



City Council

ZON24-01074

Mary Kopaskie-Brown, Planning Director

June 16, 2025
1



Request

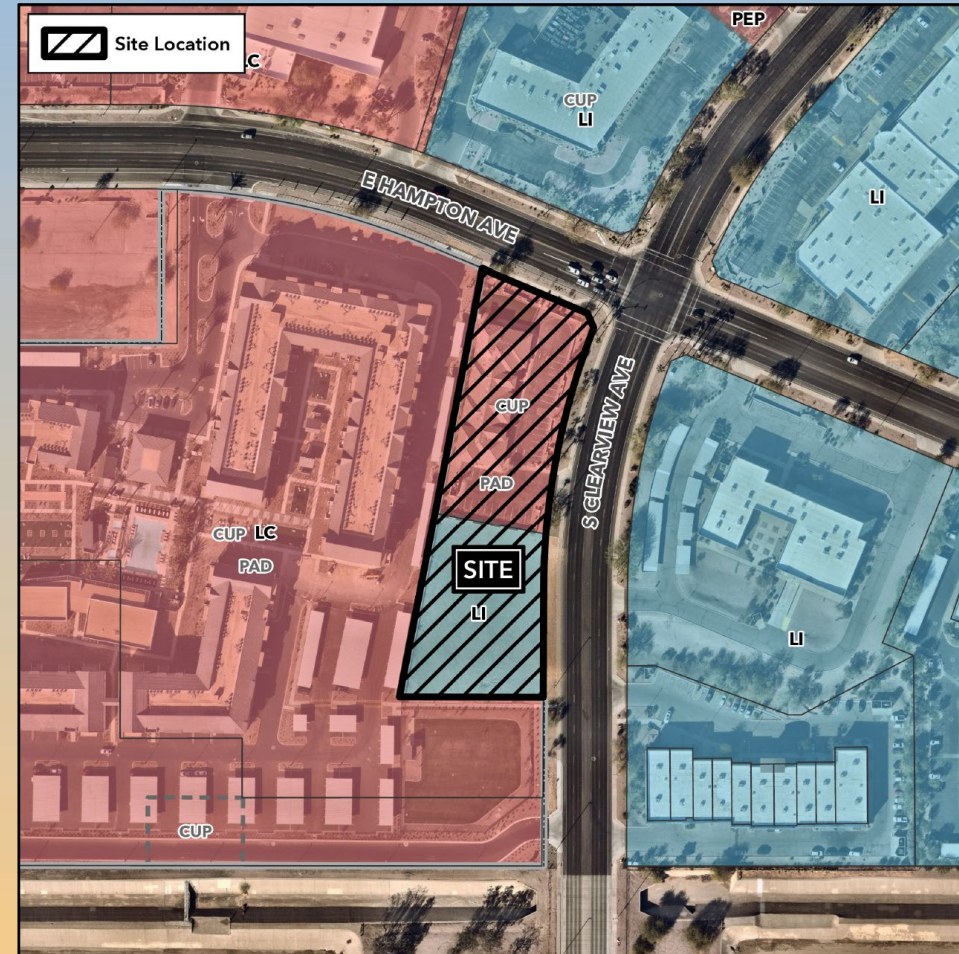
- Modification of a Council Use Permit (CUP)
- Major Site Plan Modification
- Rezoning 0.8 acres from LI-PAD to LI-PAD-BIZ





Location

- Southwest corner of Hampton Avenue and Clearview Avenue.
- East of Power Road and North of the US-60 Superstition Freeway

