



7224 E SEAVER AVENUE, MESA, 85212

COMPREHENSIVE SIGN PLAN

VERSION 6.2 1/13/2026



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NARRATIVE

PROJECT NAME: The Nox / Hotel Umbrella Studios
ADDRESS: 7224 East Seaver Avenue, Mesa, AZ 85212
PARCEL NUMBER: 304-30-043
ZONING: LI-PAD (Light Industrial with Planned Area Development Overlay)
OVERLAY: Airfield Overlay District – Airport Overflight Area Two (AOA-2)

APPLICATION NO.: PRS25-00592

PROJECT LOCATION:

The Nox is a premier entertainment venue integrating a state-of-the-art performance theater (The Nox) and professional recording studios (Hotel Umbrella Studios) in Mesa's East Valley. The 72,065 sq. ft. entertainment facility combines a 46,583 sq. ft. ground floor, and 25,482 sq. ft. second floor. The maximum occupancy of the proposed venue is anticipated to be 996 people.

The proposed facility is located south of Loop 202 and east of Ray Road on 133,996 sq. ft. LIPAD zoned parcel #304-30-043. We acknowledge the Airfield Overlay District - Airport Overflight Area Two (AOA-2) designation and will request a "no hazard" document, if required.

The site plan is designed to be integrated with the Potato Barn site to the east and future industrial sites to the south, which will include interconnecting parking lots. An ALTA survey will be provided as a part of the formal submission.

This Comprehensive Signage Plan complies with the Circulation Plan approved on ZON24-00822 which is included in this CSP to help identify all future and necessary locations for vehicular and pedestrian wayfinding, parking, pickup-drop-off areas, taxi and rideshare signage. That plan includes an access driveway on Seaver Avenue shared with the existing Potato Barn, with cross-access to The Nox. There are also two existing driveways on Ray Road east of Seaver Avenue serving the Potato Barn, and one new access driveway planned on Ray Road west of Seaver Avenue. In addition to these immediately adjacent access options, traffic will be able to utilize or reroute to and from the west on Seaver Avenue. The performance staging area is located on the west side of the proposed Nox building and includes a secure fenced loading/ staging space. The main entrance faces Seaver Avenue and provides valet and drop-off service depending on the event. A major walkway connection to the Nox site for pedestrians is proposed from the companion parcel parking areas across Ray Rd. All signs proposed in the CSP are outside of the sight visibility triangles at driveways.

PROJECT DESCRIPTION:

The entertainment concept will launch Mesa as a music and cultural hub, generating new tourism, economic activity, and creative-sector employment. The iconic building will serve as both a functional space and a cultural landmark. The proposed signage incorporates distinctive design features such as lighting, materials, craftsmanship, and three-dimensional sculptural elements that reinforce the entertainment concept and/or are integrated with the building architecture. The impressive Romanesque-inspired frontage greets visitors from the southeast with two stories of columned and arched portico walkways reminiscent of the Roman Coliseum. Domed architectural towers draw the eye upward toward EMDs over the entryways. The east elevation echoes the arched theme capped by a gabled roof. The north elevation features two lower elevation projections with an EMD and branding signage.

The site's large scale, corner location, and freeway exposure dictate that its visibility needs go beyond the usual LI-zoned properties. Proposed signage employs multiple EMDs, custom pan channel lettersets, and concealed mounting hardware integrated into architectural features. The CSP complements the district's purpose and allows commercial recreation within the LI zoning district. It supports the Mesa 2050 General Plan Industrial Place-type designation and aligns with the Mesa Gateway Strategic Development Plan for the Logistics and Commerce District by providing compatible service-sector employment in an area where light industrial and commercial uses predominate.

The purpose of this Comprehensive Sign Plan is to codify sign criteria through the Zoning Adjustment process. A variety of highly distinctive wall signs, electronic message displays, and a one-of-a-kind entrance sign with sculptural elements are combined to provide an unforgettable impression of this singular venue. Planning has reviewed and provided feedback which is incorporated into this document to ensure design quality.

SIGNAGE DEVIATIONS:

This CSP requests specific deviations from Mesa's Sign Ordinance. The proposed profusion of signage deviates from the aggregate total per elevation and is integral to the building's design and concept vision, accommodating the conspicuous scale, unique architectural style, and freeway-adjacent location of The Nox.

Permanent ground signs A1/A2 and B1/B2 spaced at 36' apart represent a deviation from City ordinance section §11-43-2(C). The spacing is unavoidable as no other feasible alternative location exists on the parcel to place signs A&B 75' apart while maintaining their functionality.

Sign A1-A2 is a unique detached freestanding sign with three-dimensional microphone and moon orb that comprise the impressive branding identity of The Nox, but exceeds the standard maximum allowable area. The extraordinary wall signs are designed with open-faced channel letters and neon illumination.

NARRATIVE (continued)

All wall signs are designed with concealed mounting, proportionate scaling, and shrouded lighting, ensuring minimal impact on surrounding properties and will comply with all safety, illumination, and placement standards.

Proposed electronic message displays are fully customizable with illuminance adjusted to meet zoning requirements for display brightness. A built-in ambient light sensor automatically dims every pixel of the display based on the time of day. The operational software can verify that the light intensity specifications have been met upon display installation, and manual luminosity readings can also be made available once the displays are installed and operable.

Electronic message displays incorporate lighting controls in compliance with the city code as follows:

- 8-second minimum dwell time, 2-second max transition (§11-43-5). Automatic brightness controls based on ambient light.
- 50.3 foot-candle nighttime differential (§11-41-7C).

Electronic message displays E1/E2 will be mounted flush to the fascia in a recessed space within the domed tower elements and situated above the entryways. Proposed electronic message display E3 will be mounted on the roofline of the central projection on the north elevation with a structural frame and roof brackets. Engineering will be provided at permitting.

SITE SERVICES:

The site is fully served by public utilities, transportation access, and emergency services. In accordance with the City of Mesa Engineering and Design Standards Chapter 604.3, 705.4 & 705.5 all new electric and/or communication services, modifications, or upgrades will be placed underground. We acknowledge all Water Resource comments in the official comment response document.

An 811 survey was performed to verify PUE and PUFES showing no proposed signs conflict with utilities or PUE or PUFES. The existing fire hydrant located 30' from sign A at the southeast corner of the parcel poses no conflict. The hydrant could be relocated from its original position should it be necessary to accommodate sign A. Any conflicts potentially affecting the monument sign placement will be addressed during permitting. We acknowledge and ensure that the PUEs and PUFES shall be free of all signage obstructions and shall always be accessible to City service equipment. No buildings, sport courts, swimming pools, fences, shade structures nor permanent structures of any kind shall be constructed upon, over or under any public utility easements.

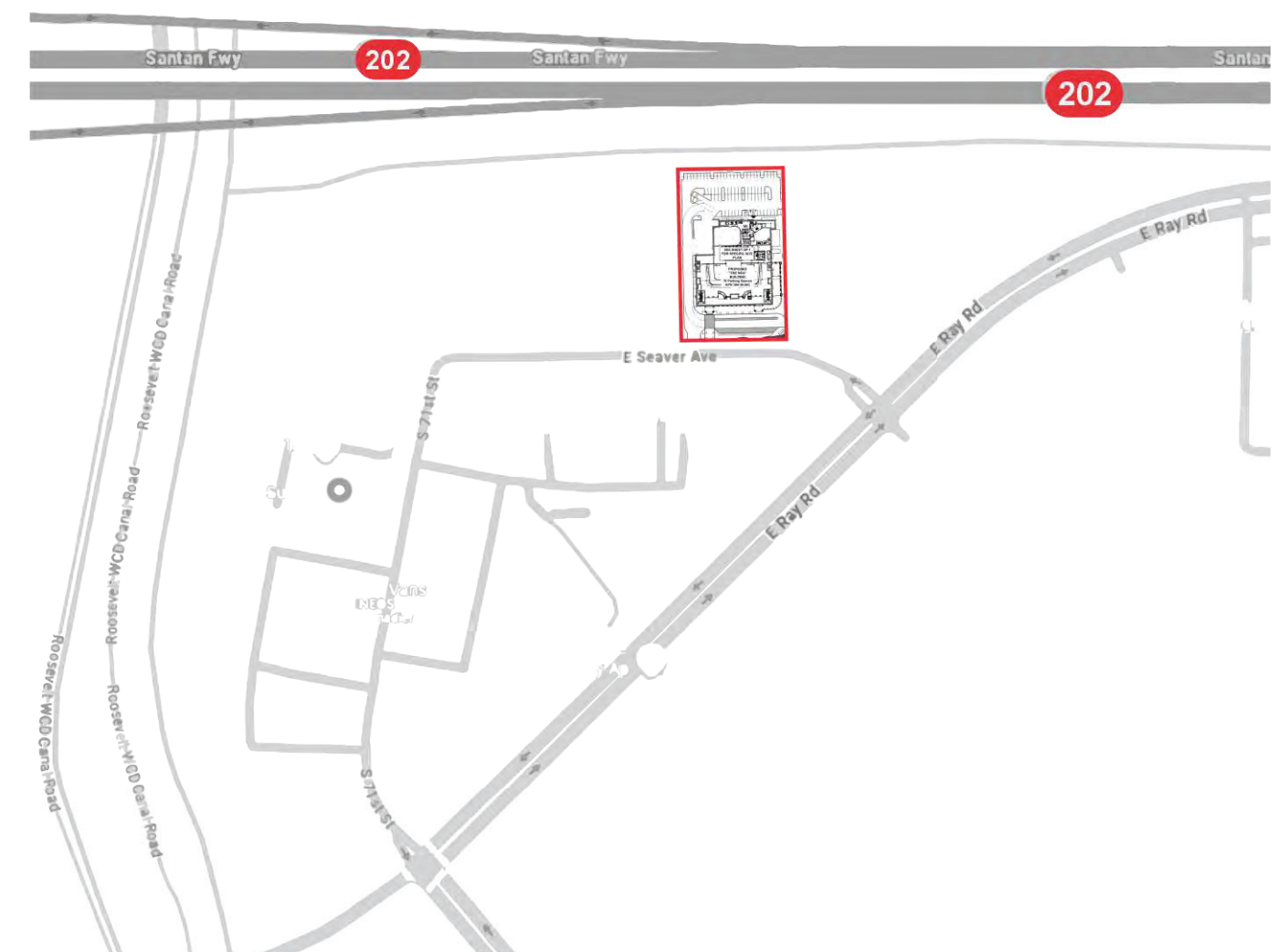
In addition, projects shall consider the proximity of structures to utilities; regardless of the easement width, buildings shall have sufficient offset from the water or sewer pipe such that

buildings, building foundations or building slabs will not be undermined or damaged by a water or sewer main break or subsequent repair.

No landscaping shall be placed within an easement that will render the easement inaccessible by equipment. The City of Mesa has the right to cause any obstruction to be removed without notice to the property owner and all related costs shall be the property owner's responsibility. Approval of this CSP will allow for a cohesive, high-quality sign program consistent with the Mesa 2050 General Plan and the Gateway area's vision.

