

Montorres, Mesa Arizona



Atmosphere Architects is pleased to present a new high-quality, mixed-use, infill development called Montorres to be located at 325 and 317 N Alma School Road, in Mesa, Arizona. The property owner has assembled four parcels. One parcel has an existing business building housing 3M3 creations, a local-serving business. The other three parcels are vacant. Based on the location and configuration of the parcels, the owner has determined that the highest and best use of the property is a mix of first floor commercial space at the Alma School property line, with residential above the commercial, and residential- attached townhomes at the rear of the property.

The existing driveway off Alma School will be utilized to serve the existing office/retail building, and the new development. The proposed development is directly across from a three-story parking garage with an unremarkable exterior. The proposed development will offset this poor esthetic with a stylistic reimagining of modern design and the existing building will be painted to match this new modern color scheme. This project's goal is to transition from a dense, three-story urban street frontage back to a row of three-story residential units, and then further to a row of two-story units which are near the backyards of the residential houses. The design team has met with the owners of residential lots to the south and worked to show them that there are no windows looking directly into their property, which the lot owners were satisfied with.

The combination of the four parcels will create a 43,106 square foot lot, hosting this mixed-use, infill community. The new .99-acre site will host 10 for-rent townhomes, and 5 apartments located above 2,400 square feet of



new commercial, business/retail space. The owner is seeking a rezoning from OC to LC- BIZ to bring this project to fruition.

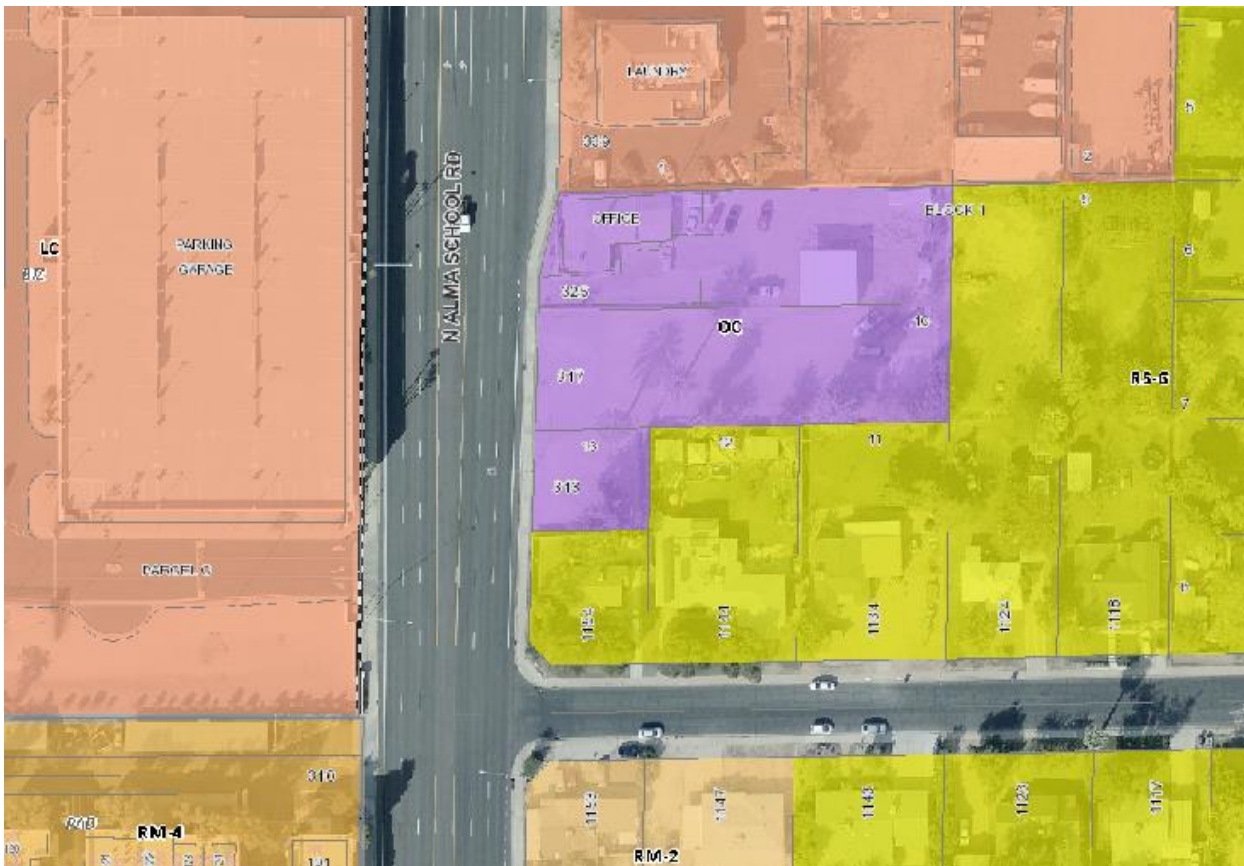
The proposed multiple residence use and limited commercial space, conforms with the goals of the “Neighborhood Character Area” by providing variety in housing options with commercial space to support the local area.



Montorres will take advantage of existing utilities and infrastructure adding additional users to the system without any capital improvement costs. The development is 1/3 mile north of a City of Mesa Park: Beverly Park.

This is about a six minute walk: close enough that the residents will use this public amenity and therefore this project doesn't need as much amenity space as projects that do not have the proximity public parks. The closest light rail station is about the same distance 1/3 mile, from a light rail stop.

As mentioned, we are seeking a re-zoning from OC to LC- BIZ, which will provide a buffer to the RS-6 to the east (we are locating 2 story attached townhomes on the east side). The zoning will complement the LC zoning on the north and west sides. The number and quality of trees will be increased along the property lines abutting the single-family lots adjacent the project. *The requested rezoning conforms to the goals of the Neighborhood Character Area regarding zoning, land use and building form.*





Four bicycle parking spaces are required and will be placed between the commercial space and Alma School. An additional ten bicycle parking spaces will be placed behind the commercial space to provide bike parking for the tenants of the five units in the building. The attached townhomes provide bike parking in the attached enclosed garages. There are eighteen parking spaces provided for the commercial

space and the five residential units without garages. Time of use should work to allow the parking to be available during the day for the commercial and in the evening and overnight for the residences. All units are connected to a common walkway. There are two open space amenity spaces, one for pets and one with a grilling area and outdoor seating. All units have integral exterior private spaces through private yards and or balconies.

Meeting the intent of the BIZ Overlay District:

- A. *Well designed and integrated open space and/or recreational facilities held in common ownership and of a scale that is proportionate to the use.*

Montorres provides well-designed and centrally located common open space with amenities. Total common open space is approximately 2,655 SF.



- B. *Options for the design and use of private or public streets.*

Montorres has private drive aisles that connect to existing infrastructure.

- C. *Preservation of significant aspects of the natural character of the land.*

The lots have limited natural character but will become an attractive and unique development that will enhance the neighborhood.

- D. *Building design, site design, and amenities that create a unique and more sustainable alternative to conventional development.*

The project features a mix of residential and commercial uses, something that Mesa hasn't had in a long time.

E. Sustainable property owners' associations.

Montorres provides for-rent townhomes, standard apartments, and commercial space in one community under one owner.

F. Maintenance of property held in common ownership through the use of recorded covenants, conditions, and restrictions.



The property owner will provide property maintenance.

While being a Mixed-Use development, the proposed project does not conform to MZO 11-31-31.A.1(B) stating that “A minimum of 65 percent of the ground floor of each multi-story building is reserved for commercial uses”. We are seeking a CUP deviation for 44 percent ground floor commercial.

Criteria for Review of Council Use Permit.

- 1. The use is found to be in compliance with the General Plan, Sub-Area Plans and other recognized development plans or policies, and will be compatible with surrounding uses;*

The project increases housing options and local-serving businesses in an area of less than 15 acres. City staff has noted that the project is in conformance to the General Plan’s Neighborhood character type. The project falls into the Sub-Area of West Main St. Area Plan. A city staff memo (BOA22-00764) states that Mixed-Uses and high density multifamily development are encouraged.

- 2. A finding that a plan of operation has been submitted, which includes, but is not limited to, acceptable evidence of compliance with all zoning, building, and fire safety regulations;*

The project is in the process of city review for compliance with zoning, building and fire safety regulations.

- 3. A finding that a "good neighbor policy" in narrative form has been submitted, which includes, but is not limited to, descriptions of acceptable measures to ensure ongoing compatibility with adjacent uses; including measures to assure that commercial activity will remain as a viable activity on this site;*

As mentioned in this narrative, the project transitions from a 3-story mixed use on the west side to 3-story residential to 2-story residential on the East Property line to be more compatible with the adjacent RS zone.

- 4. Evidence that acceptable documentation is present demonstrating that the building or site proposed for the use is in, or will be brought into, substantial conformance with all current*

City development standards, including, but not limited to, landscaping, parking, screen walls, signage, and design guidelines;

Acceptable documentation to be provided through: Architectural drawings, Site plan review, Design review, and neighborhood meetings.

5. *The overall project conforms to the intent and character of the zoning district and is part of a well integrated mixed-use project.*

The Mixed-Use project would be in conformance to the new zoning, LC-BIZ, which will better match the General Plan.

