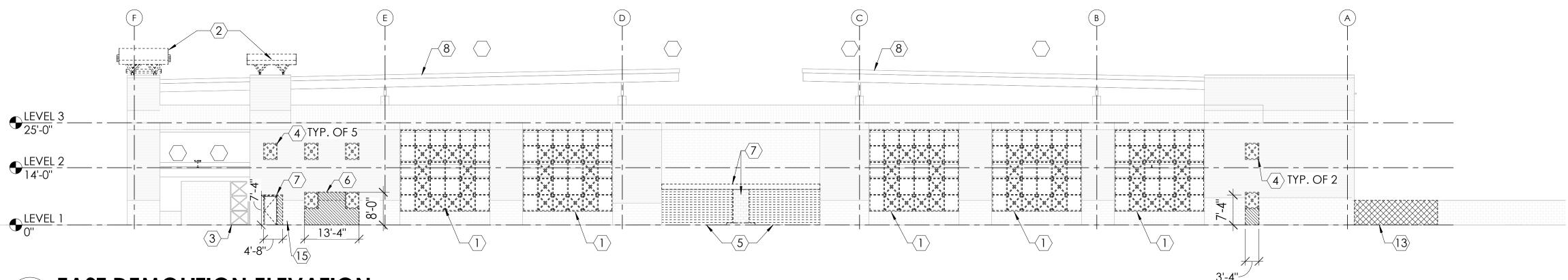
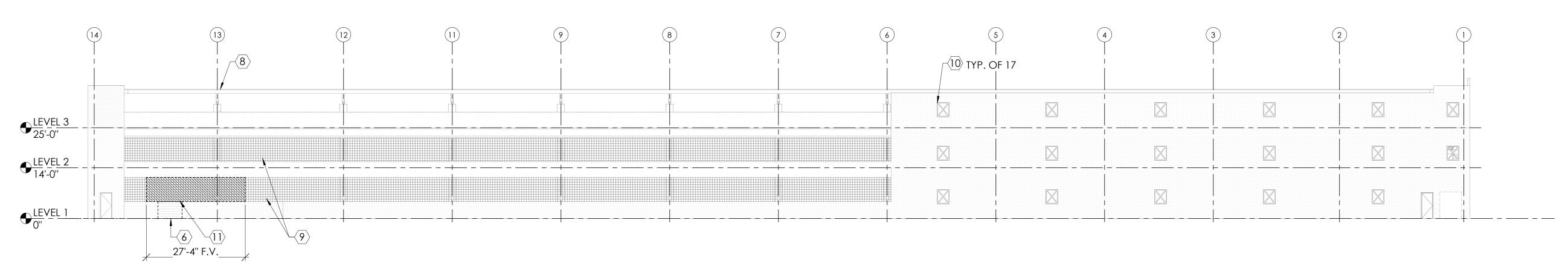


