



# Board of Adjustment



# BOA24-00371



# Request

- Substantial Conformance Improvement Permit (SCIP) to allow deviations from certain development standards for a medical office and general retail sales development

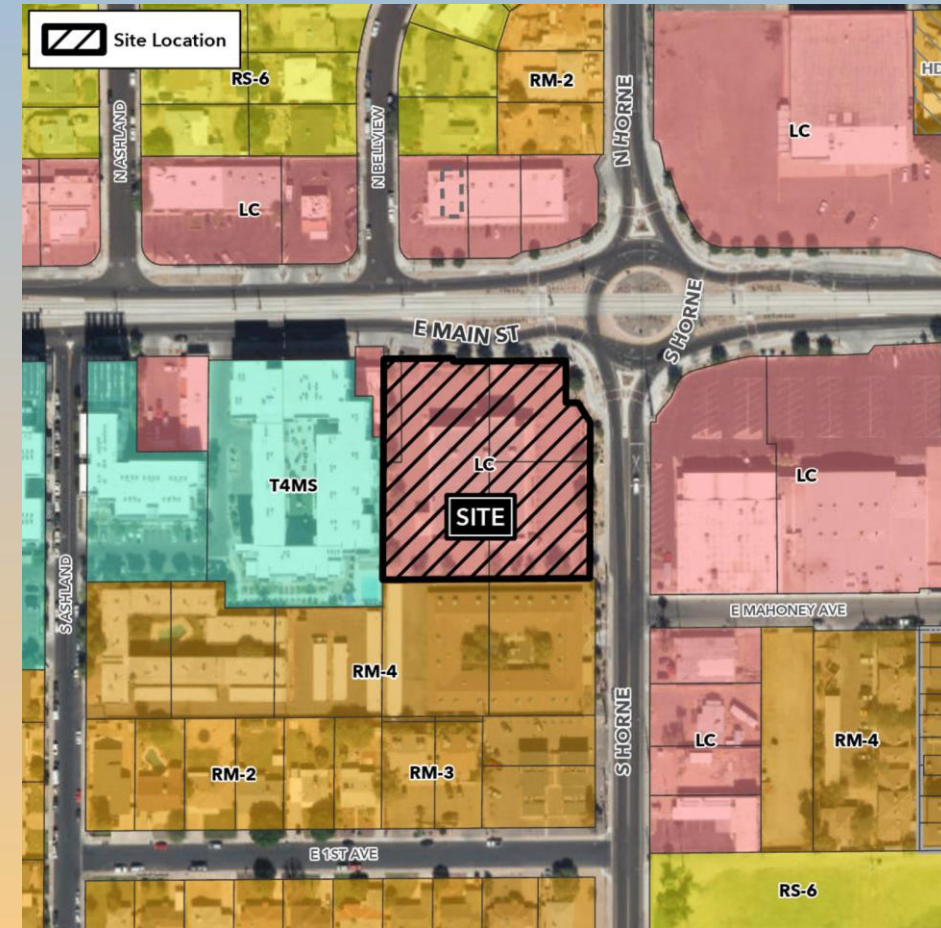






# Location

- On the south side of Main Street
- West of Horne
- East of Mesa Drive







# General Plan

## Neighborhood - Traditional Sub-Type

- Provide safe places for people to live and feel secure. May contain commercial uses along arterial frontages.
- Traditional neighborhoods may contain supportive land uses.







# General Plan

## Transit Corridor

- Develop a mixed-use, pedestrian oriented, urban environment.

## Central Main Street Area Plan

- Transform into a node incorporating a mix of uses that support surrounding residential neighborhood.