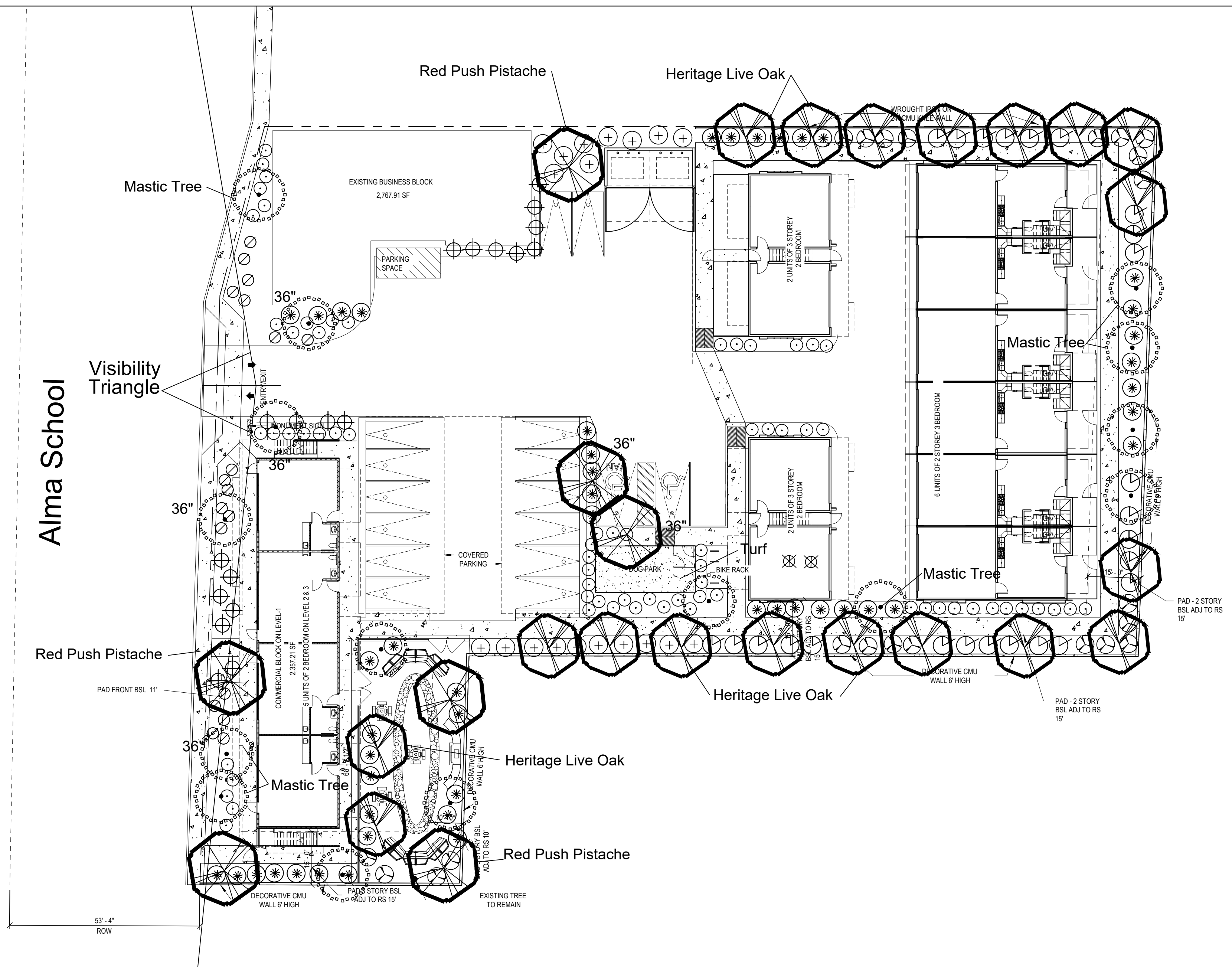


No.	Section	Requirement	Provided
1.	11-6-3.A Front and Street-Facing Side:	6-lane arterial: 15 ft.	11' provided at nearest point
2.	11-6-3.A Interior Side and Rear: Adjacent to RS District:	2-story building: 50' 3-story building: 75'	15' 15'
3.	11-6-3.A Interior Side and Rear: Adjacent to Non-residential District: Each story	15' each story: 30' 45'	9' 6" 12' 6"
4.	11-6-3.A Minimum Separation between Buildings on Same Lot (ft.)	Building height between 20 and 40 ft. = 30'	15' 10" separation between bldgs. 2 and 4 from bldg. 3

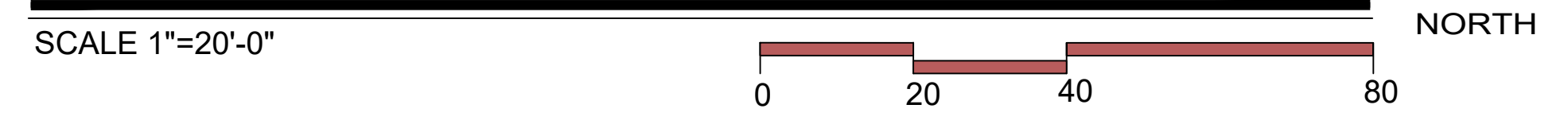
5.	11-31-31.A.1.B.I Commercial Floor Area Requirements.	I. A minimum of 60 percent of the gross floor area (GFA) of all the buildings for the project is reserved for commercial uses; and II. A minimum of 65 percent of the ground floor of each multi-story building is reserved for commercial uses.	See CUP criteria above.
6.	11-32-3.A Required Parking by Use	2.1 spaces per dwelling unit 1 space per 375 square feet = 46 ps	= 38
7.	11-33-4.B.2 Landscape Islands.	Landscape islands shall be a minimum of eight feet wide and 15 feet in length for single-row	1' 2" curb
8.	11-5-5.A Setbacks to existing building	15' Interior Side 25' Front	1' 3" (North) 10' (West)

1. The property line is at an angle while the commercial building runs directly north-south causing a narrow and wide point. At the narrowest measurement of the property line to the overhead balcony (not the building base), there is a separation of 11'. At the widest point, the separation is closer to 20'.
2. Both the 2 story and 3 story buildings provide a setback of 15' from residential properties. The buildings on the South side do not have windows looking into the residential properties to the south, which are closer to the project. The required setback really do limit the possibilities of what can be done on this and other small infill parcels.
3. The provided setbacks here are reduced in order to accommodate this infill project and the 15' setback for the residential parcels, which takes priority.
4. The separation at the nearest point of bldgs 2 and 4 from bldg. 3 is 15' 10". The main portions of the building have a greater separation, to a maximum of 24'.
5. See CUP criteria above. We are seeking more flexibility in the ratio of commercial to residential.

6. A parking study has been conducted, with the conclusion that 37 spaces (per APA standards) would sufficiently serve the site.
7. 1'2" curbs are provided between the main drive aisle and the group of 12 parking spaces. Additionally, these spaces will be covered, so structural columns will add to the separation of areas.
8. Setback of existing building will be as approved by Mesa Board of Adjustment in case BOA22-00764.



LANDSCAPE PLAN

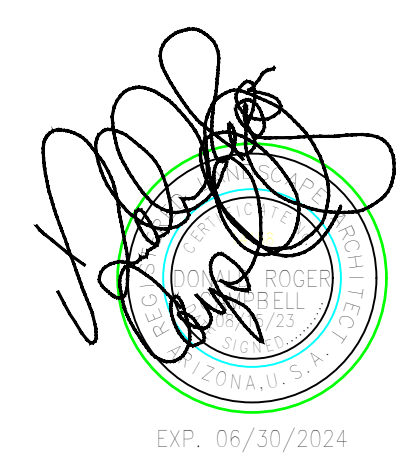


PLANT MATERIAL LEGEND

KEY SYMBOL	BOTANICAL/COMMON NAME	SIZE (Height, Canopy, & Caliper)
TREES		
1	<i>Pistacia a. 'Red Push'</i> Red Push Pistache	24" Box 10' 4" 1.5" Double-Staked Typ.
2	<i>Pistacia lentiscus</i> Mastic Tree	24" Box 9' 4" 1.25" 36" Box 12' 8" 3" Double-Staked Typ.
3	<i>Quercus virginiana</i> Heritage Live Oak	24" Box 9' 4" 1.25" 36" Box 13' 8" 2.75" Double-Staked Typ.
LARGE SHRUBS		
4	<i>Leucophyllum laevigatum</i> Chihuahuan Sage	5 Gallon
5	<i>Olea europaea 'Little Olive'</i> Little Olive	5 Gallon
6	<i>Nerium o. 'Petite Pink'</i> Petite Pink Oleander	5 Gallon
MEDIUM AND SMALL SHRUBS		
7	<i>Rosmarinus officinalis 'Prostratus'</i> Dwarf Rosemary	5 Gallon
8	<i>Callistemon c. 'Little John'</i> Little John Bottle Brush	5 Gallon
9	<i>Muhlenbergia capillaris</i> "Regal Mist" Regal Mist Deer Grass	5 Gallon
GROUNDCOVERS		
10	<i>Lantana m. 'New Gold'</i> New Gold Lantana	1 Gallon
ACCENTS		
11	<i>Tecoma 'Orange Jubilee'</i> Orange Jubilee	5 Gallon
LANDSCAPE MATERIALS		
12	Decomposed Granite Desert Gold	1/2" size screened 2" Deep
13	Concrete Header	4" x 6", Curbstyle 2" Deep
14	Midiron Bermuda	Sod

PLANT CALCULATIONS

STREET RIGHT-OF-WAY LANDSCAPING:		
Linear Feet of Frontage- 212'		
Trees required- 8	Trees provided- 8	
(1 Trees per 25 Linear ft.)		
Shrubs required- 48	Shrubs provided- 55	
(6 Shrubs per 25 Linear ft.)		
ADJACENT PROPERTY LINE LANDSCAPING:		
Linear Feet of Adjacent Property Line- 647'		
Trees required- 26	Trees provided- 26	
(1 Trees per 25 Linear ft.)		
Shrubs required- 104	Shrubs provided- 114	
(4 Shrubs per 25 Linear ft.)		
PARKING LOT LANDSCAPING:		
Total Parking Islands-6		
Trees required- 6	Trees provided- 6	
(1 Tree per 15' Parking Island)		
Shrubs required- 18	Shrubs provided- 18	
(3 Shrubs per 15' Parking Island)		
PLANT SIZE:		
STREET RIGHT-OF-WAY		
24" Box Trees	Required - 2	Provided - 5
(Min. 25% of required trees)		
36" Box Trees	Required - 2	Provided - 3
(Min. 25% of required trees)		
ADJACENT PROPERTY LINE		
24" Box Trees	Required - 13	Provided - 26
(Min. 50% of required trees)		
PARKING LOT		
36" Box	Required - 1	Provided - 1
(Min. 10% of required parking lot trees)		
24" Box	Required - 5	Provided - 5
(All trees other than required 36" box trees)		



**PRELIMINARY
NOT FOR
CONSTRUCTION**

no.	date	description

325 N Alma School

**325 N ALMA SCHOOL
MESA, AZ**

PROJECT NO: 22032
DATE: 03/03/23



atmosphere architects
p.o. box 5267
mesa, az 85211

contact: Tim Boyle
email: tim@atmosarch.com
tel: 917-526-0323

LANDSCAPE PLAN

L101



SITE INFORMATION
 ASSESSOR'S PARCEL NUMBERS 135-54-0130, 135-54-013B,
 135-54-014A, 135-54-018A
 ZONING DIST. OC
 PROJECT ADDRESS 317 N ALMA SCHOOL RD,
 MESA, AZ 85201

PROPOSED SCOPE OF WORK
 CONSTRUCTION OF MIXED-USE, INFILL DEVELOPMENT CALLED MONTORRES.

OWNER
 YESICA MONTOYA
 TEL: 480-233-5577

ENGINEER
 NPS MARICOPA INC
 859 NORTH LAFAYETTE MESA, AZ 85201
 TEL: 480-201-5476
 EMAIL: NPSMARICOPA@GMAIL.COM

ARCHITECT
 ATMOSPHERE ARCHITECTS
 CONTACT: TIM BOYLE
 P.O. BOX 5267
 MESA, AZ 85211
 EMAIL: TIM@ATMOSARCH.COM
 TEL: 917-526-0323

FLOODPLAIN
 THIS SITE LIES ENTIRELY WITHIN ZONE X, AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP - PANEL 04013C2265M, REVISED ON NOVEMBER 4, 2015. ZONE X DENOTES AREAS OF 0.2% ANNUAL CHANCE OF FLOOD; AREAS OF 1% ANNUAL CHANCE OF FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AREAS PROTECTED BY LEVEES FROM 1% ANNUAL FLOOD CHANCE.

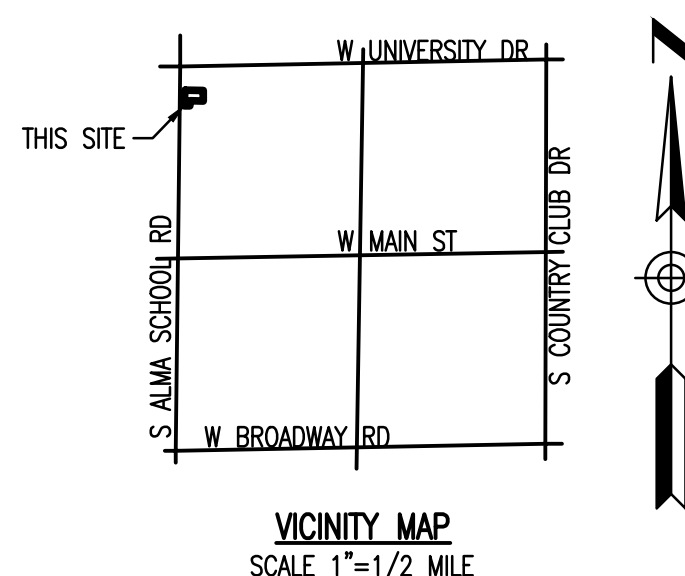
OFFSITE AND ONSITE DRAINAGE
 THIS SITE IS NOT IMPACTED BY OFF-SITE FLOWS. THERE IS LIMITED FLOW ALONG N ALMA STREET WITH A WATERSHED LIMITED TO THE AREA NORTH OF THE SITE TO THE UNIVERSITY DRIVE SOUTH CURB RETURN. STORM DRAIN SYSTEM WITH CURB INLETS IS PRESENT ALONG N ALMA STREET AND STREET FLOW WILL NOT IMPACT THE PARCEL.