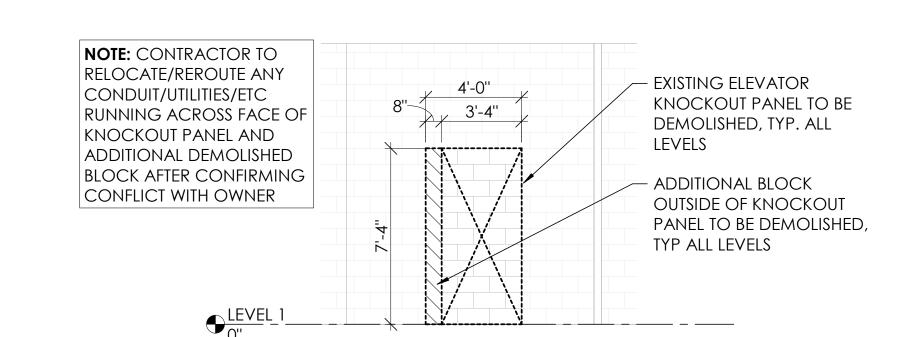
SOUTH DEMOLITION ELEVATION



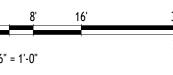
EAST DEMOLITION ELEVATION



3 NORTH DEMOLITION ELEVATION SCALE: 1/16" = 1'-0"



4 DEMO ELEVATION - ELEVATOR KNOCKOUT PANEL
SCALE: 1/4" = 1'-0"



BENCHMARK

ELEVATION= (C.O.M. DAT

KEYNOTES

- DEMOLISH EXISTING 20'-0" X 22'-0" DECORATIVE METAL SCREEN IN ITS ENTIRETY, EMBEDDED WELD PLATES TO REMAIN
- 2 DEMOLISH METAL CANOPY AND STRUCTURE IN ITS ENTIRETY 3 VALLEY METRO UTILITY YARD AND ALL ASSOCIATED HARDSCAPE TO REMAIN
- 4 DEMOLISH EXISTING METAL SCREEN DEMOLISH EXISTING ROLL-UP DOORS, INCLUDING MOTORS, CONTROLLERS, TRACKS,
- AND ATTACHMENT POINTS 6 DEMOLISH PORTION OF EXISTING MASONRY WALL AS INDICATED. COORDINATE WITH
- NEW WORK. DEMOLISH PORTION OF EXISTING MASONRY WALL
- 8 EXISTING CANOPY TO REMAIN
- 9 EXISTING MESH SCREENING TO REMAIN
- 10 EXISTING METAL SCREEN TO REMAIN
- 11 DEMOLISH PORTION OF EXISTING METAL SCREEN FOR NEW ELECTRICAL ROOM AND MDF ROOM WALL
- 12 DEMOLISH EXISTING BEAM EXTENSIONS BACK TO END PLATE OF CANOPY BEAM. GRIND SMOOTH AND PREPARE FOR NEW PAINT.
- 13 DEMOLISH EXISTING CHAIN LINK FENCE AND GATE 14 EXISTING VALLEY METRO UTILITY YARD LIGHTING TO REMAIN
- DEMOLISH EXISTING DOWNSPOUT NOZZLE AND REMOVE EXISTING RAINWATER LEADER TO EXTENTS INDICATED ON PLUMBING DRAWINGS. PATCH SPLIT-FACE MASONRY TO MATCH EXISTING UTILIZING NEW MATERIAL OF IDENTICAL COLOR AND TEXTURE, OR SALVAGED MATERIAL FROM ELSEWHERE IN THE PROJECT.

DEMOLITION GENERAL NOTES

- DO NOT COMMENCE DEMOLITION WORK UNTIL OWNER HAS REMOVED EXISTING FURNISHINGS, APPLIANCES, EQUIPMENT, COMPUTERS, MONITORS AND DEMOUNTABLE OR MOVABLE DEVICES, SHELVES, SUPPLIES, ETC AND HAS PROVIDED THE DEMOLITION CONTRACTOR WITH WRITTEN NOTICE TO PROCEED
- FIELD VERIFY ALL INDICATED SAWCUT LOCATIONS WITH PLUMBING PLAN LAYOU' PRIOR TO CUTTING TO ASSURE PLUMBING FIXTURES CAN BE PROPERLY LOCATED
- PROTECT ALL ADJACENT EXISTING CONSTRUCTION FROM DAMAGE NOT INDICATED AS BEING REMOVED. DAMAGED SURFACES, EQUIPMENT AND FINISHES SHALL BE REPAIRED, AT NO ADDITIONAL COST, TO THEIR ORIGINAL CONDITION OF PREPPED FOR NEW FINISH WORK AS DENOTED.
- CONTRACTOR SHALL ERECT AND MAINTAIN SAFETY: BARRIERS, WARNING DEVICES, ENTRY PORTALS, ETC., AS NECESSARY TO PROTECT EMPLOYEES AND THE PUBLIC DURING ALL CONSTRUCTION ACTIVITIES.
- WHEN DIRECTED BY OWNER, DEMOLITION ACTIVITIES SHALL BE CONDUCTED IN SUCH A MANNER AS TO MAINTAIN OPERATIONAL STATUS OF BUSINESSES WHICH WILL CONTINUE TO OPERATE DURING CONSTRUCTION. THIS CONTRACTOR SHALL ERECT NECESSARY ENCLOSURES TO PROTECT THESE BUSINESSES AND THERE EQUIPMENT AND PRODUCTS FROM DAMAGE DUE TO FIRE, THEFT OR VANDALISM ENTRY PORTAL STRUCTURES SHALL ALSO BE ERECTED TO PROTECT THE PUBLIC ENTERING AND LEAVING THESE BUSINESSES.
- DEMOLITION OR ERECTION ACTIVITIES WHICH ARE DEEMED BY THE CONTRACTOR TO BE TO HAZARDOUS TO MAINTAIN BUSINESS OPERATIONS OR ACCESS BY THE PUBLIC OR SHALL INTERRUPT THE AVAILABILITY OF UTILITY SERVICE SHALL REQUIRE THE CONTRACTOR TO NOTIFY THE OWNER AND BUSINESSES AFFECTED BY THIS WORK OF THE NEED FOR TEMPORARY CLOSURE AND SHALL PROVIDE A SCHEDUL INDICATING THE DATES CLOSURE WILL BE NECESSARY AND THE TYPE OF ACTIVITY THAT WILL BE OCCURING DURING THAT PERIOD.
- THE ARCHITECT SHALL BE NOTIFIED OF ANY EXISTING BEARING WALL, FOUNDATION COMPONENT, STRUCTURAL MEMBER, ANCHORING CONDITION OR REUSED STRUCTURAL CONNECTION WHICH HAS BEEN COMPROMISED BY FIRE, WATER, MOLD, DEMOLITION ACTIVITIES OR AGE OR WHICH APPEARS TO BE SUBSTANDARD WITH RESPECT TO THE STANDARDS DEFINED BY CURRENT CODE PRACTICES OF CONSTRUCTION, FOR ASSESSMENT, PRIOR TO FURTHER WORK BEING CONDUCTED IN THE SUSPECT AREA.
- SURFACES DAMAGED BY DEMOLITION OR OPENINGS RESULTING FROM REMOVED WALLS, DOORS, FIXTURES EQUIPMENT, CEILINGS, ETC. SHALL BE REPAIRED SUCH THAT THE INTERIOR AND EXTERIOR SURFACES MATCH THE SURROUNDING MATERIAL, TEXTURE, FINISH AND COLOR. THE FINISHED SURFACE SHALL NOT BE DISTINGUISHABLE FROM THE SURROUNDING SURFACE.
- FIRE PROTECTED SURFACES DAMAGED BY DEMOLITION OR NEW CONSTRUCTION ATTACHMENTS SHALL BE REFINISHED WITH LIKE MATERIALS TO THE DEPTHS AND ASSEMBLIES OF THE SURROUNDING FIRE PROTECTION SYSTEM.

