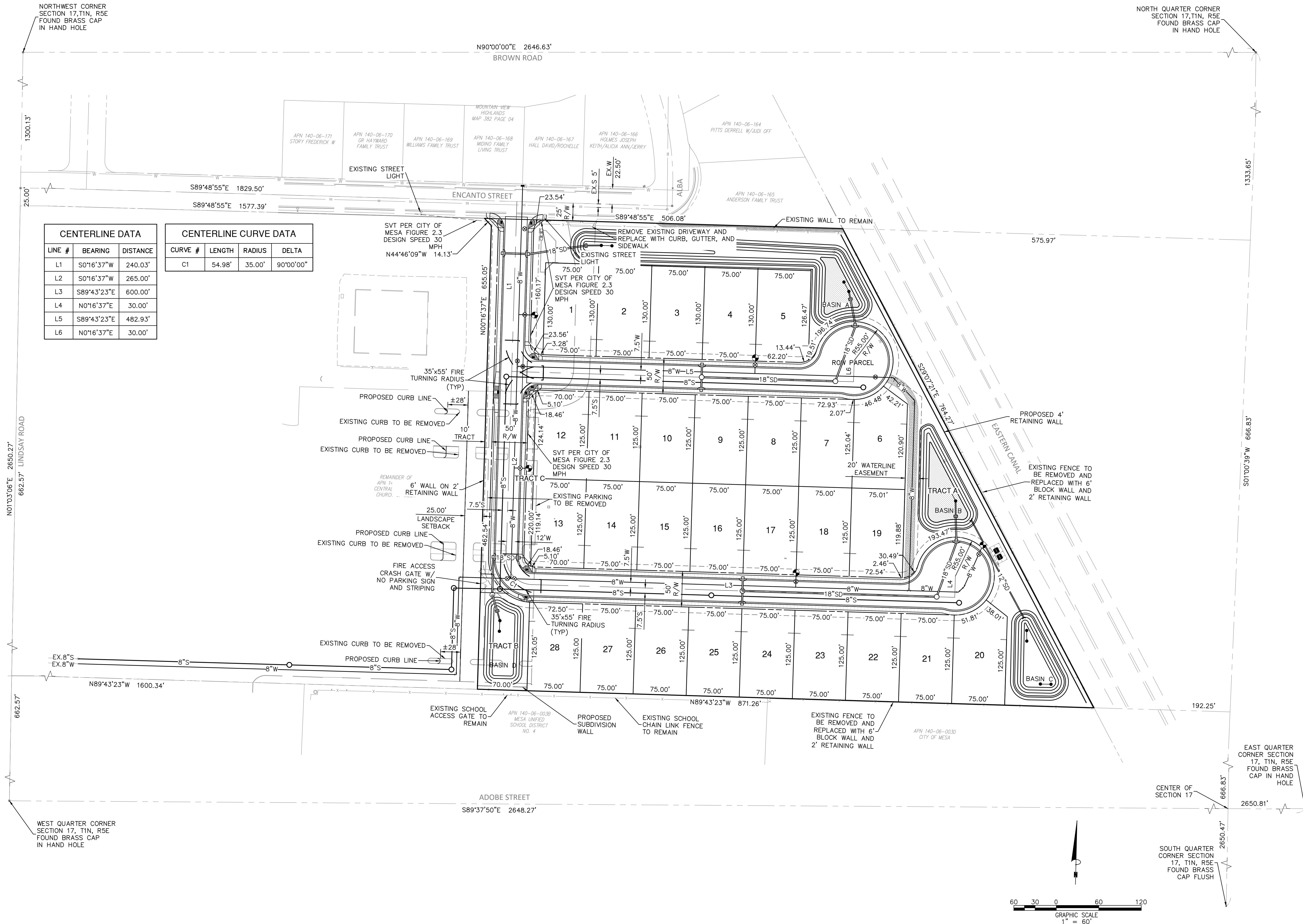


PLAN STATUS

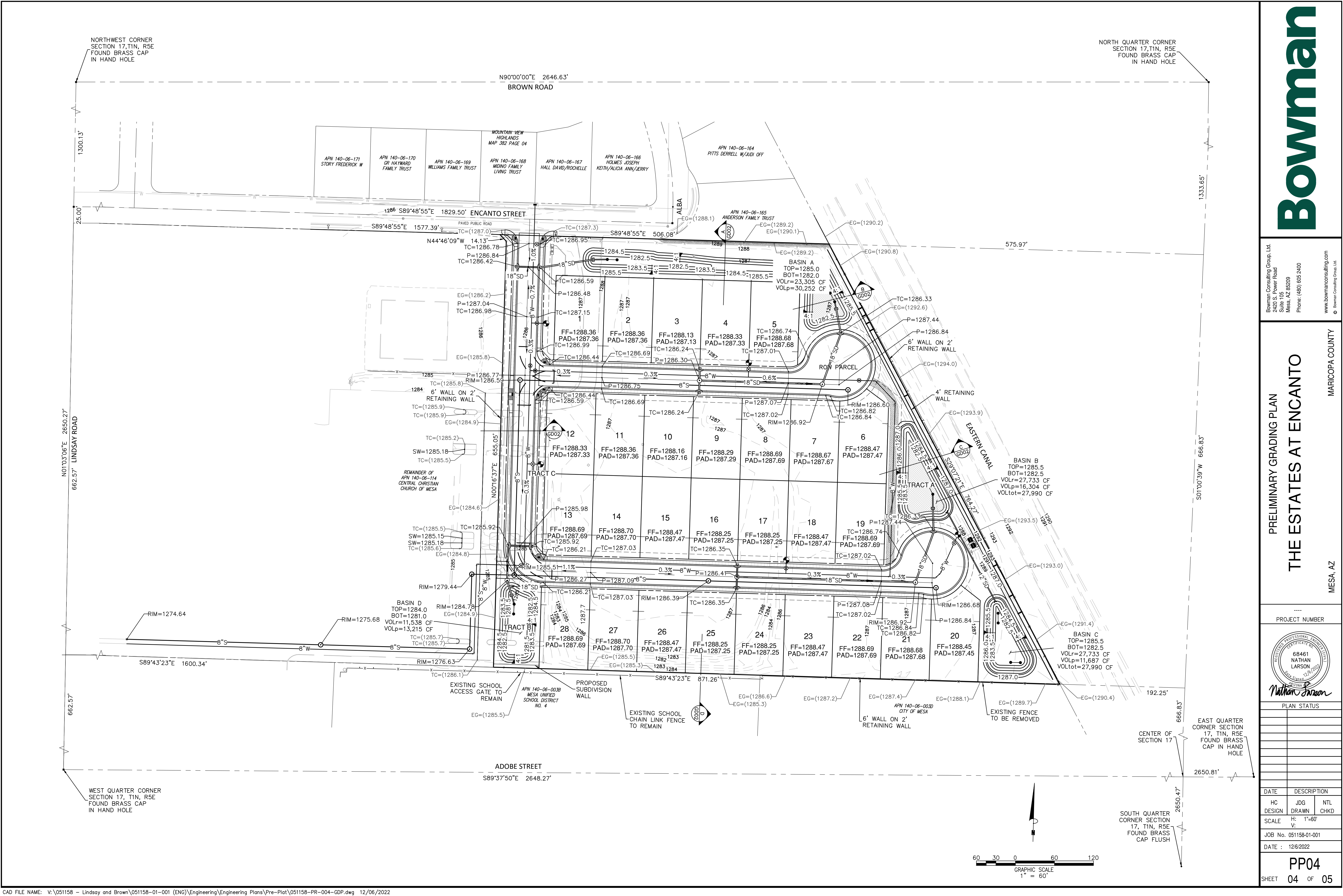
DATE	DESCRIPTION
HC	JDG
DESIGN	NTL
SCALE	CHKD
H: 1"=60'	
V:	
JOB No. 051158-01-001	
DATE : 12/6/2022	

PP03

SHEET 03 OF 05







# Bowman

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PRELIMINARY GRADING PLAN  
THE ESTATES AT ENCANTO

MESA, AZ  
MARICOPA COUNTY

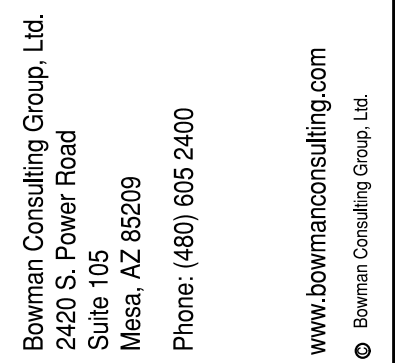
PROJECT NUMBER

PLAN STATUS

DATE	DESCRIPTION	
HC	JDG	NTL
DESIGN	DRAWN	CHKD
SCALE	H: 1"=60'	V:
JOB No.	051158-01-001	
DATE	12/6/2022	

PP04  
SHEET 04 OF 05





## MARICOPA COUNTY

**MESA, AZ**

PROJECT NUMBER



DATE	DESCRIPTION		
H/C	J/DG	NTL	
DESIGN	DRAWN	CHECKED	
SCALE	H: 1"=60'		
	V:		
JOB No. 051158-01-001			
DATE : 12/6/2022			

**PP05**

SHEET
05 OF 05