RETENTION SYSTEM SUMMARY
 THIS SITE WILL RETAIN THE 100-YR, 2-HR STORM:
 VOLUME REQUIRED = $(P/12) \times A \times C$
 $C = \text{RUNOFF COEFFICIENT}$
 $P = 2.16 \text{ INCHES (NDMA)}$
 $A_{\text{TOP}} = 43,106 \text{ SQ FT}$
 $C = 0.85 \text{ (WEIGHTED RUNOFF COEFFICIENT)}$
 $V_{\text{REQ}} = (2.16/12) \times 43,106 \times 0.85 = 6,595 \text{ CF}$
 VOLUME PROVIDED:
 UNDERGROUND TANK VOLUME
 $L = 132'$
 $D = 96"$
 $V = 6,635 \text{ CF} > V_{\text{REQ}}$

LANDSCAPE AREAS WILL BE GRADED TO PROVIDE ADDITIONAL RETENTION VOLUME HIGHER THAN REQUIRED. THE FINAL UNDERGROUND RETENTION VOLUME WILL VARY BASED ON SITE PLAN AND SURVEY.

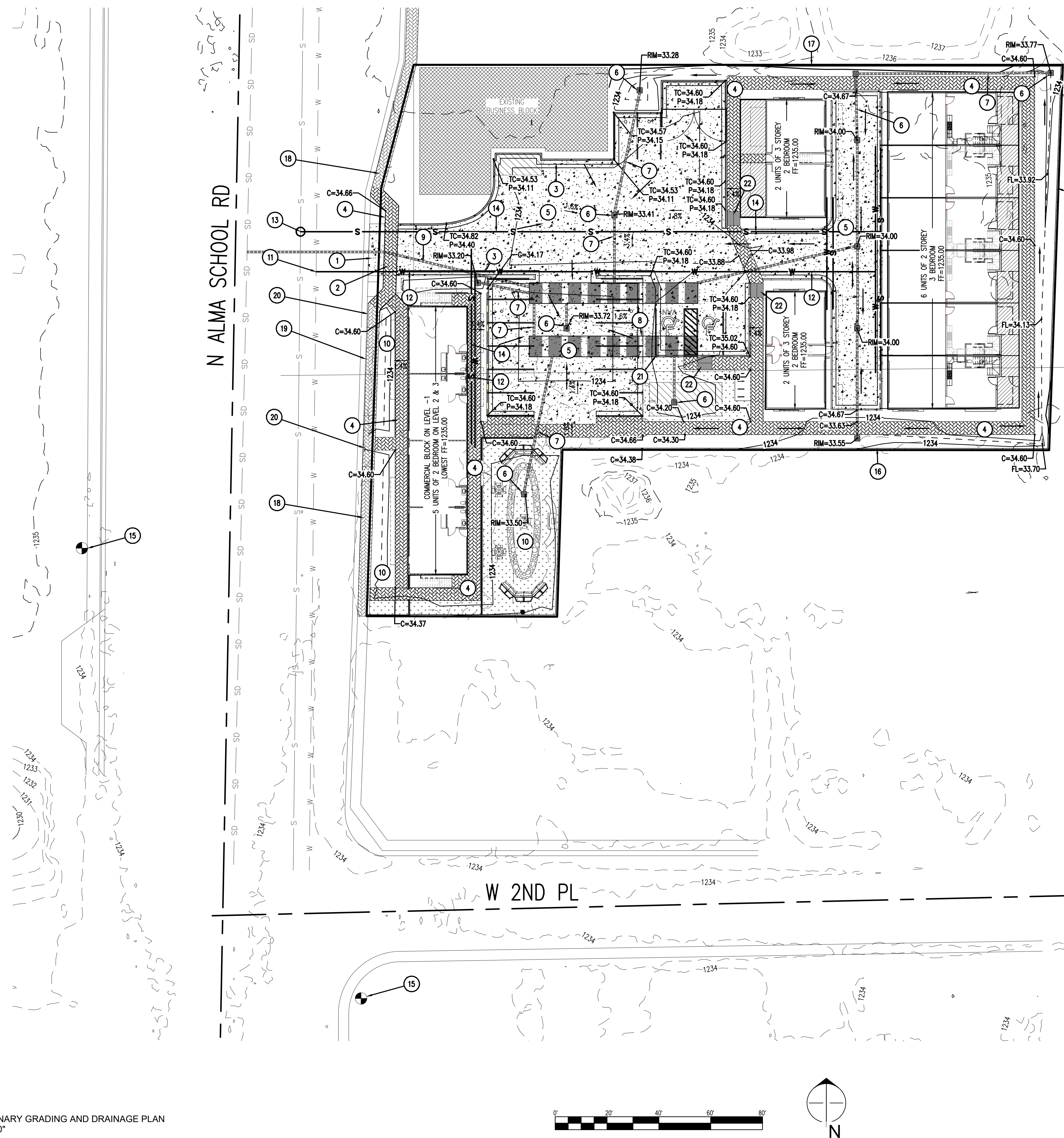
SYMBOLS LEGEND

- PROPERTY LINE
- ROAD CENTERLINE
- W PROPOSED WATER LINE
- S PROPOSED SEWER LINE
- S EXISTING SEWER LINE
- W EXISTING WATER LINE
- PROPOSED DEVELOPMENT
- EXISTING ITEM/STRUCTURE
- DRAINAGE DIRECTION



- CONSTRUCTION NOTES
- ① EXISTING DRIVEWAY TO BE MODIFIED
- ② PROPOSED SIDEWALK
- ③ PROPOSED 5" CURB AND GUTTER
- ④ PROPOSED PRIVATE SIDEWALK
- ⑤ PROPOSED PAVEMENT
- ⑥ PROPOSED DRAINAGE INLET
- ⑦ PROPOSED DRAINAGE PIPE
- ⑧ PROPOSED 8 FT DIAMETER UNDERGROUND RETENTION TANK. TOTAL TANK LENGTH = 132 FEET. VOLUME PROVIDED=6,635 CF
- ⑨ PROPOSED RETENTION BLEED-OFF PIPE. RETENTION BLEED-OFF PUMP STATION TO BE INCLUDED IF OUTFALL ELEVATION IS NOT LOW ENOUGH FOR GRAVITY DRAIN. TO BE DETERMINED AT FINAL DESIGN.
- ⑩ SELF RETAINING AREA
- ⑪ CONNECT PROPOSED WATER LINE TO EXISTING STREET WATER
- ⑫ PROPOSED WATER LINE
- ⑬ INSTALL MANHOLE AND CONNECT PROPOSED SEWER LINE TO EXISTING STREET SEWER
- ⑭ PROPOSED SEWER LINE
- ⑮ EXISTING FIRE HYDRANT
- ⑯ DECORATIVE CMU WALL, 6 FEET HIGH
- ⑰ WROUGHT IRON ON 24" CMU KNEE WALL
- ⑱ EXISTING SIDEWALK
- ⑲ EXISTING DRAINAGE INLET. NORTH EDGE OF INLET ABOUT 25 FEET AWAY FROM THE SOUTH EDGE OF NEW DRIVEWAY.
- ⑳ EXISTING DRIVEWAY TO BE DEMOLISHED AND REPLACED WITH SIDEWALK, CURB, AND GUTTER TO MATCH ADJACENT
- ㉑ DRAINAGE OPENING
- ㉒ ADA RAMP

PRELIMINARY GRADING AND DRAINAGE PLAN
 1" = 20'-0"



**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

no.	date	description

317 N Alma School

**317 N ALMA SCHOOL
 MESA, AZ**

PROJECT NO: 22032
 DATE: 10/19/23



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 p.o. box 5267
 mesa, az 85211

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 email: tim@atmosarch.com
 tel: 917-526-0323

**PRELIMINARY GD
 C1**

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④ ELEVATION EAST
1/8" = 1'-0"



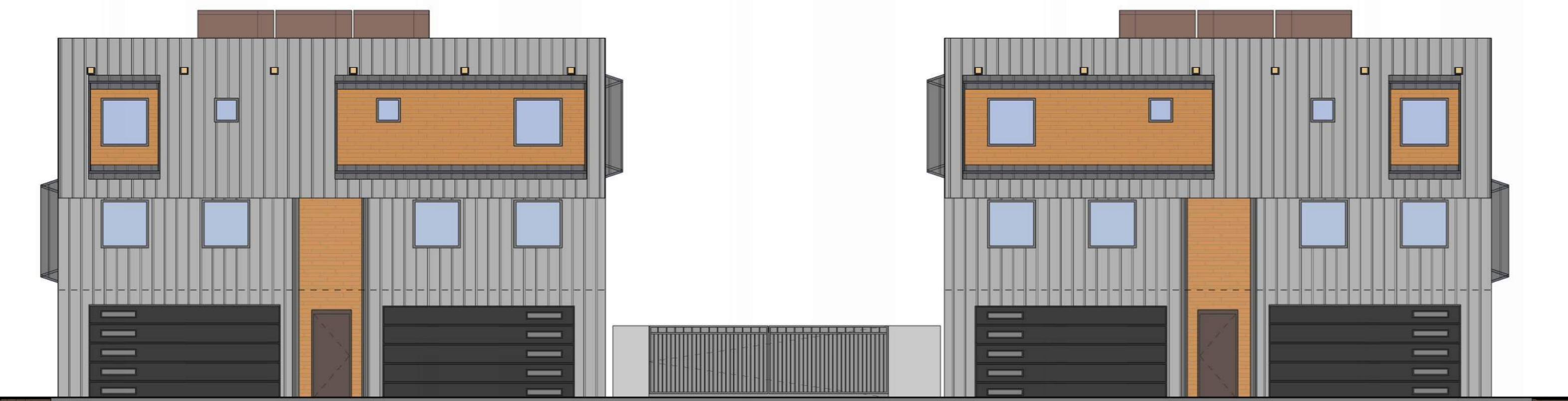
⑧ ELEVATION_END UNITS
1/8" = 1'-0"



① ELEVATION WEST
1/8" = 1'-0"



② ELEVATION EAST_2 STORY RES.
1/8" = 1'-0"



③ ELEVATION WEST_3 STORY RES.
1/8" = 1'-0"