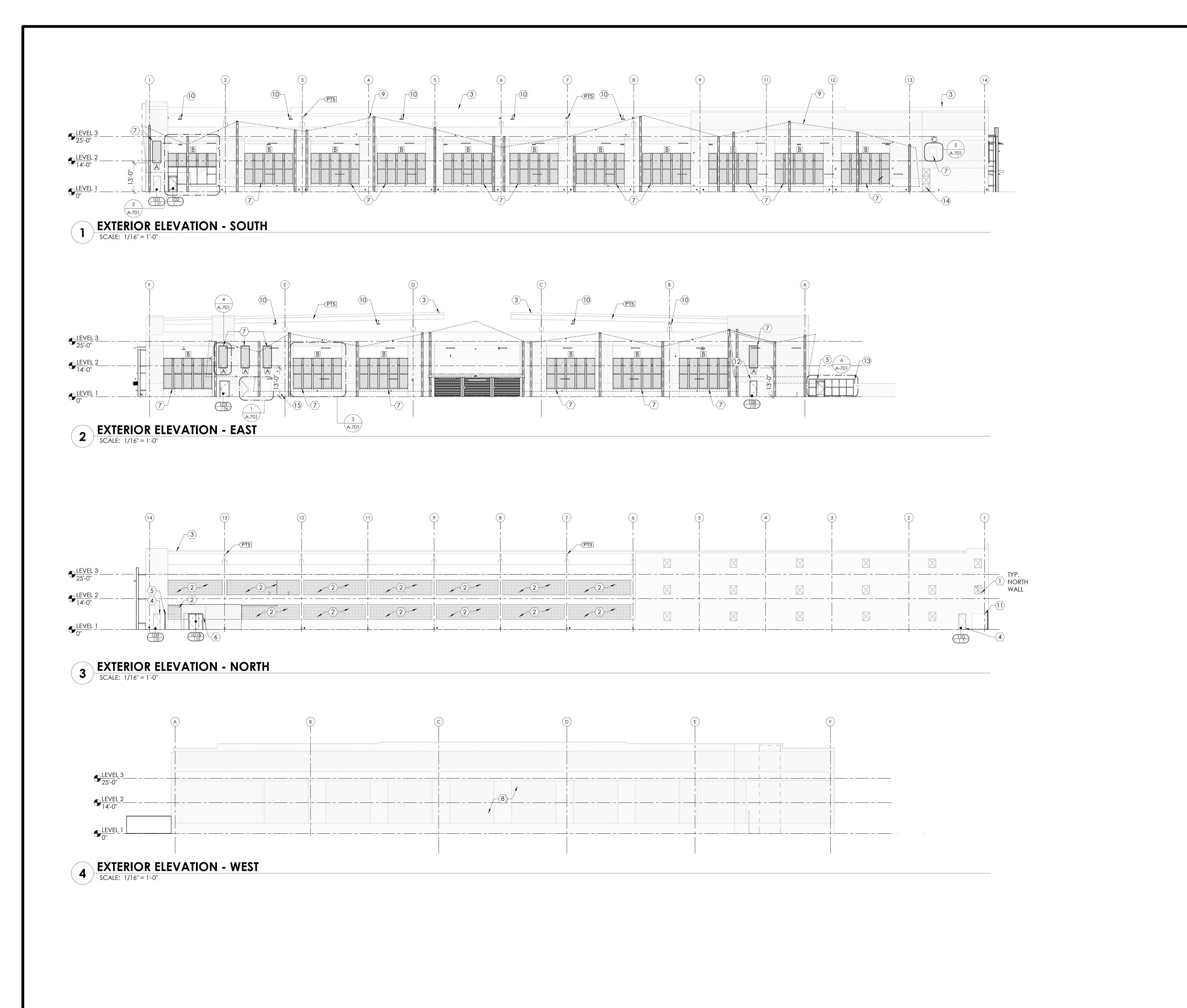
GENERAL CONTRACTOR SHALL SURVEY THE PROJECT WITH APPROPRIATE FACILITY STAFF TO DETERMINE DISPOSITION OF THE FOLLOWING ENCOUNTERED ITEMS. CONTRACTOR SHALL SALVAGE ALL FLAGGED ITEMS AND DELIVER TO THE APPROPRIATE FACILITY SALVAGE LOCATION(S).

