



# PLANNING & ZONING BOARD

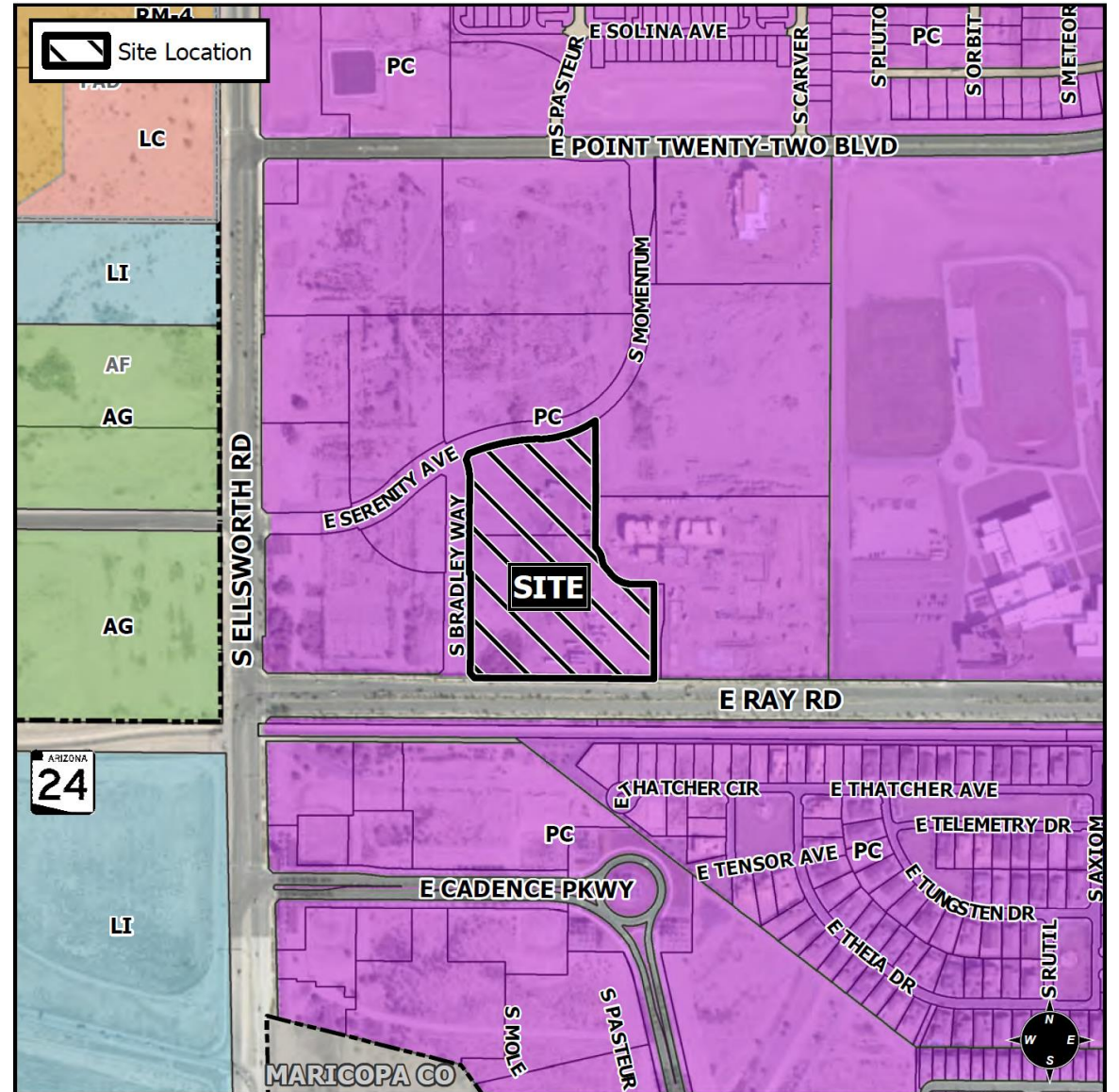
September 22, 2021



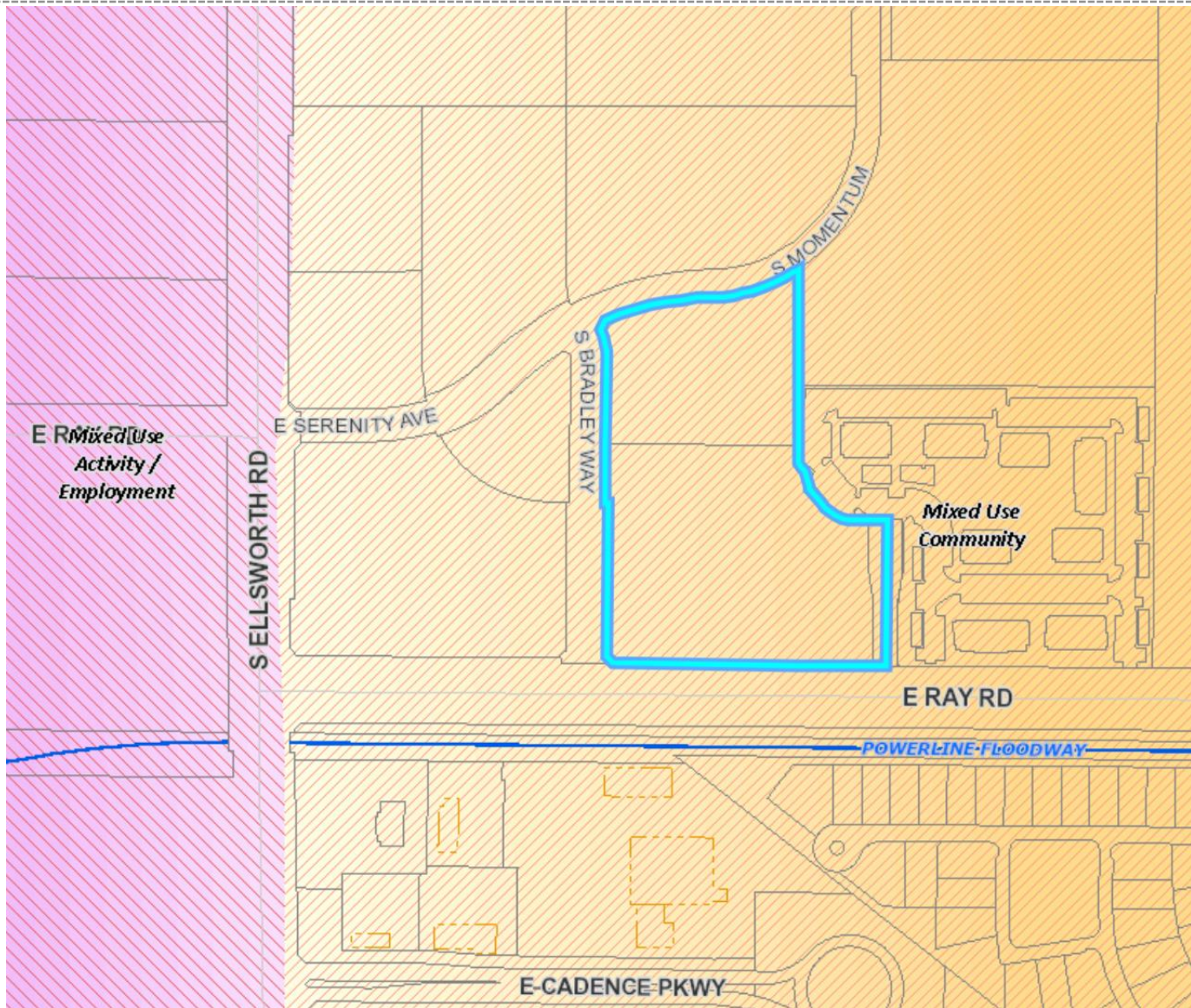