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317 N Alma School

317 N ALMA SCHOOL
MESA, AZ

PROJECT NO: 22032
DATE: 06/09/22

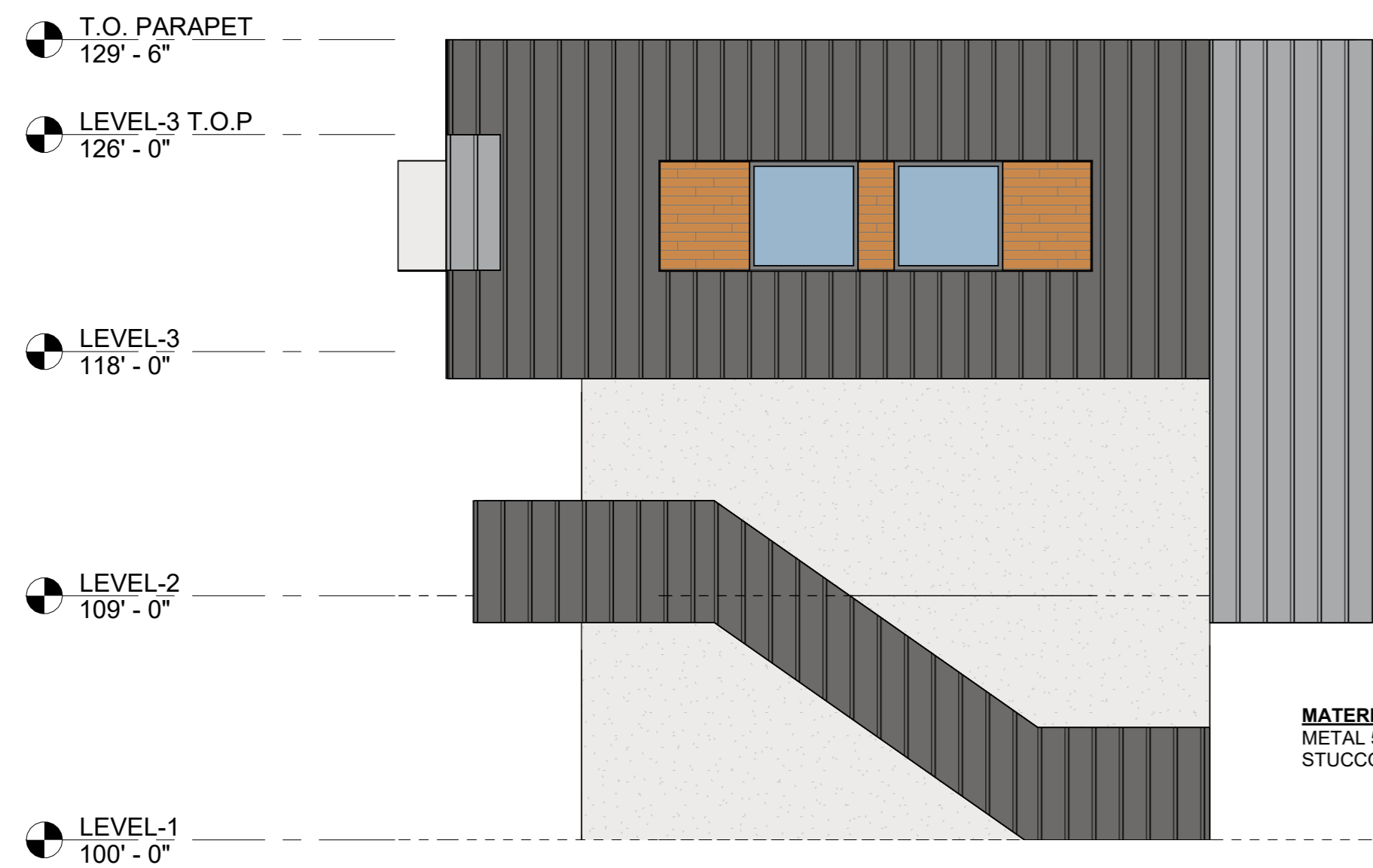


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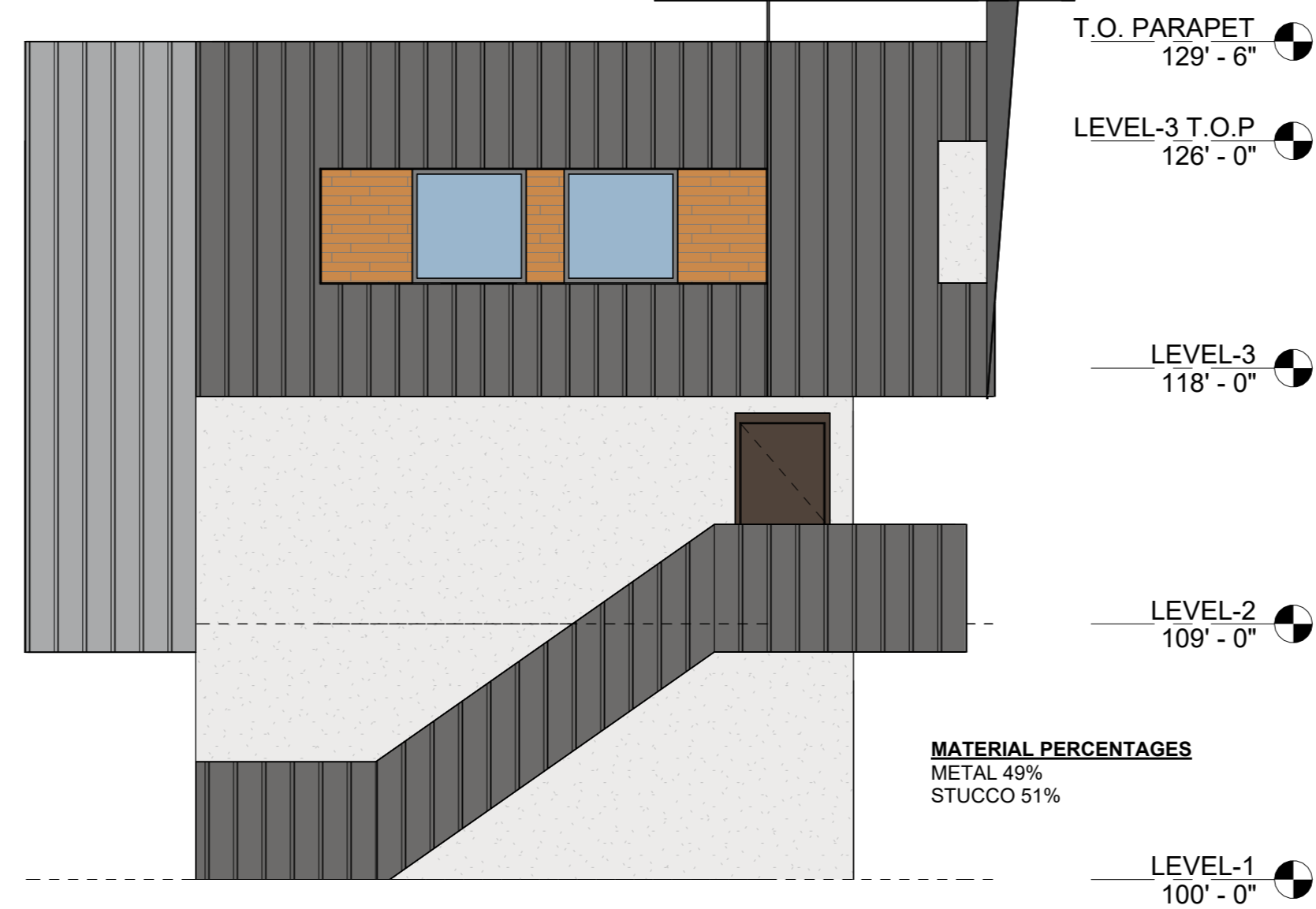
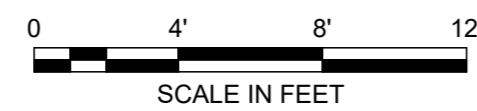
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**ELEVATIONS
A020**

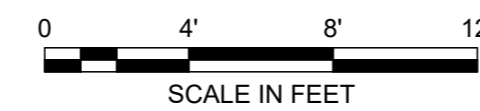
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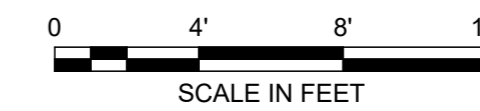
① SOUTH ELEVATION
3/16" = 1'-0"



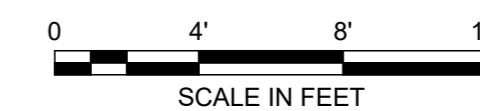
④ NORTH ELEVATION
3/16" = 1'-0"



③ WEST ELEVATION
3/16" = 1'-0"



② EAST ELEVATION
3/16" = 1'-0"



MATERIAL PERCENTAGES
METAL 56%
STUCCO 44%

MATERIAL PERCENTAGES
METAL 49%
STUCCO 51%

MATERIAL PERCENTAGES
METAL 47%
WOOD 07%
STUCCO 35%
STOREFRONT 11%

MATERIAL PERCENTAGES
METAL 55%
WOOD 35%
STOREFRONT 10%

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325 N Alma School

325 N ALMA SCHOOL
MESA, AZ

PROJECT NO: 22032

DATE: 01/16/2023



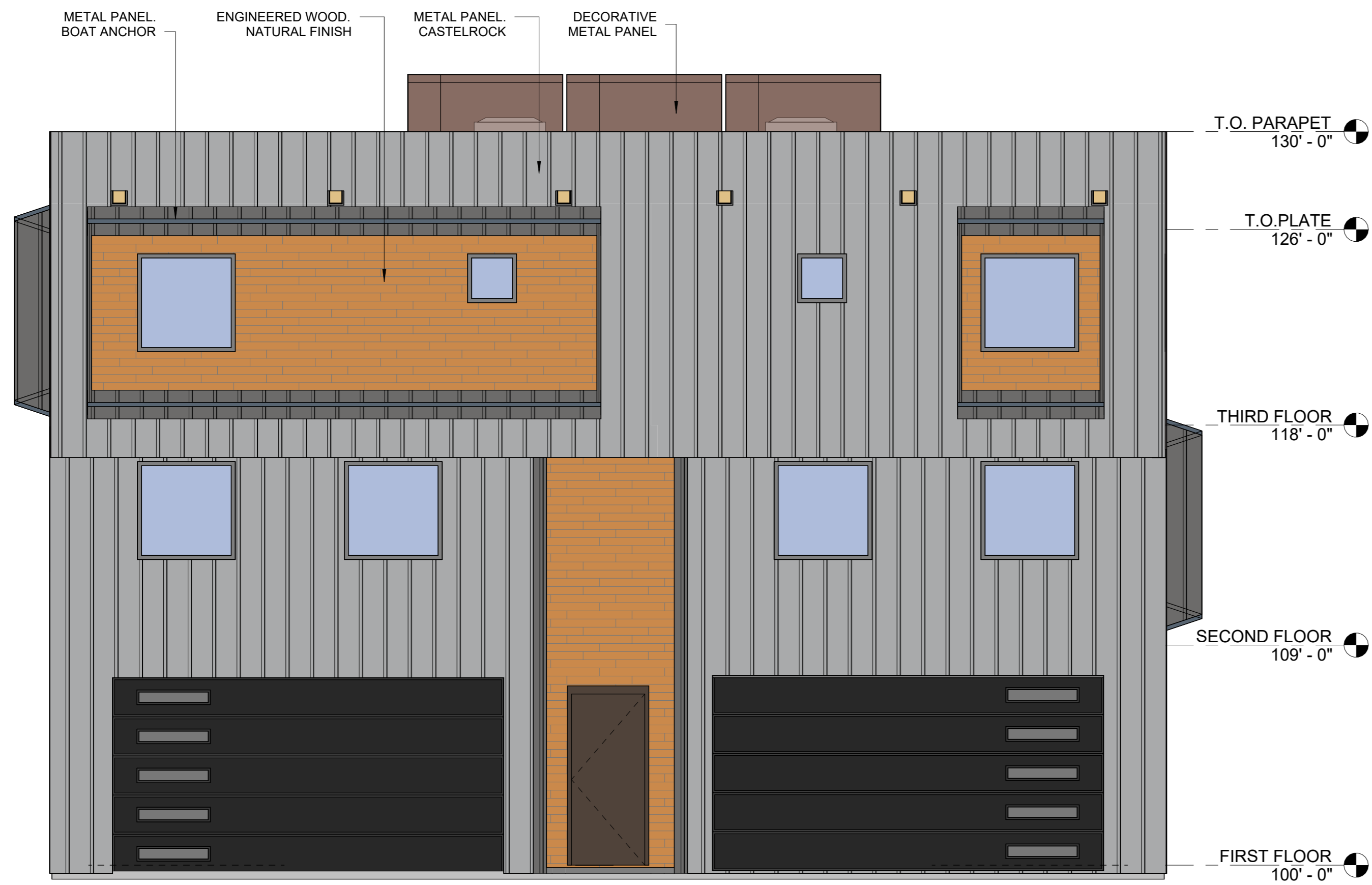
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**BUILDING
ELEVATIONS**