LED EXIT LIGHTS / METERS (ALL) / DOOR HARDWARE / BACKFLOW PREVENTERS / FIRE ALARM DEVICES / SIMPLEX EQUIPMENT / AED'S / AED CABINETS / KNOX BOXES / KNOX FDC'S / FIRE EXTINGUISHERS / EXTINGUISHER CABINETS/ HM DOORS / ELECTRICAL PANELS / MECH EQUIP / IRRIGATION EQUIP. / DISCONNECT SWITCHES / ELEVATOR EQUIP. / ACCESS DOORS / ELEC LIGHT FIXTURES / ELECTRICAL EQUIP. / STARTERS / TRANFORMERS / HVAC MIXING BOXES

GENERAL CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE FACILITY STAFF TO DETERMINE IF ANY ITEMS SHALL BE RECYCLED. PROVIDE RECEIPT DOCUMENTATION TO OWNERS REPRESENTATIVE AS TO THE RECEIVING AGENCIES OF THE RECYCLED ITEMS.



PRELIMINARY 90%	CITY OF MESA ENGINEERING DEPARTMENT	
Progress Submittal	HIBBERT GARAGE RENOVATIONS	
CONSTRUCTION OR RECORDING DRAWN BY: SF DESIGN: SF, CE APPROVED BY: RC		
ACTIVITY: PROJ. NO.: CP1189	SHEET CATALOG NUMBER: 29 OF 74 A-286163	