- Limited Commercial (LC)





# Site Photo



Looking south from Main Street





# Site Photo

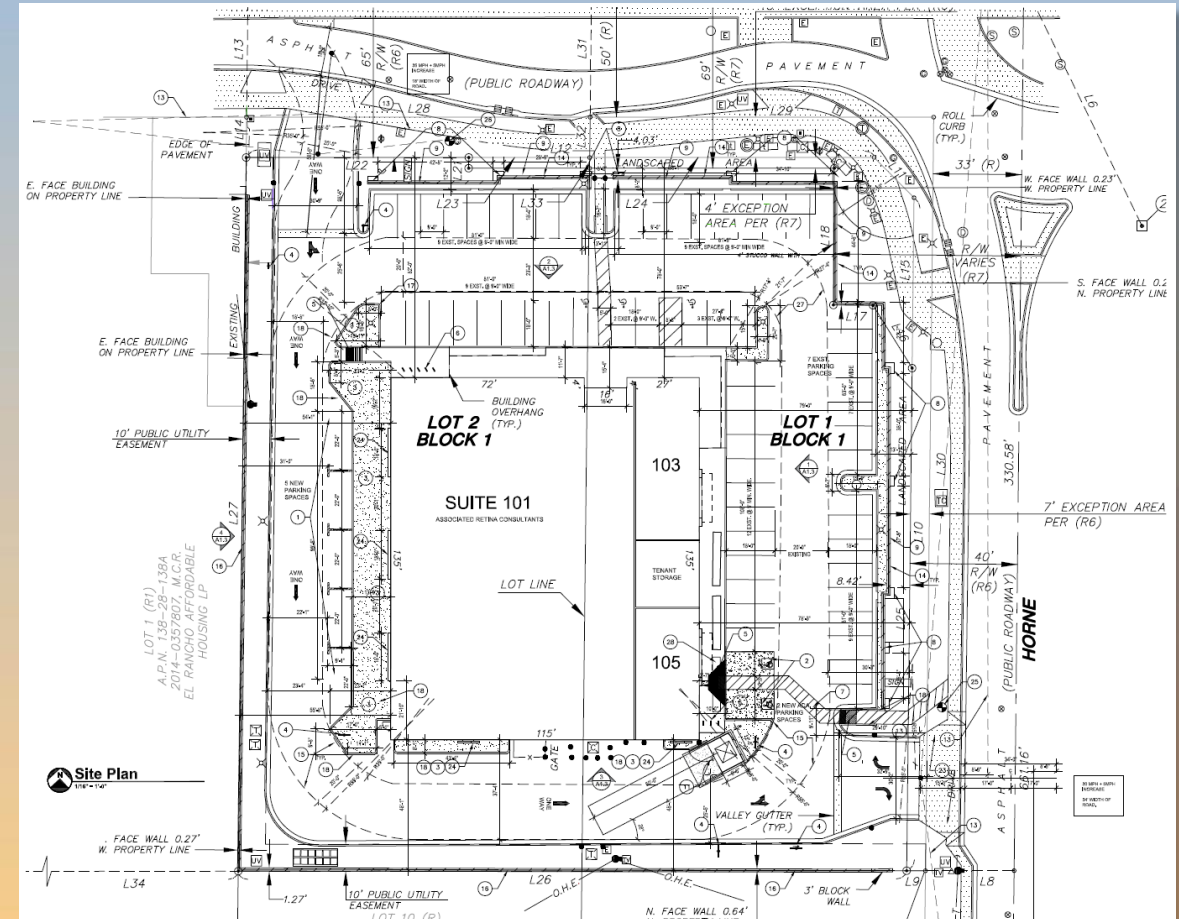


Looking west from Horne



# Site Plan

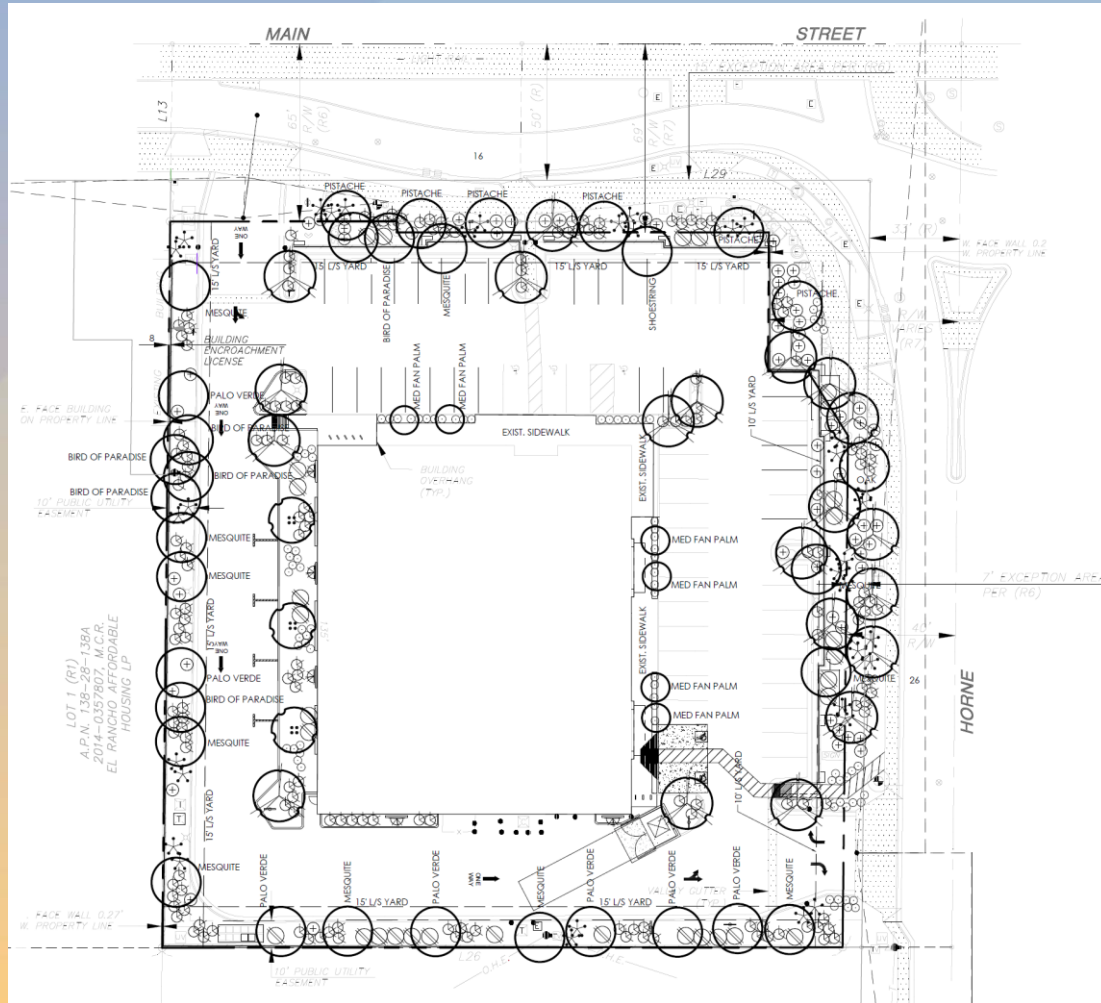
- Former Walgreens building repurposed for a medical office with two retail suites
- Primary access from Main Street and Horne
- 67 parking spaces required; 67 provided



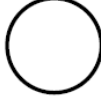






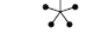





# Landscape Plan



## EXISTING LANDSCAPE LEGEND

-  EXISTING TREE  
PROTECT FROM CONSTRUCTION
-  EXISTING SHRUB  
PROTECT FROM CONSTRUCTION
-  PISTACHE X 'RED-PUSH'  
RED PUSH PISTACHE  
36" BOX
-  ACACIA ANEURA  
MULGA (SRP/APS APPROVED)  
24" BOX
-  TECOMA 'ORANGE JUBILEE'  
ORANGE JUBILEE  
5 GALLON
-  RUELLIA PENINSULARIS  
BAJA RUELLIA  
5 GALLON
-  CAESALPINIA MEXICANA  
MEXICAN BIRD OF PARADISE  
5 GALLON
-  PODRANEA RICASOLINA  
PINK TRUMPET VINE  
5 GALLON
-  LANTANA MONTEVIDENSIS  
'GOLD MOUND'  
1 GALLON