A113

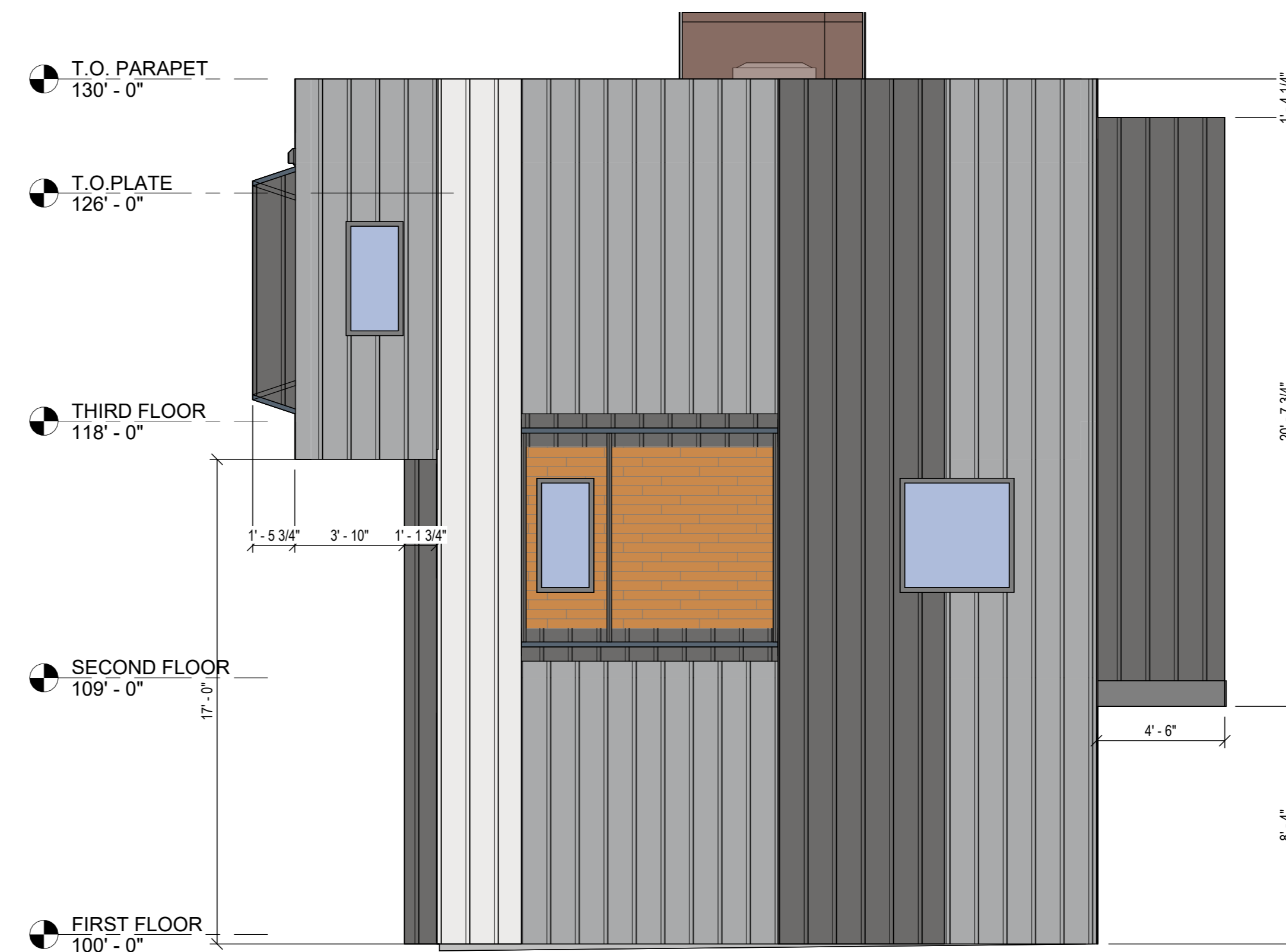
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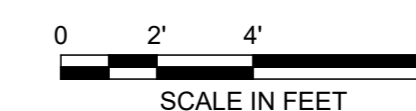
③ NORTH ELEVATION
1/4" = 1'-0"



② SOUTH ELEVATION
1/4" = 1'-0"



① WEST ELEVATION
1/4" = 1'-0"



**PRELIMINARY
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MATERIAL PERCENTAGES
SIDING 49%

no.	date	description

TOWNHOME

325 N ALMA SCHOOL
MESA, AZ

PROJECT NO: 22032
DATE: 10/31/22



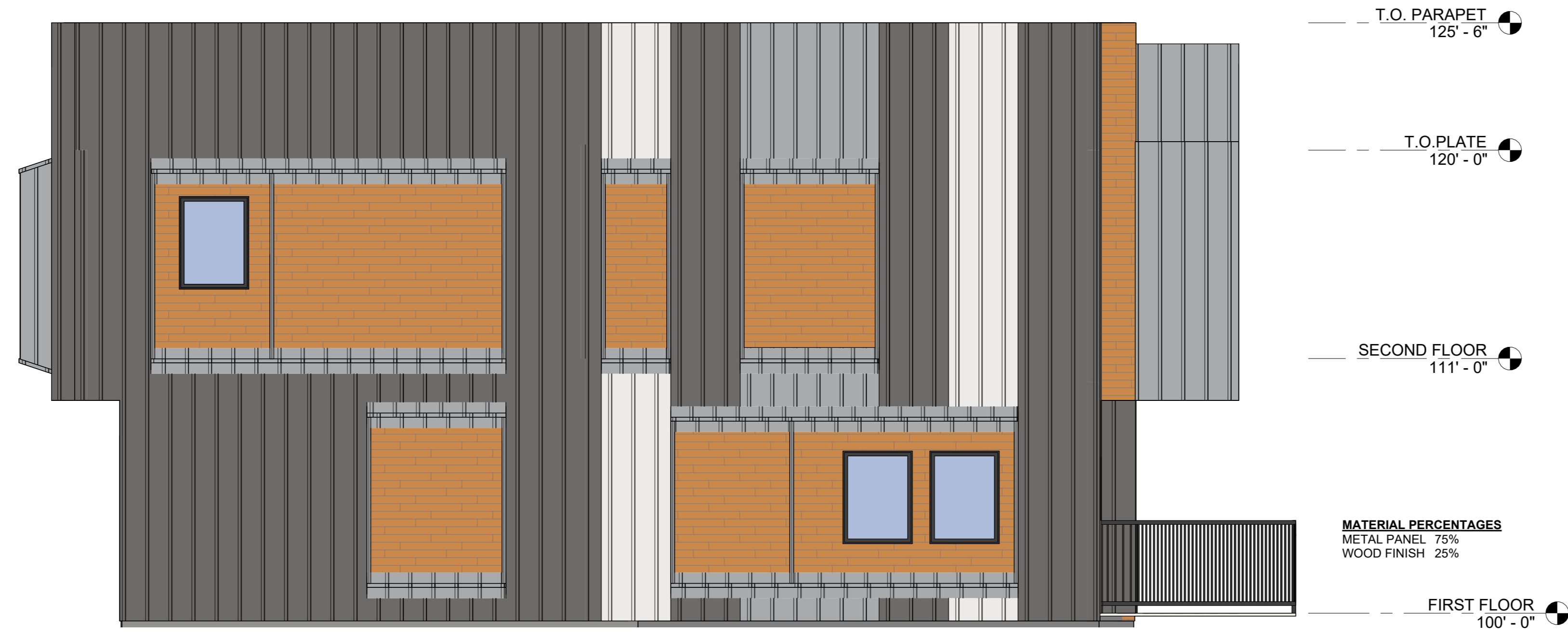
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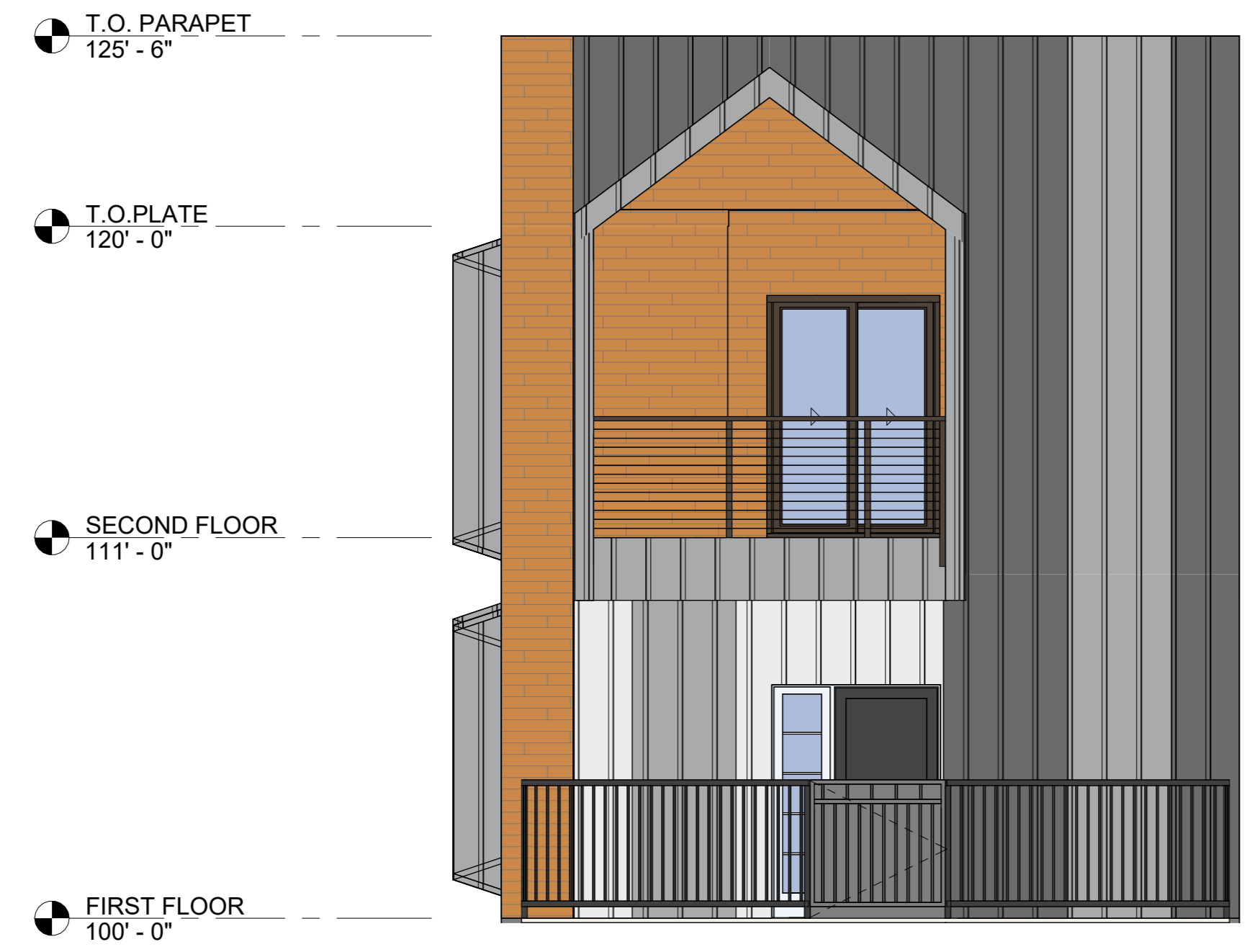
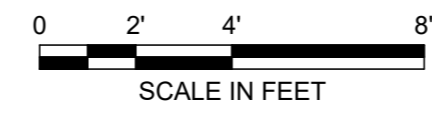
MATERIAL PERCENTAGES
SIDING 65%