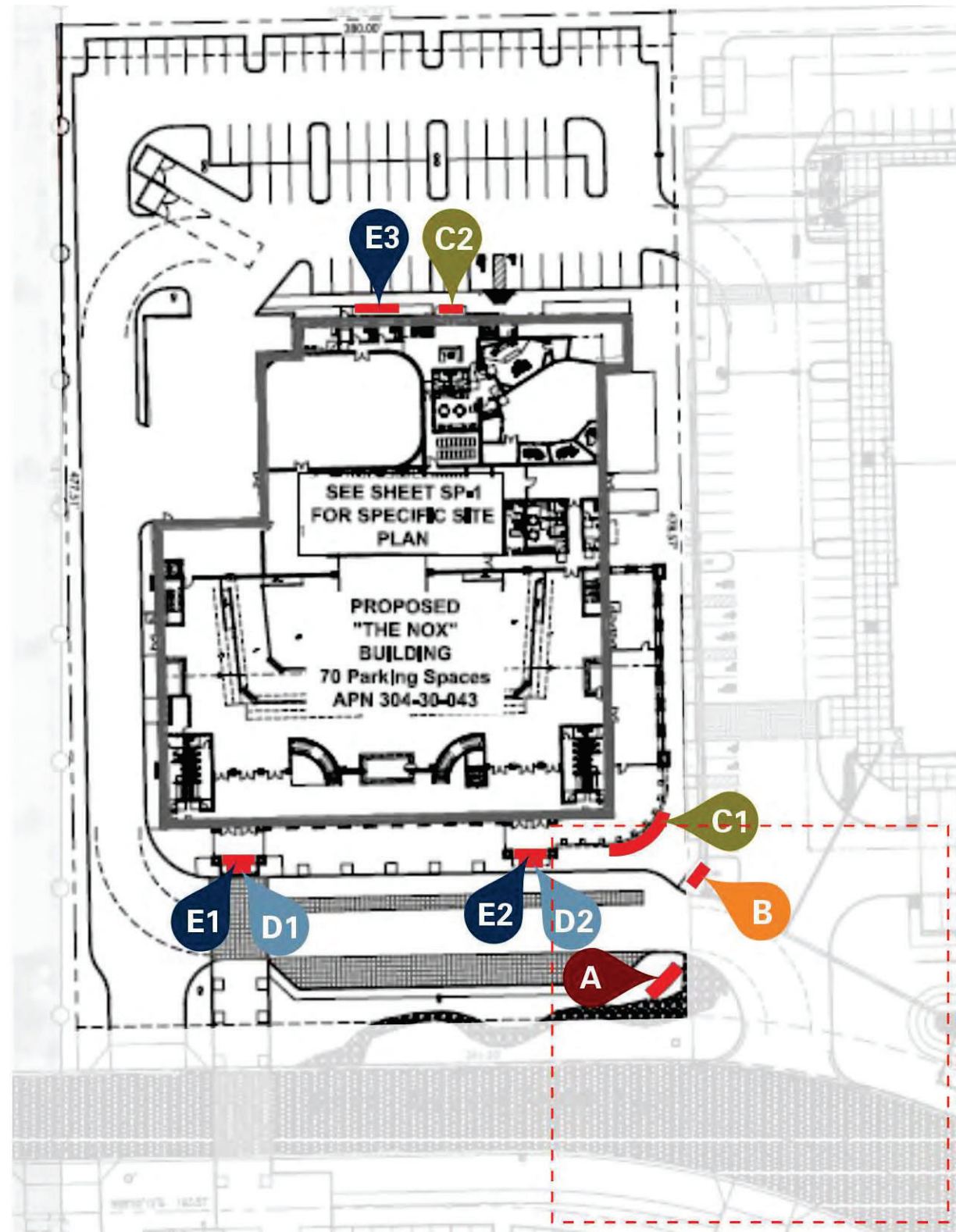
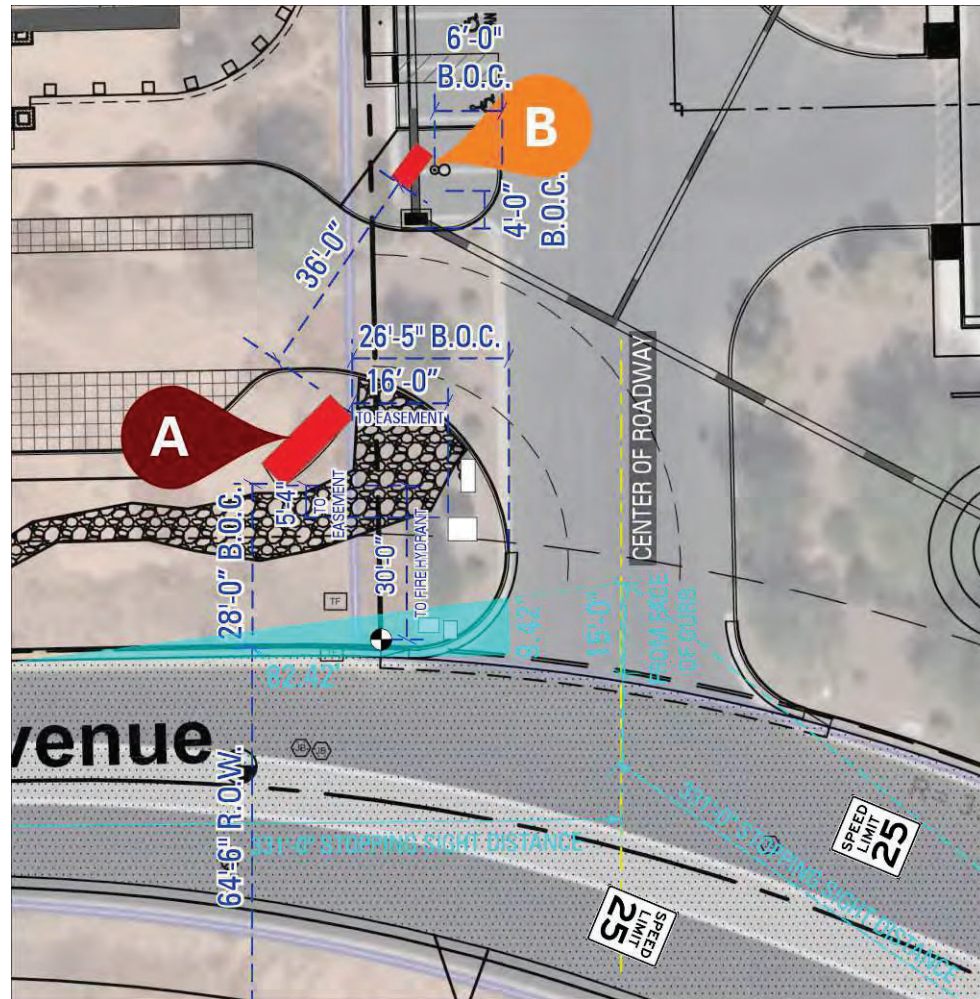
It has been verified that Sign A is north of the 42' wide private tract illustrated on Book 1403, pg. 35 and does not encroach on the 25' wide utility and drainage easement shown in the ALTA. There is a separation of 3' from the sign to the easement line.

VICINITY MAP:



SITE PLAN AND SITE DATA

- A** SINGLE-SIDED ILLUMINATED SCULPTURAL GROUND MONUMENT SIGN
- B** SINGLE-SIDED ILLUMINATED DIRECTIONAL SIGN
- C** ILLUMINATED BUILDING ID SIGN
- D** ILLUMINATED ENTRY SIGN
- E** EMD SIGN



PROJECT LOCATION

7224 E Seaver Avenue, Mesa, 85212

APN

304-30-043

PROPERTY OWNER

GIA 394, LLC

PO Box 1078, Higley, AZ 85236

SITE DATA

Building Height per LI Zoning: 40'-0" (max.)

Building Area Nox:

1st Floor:
Gross Floor Area/area under roof/patio 46,583 sf

2nd Floor:
Gross Floor Area/area under roof/patio 25,482 sf

Total Gross Building Area All Floors Nox: 72,065 sf

Parking Summary Nox

See parking study for more detailed analysis.

Parking assembly area = 16,796 sf 1st floor
/75 = 224 spaces

Parking assembly 2nd floor area based on fixed seats / 2 = 131 spaces

Parking Office area = 12,409 sf all floors / 375 = 32 spaces

Total required 387 spaces Nox

Total provided 406 (357 spaces +
49 valet parking spaces) across 3 parcels

HIERARCHY OF SIGNS

PROPOSED GROUND SIGNS:

Sign A1 - Southeast Parcel Corner - The Nox

Primary Single-Face, Illuminated, Ground Monument ID Sign

One single-face, illuminated, 14.50' x 5.33' primary ID ground sign, fully enclosed three-dimensional pan channel elements, flush mount to platform top and nestled within a planter base. Total square footage 77.29'.

Sign A2 - Southeast Parcel Corner - THEATER

Single-Face, Illuminated, Ground Sign-Secondary ID Tag Line

One single-face, push-thru letters, edge-illuminated and shrouded spot up-lights, 13.5' x 1.0' lettering mounted flush to the front of the stage platform fascia. Total square footage 13.5'.

Sign B1 - Southeast Corner of Lawn – The Nox

Single-Face, Illuminated, Branded Sign

One single-face, 1.67' x .54' illuminated, flat-cut-out, letter set inset in a free-standing directory structure, stud-mounted to a recessed brick veneer. Spot-Lit w/ Downward lighting Total square footage 0.90'.

Sign B2 - Southeast Corner of Lawn - Directory

Single-Face, Illuminated, Free-Standing, Directory Sign

One single-face, 2.25' x 2.17' illuminated, reverse pan cabinet in free-standing directory sign structure with push-thru acrylic letters, flush mount to recessed brick veneer. Total square footage 4.88'.

PROPOSED WALL SIGNS:

Sign C1- Southeast Elevation on Roofline - The Nox

Single-Face, Illuminated, Pan Channel Building Sign

One single-face, 18.33' x 6.0' open-face, neon-illuminated, pan channel letter set with LED illuminated moon orb flush mounted to roofline with aluminum angle support brackets. Total square footage 109.98'.

Sign C2 - North Elevation – Hotel Umbrella Studios

Single-Face, Illuminated Pan Channel Building Sign

One set of 10.33' x 1.0' and 5.08' x 1.0' neon-illuminated, open-face, pan channel letters, flush mount to fascia on lower rear building projection. One 3.75' x 3.08' Trimless Pan channel logo, LED illuminated, stud mount to building fascia. Total square footage 26.96'.

Signs D1-D2 - South Elevation - Tower Entry Signs

Single-Face Illuminated Pan-Channel Lettersets

Two single-face, 14.17' x 2.58' each, neon-illuminated, open-face, pan channel lettersets, flush mount to the top of a steel canopy beam over doorways with aluminum angle frame brackets. Total square footage 73.12'.

Sign E1-E2 - South Elevation - Tower Electronic Message Displays

Single-Face Electronic Message Display (EMD)

Two single-face, 16.0' x 16.0' outdoor-rated, 9mm pixel pitch and 512 x 512 pixel resolution electronic message display with photocell dimmer and timer, mounted flush to recessed tower fascia. Power consumption averages 2534.4 watts. Total square footage is 512'.

Sign E3 - Secondary North Elevation - Centered Above Window Bank

Single-Face Electronic Message Display (EMD)

One single-faced 14.0' x 8.0' outdoor-rated 9mm pixel pitch and 448 x 256 pixel resolution electronic message display with photocell dimmer and timer, mounted flush on top of rear secondary building projection roof line. Power consumption averages 1108.8 watts. Total square footage is 112'.