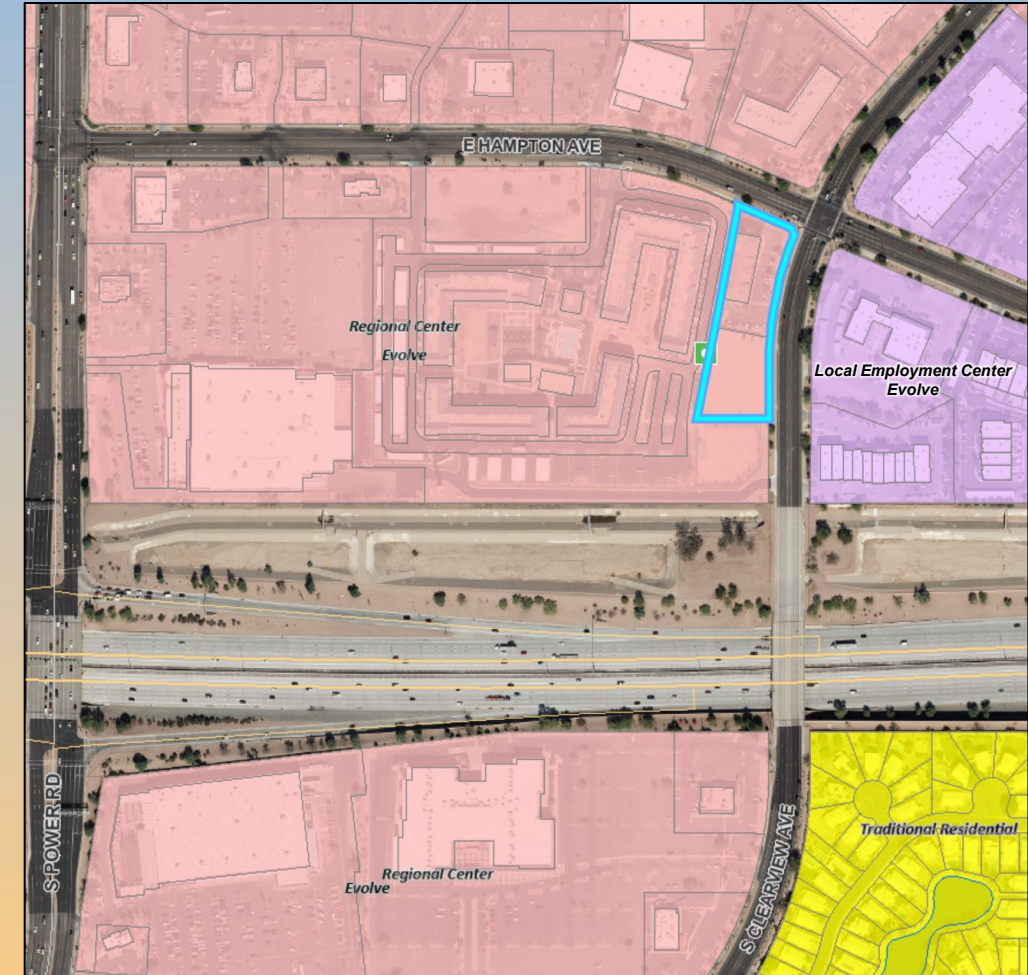




General Plan

Regional Center - Evolve

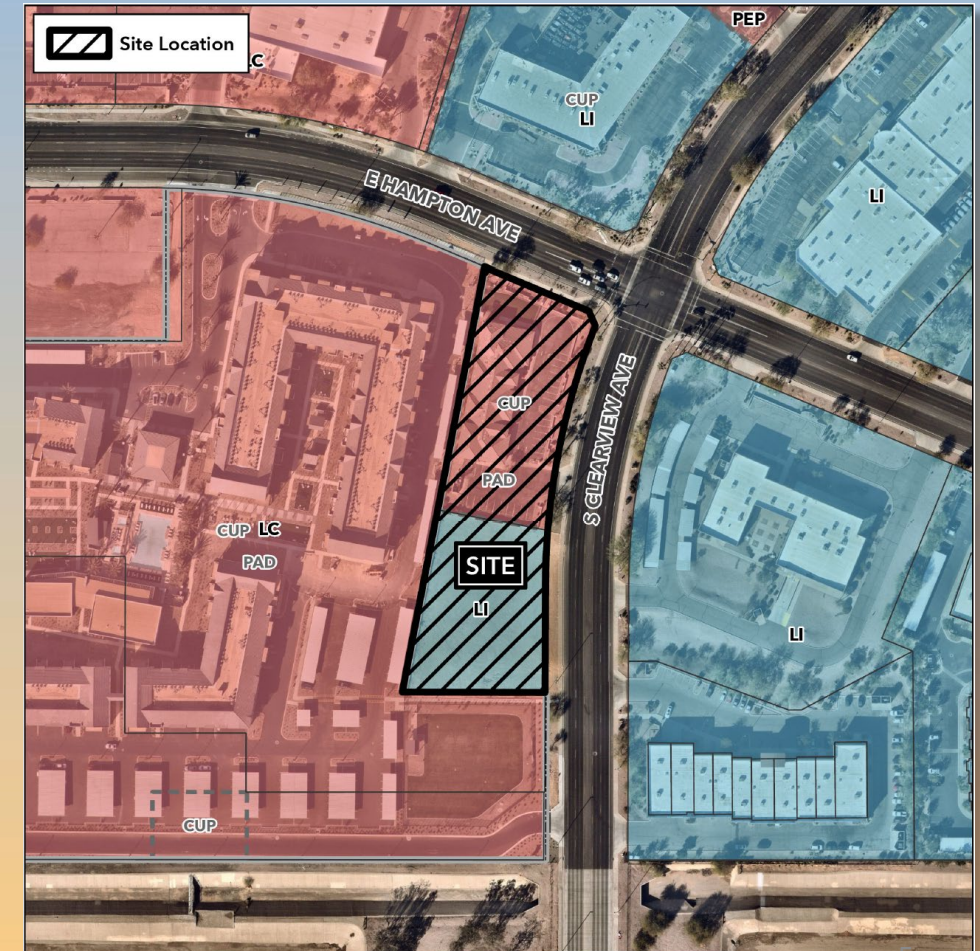
- Major retail, cultural, recreational, and entertainment destinations.
- Supporting land uses include public/semi-public uses, including schools