**2+2 BEDROOM UNIT
BUILDING
ELEVATIONS**

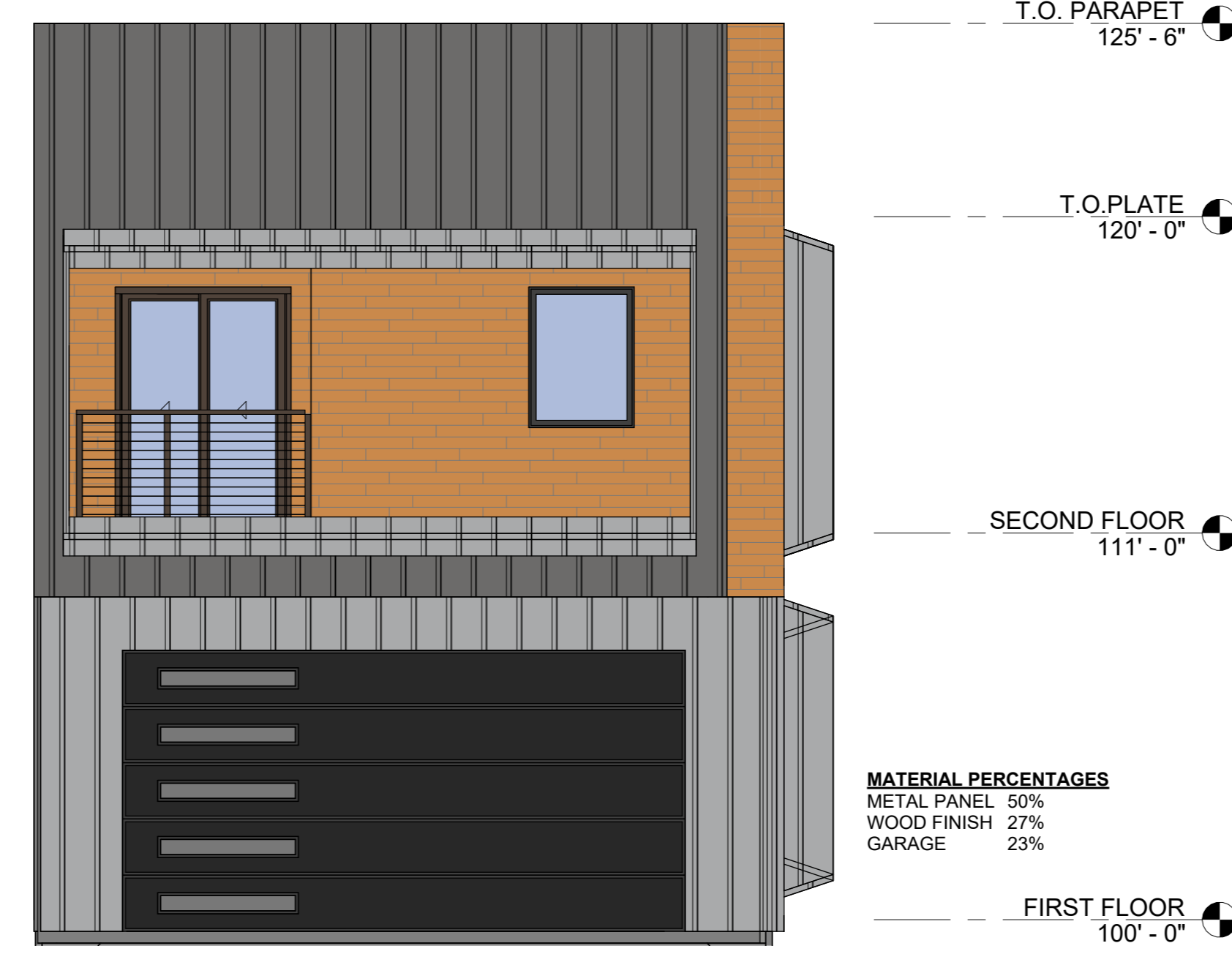
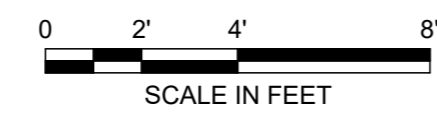
A123



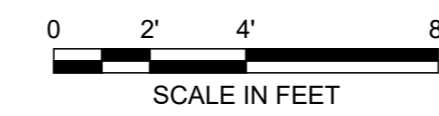
③ END
1/4" = 1'-0"



① ENTRY
1/4" = 1'-0"



② GARAGE
1/4" = 1'-0"



**PRELIMINARY
NOT FOR
CONSTRUCTION**

no.	date	description

TOWNHOME

325 N ALMA SCHOOL
MESA, AZ

PROJECT NO: 22032
DATE: 10/31/22



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mesa, az 85211

contact: Tim Boyle
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tel: 917-526-0323

**2 STOREY 3
BEDROOM UNIT
ELEVATIONS**

A133

OPERATION PLAN OUTLINE

Applicability: Per Section 11-31-31(F)(2) of the MZO requires, a finding that a plan of operation has been submitted, which includes, but is not limited to, acceptable evidence of compliance with all zoning, building, and fire safety regulations; and

1. Background of project site

The project is located on an assemblage of parcels. The client currently owns and operates their business from one of those parcels. Of the four parcels, three are vacant.

2. Description of proposed project

The project consists of a mixed-use building with four commercial suites on the ground floor and residences above as well as residential only buildings towards the back of the property. The commercial and residential suites will be for rent and will be managed by the client/owner.

3. Outline the ways the proposed project is being brought into compliance with all zoning building and fire safety regulations.

The project is applying for a rezone from OC to LC-BIZ. This zoning designation will help it conform with the zoning of the adjacent parcel to the north, which is also LC. For the project to fit on the site and accommodate Solid Waste requirements, a number of deviations from the base zoning were needed. The design has received a lot of feedback from city staff throughout the permitting process to ensure that it is compliant with zoning, building, and fire regulations.

Citizen Participation Plan

Montorres

21 February 2024

Purpose:

The purpose of this Citizen Participation Plan is to provide the City of Mesa staff with information regarding the efforts to be made, and the efforts already made, by the Applicant to inform citizens and property owners in the vicinity concerning the Applicant's requests to the City of Mesa for Rezoning, Site Plan Review, and Design Review. These requests are being made for the proposed development located on a .99-acre property at 317 N. Alma School Rd. This property is further identified as parcel numbers 135-54-013D, 135-54-013B, 135-54-014A, and 135-54-018A on the Maricopa County Assessor's Map. The proposed project is *Montorres*, a high-quality Mixed-Use development with enhanced design features and amenities.

By providing opportunities for citizen participation, the Applicant will ensure, that those affected by this application have had an adequate opportunity to learn about and comment on the proposed plan. The Applicant will provide neighborhood notice for future public hearings and any other meetings requested by citizens.

Contact Information:

Those coordinating the Citizen Participation activities are listed as follows:

Tim Boyle

AtmosphereArchitects

(602) 888-4671

tim@atmosarch.com

Action Plan:

To provide effective citizen participation in conjunction with this application, the following actions will be taken, and will continue to be taken, to provide opportunities to understand and address any real or perceived impacts that members of the community may have relating to the proposed development:

1. A contact list will be provided by the City of Mesa for citizens and agencies in this area including:

- a. Interested neighbors – focused on 1000+ feet from parent parcel, but may include more;
 - b. Registered neighborhood associations and Homeowners Associations within 1 mile of the project.
2. The notification list for the neighborhood meeting includes the above-referenced contact list of all property owners within 1000+ ft. of the subject property. A copy of the notification letter and contact list is attached.
 3. A sign-in sheet will be collected at the neighborhood meeting in an effort to notify those in attendance of any upcoming meetings, including the public meetings. Presentations will be made to groups of citizens upon request.
 4. For public hearing notice, applicant will post a minimum of one (1) 4' x 4' sign(s) on the property. If additional signs are needed, the number of signs will be coordinated with Planning Staff. The sign(s) will be placed on the property on or before the Wednesday two weeks prior to the Planning & Zoning Board meeting in accordance with City requirements. A notarized document with attached photograph of the sign(s) will be submitted to the Planning Staff to be kept in the case file.

Schedule:

Pre-Application Submittal	07 November, 2022
Formal Submittal to City	08 May 2023
Neighborhood Meetings	13 December 2022
Follow-Up Submittals	09 August 2023 11 October 2023
Planning & Zoning Public Hearing	13 March 2024
Design Review Board	12 December 2023

Citizen Participation Report

Montorres

21 February 2024

Purpose:

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317 N Alma School, Mesa Development Community Meeting

The 15 dwelling units and new commercial space of 325 N Alma School are a luxury 2020's modern style mixed-use infill project. A new and modern streetfront introduces a dynamic feel to the area. Five townhouse units sit atop this commercial space. Behind those are a small park and playplace for residents, then a row of four 3 story townhouses with 3 car garages and large private yards. As the development gets further east, and sits among the backyards of residential properties, the height of the units drops to two stories, 3 bedroom units with two car garages and large private yards.

The luxury townhomes feature balconies and large windows to bring in light. The minimalist design of this infill project continues an upscale standard for future streetfront development throughout Mesa.



This lot has been long overlooked for redevelopment. Careful architectural consideration was made to create a vibrant townhouse community that feathers from the bustle of Alma School to the quiet yards behind it.. Extensive shade trees and landscaping have been designed along the perimeter of the project to enhance its beauty and minimize views into neighboring lots.