1/2" MINUS MADISON GOLD  
DECOMPOSED GRANITE  
2" DEPTH IN ALL LANDSCAPE AREAS

### MAIN STREET (NORTH)

PROPERTY LINE = 248'  
10 TREES REQUIRED  
10 TREES PROVIDED (9-36" box equiv., 1-new 36" box)  
60 SHRUBS REQUIRED  
60 SHRUBS PROVIDED

### WEST PROPERTY LINE

PROPERTY LINE = 265'  
8 TREES REQUIRED  
12 TREES PROVIDED (12-36" box equiv.)  
53 SHRUBS REQUIRED  
53 SHRUBS PROVIDED

### SOUTH PROPERTY LINE

PROPERTY LINE = 248'  
8 TREES REQUIRED  
8 TREES PROVIDED (8-36" box equiv.)  
50 SHRUBS REQUIRED  
50 SHRUBS PROVIDED

### HORNE ROAD (EAST)

PROPERTY LINE = 265'  
11 TREES REQUIRED  
11 TREES PROVIDED (3-36" box equiv. 8-new 36" box)  
64 SHRUBS REQUIRED  
66 SHRUBS PROVIDED

### PARKING LOT

NON-COMPLIANT PARKING WILL BE  
ADDED TO THE SCIP  
PARKING STALLS = 62  
12 TREES REQUIRED (2-36" box, 10-24" box)  
12 TREES PROVIDED (12-36" box)  
36 SHRUBS REQUIRED (5-gallon)  
40 SHRUBS PROVIDED (5-gallon)

### LANDSCAPE COVERAGE

LANDSCAPE AREA: 10,667 SQ. FT.  
LANDSCAPE COVERAGE REQUIRED: 5,334 SQ. FT. (50%)  
LANDSCAPE COVERAGE PROVIDED: 6,133 SQ. FT. (57%)

### FOUNDATION BASE:

BUILDING PERIMETER: 500 L.F.T.  
TREES REQUIRED: 10 TREES (1-36" BOX, 9-24" BOX)  
TREES PROVIDED: 12 TREES (8-36" BOX EQUIV., 4-24" BOX)



# SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<i>Maximum Lot Coverage – Table 11-6-3.A</i>	80%	<b>82% (existing)</b>
<i>Building Form and Location – Front and Street-Facing Side – Table 11-6-3.A:</i>  Main Street          Horne	15 feet          15 feet	<b>0 feet (existing parking at northeast corner of site)</b>       <b>8 feet 2 inches (existing parking along Main Street)</b>       <b>13 feet (existing parking along Horne)</b>





# SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<i>Fences and Freestanding Walls Maximum Height in Front Yards and Required Street Side Yards – Section 11-30-4(B)(1)(a):</i>		
Main Street	3.5 feet	<p>5 feet 7 inches (existing wall along west property line starting 13.5 feet from front property line)</p> <p>4 feet (existing wall once iron fence removed along Main Street)</p>
Horne	3.5 feet	<p>4 feet (existing wall once iron fence removed along Horne)</p>



# SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Fence Articulation – Section 11-30-4(E):</i></p> <p><i>The maximum length of continuous, unbroken and uninterrupted fence or wall plane adjacent to right-of-way or private streets functioning as public roads shall be forty (40) feet. Articulation shall be provided through the use of columns, landscaping pockets and/or a change to different materials</i></p>	<p>40 feet</p>	<p><b>44 feet 8 inches (longest existing wall without articulation)</b></p>





# SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<i>Minimum Setbacks from Intersections for Parking Areas and Drive Aisles – Table 11-30-10:</i>  <i>Major/Midsection Collection (90-110' R.O.W.) with Major/Midsection Collector</i>	Minimum 35-foot radius	<b>Within 35-foot radius (existing)</b>



# SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<i>Standard Parking Space and Aisle Dimensions – Table 11-32-2-H-1:</i>		
<i>90 Degree Angle of Parking</i>		
North Drive Aisle	Two-way aisle width – 24 feet	<b>23 feet (existing)</b>
East Drive Aisle	Two-way aisle width – 24 feet	<b>20 feet (existing)</b>





# SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Setbacks of Cross Drive Aisles – Section 11-32-4(A):</i>  <i>Parking spaces along main drive aisles connecting directly to a street and drive aisles that cross such main drive aisles shall be set back at least 50 ft from the property line abutting the street.</i></p>		
<p>North Property Line  East Property Line</p>	<p>50 feet  50 feet</p>	<p><b>28 feet 5 inches (existing)</b>  <b>32 feet 9 inches (existing)</b></p>



# SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<i>Perimeter Landscaping – Table 11-33-3.A.4:</i>		
1 Tree and 6 Shrubs per 25 Linear Feet of Street Frontage (North Property Line)	10 trees and 60 shrubs	<b>4 trees and 16 shrubs</b>
1 Tree and 6 Shrubs per 25 Linear Feet of Street Frontage (East Property Line)	11 trees and 64 shrubs	<b>3 trees and 15 shrubs</b>





# SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Required Landscape Yards – Section 11-33-3(B)(2)(a)(ii): Properties that are not part of a group C-O-I Development, as defined in Chapter 87, must provide a 15-foot landscape yard except where a cross-access drive aisle occurs within the required landscape yard.</i></p>		
West Property Line	15 feet	<b>9 feet (existing)</b>
South Property Line	15 feet	<b>9 feet (existing)</b>



# SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<i>Number of Plants – Section 11-33-3(B)(2)(c): A minimum of three (3) non-deciduous trees and 20 shrubs per 100 linear feet of adjacent property line shall be provided. In the event of fractional results, the resulting number will be rounded to the next highest whole number. Shrubbery and ground covers are not necessary if the area is not visible from public parking and drive aisles.</i>		
West Property Line	8 trees and 53 shrubs	<b>0 trees and 53 shrubs</b>
South Property Line	8 trees and 50 shrubs	<b>0 trees and 53 shrubs</b>





# SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Interior Parking Lot Landscaping – Landscape Islands – Section 11-33-4(B)(1):</i></p> <p>Parking lot landscape islands shall be installed at each end of a row of stalls and in between for maximum 8 contiguous parking spaces.</p>	<p>8 contiguous parking spaces</p>	<p><b>14 contiguous parking spaces (existing maximum)</b></p>



# SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Interior Parking Lot Landscaping – Landscape Islands – Section 11-33-4(B)(2):</i></p> <p>Landscape islands shall be a minimum of eight feet wide and 15 feet in length for single-row and 30 feet in length for double-row parking. All measurements are to face of curb.</p>	<p>8 feet wide by 15 feet in length</p>	<p><b>4 feet 9 inches wide (existing minimum landscape island width)</b></p>





# SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Foundation Base along Exterior Walls</i></p> <p>– Exterior Walls with Public Entrance</p> <p>– Section 11-33-5(A)(1):</p> <p><i>A 15-foot-wide foundation base shall be provided, measured from face of building to face of curb along the entire length of the exterior wall. For buildings with corner entries, both adjacent walls require a 15-foot-wide foundation base.</i></p>		
North Elevation	15 feet	<b>11 feet 7 inches (existing)</b>
East Elevation	15 feet	<b>10 feet (existing)</b>



# SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Foundation Base along Exterior Walls</i> – Exterior Walls with Public Entrance – Section 11-33-5(A)(1)(a):</p> <p>For buildings larger than 10,000 square feet with parking spaces that abut the foundation base, additional foundation base width is required as follows: An additional foundation base shall be provided at the entrance to create an entry plaza area. The plaza area shall have a minimum width and depth of 20 feet, and a minimum area of 900 square feet.</p>	<p>Additional minimum 20-foot-deep entry plaza area with minimum area of 900 square feet</p>	<p><b>No additional entry plaza (existing)</b></p>





# Approval Criteria

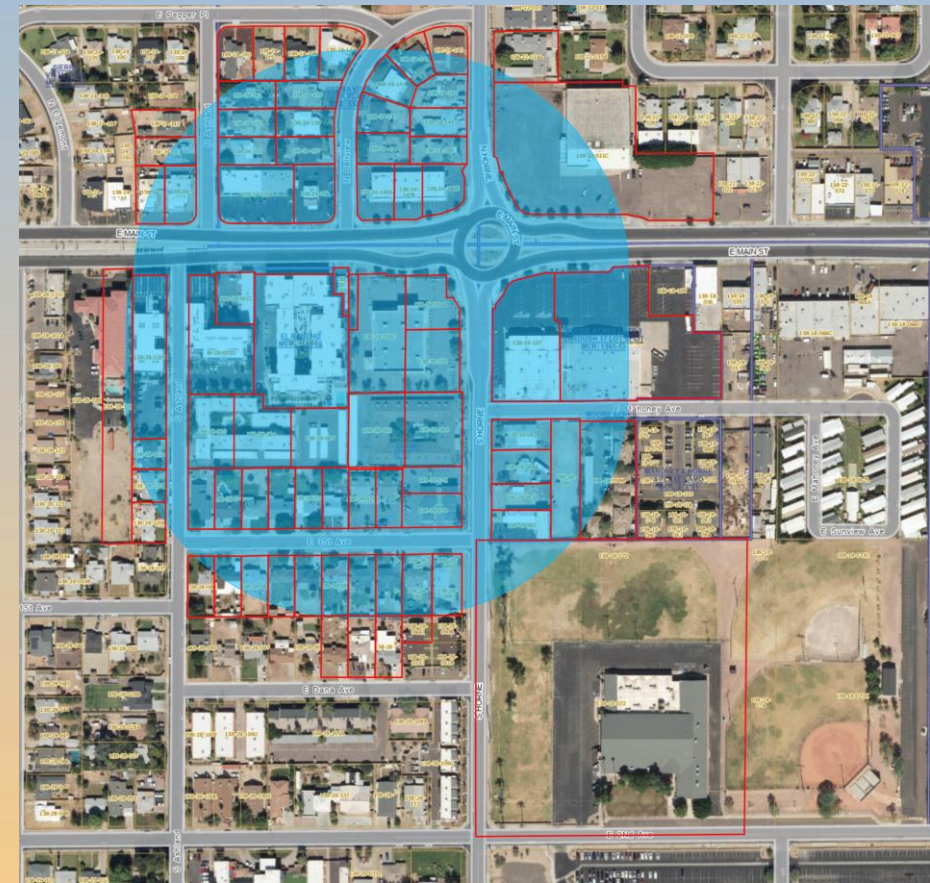
## Section 11-73-3 SCIP Criteria

- ✓ Significant alterations to the site would need to occur to bring the site into full conformance with current MZO development standards
- ✓ Full compliance would discourage redevelopment of the site
- ✓ No new non-conforming conditions will be created
- ✓ Proposed request is compatible with, and not detrimental to, adjacent properties or neighborhood



# Citizen Participation

- Notified property owners within 500 feet
- Staff has received no correspondence regarding the proposal







# Findings

- ✓ Complies with the Mesa 2040 General Plan
- ✓ Meets the SCIP findings of Section 11-73-3 of the MZO

*Staff recommends Approval with Conditions*



# Board of Adjustment





# Elevations



1 East Elevation  
NTS



2 North Elevation  
NTS



# Elevations



3 South Elevation  
NTS



4 West Elevation  
NTS





# Rendering