Zoning

- Current: LC-PAD (1± acre) and LI-PAD (0.8 ± acre)
- Proposed: LC-PAD (1± acre) and LI-PAD-BIZ (0.8 ± acre)





Site Photo

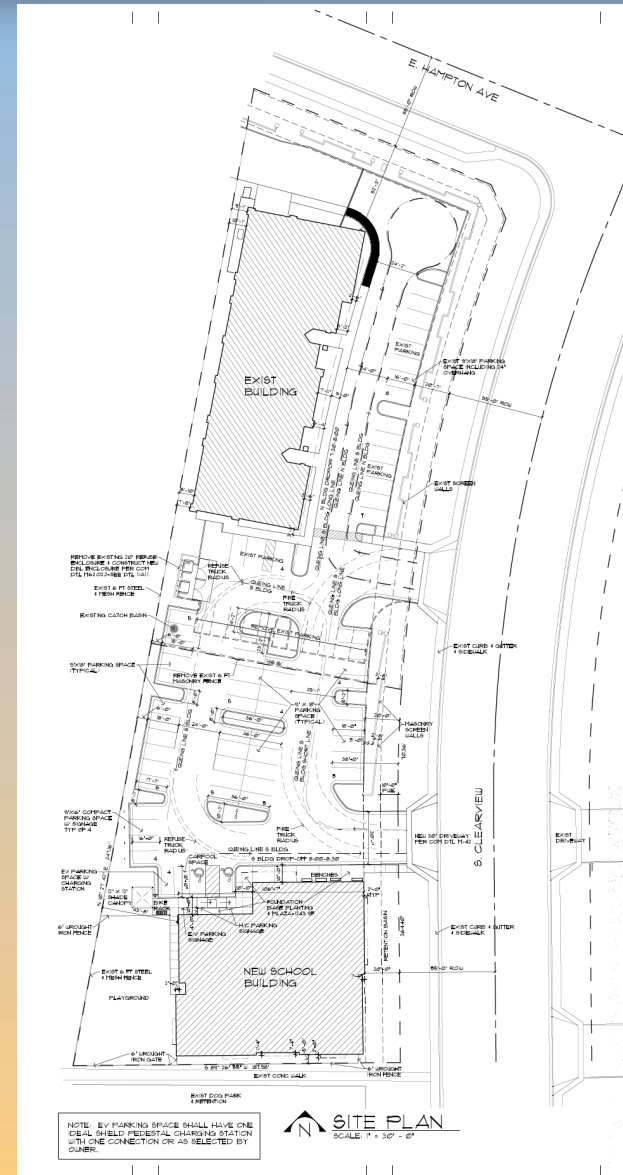


Looking southwest from Clearview Avenue



Site Plan

- North Building (Existing):
 - 10,129 Square Feet
 - Access from Clearview
- South Building (Proposed):
 - 18,540 Square Feet
 - Access from Clearview
- Parent Drop-Off and Pick-Up
- Shared:
 - Shared Parking Agreement
 - Cross Access Agreement
 - Shared Refuse Agreement





Bonus Intensity Zone – South Parcel

Development Standard

MZO Required

PAD Proposed

Interior Side and Rear Setback
Adjacent to Commercial –
MZO Table 11-7-3

(south setback for southern
property)

1 foot of setback for each foot of
building height with a minimum 20-foot
setback

5' minimum

Trash and Refuse Collection Areas –
MZO Section 11-30-12.A.1

Southern Property only

Solid waste and recycling-container
enclosures are required for all
commercial/industrial developments in
which the aggregate gross floor area
exceeds 10,000 square feet.