As a home or property owner within 1000' of this project, or a Neighborhood Association or HOA within a mile, you are invited to participate in an online ZOOM community meeting:

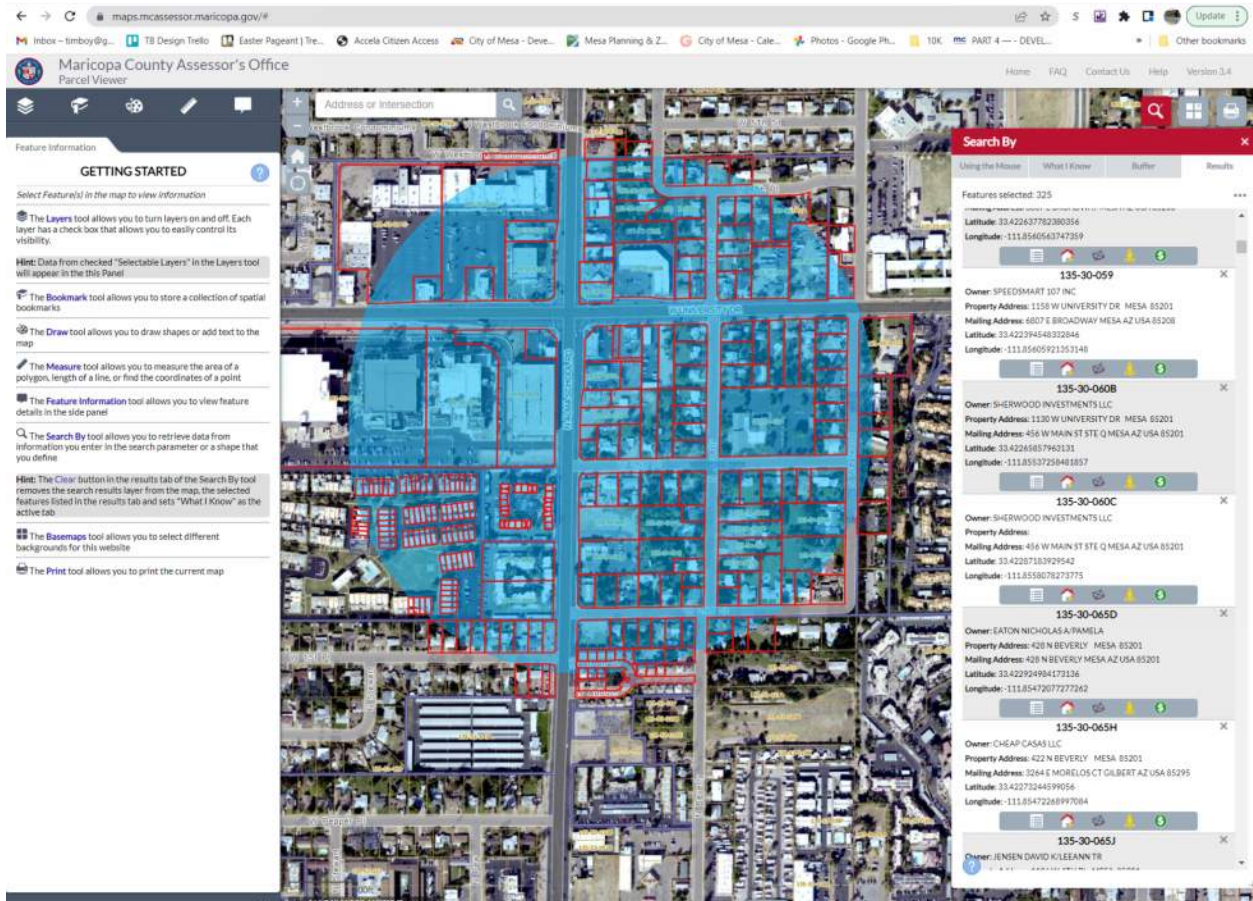
Time: Dec 13, 2022 07:00 PM Arizona

<https://asu.zoom.us/j/81429736029>

Password: 325

For assistance or a clickable copy of the link, please email tim@atmosarch.com prior to the meeting.

Community Meeting Letter
25 Nov 2022



Maricopa County Assessor's Office
 Parcel Viewer

GETTING STARTED

Select Feature(s) in the map to view information

- The Layers tool allows you to turn layers on and off. Each layer has a check box that allows you to easily control its visibility.
- Hint: Data from checked "Selectable Layers" in the Layers tool will appear in this Panel
- The Bookmark tool allows you to store a collection of spatial bookmarks.
- The Draw tool allows you to draw shapes or add text to the map.
- The Measure tool allows you to measure the area of a polygon, length of a line, or find the coordinates of a point.
- The Feature Information tool allows you to view feature details in the side panel.
- The Search By tool allows you to retrieve data from information you enter in the search parameter or a shape that you define.
- Hint: The Clear button in the results tab of the Search By tool removes the search results layer from the map, the selected features listed in the results tab and sets "What I Know" as the active tab.
- The Basemaps tool allows you to select different backgrounds for this website.
- The Print tool allows you to print the current map.

Search By

Features selected: 325

Latitude: 33.422637782380356
 Longitude: -111.85460563747359

135-30-059

Owner: SPEEDSMART 107 INC
 Property Address: 1158 W UNIVERSITY DR MESA 85201
 Mailing Address: 6807 E BROADWAY MESA AZ USA 85208
 Latitude: 33.422394548322846
 Longitude: -111.85460921553148

135-30-060B

Owner: SHERWOOD INVESTMENTS LLC
 Property Address: 1120 W UNIVERSITY DR MESA 85201
 Mailing Address: 456 W MAIN ST STE Q MESA AZ USA 85201
 Latitude: 33.4224857960131
 Longitude: -111.8537259481857

135-30-060C

Owner: SHERWOOD INVESTMENTS LLC
 Property Address:
 Mailing Address: 456 W MAIN ST STE Q MESA AZ USA 85201
 Latitude: 33.42287183929542
 Longitude: -111.8558078273775

135-30-065D

Owner: EATON NICHOLAS A PAMELA
 Property Address: 428 N BEVERLY MESA 85201
 Mailing Address: 428 N BEVERLY MESA AZ USA 85201
 Latitude: 33.422924984173136
 Longitude: -111.85472072727262

135-30-065H

Owner: CHCAP CASAS LLC
 Property Address: 422 N BEVERLY MESA 85201
 Mailing Address: 3264 E MORELOS CT GILBERT AZ USA 85295
 Latitude: 33.42273244599056
 Longitude: -111.85472268997084

135-30-065J

Owner: JENSEN DAVID KYLEANN TR

Montorres Meeting Summaries

Organized by: Tim Boyle

13 December 2022

Neighbors in Attendance: 5

5 members of the community attended the meeting. They asked questions about the nature of the mixed use project, the height of the buildings, the density, the type of multi-family project and units proposed, and the landscape design. Attendee Dave Richins was the most in favor of the development. He felt it was a good mixed-use project in a good location for it, near but not on the light rail.

Attendee Brian Sandstrom was the most opposed to it. As a developer himself, he did not feel that it had the amenity spaces that a similar development he did that was required to have by a member of Mesa's Planning Staff. The architect had a long conversation with him after the public meeting, but he still feels that way. This project has fewer units his development has.

After the meeting, an onsite meeting was held some time after the meeting between Lori King and John Murrieta to discuss the views from the units into their residential properties directly to the south. It was explained how there are no windows planned on the N or S sides of the units so there are no direct views, and that there were several landscape trees to further obscure direct views. They felt this was adequate at the meeting, and further were glad the vacant lot would be used for something as there are sometimes vagrants on the lot and in the irrigation ditch.