FREE-STANDING GROUND SIGNS

Sign ID	Sign Type	Sign Description	Proposed Placement	Qty.	Proposed Size/Area(s)	Total Area (Sqr Ft)	Materials	Illumination
A1	The Nox Main Ground ID	Single Face Ground Sign Fully Enclosed Pan Channel Letters and 3D Microphone Element with Moon Orb	Southeast Corner of Parcel West of Driveway	1	5.33' x 14.50'	77.29	Aluminum Acrylic and Resin	Internal LED and Shrouded Upward Adjustable LED Spotlights
A2	Main Ground ID Secondary Sign Tag Line	Single Face, Push-Thru Acrylic Letters	Southeast Corner of Parcel West of Driveway	1	13.5' x 1.0'	13.5	Acrylic	Internal LED, Push-Thru
B1	The Nox Primary Direction ID	Single-Face, Front-Lit Flat Cut-Out Letters	Southeast of Main Building	1	1.67' x 0.54"	0.90	Aluminum	Recessed Downward LED Strip
B2	Wayfinding Directional - Entrance/ Valet/ Parking/ Receiving	Illuminated Reverse Pan Push-Thru Acrylic Letters	Southeast of Main Building	1	2.17' x 2.25'	4.88	Aluminum and Acrylic	Internal LED

BUILDING SIGNS

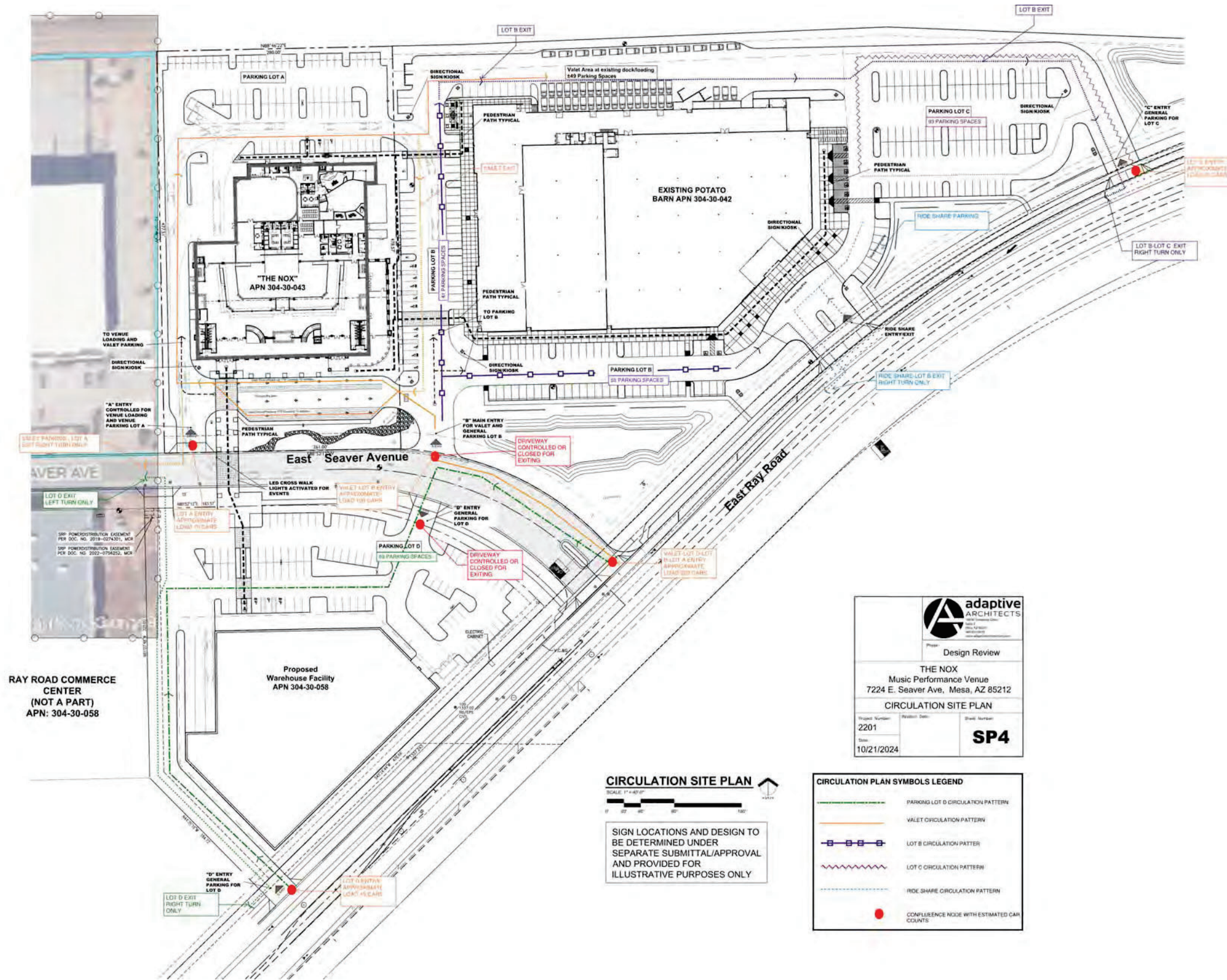
Sign ID	Sign Type	Sign Description	Proposed Placement	Qty.	Proposed Size/Area(s)	Total Area (Sqr Ft)	Materials	Illumination
C1	The Nox Main Roof ID	Single Face, Open Channel Pan Channel Letters with Neon Illumination and Internal LED Illuminated Pan Channel Trimless Moon	Southeast Elevation	1	6.0' x 18.33'	109.98	Aluminum and Polycarbonate	Neon Tube & LED Internal
C2	Hotel Umbrella Studios Primary Id Entrance Sign	Single Faced, Open Face Pan Channel Letters with Neon Illumination and Trimless PCL Logo w/ LEDs	North Mid-Elevation Projections	1	3.75' x 3.08' 10.33' x 1.0' 5.08' x 1.0'	26.96	Aluminum and Acrylic	Neon Tube & LED Internal
D1-D2	The Nox Entrance Signs	Neon- Illuminated Pan Channel Letters	East / West Tower Canopies, South Elevation	2	14.17' x 2.58'	73.12	Aluminum	Neon Tube & LED Internal
E1-E2	EMD	Single-Face, Static Electronic Message Display	Below Parapet East / West Towers South Elevation	2	16.0' x 16.0'	512	Aluminum	Static EMD
E3	EMD	Single-Face, Static Electronic Message Display	North Mid-Elevation Center of Lower Roofline on Building Projection	1	14.0'x 8.0'	112	Aluminum	Static EMD

CODE DEVIATIONS

Sign ID	Sign Type	Sign Description	Proposed Placement	Proposed Size/Area(s)	Total Area (Sqr Ft)	City Code Standard/Restriction	Deviation Identified	Justification/Notes
A1-A2	The Nox Main Ground ID With Tag Line	Single Face Ground Sign Fully Enclosed Pan Channel Letters and 3D Sculptural Microphone Element with Moon Orb Single Face Illuminated Push-Thru Acrylic Letters	Southeast Corner of Parcel West of Driveway	5.33' x 14.50' 13.50' x 1.00'	90.79	For a development in an LI district, the maximum detached sign area is 1 sq ft per linear foot of street frontage, with a maximum of 80 sq ft per sign.	The primary ID sign area exceeds the standard maximum area by 10.79'	This unusual three-dimensional monument design exemplifies the character and intent of the property and will be an enhancement to the community
						No detached permanent sign is allowed within 75 feet of any other detached permanent sign on the same parcel.	Ground Signs A & B are 36' apart	No alternative location exists for these two signs to be 75' apart and their functionality is distinct.
B1-B2	The Nox Primary Direction ID	Single-Face, Front-Lit Flat Cut-Out Letters	Southeast of Main Building	1.67' x 0.54" 2.25' x 2.17'	5.78	No detached permanent sign is allowed within 75 feet of any other detached permanent sign on the same parcel.	Ground Signs A & B are 36' apart	No plausible alternative location exists for these two signs to be 75' apart and their functionality is distinct.
C1	The Nox Main Building ID	Single Face, Open Channel Pan Channel Letters with Neon Illumination and Internal LED Illuminated Moon	Southeast Elevation, Attached to Roof at Base of Letters	6.0' x 18.33'	109.98	Total permitted sign area is no more than 1 sq ft of sign area per one linear ft of building elevation, 500 max aggregate	695.1 sqr ft aggregate sign area exceeds allowable sign area for the 234 linear ft south elevation frontage	The project location immediately south of the 202 San Tan Freeway and east of Ray Road necessitates more signage and more visible signage from the freeway and surrounding areas, helping to attract commerce, residents, and visitors. The code allows for deviations in a CSP if the site has unique or unusual physical conditions that would limit or restrict normal sign visibility.

CODE DEVIATIONS (continued)

Sign ID	Sign Type	Sign Description	Proposed Placement	Proposed Size/Area(s)	Total Area (Sqr Ft)	City Code Standard/Restriction	Deviation Identified	Justification/Notes
D1-D2	The Nox Entrance Signs	Neon- Illuminated Pan Channel Letters	East & West Towers, South Elevation Base of Letters Mounted to Top of Canopy	14.17' x 2.58' EACH	73.12	Total permitted sign area is no more than 1 sq ft of sign area per one linear ft of building elevation, 500 max aggregate	695.1 sq ft aggregate sign area exceeds allowable sign area for the 234 linear ft south elevation frontage	Requested for adequate guidance for visitors to find two entrances on this elevation
E1-E2	EMD	Single-Face, Static Electronic Message Display	Below Parapet East & West Towers South Elevation	16.0' x 16.0' EACH	512	Maximum of 40 sqft. EMDs D1/D2 and D3 are not accommodated by Table 11-41-7-C because of sign area	EMDs totaling 512 sq ft exceed the maximum square footage deviating from the maximum of 40 square feet.	The project is a unique land use as a "premier entertainment venue" that will promote Mesa as a "music and entertainment destination". The large EMDs are essential for advertising events and attracting visitors.
						Total permitted sign area is no more than 1 sq ft of sign area per one linear ft of building elevation, 500 max aggregate	695.1 sq ft aggregate sign area exceeds allowable sign area for the 234 linear ft south elevation frontage	The project is a unique land use as a "premier entertainment venue" that will promote Mesa as a "music and entertainment destination". The large EMDs are essential for advertising events and attracting visitors.
						Per MZO Section 11-41-7 (C) measurement of illuminance	EMD D1/D2 are not accommodated by Table 11-41-7-C because of sign area	All proposed electronic message displays are fully customizable with illuminance adjusted to meet zoning requirements for display brightness. Manual luminosity readings can be made available, once the displays are installed and set for operation.



adaptive ARCHITECTS
 Design Review
THE NOX
 Music Performance Venue
 7224 E. Seaver Ave, Mesa, AZ 85212
 CIRCULATION SITE PLAN
 Project Number: 2201
 Revision Date: 10/21/2024
 Sheet Number: **SP4**

CIRCULATION SITE PLAN
 SCALE: 1" = 40'
 SIGN LOCATIONS AND DESIGN TO BE DETERMINED UNDER SEPARATE SUBMITTAL/APPROVAL AND PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY

CIRCULATION PLAN SYMBOLS LEGEND

	PARKING LOT D CIRCULATION PATTERN
	VALET CIRCULATION PATTERN
	LOT B CIRCULATION PATTERN
	LOT C CIRCULATION PATTERN
	RIDE SHARE CIRCULATION PATTERN
	CONFLUENCE NODE WITH ESTIMATED CAR COUNTS