No solid waste enclosure



Bonus Intensity Zone – South Parcel

Development Standard	MZO Required	PAD Proposed
<u>Parking Spaces Required – MZO</u> <i>Section 11-32-3.A</i> Southern Property Only	Kindergarten through 9 th grade: 1 space per 75 square feet for public assembly space, such as auditoriums and theaters, and 1 space per 600 square feet for all other areas High Schools: 1 space per 200 square feet	1 space per 600 square feet
<u>Setback of Cross Drive Aisles – MZO</u> <i>Section 11-32-4.A</i> Southern Property Only	50 feet	38 feet



Bonus Intensity Zone – South Parcel

Development Standard	MZO Required	PAD Proposed
<u>Landscaping for Non-Single Residence Adjacent to Non-Single Residence – MZO Section 11-33-3.B.2.a.ii</u> Southern Property Only (west and south landscape yards)	15-foot landscape yard	5 feet minimum
<u>Landscaping for Non-Single Residence Adjacent to Non-Single Residence – MZO Section 11-33-3.B.2.c. – Number of Plants</u> Southern Property Only (South landscape yard)	3 trees & 20 shrubs per 100 linear feet	3 trees and 20 shrubs per 200 lineal feet



Bonus Intensity Zone – South Parcel

Development Standard	MZO Required	PAD Proposed
<p><u>Foundation Base</u> – MZO Section 11-33-5.A.1 – Southern Property Only</p> <p>Exterior Walls with a Public Entrance</p> <p>Buildings larger than 10,000 square feet</p>	<p>15-foot foundation base</p> <p>20 feet in depth and 900 square feet minimum in area</p>	<p>10-foot foundation base</p> <p>10-foot plaza depth, 1,060 square feet in area</p>



Citizen Participation

- Notified property owners within 1000 feet, HOAs and registered neighborhoods
- In-person neighborhood meeting held on January 30, 2025. No neighbors attended the meeting.
- No correspondence received by staff





Findings

- ✓ Complies with the 2050 Mesa General Plan
- ✓ Complies with Chapter 70 of the MZO for a CUP
- ✓ Complies with Chapter 21 of the MZO for a Bonus Intensity Zone Overlay
- ✓ Complies with Chapter 69 of the MZO for Site Plan Review