0	8' 16' 32'	BENCHMARK:			
0 2"		ELEVATION= (C.O.M. DATUM)			
\bigcirc	KEYNOTES				
1	EXISTING WINDOW SCREEN TO REMAIN, REPAINT AS DETERMINED NECESSARY BY OWNER				
2	EXISTING WELDED METAL SCREEN TO RECEIVE NEW PAINT				
3	EXISTING CANOPY AND STRUCTURE TO REMAIN. EXISTING STEEL COLUMNS, BEAMS, AND PURLINS TO RECEIVE NEW PAINT. REFER TO FINISH SCHEDULE.				
4	EXISTING EXTERIOR DOOR TO BE RECONDITIONED AND PAINTED AS SPECIFIED				
5	NEW FENCE AND GATE WITH CARD	READER AND PANIC HARDWARE			
6	8X8X16 CMU INFILL WALL ABOVE EXISTING MASONRY WALL TO BOTTOM OF EXISTING PRECAST PANEL, REFER TO STRUCTURAL				
7	HSS STEEL FRAMED METAL WIRE MESH SCREENS				
8	EXISTING 1HR CMU PARTY WALL				
9	OUTLINE OF NEW ARCHITECTURAL SCREENS, REFER TO SHEET A-202				
10	NEW PENDANT LIGHT, REFER TO ELECTRICAL DRAWINGS				
11	EXISTING ELECTRICAL SERVICE AND HOUSEKEEPING PAD TO REMAIN UNTIL NEW SERVICE IS INSTALLED, REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION				
12	Infill masonry opening as required to match existing				
13	NEW 2'-0" HIGH STEEL TUBE AND WIRE MESH FENCE MOUNTED TO 6'-0" EXISTING CMU SITE WALL				
14	EXISTING METAL SCREEN TO REMAIN				
15	NEW DOWNSPOUT NOZZLE AND CONCRETE SPLASH BLOCK. REFER TO PLUMBING FOR MORE INFORMATION.				
E	LEVATION GE	NERAL NOTES			

A. DIMENSIONS FOR SPEED DOORS FOR REFERENCE ONLY. FIELD VERIFY

CLEARANCES.

DIMENSIONS AND CONSULT WITH DOOR MANUFACTURER FOR REQUIRED

Call at least two full working days before you begin excavation.

Arizona Blue Stake, Inc.

Dial 8-1-1 or 1-800-STAKE-IT (782-5348) in Maricopa County: (602) 263-1100

CITY OF MESA

ENGINEERING DEPARTMENT

HIBBERT GARAGE

RENOVATIONS

BUILDING ELEVATIONS -

EXTERIOR

33 OF **74**

PRELIMINARY

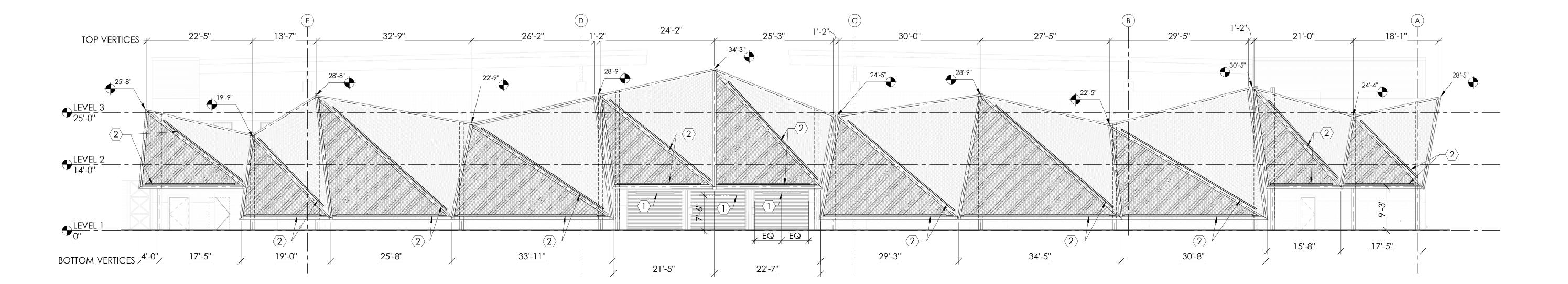
90%

Progress

Submittal

OR RECORDIN

ACTIVITY: PROJ. NO.: CP1189



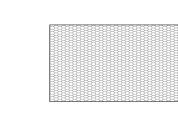
○ KEYNOTES

1 OVERHEAD CLEARANCE BAR SUSPENDED FROM UNDERSIDE OF FACADE ELEMENT FRAMING @ 8'-0", 8" DIAMETER 10'-0" LENGTH 2 LINEAR RGB LIGHT FIXTURE AIMED UP ONTO COILED WIRE FABRIC. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.