**ZON21-00589**

# Location

- North of Ray Road
- East of Ellsworth Road
- Within Eastmark Community







# General Plan

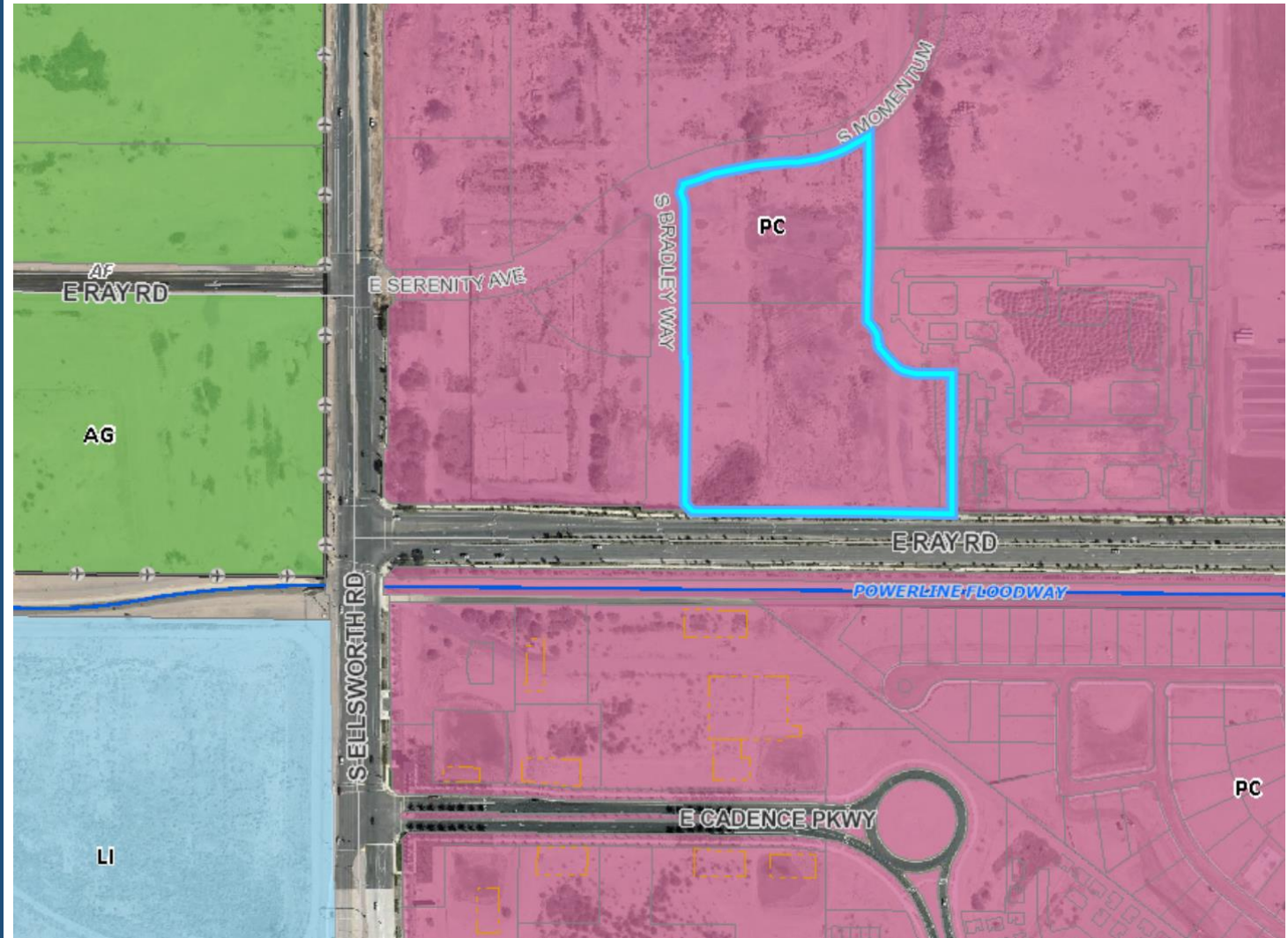
## Mixed-Use Community

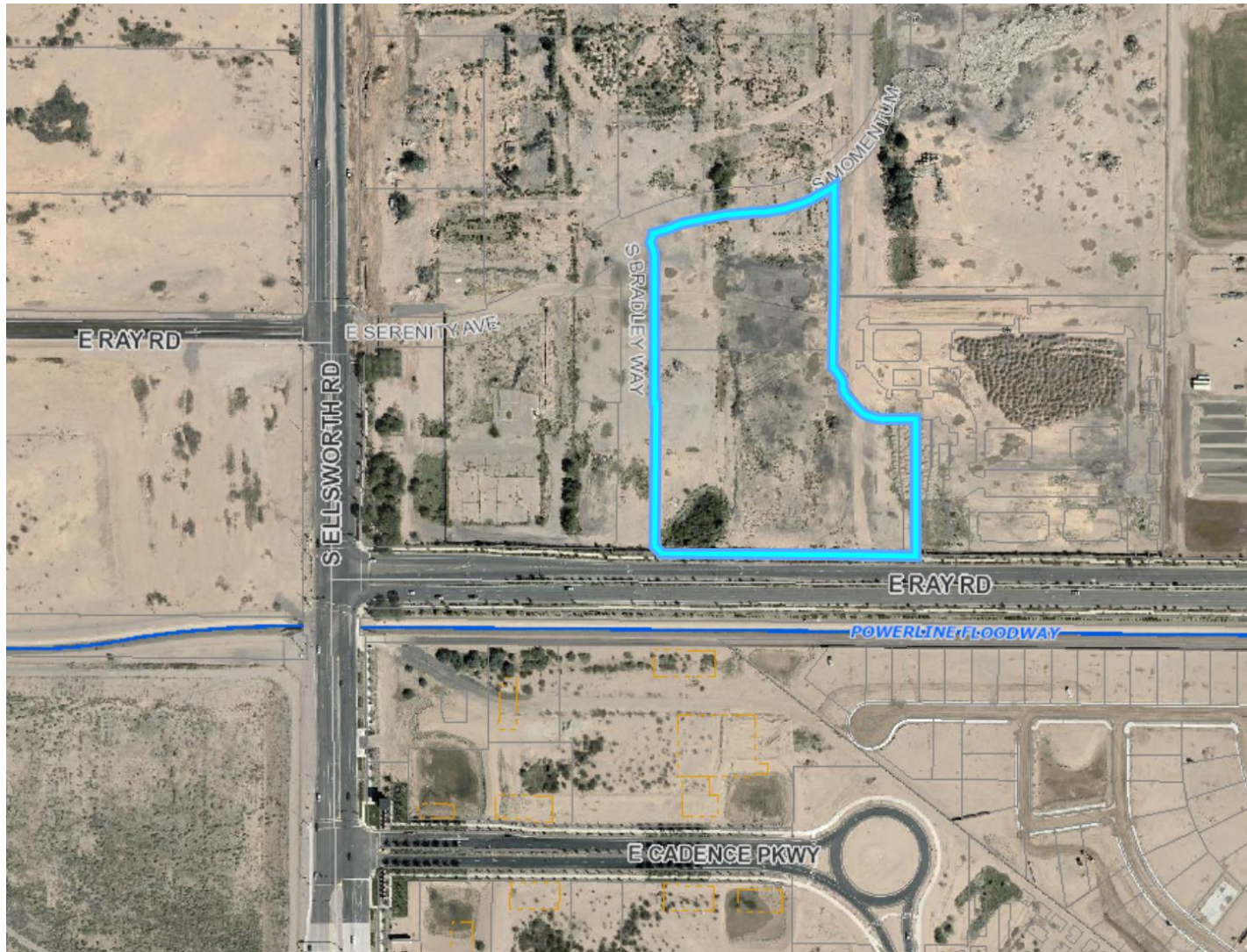
- Creation of live/work/play community
- Variety of land uses (low to high density residential, commercial, employment, etc.)