A

ONE (1) ILLUMINATED SCULPTURAL GROUND MONUMENT SIGN

SCALE: 3/8" = 1'-0"

FULLY ENCLOSED PAN CHANNEL LETTERS

FACES & BACKS: 1/8" ALUMINUM W/ PAINTED METALLIC GRADIENT
RETURNS: .063 ALUMINUM PAINTED TO MATCH FACES. PLATE MOUNTED FLUSH TO PLATFORM AT BASE OF LETTERS;
3D MICROPHONE ELEMENT W/ ILLUMINATED MOON ORB: .063 ALUMINUM SKIN, PAINTED METALLIC BURGUNDY TO BRASS GRADIENT
20" RESIN MOON W/ ADJUSTABLE LED ILLUMINATION

STAGE PLATFORM W/ EDGE-ILLUMINATED PUSH-THRU LETTERS AND SPOT-UPLIGHTS: ALUM. ANGLE FRAME,

ROUTED .090 ALUMINUM FACE, PAINTED MATTHEWS "GRAY" WITH LIGHT MONTEX FINISH;
1" CLEAR ACRYLIC PUSH-THRU EDGE-LIT LETTERS WITH TRANSLUCENT WHITE VINYL OVERLAY,
(3/4" EXPOSED) INTERNALLY ILLUMINATED WITH 5000K WHITE LEDs

2"H ALUM. ANGLE CAP W/ 1/8" ROUTED ALUMINUM TOP, PAINTED MATHEWS "DARK GRAY"
ILLUMINATION: INTERNAL WHITE LEDs & FOURTEEN (14) WHITE LED WELL UPLIGHTS W/ SHROUDS ATTACHED TO TOP OF STAGE PLATFORM

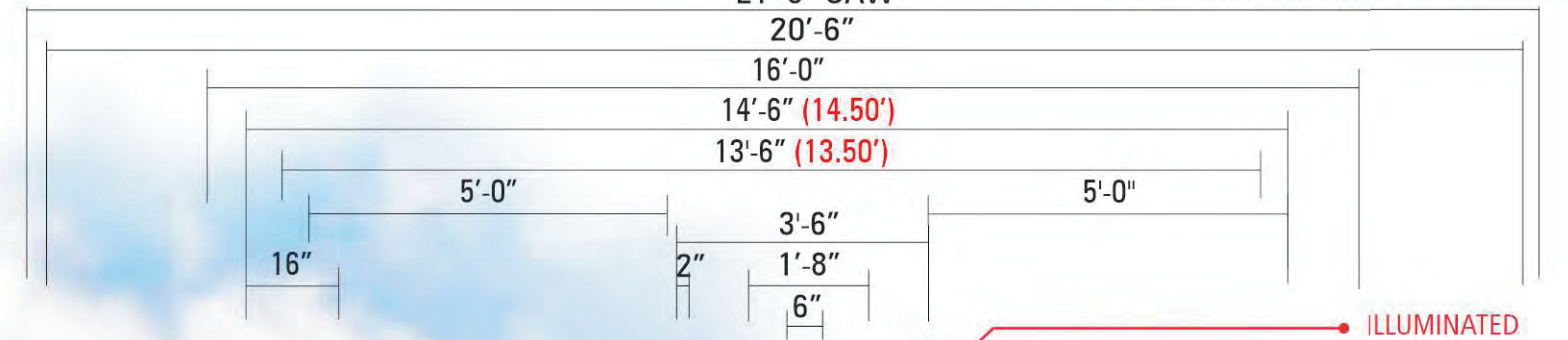
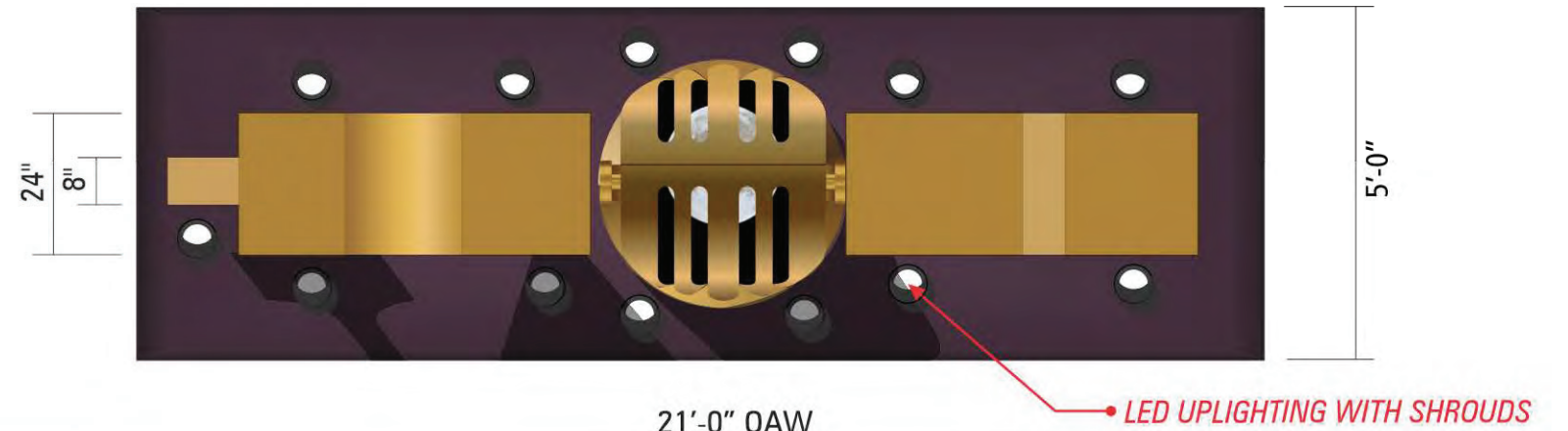
PLANTER BASE: ALUM. ANGLE FRAME, CEMENT BOARD, McNEAR "CUMBERLAND" SANDMOLD SERIES THIN BRICK VEENER, 4" CAP
(PLANTS AND IRRIGATION BY OTHER TRADE)

FOOTING: CONCRETE SPREAD FOOTING W/ REBAR



**1 77.29' + 2 13.50' =
SQ.FT. TOTAL: 90.79'**

TOP VIEW

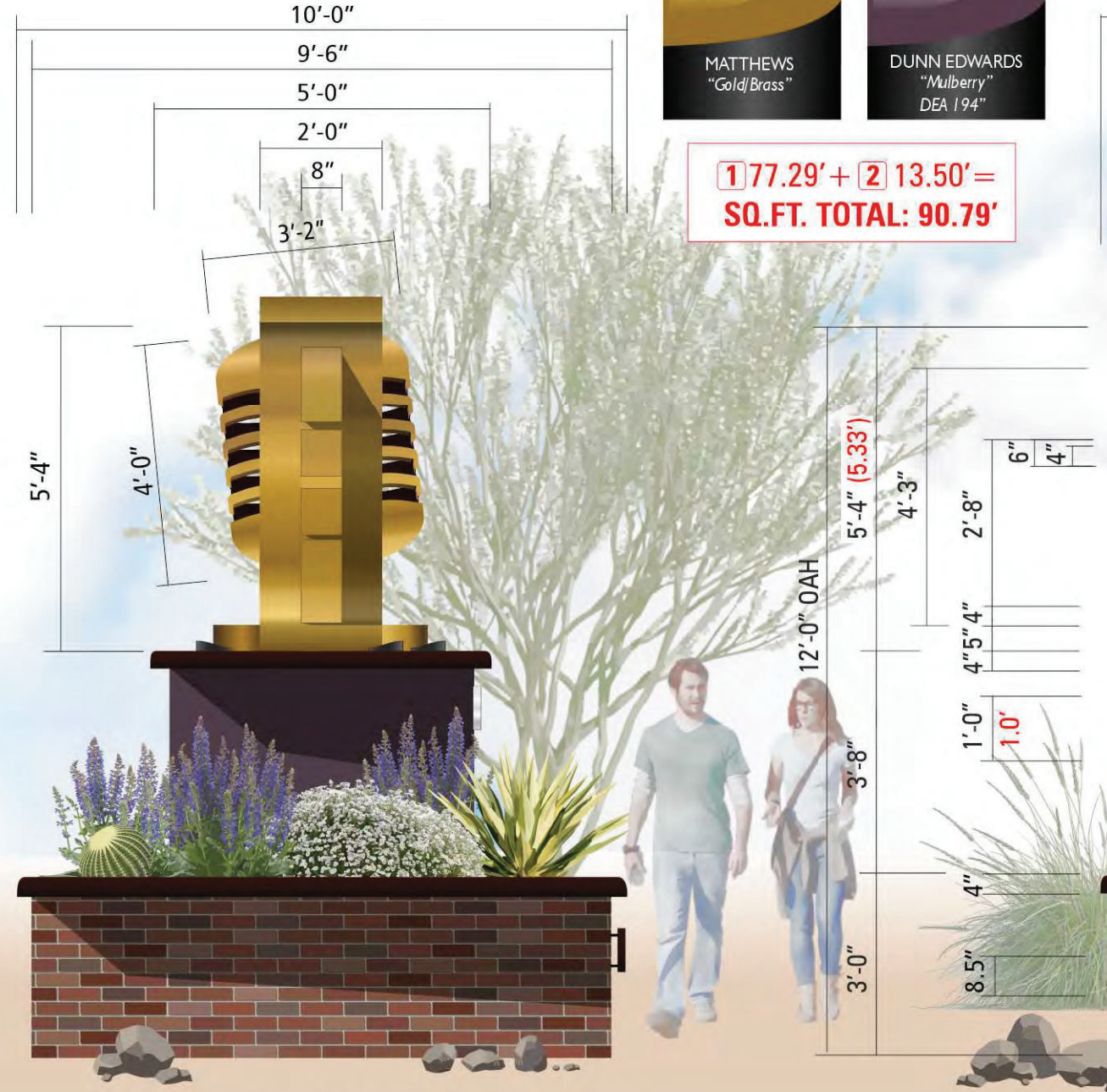


ILLUMINATED MOON ORB



A1 14.50' x 5.33' = 77.29' SQ. FT.

A2 13.50' x 1.0' = 13.5' SQ. FT.