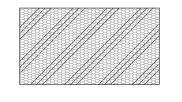
FACADE SCREEN NOTES

A. DIMENSIONS OF SCREEN STRUCTURE AND PANELS ARE TO CENTERLINES OF STEEL MEMBERS, UNLESS NOTED OTHERWISE.

ELEVATION LEGEND

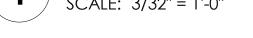


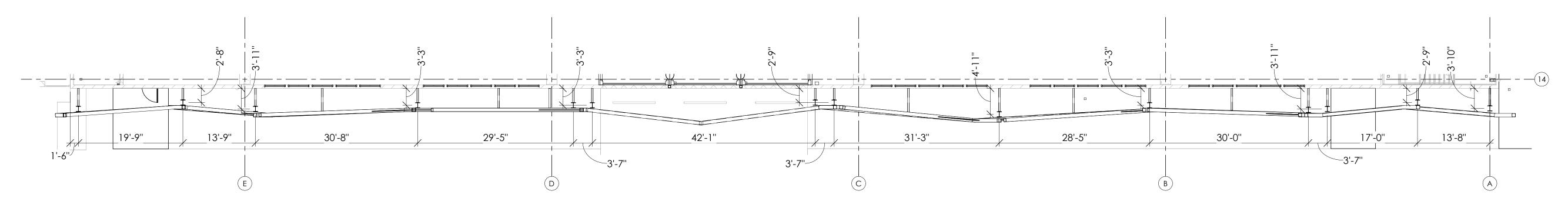
STAINLESS STEEL COILED WIRE FABRIC -METALLIC WHITE FINISH BY MANUFACTURER



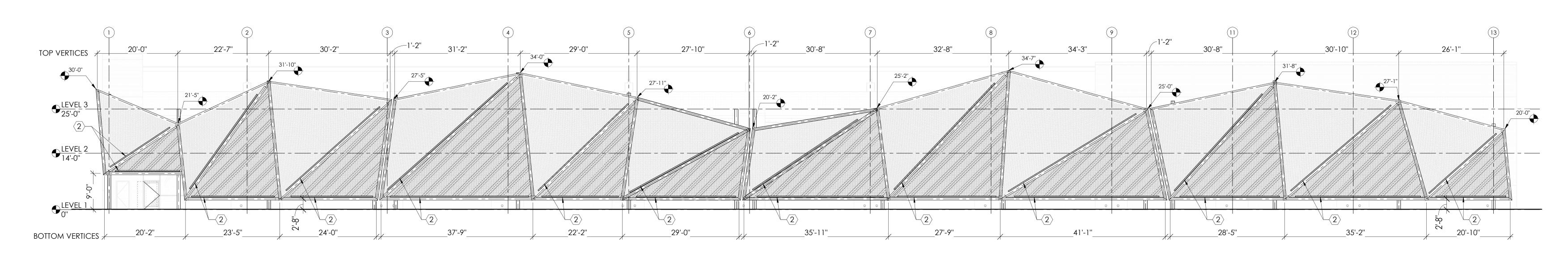
STAINLESS STEEL COILED WIRE FABRIC -SILVER FINISH BY MANUFACTURER

1 EAST SCREEN ENLARGED ELEVATION SCALE: 3/32" = 1'-0"

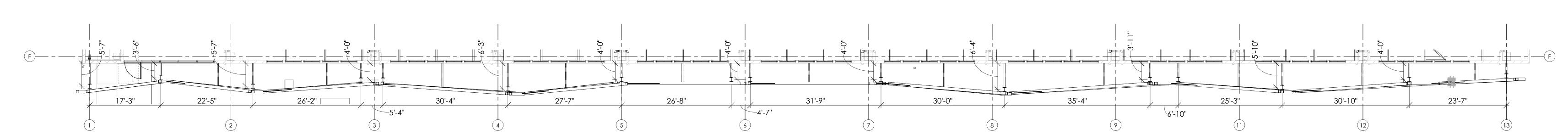




5 EAST SCREEN ENLARGED PLAN AT GRADE LEVEL SCALE: 3/32" = 1'-0"



3 SCALE: 3/32" = 1'-0"



SCALE: 3/32" = 1'-0"

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before you begin excavation.	}
ARIZONA 811	
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in Maricopa County: (602) 263-1100	/

PRELIMINARY 90%	·	CITY OF MESA ENGINEERING DEPARTMENT		
Progress Submittal		HIBBERT GARAGE RENOVATIONS		
DRAWN BY:		SCREEN WALL & SCREEN A-202		
ACTIVITY: PROJ. NO.: CP1189	SHEET 74	CATALOG NUMBI A-286168		