***Staff recommends Approval with Conditions
Planning and Zoning Board recommends Approval with Conditions (6-0)***



mesa·az

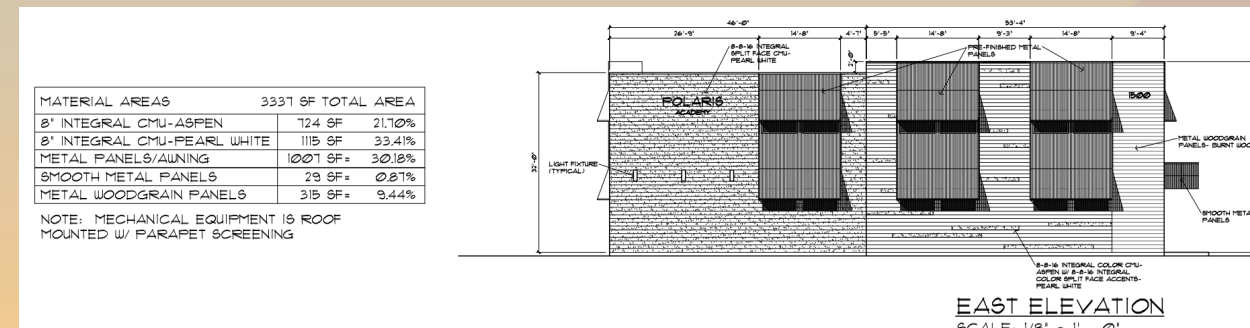
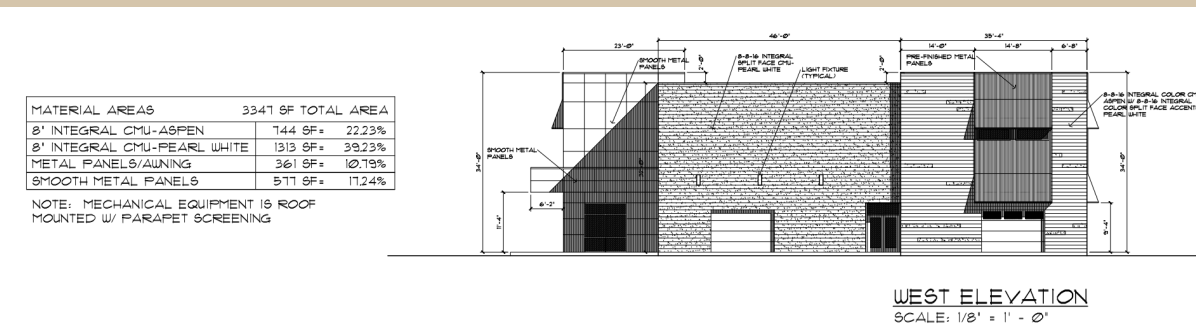
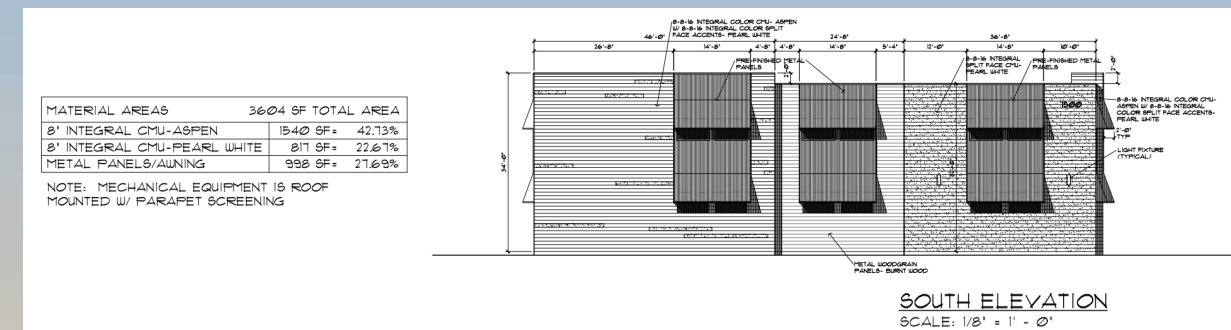
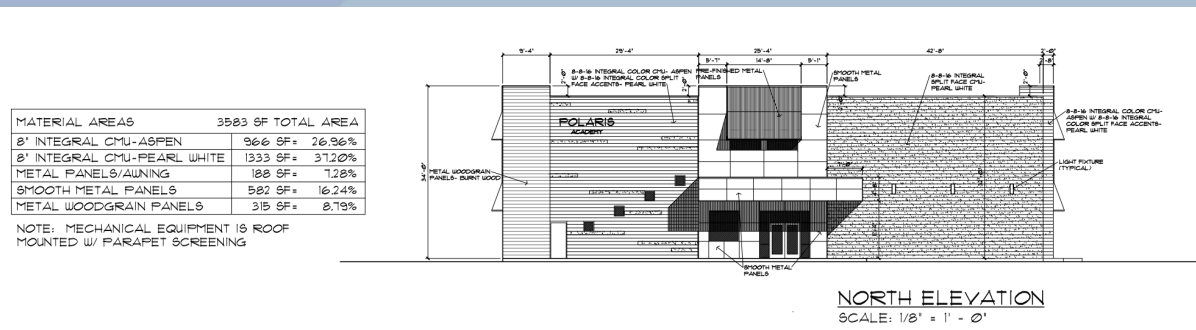


Site Rendering





Elevations





Landscape Plan

Northern Site

E. HAMPTON

PROPERTY LINE = 147'
6 TREES REQUIRED
6 TREES PROVIDED (3-EXIST. 36" BOX, 4-24" BOX)
42 SHRUBS REQUIRED
52 SHRUBS PROVIDED (13 EXIST., 29 NEW)

S. CLEARVIEW

PROPERTY LINE = 278'
11 TREES REQUIRED
14 TREES PROVIDED (ALL EXIST. 36" BOX EQUIV.)
66 SHRUBS REQUIRED
66 SHRUBS PROVIDED (17 EXIST., 49 NEW)

WEST PROPERTY LINE

PROPERTY LINE = 324'
13 TREES REQUIRED
13 TREES PROVIDED (0-EXIST. 36" BOX, 4-24" BOX)
52 SHRUBS REQUIRED
52 SHRUBS PROVIDED (32-EXIST., 20 NEW)