# Zoning

- Planned Community (PC)
  - Eastmark
    - ✦ Development Unit 3/4 North
      - Land Use Group (LUG) Urban Core (UC)





## Request

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- Site Plan Review

## Purpose

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- Allow for a multiple residence development



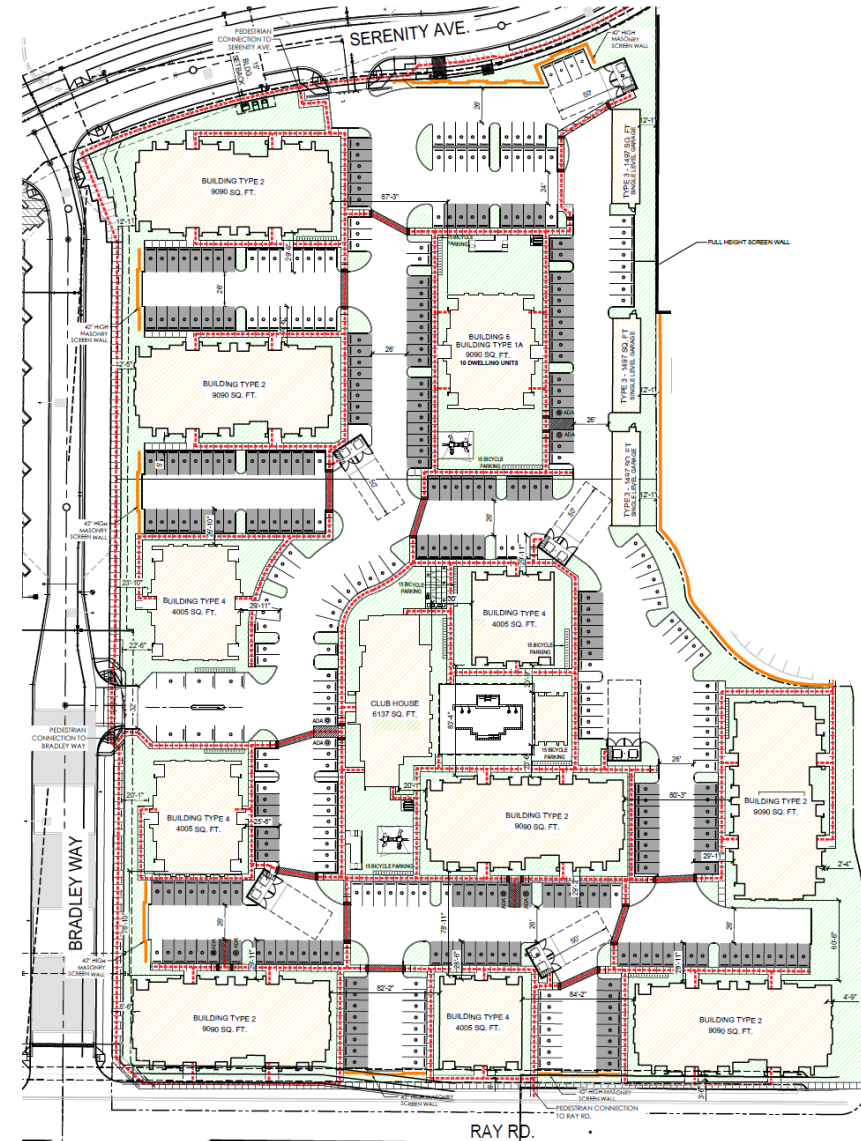
# Site Photos



Looking north towards the site from Ray Road

# Site Plan

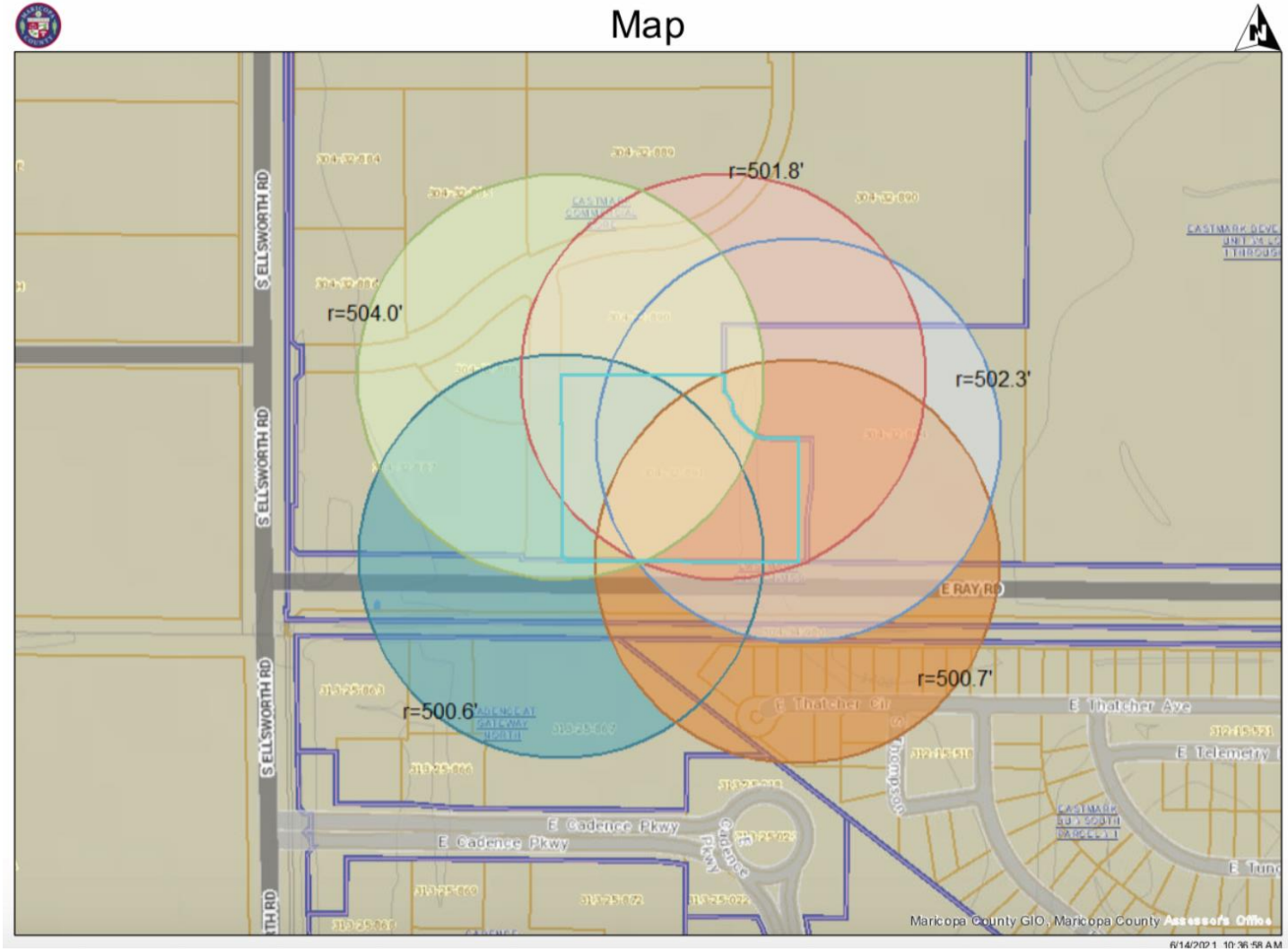
- 202 residential units
- 15 buildings and 5 building types including residential club house
- Variety of Amenities including pool, tot lot, and corn hole area





# Citizen Participation

- Property owners within 500 feet
- HOAs within ½ mile
- Staff has not received any neighborhood feedback



# Elevations

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- Eastmark Design Review Committee





# Summary

## Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Complies with the Eastmark Community Plan (CP)
- ✓ Complies with the Development Unit Plan for DU 3/4 North
- ✓ Meets the review criteria for Site Plan Review outlined in Section 6.1 of the Eastmark CP

## Staff Recommendation

Approval with Conditions



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