SIDE VIEW



PROPOSED SOUTHEAST ELEVATION

B ONE (1) SINGLE-FACED ILLUMINATED DIRECTORY SIGN WITH FLAT CUT-OUT AND PUSH-THRU LETTERING

SCALE: 3/4" = 1'-0"

CABINET: ALUMINUM ANGLE FRAME SKINNED W/ CEMENT BACKER BOARD W/ McNEAR "EMBARCADERO" SANDMOLD SERIES THIN BRICK VENEER AND BORDER AROUND RECESSED EDGE TO BE McNEAR "OLD MYFORD" OLD CALIFORNIA SERIES THIN BRICK VENEER

INNER CABINET AREA (RECESSED): ALUMINUM ANGLE FRAME SKINNED W/ CEMENT BACKER BOARD W/ McNEAR "CUMBERLAND" SANDMOLD SERIES THIN BRICK VENEER

COLUMNS: EXTERIOR RATED IMPACT RESISTANT COMPOSITE, TO MATCH BUILDING ARCHITECTURAL COLUMNS

BASE: ALUMINUM ANGLE FRAME SKINNED .090 ALUMINUM PAINTED GRAY TO MATCH PRECAST CONCRETE (COLOR OF BUILDING LOWER FOUNDATION), SPREAD FOOTING W/ REBAR

TOPPER: .090 ALUMINUM PAINTED SHERWIN WILLIAMS SW 6258 "TRICORN BLACK" (TO MATCH BUILDING) WITH RECESSED INTERNAL LED LIGHTING ATTACHED TO BOTTOM OF TOPPER (SHOWN IN NIGHT VIEW)

B1 1.67' x .54' = .90'
 B2 2.25' x 2.17' = 4.88'
SQ.FT. TOTAL: 5.78'



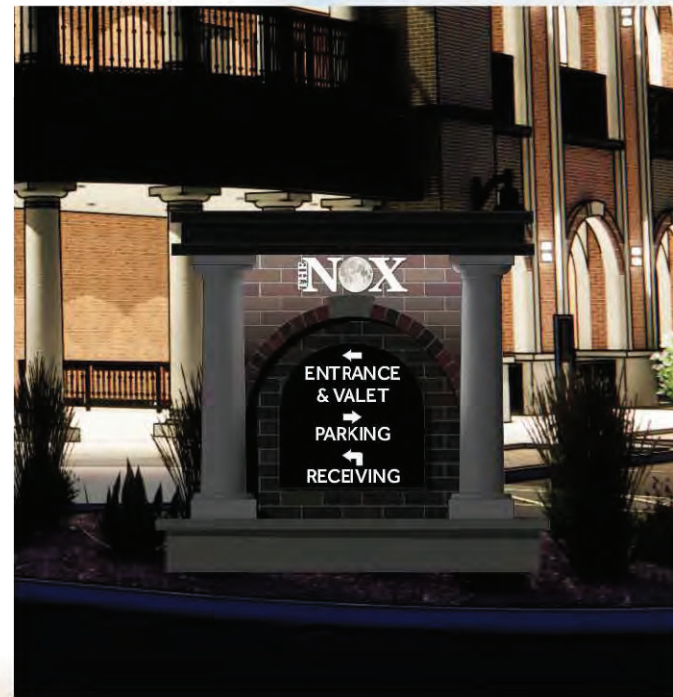
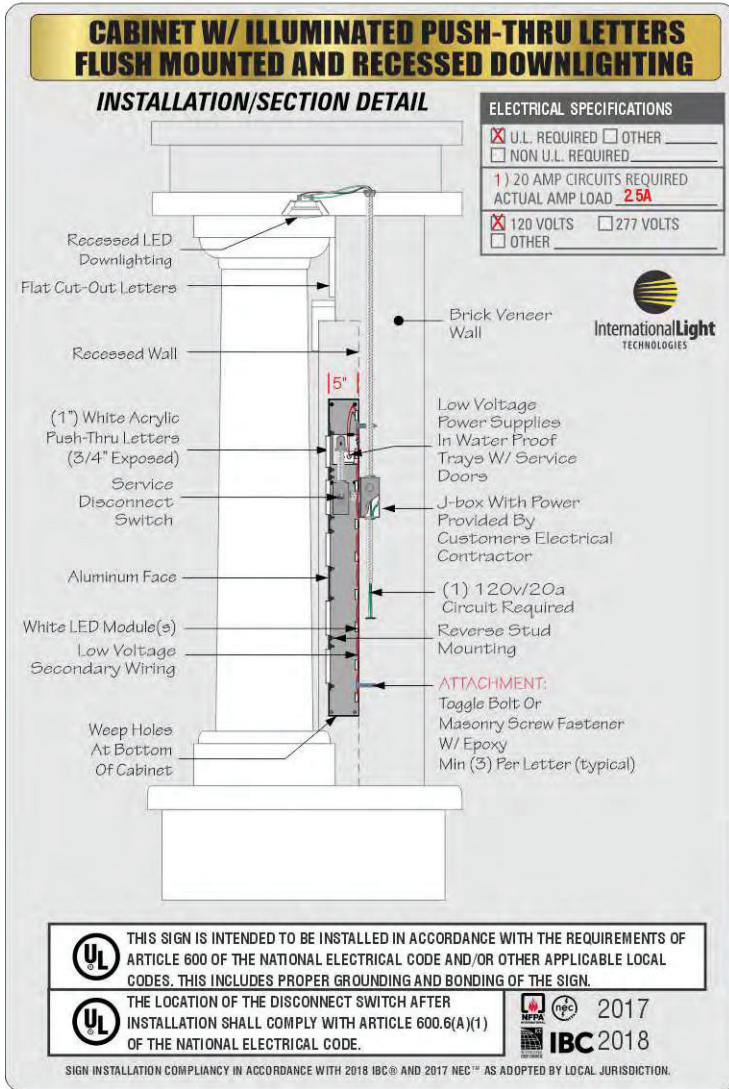
B1 F.C.O. LETTERSET ("THE NOX"): 3/4" OPAQUE WHITE ACRYLIC, STUD MOUNTED FLUSH TO BRICK VENEER W/ HARDWARE AS NEEDED

REVERSE PAN CABINET WITH PUSH-TRHU LETTERS:

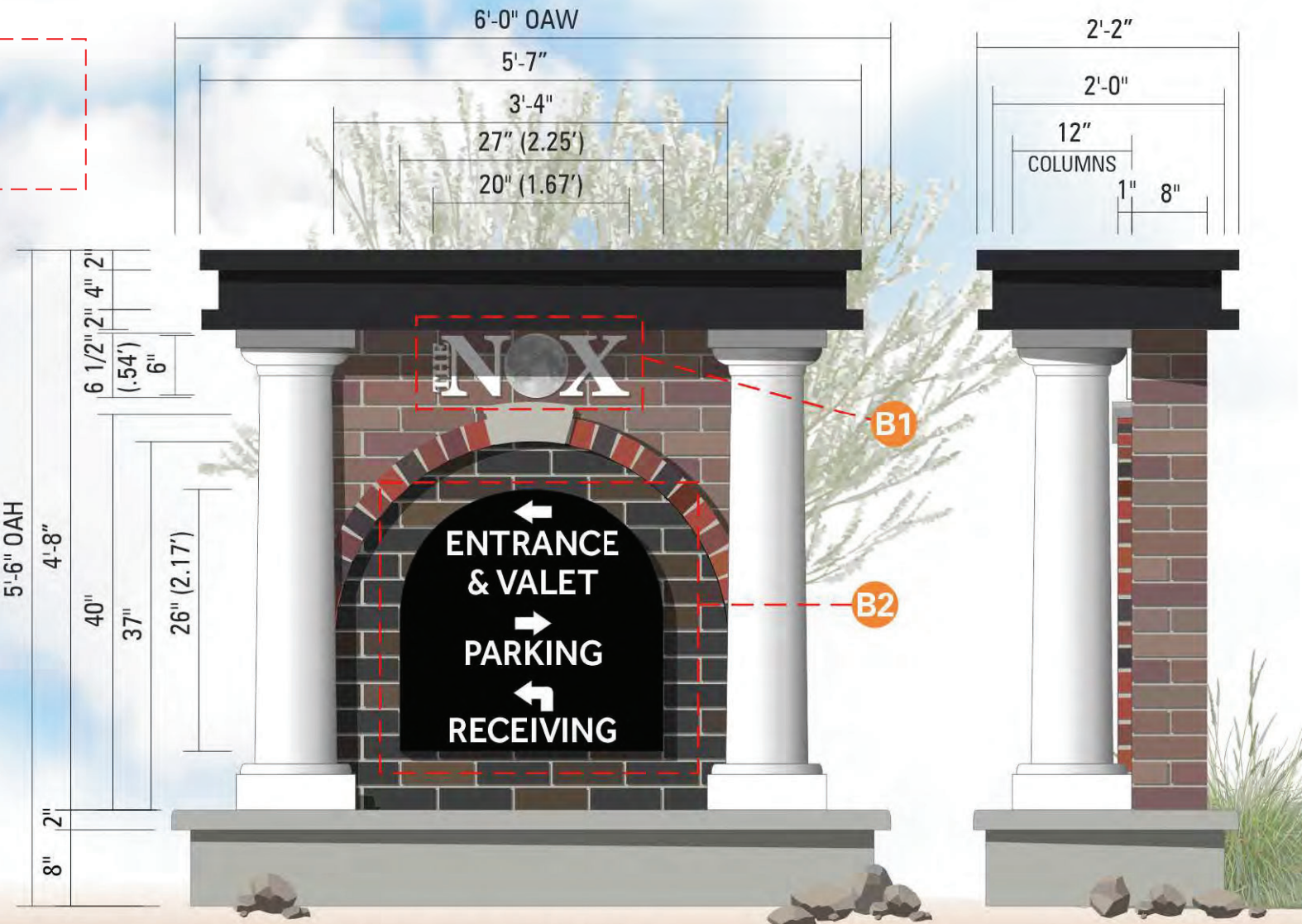
B2 FACE : .090" ROUTED ALUMINUM PAINTED "TRICORN BLACK", 3/4" EXPOSED PUSH-THRU WHITE ACRYLIC LETTERS
RETURNS: .063" ALUMINUM PAINTED SHERWIN WILLIAMS SW 6258 "TRICORN BLACK"

ILLUMINATION: INTERNAL, WHITE LEDs, KELVIN TO MATCH EXTERIOR BUILDING LIGHTING

INSTALLATION: MOUNTED FLUSH TO BRICK VENEER ON INNER CABINET'S RECESSED AREA AS SHOWN



NIGHT VIEW



PROPOSED SOUTHEAST ELEVATION

SIDE VIEW

C

ONE (1) ILLUMINATED SINGLE-FACED PAN-CHANNEL LETTER BUILDING SIGN WITH TRIMLESS MOON ELEMENT

SCALE: 3/8" = 1'-0"

SQ.FT. TOTAL: 109.98'

LETTER FACES: NONE

RETURNS: 10" DEEP .063 ALUMINUM PAINTED MATTHEWS "WHITE"

INTERIOR BAFFLE: .090 ALUMINUM, PAINTED MATTHEWS "WHITE"

BACKS: .125 ALUMINUM, PAINTED WHITE

ILLUMINATION: 15MIL "WHITE" NEON TUBE

INSTALLATION: MOUNTED TO TOP ROOFLINE & FLUSH TO ALUMINUM ANGLE ARCHITECTURAL SUPPORTS

~MOON~

FACE: 1-1/2" THICK WHITE POLYCARBONATE W/ 1/2" HASH (1" EXPOSED) W/ DIGITALLY PRINTED SURFACE APPLIED VINYL OVERLAY & MOUNTED INTO RETURN WITH COUNTERSUNK SCREWS

RETURN: 10" DEEP .063 ALUMINUM PAINTED MATTHEWS "WHITE"