SOUTH PROPERTY LINE

PROPERTY LINE = 140'
6 TREES REQUIRED
6 TREES PROVIDED (1 EXIST. 36" BOX, 5-24" BOX)
24 SHRUBS REQUIRED
24 SHRUBS PROVIDED (5 EXIST., 19 NEW)

PARKING LOT

PARKING STALLS = 28
9 TREES REQUIRED
9 TREES PROVIDED
27 SHRUBS REQUIRED
27 SHRUBS PROVIDED (5-EXIST., 22 NEW)

LANDSCAPE COVERAGE

LANDSCAPE AREA: 20,271 SQ.FT.
LANDSCAPE COVERAGE REQUIRED: 10,138 SQ.FT. (50%)
LANDSCAPE COVERAGE PROVIDED: 10,277 SQ.FT. (51%)

Southern Site

TREE CANOPY CALCS:

TREE CANOPY: 28,401 SQ.FT.
PERCENT COVERAGE: 65%

PARKING LOT

PARKING STALLS = 13
11 24" BOX, 2 36" BOX TREES REQUIRED
13 36" BOX TREES PROVIDED
39 5 GAL. SHRUBS REQUIRED
39 5 GAL. SHRUBS PROVIDED

LANDSCAPE COVERAGE

LANDSCAPE AREA: 14,747 SQ.FT.
LANDSCAPE COVERAGE REQUIRED: 7,373 SQ.FT. (50%)
LANDSCAPE COVERAGE PROVIDED: 7,562 SQ.FT. (52%)

FOUNDATION BASE LANDSCAPE:

EAST: 100 L.FT.
FOUNDATION PROVIDED: 100' (100%)
WEST: 100 L.FT.
FOUNDATION PROVIDED: 100' (100%)
NORTH: 105 L.FT.
FOUNDATION PROVIDED: 42' (40%)
SOUTH: 105 L.FT.
FOUNDATION PROVIDED: 105' (100%)

TREES REQUIRED: 9-24" BOX, 1-36" BOX
SHRUBS REQUIRED: 44-5 GALLON
TREES PROVIDED: 7-36" BOX
SHRUBS PROVIDED: 44-5 GALLON

S. CLEARVIEW

PROPERTY LINE = 215'
9 TREES REQUIRED (8-24" BOX, 1-36" BOX)
9 TREES PROVIDED (6-24" BOX, 3-36" BOX)
45 5 GAL. SHRUBS REQUIRED
54 5 GAL. SHRUBS PROVIDED

WEST PROPERTY LINE

PROPERTY LINE = 253' (160' visible)
10 24" BOX TREES REQUIRED
10 36" BOX TREES PROVIDED
32 5 GAL. SHRUBS REQUIRED (in visible area)
32 5 GAL. SHRUBS PROVIDED
20 5 GAL. SHRUBS REQUIRED (non-visible)
0 5 GAL. SHRUBS PROVIDED

SOUTH PROPERTY LINE

PROPERTY LINE = 198' (188' non visible)
7 24" BOX TREES REQUIRED
3 36" BOX TREES PROVIDED
35 5 GAL. SHRUBS REQUIRED
23 5 GAL. SHRUBS PROVIDED



EXISTING LANDSCAPE LEGEND

- EXISTING TREE
PROTECT FROM CONSTRUCTION
- EXISTING PALM
PROTECT FROM CONSTRUCTION
- EXISTING SHRUB
PROTECT FROM CONSTRUCTION

NEW LANDSCAPE LEGEND

- CERCIDIMUM PRAECOX
SONORAN PALO VERDE
24" BOX
MATURE: 30'W, 30'T (10)
- PROSOPIS 'RIO-SALADO'
HYBRID THORNLESS MESQUITE
36" BOX
MATURE: 30'W, 30'T (34)
- TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON (0)
- CAESALPINIA MEXICANA
MEXICAN BIRD OF PARADISE
5 GALLON (8)
- NERIUM OLEANDER
PETITE PINK
5 GALLON (96)
- DASYLIRON WHEELERII
DESERT SPOON
5 GALLON (21)
- HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON (27)
- LANTANA MONTEVIDENSIS
'GOLD MOUND'
5 GALLON (69)
- LANTANA MONTEVIDENSIS
TRAILING PURPLE
5 GALLON (14)

1/2" MINUS MADISON GOLD (MATCH EXISTING)
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS



Existing building - looking west from Clearview Avenue