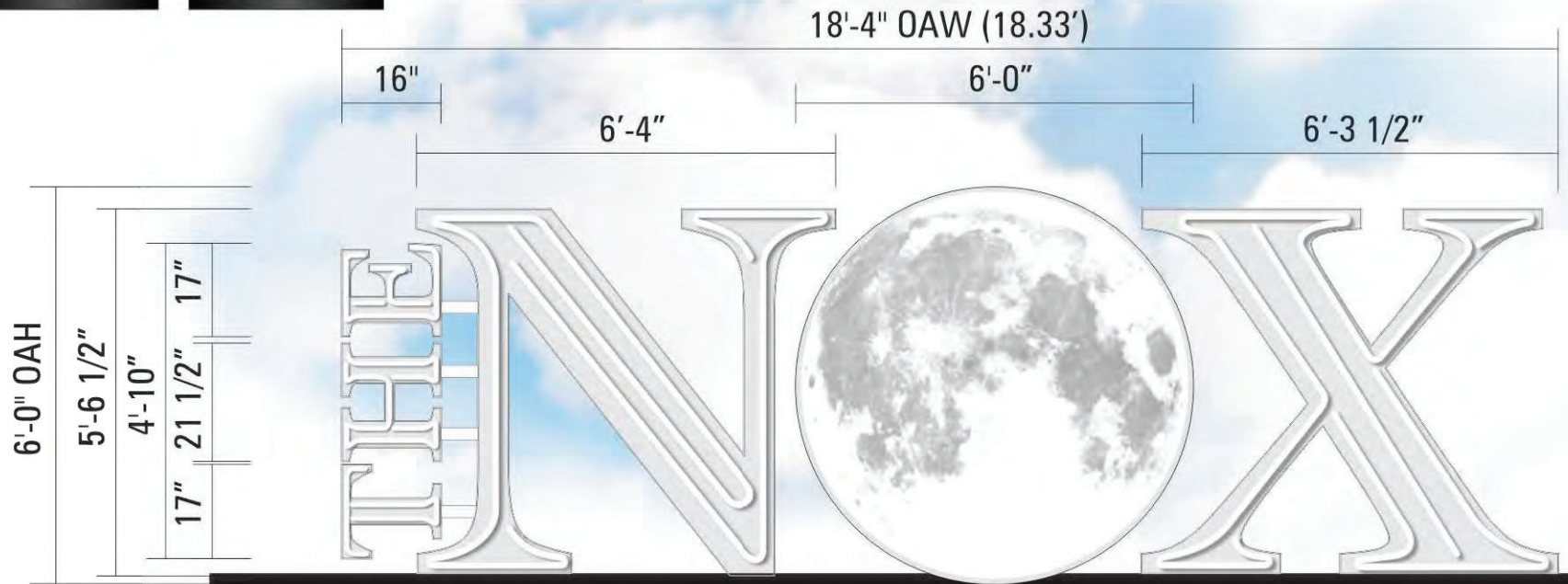
RETAINER: NONE. TRIMLESS

BACK: 1/8" ALUMINUM

ILLUMINATION: INTERNAL, WHITE LEDs, KELVIN TO MATCH NEON

INSTALLATION: MOUNTED TO TOP AND FLUSH TO ROOFLINE

ALUMINUM ANGLE ARCHITECTURAL SUPPORTS (ENGINEERING TO BE PROVIDED)



NEON- ILLUMINATED EXPOSED PAN-CHANNEL LETTERS
INSTALLATION/SECTION DETAIL

PRIMARY ELECTRICAL RUN TO THE SIGN LOCATION BY CUSTOMER. IF THE PRIMARY POWER IS NOT AVAILABLE FOR FINAL HOOK UP WHEN THE SIGNAGE IS INSTALLED, THE CUSTOMER WILL BE RESPONSIBLE FOR ANY ADDITIONAL CHARGES FOR TRIPS BACK TO THE SITE AND ANY SIGN INSPECTION RESCHEDULE.

ELECTRICAL SPECIFICATIONS

U.L. REQUIRED OTHER _____
 NON U.L. REQUIRED

1) 20 AMP CIRCUITS REQUIRED
ACTUAL AMP LOAD **2.5A**

120 VOLTS 277 VOLTS
 OTHER _____

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THE LOCATION OF THE DISCONNECT SWITCH AFTER INSTALLATION SHALL COMPLY WITH ARTICLE 600.6(A)(1) OF THE NATIONAL ELECTRICAL CODE.

2017 IBC 2018 IBC

SIGN INSTALLATION COMPLIANCE IN ACCORDANCE WITH 2018 IBC® AND 2017 NEC™ AS ADOPTED BY LOCAL JURISDICTION.



PROPOSED SOUTHEAST ELEVATION



NIGHT VIEW

SCALE: 1/16" = 1'-0"

C2

ONE (1) ILLUMINATED EXPOSED PAN-CHANNEL LETTERSET / TRIMLESS LOGO BUILDING SIGN

SCALE: 1/2" = 1'-0"

SQ.FT. TOTAL: 26.96'

~**UMBRELLA LOGO**~

FACES: 3/4" WHITE ACRYLIC (1/4" EXPOSED) W/ 3M TRANS. 3630-49 "BURGUNDY", 3630-328 "BERRY BURGUNDY", 3630-63 "RUST BROWN" & "3630-22 "BLACK" SURFACE APPLIED VINYL OVERLAY(S)

3.75' x 3.08' = 11.55'
10.33' x 1' = 10.33'
5.08' x 1' = 5.08'

TRIMCAP: NONE, TRIMLESS

RETURNS: 5" DEEP, .063 ALUMINUM, PAINTED MATTHEWS BLACK

BACKS: .080 ALUMINUM BACKS

ILLUMINATION: INTERNAL, WHITE LEDs, 4500K

INSTALLATION: STUD MOUNTED FLUSH TO BRICK FASCIA W/ HARDWARE AS REQUIRED

~**EXPOSED PAN CHANNEL LETTERS**~

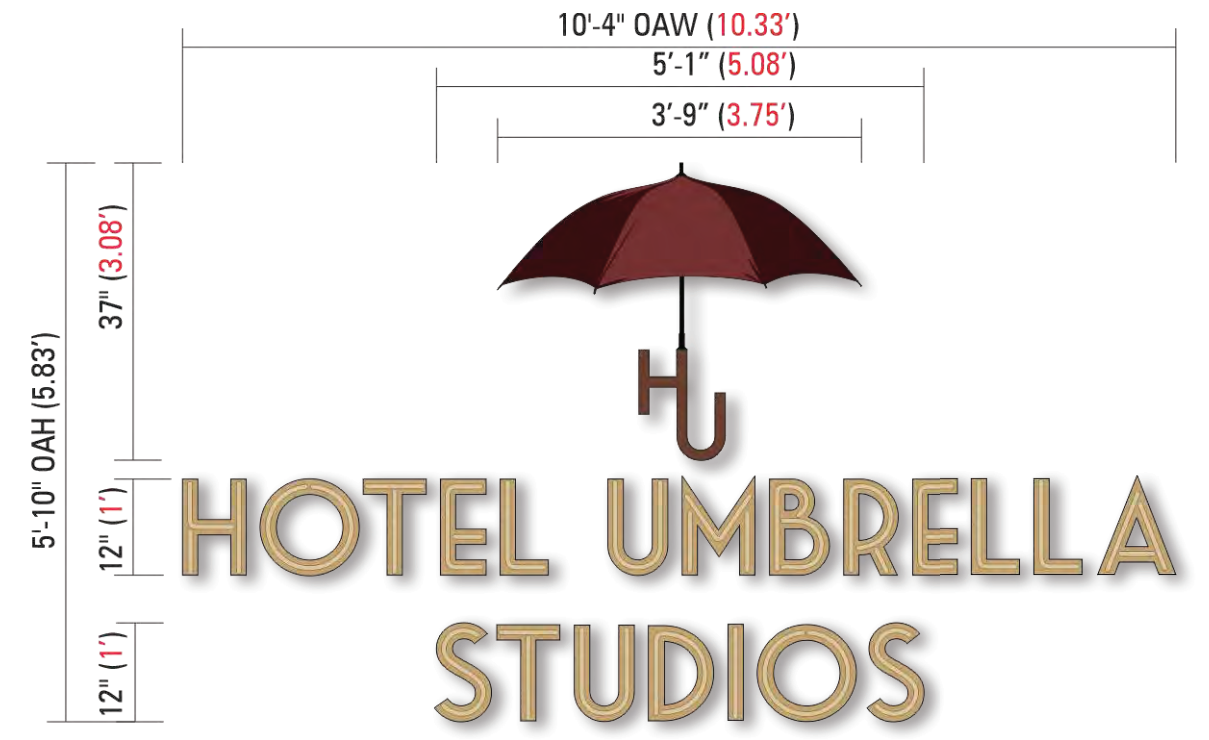
FACES: NONE

RETURNS: 5" DEEP, .063 ALUMINUM, PAINTED MATTHEWS MP20352 "VICTORIAN GOLD METALLIC"

BACKS & BAFFLES: .080 ALUMINUM, PAINTED GOLD

ILLUMINATION: 15 MIL GOLDEN YELLOW NEON

INSTALLATION: MOUNTED FLUSH TO BRICK FASCIA W/ HARDWARE AS REQUIRED



PROPOSED NORTH ELEVATION



NIGHT VIEW

NEON ILLUMINATED EXPOSED PAN-CHANNEL LETTERS & TRIMLESS PAN CHANNEL LOGO w/ FLUSH MOUNT

INSTALLATION/SECTION DETAIL

ELECTRICAL SPECIFICATIONS

- U.L. REQUIRED OTHER
- NON U.L. REQUIRED
- 1) 20 AMP CIRCUITS REQUIRED ACTUAL AMP LOAD 2.5A
- 120 VOLTS 277 VOLTS
- OTHER

Low voltage transformer in waterproof box

LASTS LONGER! ALUMINUM CONSTRUCTION NO RUSTING!

Attachment Toggle Bolt Fastener To Letter(s) Min. 3 For Letter (Typical)

J-box & Service Disconnect Switch Power Provided By Customers Electrical Contractor

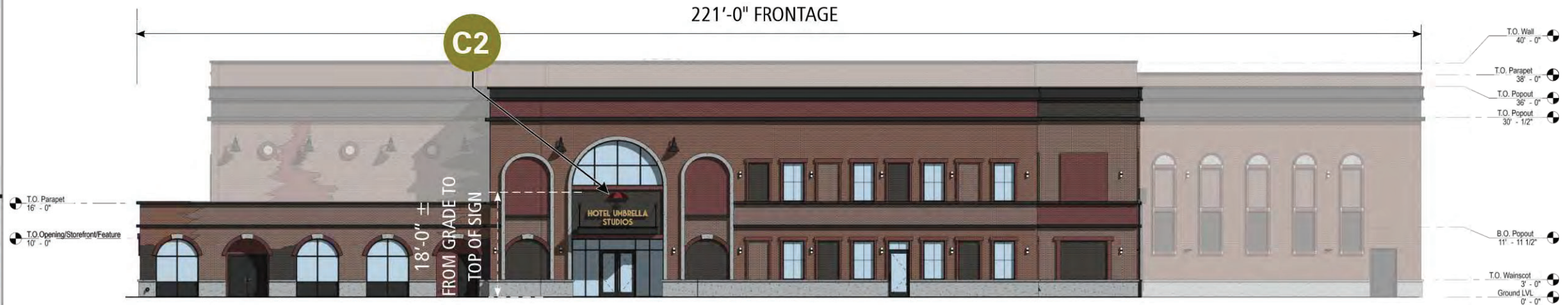
120v/20a Circuit

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2017 IBC 2018

SIGN INSTALLATION COMPLIANCY IN ACCORDANCE WITH 2018 IBC® AND 2018 NEC™ AS ADOPTED BY LOCAL JURISDICTION.



PROPOSED NORTH ELEVATION

NTS

D

TWO (2) ILLUMINATED PAN-CHANNEL LETTER CANOPY SIGNS

FACES: NONE

RETURNS: 5" DEEP, .063 ALUMINUM, PAINTED MATTHEWS BLACK

BACKS & BAFFLES: .080 ALUMINUM, PAINTED WHITE

ILLUMINATION: INTERNAL, 15MM WHITE NEON

POWER SUPPLIES: REMOTE IN TRANSFORMER BOX

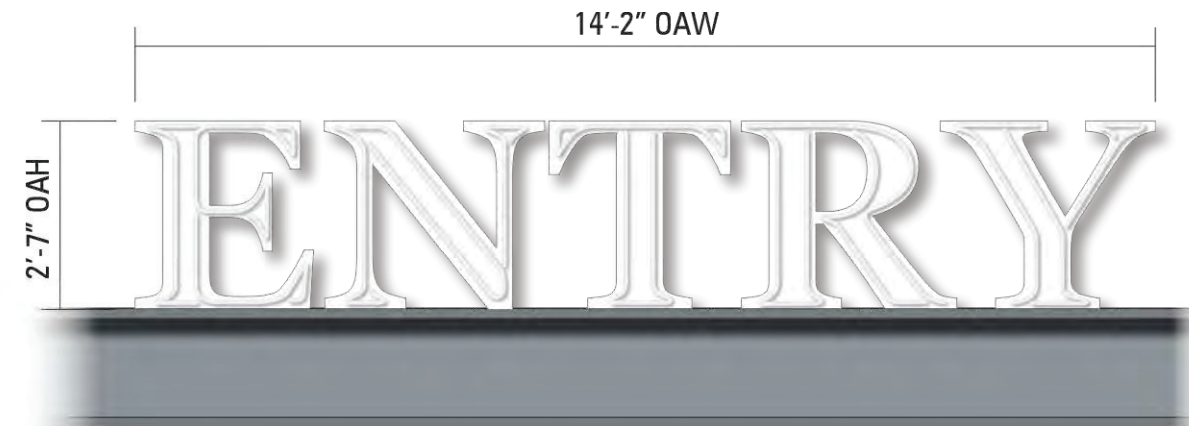
INSTALLATION: MOUNTED FLUSH TO TOP OF STEEL CANOPY BEAM

INTERNAL ALUMINUM ANGLE FRAME/BRAKETS



SCALE: 3/8" = 1'-0"

SQ.FT. TOTAL: 73.12'



NIGHT VIEW

NEON ILLUMINATED EXPOSED PAN-CHANNEL LETTERS W/ FLUSH MOUNT ATOP AWNING

INSTALLATION/SECTION DETAIL

PRIMARY ELECTRICAL RUN TO THE SIGN LOCATION BY CUSTOMER. IF THE PRIMARY POWER IS NOT AVAILABLE FOR FINAL HOOK UP WHEN THE SIGNAGE IS INSTALLED, THE CUSTOMER WILL BE RESPONSIBLE FOR ANY ADDITIONAL CHARGES FOR TRIP'S BACK TO THE SITE AND ANY SIGN INSPECTION RESCHEDULE.

ELECTRICAL SPECIFICATIONS

U.L. REQUIRED OTHER _____
 NON U.L. REQUIRED

1) 20 AMP CIRCUIT REQUIRED
ACTUAL AMP LOAD **2.5A**

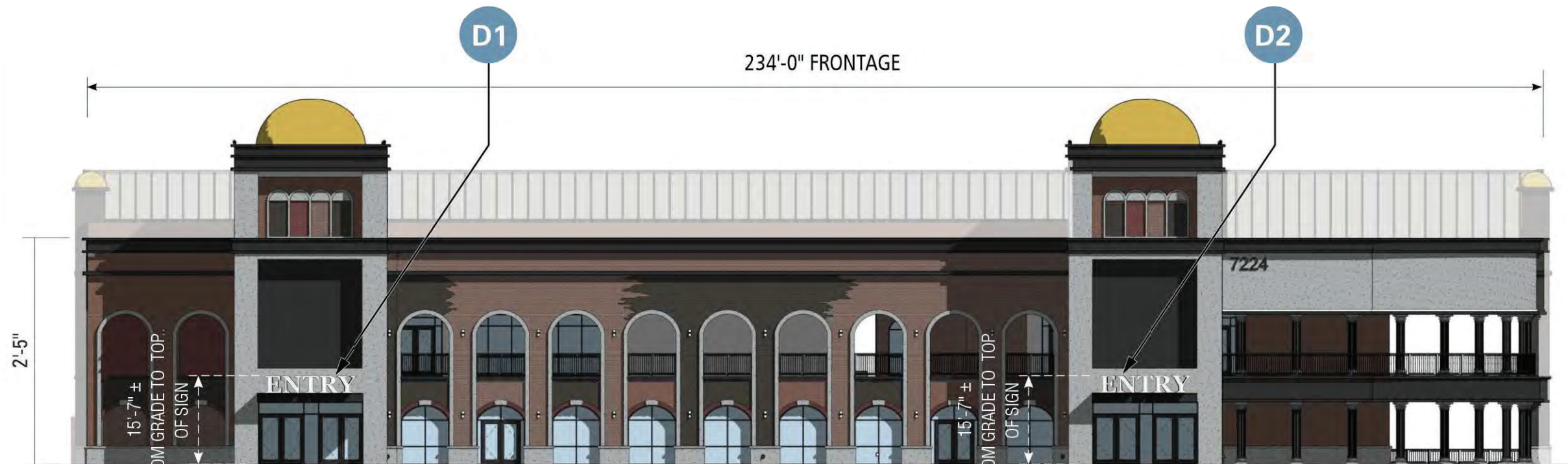
120 VOLTS 277 VOLTS
 OTHER _____

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UL THE LOCATION OF THE DISCONNECT SWITCH AFTER INSTALLATION SHALL COMPLY WITH ARTICLE 600.6(A)(1) OF THE NATIONAL ELECTRICAL CODE.

2017 IBC 2018

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PROPOSED SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

E

TWO (2) SINGLE-FACED ELECTRONIC MESSAGE DISPLAYS (EMDs)

SCALE: 1/4" = 1'- 0"

SQ.FT. TOTAL: 512.00'

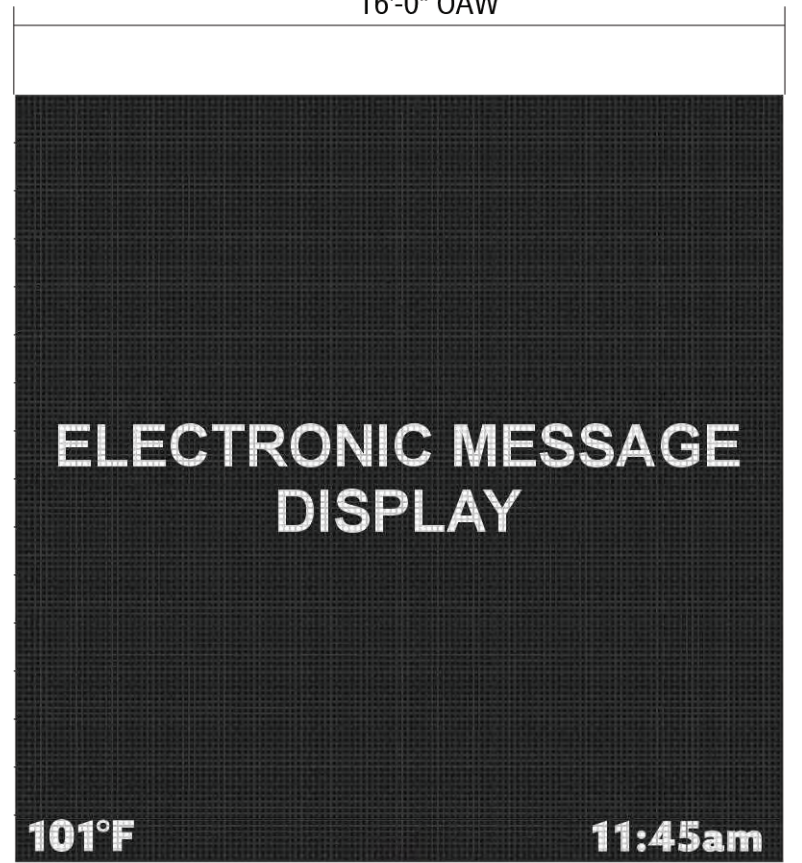
- L.E.D. DISPLAY: SINGLE-SIDED, OUTDOOR RATED
- PIXEL PITCH: 9MM RESOLUTION: 512 X 512 PIXELS
- POWER REQUIREMENTS: ONE OF THE FOLLOWING OPTIONS
 - 4 LINES OF 120V POWER, 20 AMPS EACH
 - 3 LINES OF 208V POWER, 20 AMPS EACH
 - 3 LINES OF 240V POWER, 20 AMPS EACH
- AVG POWER CONSUMPTION: 2534.4 WATTS; MAX POWER: 7680 WATTS
- FRAME: 4-1/8" DEEP ALUMINUM MOUNTING FRAME
- INSTALLATION: FLUSH INTO RECESSED FASCIA WITH BOLTS, AS REQUIRED



NIGHT VIEW

16'-0" OAH

16'-0" OAW



SINGLE-SIDED ELECTRONIC MESSAGE DISPLAY (EMD) INSTALLATION/SECTION DETAIL

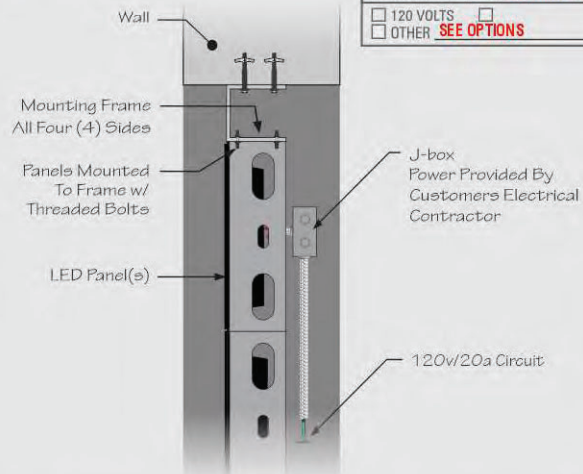
PRIMARY ELECTRICAL RUN TO THE SIGN LOCATION BY CUSTOMER. IF THE PRIMARY POWER IS NOT AVAILABLE FOR FINAL HOOK UP WHEN THE SIGNAGE IS INSTALLED, THE CUSTOMER WILL BE RESPONSIBLE FOR ANY ADDITIONAL CHARGES FOR TRIPS BACK TO THE SITE AND ANY SIGN INSPECTION RESCHEDULE.

ELECTRICAL SPECIFICATIONS

U.L. REQUIRED OTHER _____
 NON U.L. REQUIRED

1) 20 AMP CIRCUITS REQUIRED
 ACTUAL AMP LOAD: 2534.4 WATTS

120 VOLTS OTHER SEE OPTIONS

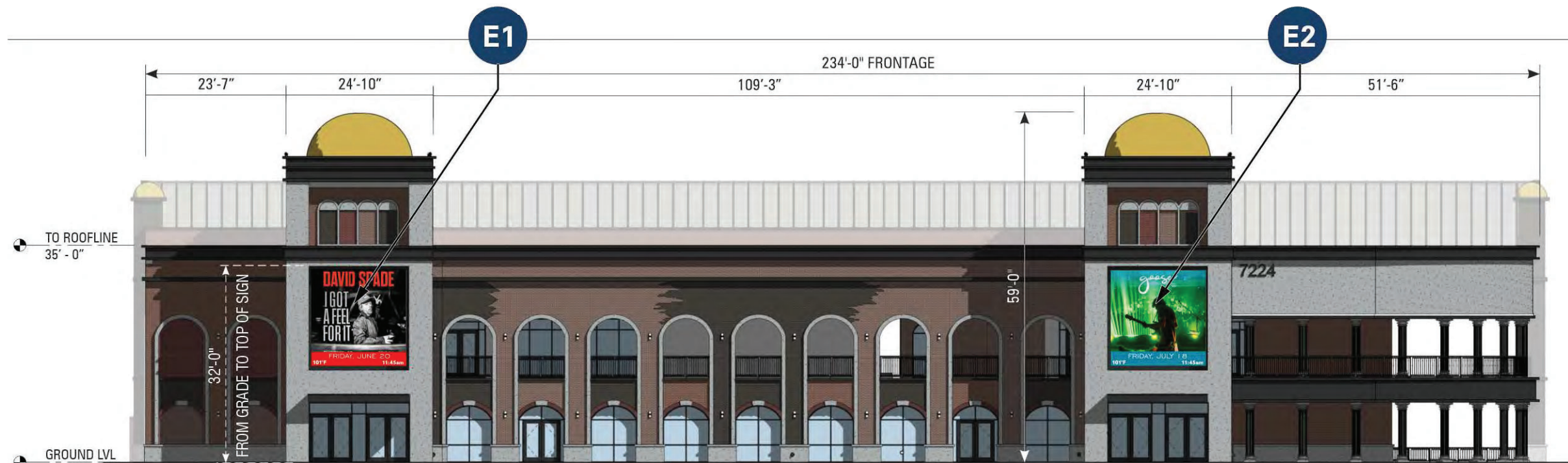


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2017 IBC 2018

SIGN INSTALLATION COMPLIANT IN ACCORDANCE WITH 2018 IBC® AND 2017 NEC™ AS ADOPTED BY LOCAL JURISDICTION.



PROPOSED SOUTH ELEVATION

E3

ONE (1) SINGLE-FACED ELECTRONIC MESSAGE DISPLAY (EMD)

SCALE: 1/2" = 1' - 0"

RETURNS: 8" DEEP .063 PERFORATED ALUMINUM, PAINTED "Tricorn Black" SW 6258

SQ.FT. TOTAL: 112.00'

- L.E.D. DISPLAY: SINGLE-SIDED, OUTDOOR RATED
- PIXEL PITCH: 9MM RESOLUTION: 448 X 256 PIXELS
 - POWER REQUIREMENTS: ONE OF THE FOLLOWING OPTIONS
 - 2 LINES OF 120V POWER, DEDICATED 20 AMPS EACH
 - 2 LINES OF 208V POWER, DEDICATED 20 AMPS EACH
 - 2 LINES OF 240V POWER, DEDICATED 20 AMPS EACH

INSTALLATION: ROOF BRACKET

MODULE FRAME: 4-1/8" DEEP ALUMINUM W/ ANGLE MOUNTING BRACKETS.

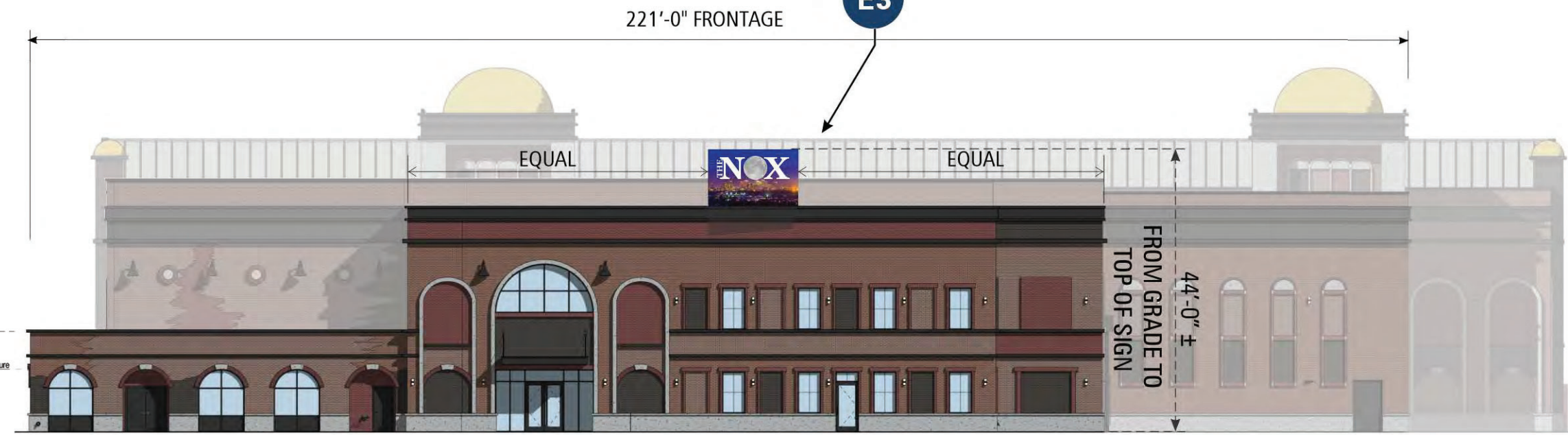
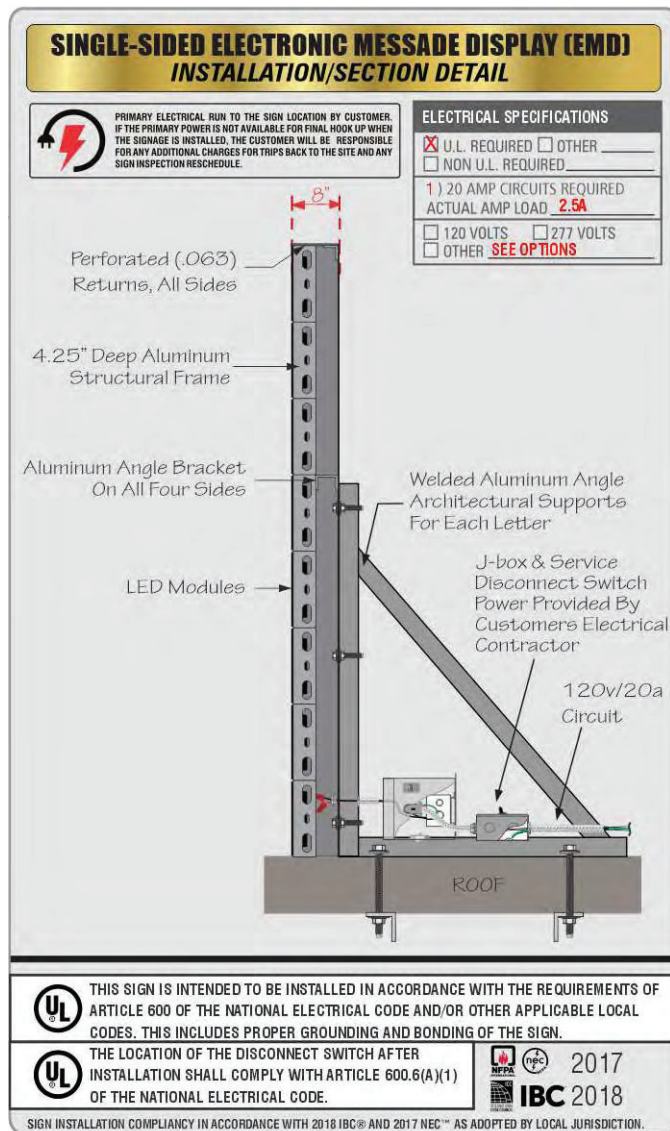
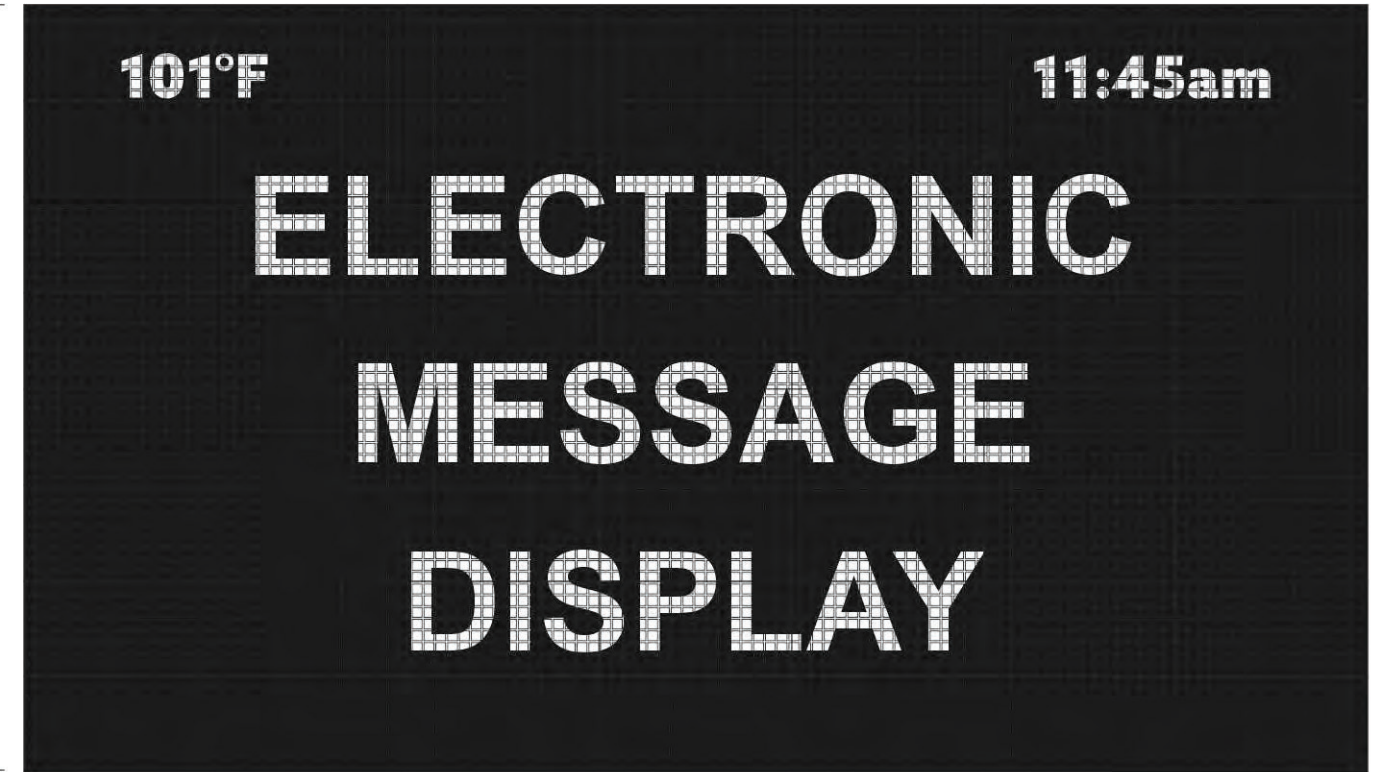
BOLTS ALL THE WAY THROUGH (ENGINEERING TO BE PROVIDED)

14'-0" OAW



NIGHT VIEW

8'-0" OAH



PROPOSED NORTH ELEVATION

NTS



PROPOSED NORTH ELEVATION



NIGHT VIEW



EXISTING SOUTHEAST ELEVATION



NIGHT VIEW

Thank you!