DYNAMIC INVESTMENTS LLC
443 N ALMA SCHOOL RD
MESA, AZ 85201

MILLER STEVEN F/EVA L
444 N BEVERLY
MESA, AZ 85201

DAVID AND CAROL HARTWIG FAMILY
TRUST
10781 E MUSTANG DR
GOODYEAR, AZ 85338

HARPER DAWN P TR
1059 W 4TH PL
MESA, AZ 85201

ROLLAND JOSEPH SHILL AND
MARCIA G SHILL TRUST
2445 N MESA DR
MESA, AZ 85201

AMDAVE LLC
225 N STANDAGE 114
MESA, AZ 85201

FLORES BRYANT
225 N STRANDAGE UNIT 106
MESA, AZ 85201

PATTERSON JONATHAN L
611 FEDERAL ST STE 4
MILTON, DE 19968

WALSTON SALLY P
225 N STANDAGE 100
MESA, AZ 85201

LACY COLLIN/HILLARY ANNE
225 N STANDAGE UNIT 78
MESA, AZ 85201

GRAHAM JOHN A/SAMANTHA J
2727 W ORO AVE
MESA, AZ 85202

STANSELL SHANE M/NICOLE E
225 N STANDAGE PL UNIT 61
MESA, AZ 85201

WADE JEANNIE
225 N STANDAGE UNIT 60
MESA, AZ 85201

VONRIESEN MICHAEL J/SHERRY K
225 N STANDAGE UNIT 19
MESA, AZ 85201

ELDORADO PROPERTIES WEST INC
FOUNTAIN HILLS, AZ 85268

LEWIS SHARON K
1216 W FIRST PL
MESA, AZ 85201

DE ALDACO GLORIA NIEVES
2223 E EMELITA AVE
MESA, AZ 85204

VASQUEZ SHAWN
1130 W AUBURN ST
MESA, AZ 85201

BEVERLY POINTE HOMEOWNERS
ASSOCIATION
PO BOX 20402
MESA, AZ 85277

JACK IN THE BOX PROPERTIES LLC
9357 SPECTRUM CENTER BLVD
SAN DIEGO, CA 92123

344 BEVERLY LLC
529 N 600 W
ST GEORGE, UT 84770

MORENO YESICA MARCELA
MONTOYA/GALLEGO ANNY JOHANA
TORRES
744 W 2ND AVE
MESA, AZ 85210

S AND G STRATEGIC MANAGEMENT
LLC
1959 S POWER RD STE 103 PMB 432
MESA, AZ 85206

BALDERAS JESUS JR/RODRIGUEZ
CANDICE
356 N WESTWOOD
MESA, AZ 85201

HALL ELYSE N/JEFFREY
326 N WESTWOOD
MESA, AZ 85201

BRADSHAW DARRYL/MARGARET
1042 W 2ND ST
MESA, AZ 85201

PRESTWICH GREGORY D/LETHA R
240 N BEVERLY
MESA, AZ 85201

LJW231 LLC
231 N ALMA SCHOOL RD
MESA, AZ 85201

TWO TO WOO TRUST
355 N BEVERLY
MESA, AZ 85201

RICHARDSON JORTH A TR
705 N STEWART
MESA, AZ 85201

ORPHIC HOMES LLC
11824 N CHERRY HILLS DR E
SUN CITY, AZ 85351

SCOTFORD LISA
1041 W 2ND PL
MESA, AZ 85201

SANCHEZ VICTOR M/ANN
1035 W 2ND PL
MESA, AZ 85201

REYNOLDS MADISON B/LEENA S
239 N BEVERLY
MESA, AZ 85201

WEBB ADELBERT MARVIN/RUTH
IONE TR
223 N BEVERLY
MESA, AZ 85201

SHEILA COLLEEN BYRON
REVOCABLE TRUST
1507 W 6TH ST
TEMPE, AZ 85281

BYRON SHEILA COLLEEN TR
1507 W 6TH ST
TEMPE, AZ 85281

SUNSHINE LAUNDRIES LLC
PO BOX 1941
CEDAR RAPIDS, IA 52406

SHERWOOD INVESTMENTS LLC
456 W MAIN ST STE Q
MESA, AZ 85201

ELLERTSON ZAN KIA/MARIANNE
1029 W 10TH PL
MESA, AZ 85201

AMBADI SATHEESH/NISHA
602 N MONDEL DR
GILBERT, AZ 85233

CAMPBELL BONNIE G/JOSEPH P
1026 W 2ND ST
MESA, AZ 85201

JJ RE ENTERPRISES LLC
1106 W UNIVERSITY DR
MESA, AZ 85201

LOPRESTI HARRY
419 N BEVERLY
MESA, AZ 85201

JOHNSON HEATHER M
225 N STANDAGE UNIT 109
MESA, AZ 85201-6277

A T & T RESOURCE MANAGEMENT
CORP
PO BOX 25
MURRAY HILL, NJ 07974-0025

MONETTE VERNDA JO EDWARDS
225 N STANDAGE UNIT 96
MESA, AZ 85201

RIBEIRO
ROBERTO/JOANNA/STEPHANIE
631 S COLONIAL CT
GILBERT, AZ 85296

ALVAREZ LORI/MARCIA
225 N STANDAGE UNIT 83
MESA, AZ 85201

PARKER MARIA DE LOURDES
225 N STANDAGE UNIT 80
MESA, AZ 85201

TORRES JOSE
MONTANEZ/BAUTISTA EMILIA
225 N STANDAGE PL 72
SCOTTSDALE, AZ 85201

TURNER ZACHARY/KENDRA
225 N STANDAGE UNIT 59
MESA, AZ 85201

ANGLIN MATTHEW BRADEN
225 N STANDAGE UNIT 58
MESA, AZ 85201

UNIVERSITY VENTURES LLC
PO BOX 30333
MESA, AZ 85275

SILL ENTERPRISES LLC
530 W MYRNA LN
CHANDLER, AZ 85225

ROACH THOMAS
225 N STANDAGE UNIT 48
MESA, AZ 85201

TORREZ ECTOR
HERNANDEZ/MORENO HELIODORA
ALIA
7258 E PAPAGO DR
SCOTTSDALE, AZ 85257

DONZELLA ERIC/ROSA/ARTURO
1153 W ARGON ST
MESA, AZ 85201

LONGORIA RITA MARIE
1154 W ARGON ST
MESA, AZ 85201

HOLT TIMOTHY M/REBECCA C
1120 W AUBURN ST
MESA, AZ 85201

SANDSTROM JENNIFER LEE
345 N BEVERLY
MESA, AZ 85201

KEMPTON MCKAY C/SHAYLA M
342 N WESTWOOD
MESA, AZ 85201

WOOD OWEN S/TERRIE B
234 N BEVERLY
MESA, AZ 85201

LOMA GROUP LLC
PO BOX 4006
MESA, AZ 85211

FLOREZ FAMILY TRUST
333 N WESTWOOD
MESA, AZ 85201

BOYLE CAROL
SHELLEY/TIMOTHY/IRIS
450 N. EMERSON
MESA, AZ 85201

SPEEDSMART 107 INC
6807 E BROADWAY
MESA, AZ 85208

UNIVERSITY OFFICE PARK LLC
757 EMORY ST 105
IMPERIAL BEACH, CA 91932

OBRADOVIC JOVAN/VERA
4154 E HUBER CIR
MESA, AZ 85205

FAE HOLDINGS 469596R LLC/BURBS
LLC/FORESTDALE INVESTMENTS
LLC
9201 N 64TH PL
PARADISE VALLEY, AZ 85253

AMERICAN DRUGSTORES INC
LEASE
2120 PARK PLACE 2ND FLR
EL SEGUNDO, CA 90245

GOSS SHIRLY P
225 N STANDAGE 112
MESA, AZ 85201

HAUSER PATI E
225 N STANDAGE 108
MESA, AZ 85201

MINARDI ENRICO/COLARD
MARIANNE NADIEGDA
225 N STANDAGE 1010
MESA, AZ 85201

75 MADRID PLAZA LLC
PO BOX 51682
PHOENIX, AZ 85076

PRESCOTT LEEANN
255 N STANDAGE DR UNIT 66
MESA, AZ 85201

LAUGHLIN PARDO TRUST
1222 W ROSEWOOD CT
CHANDLER, AZ 85224

INTENSE PROPERTIES LLC
PO BOX 699
HIGLEY, AZ 85236

PATRICK BRYANNA N/BLANCO
AARON
145 N BEVERLY ST
MESA, AZ 85201-6310

GARCIA WANDA L/PEDRO R
140 N BEVERLY LN
MESA, AZ 85201

A-SQUARED SYSTEMS LLC
21723 N 38TH PL
PHOENIX, AZ 85050

MURRIETTA JOHN ROBERT
1134 W 2ND PL
MESA, AZ 85201

S & E TAKE IT OR LEAVE IT HARRIS
TRUST
337 N BEVERLY
MESA, AZ 85201

MELTON JUDITH A
1123 W 2ND PL
MESA, AZ 85201

FLOREZ FAMILY TRUST
250 N BEVERLY
MESA, AZ 85201

BLUE BUTTERFLY LIVING TRUST
204 N BEVERLY RD
MESA, AZ 85201

ALRED KATIE/VILLARREAL EMANUEL
1124 W 2ND ST
MESA, AZ 85201

STEPHENSEN
BRETT/SANCHEZ-STEPHENSEN
BRITTANY A
1025 W 2ND PL
MESA, AZ 85201

SLOAN RALPH M/DORIS V TR
217 N BEVERLY
MESA, AZ 85201

SANDSTROM BRIAN B/JENNIFER L
355 N BEVERLY
MESA, AZ 85201

PAUL ADAMS PALMS LLC
904 BRACERO RD
ENCINITAS, CA 92024

BODINE ERIN BETH/CAMACHO
ABRAHAM
309 N WESTWOOD
MESA, AZ 85201

KATDAN PROPERTIES L L C
MESA, AZ 85201

BROWN KELLY L/DYLIDIA
4490 SW MULLER DR L202
BEAVERTON, OR 97007

EATON NICHOLAS A/PAMELA
428 N BEVERLY
MESA, AZ 85201

AIW FAMILY TRUST
504 N EMERSON ST
MESA, AZ 85201

GILBERT MONTESSORI SCHOOL
LLC
602 N MONDEL DR
GILBERT, AZ 85233

CHAVEZ EFRAIN
HERNANDEZ/HERNANDEZ OLIVIA
967 E 9TH DR
MESA, AZ 85204

WESTWOOD ASPIRATIONS LLC
26750 WESTVALE RD
PALOS VERDES PENINSULA, CA
90274

STRR INVESTMENTS LLC
17154 BUTTE CREEK RD STE 200
HOUSTON, TX 77090

WESTBROOK TOWNHOUSE ASSOC
INC
9362 E RAINTREE DR
SCOTTSDALE, AZ 85260

HERRERA SAIRA
PRESIADO/REEDER CHRISTIAN
DOMINIQUE
225 N STANDAGE UNIT 85
MESA, AZ 85201

BLAIR MARCIE
225 N STANDAGE UNIT 88
MESA, AZ 85201

STERLING PROPERTY
MANAGEMENT LLC
730 E BROWN RD 114
MESA, AZ 85203

SOS KOLOB LLC
42863 N 98TH PL
SCOTTSDALE, AZ 85262

PLESSIS IGNATIUS DU/JOUBERT
JENNIFER
275 M STANDAGE 77
MESA, AZ 85201

KACMARCIC KERSTIN
A/DONALD/CATHLEEN
225 N STANDAGE ST UNIT 71
MESA, AZ 85201

MEDICI BETH E/ANTHONY J
225 N STANDAGE UNIT 68
MESA, AZ 85201

DEBORAH ANN LAMOREE TRUST
607 N EDISON CIR
MESA, AZ 85203

VARGAS BIANCA
225 N STANDAGE UNIT 50
MESA, AZ 85201

PACE KIMBERLEY SUE
225 N STANDAGE UNIT 49
MESA, AZ 85201

SOSA SUSAN GRACE
225 N STANDAGE
MESA, AZ 85201

HERNANDEZ BRISELDA
1234 W 1ST PL
MESA, AZ 85201

EVANGELISTA JESUS N/ELIUD
1139 W 2ND ST
MESA, AZ 85201

YEH ZOE
1353 E BARTLETT WY
CHANDLER, AZ 85249

MURRAY JOSHUA JEROME
1111 W 2ND ST
MESA, AZ 85201

NGUYEN MINH K/NGUY ANH DAO
THI
1140 W ARGON ST
MESA, AZ 85201

MAYER JAMES S/SUSAN M
326 N BEVERLY
MESA, AZ 85201

LAYTON NATHANIEL
640 N VINEYARD
MESA, AZ 85201

ELITE INNOVATION LLC
3314 E KAEL ST
MESA, AZ 85213

RIVERA BEATRIZ
ADRIANA/GONZALEZ JOSE
MERCADO
1114 W 2ND ST
MESA, AZ 85201

LORILLARD WILLIAM F &
LAWRENCE/NORTH CLAUDIA
1144 W 2ND ST
MESA, AZ 85201

FINCANNON SIDNEY L/CHRISTINE
1049 W 2ND PL
MESA, AZ 85201

CRANDELL STEVEN A/ LESLIE
EDMUNDS
1035 W 4TH PL
MESA, AZ 85201

DUTTON FAMILY TRUST
436 N BEVERLY LN
MESA, AZ 85201

JENSEN DAVID K/LEEANN TR
1106 W 4TH PL
MESA, AZ 85201

DONE MARK B/LOU ANN
427 N BEVERLY
MESA, AZ 85201

SIMMONS BARI LYNN/ROBERT L JR
1060 W UNIVERSITY DR
MESA, AZ 85201

AMERICAN TELEPHONE &
TELEGRAPH
795 FOLSOM ST
SAN FRANCISCO, CA 94107

STEELMAN PARKER R/CHASTAIN
GAIL/TERRY
225 N STANDAGE RD UNIT 113
MESA, AZ 85201

BOULDEN STEPHEN B
225 W STANDAGE RD UNIT 103
MESA, AZ 85201

HUGHES MONICA A/WOOTEN KEVIN
K
225 N STANDAGE UNIT 89
MESA, AZ 85201-6246

LEONE CHARLOTTE M
225 N STANDAGE UNIT 79
MESA, AZ 85201

HALL ELAINE L
225 N STANDAGE UNIT 76
MESA, AZ 85201

MCDONALD CHRISTOPHER JOHN
225 N STANDAGE UNIT 74
MESA, AZ 85201

OPENDOOR PROPERTY TRUST I
410 N SCOTTSDALE RD STE 1600
TEMPE, AZ 85288

AZN VENTURES LLC/LEGACI
PROPERTIES LLC
2009 CONTRADA CT
DUBLIN, CA 94568

ARM OF SAVE THE FAMILY
FOUNDATION OF ARIZONA
125 E UNIVERSITY DR
MESA, AZ 85201

GZYM DUSTIN L/DUNCAN MAXWELL
EDWARD
225 N STANDAGE UNIT 55
MESA, AZ 85201

ABSHER IRIS Q/GARRISON KLOMAN
J/DOUGLAS/RAGNHILDUR
225 N STANDAGE 52
MESA, AZ 85201

VONRIESEN MICHAEL J/HEATHER M
225 N STANDAGE UNIT 19
MESA, AZ 85201

CABRALES CARMEN/RAMIREZ
ISRAEL VALENZUELA
1210 W 1ST PL
MESA, AZ 85201

WORKMAN MARK/GAYLE
1035 W 2ND ST
MESA, AZ 85201

VILLEGAS MARIBEL/AMADOR PEPE
S
1045 W 2ND ST
MESA, AZ 85201

LINARES JOSE F M/VILLAGOMEZ
GRACIELA B M
1159 W ARGON ST
MESA, AZ 85201

MARELI PROPERTIES 2 LLC
9375 E SHEA BLVD STE 100
SCOTTSDALE, AZ 85260

TEED ALYSHA L
1025 W UNIVERSITY DR
MESA, AZ 85201

HARTFIELD BOBBIE J
PO BOX 604
MESA, AZ 85211

DELGADO AURORA
334 N WESTWOOD
MESA, AZ 85201

HARDY LANDON ERIC/JANELL LANE
1147 W 2ND PL
MESA, AZ 85201

REEDY MIGAELA GUINN
1015 W 2ND PL
MESA, AZ 85201

KEITH DAVIS LIVING TRUST
945 W UNIVERSITY DR
MESA, AZ 85201

JJ RE ENTERPRISES LLC
1108 W UNIVERSITY DR
MESA, AZ 85201

DEORTA JOSE G/EVA A
537 N ALMA SCHOOL RD
MESA, AZ 85201

BOYLE TIMOTHY/IRIS
464 N EMERSON
MESA, AZ 85201

PARK RICHARD/KATHY A
1132 W 4TH PL
MESA, AZ 85201

PANDORAS PURSE LLC
7650 S MCCLINTOCK DR 103-391
TEMPE, AZ 85284

VISTE SHAYLA/CRAWFORD
835 S POWER RD
MESA, AZ 85206

GILPIN JASON/HEATHER
225 N STANDAGE STE 111
MESA, AZ 85201

SALDIVAR NENA/MAGDALEN/OTT
BRIAN
225 N STANDAGE UNIT 107
MESA, AZ 85201-6277

UNSWORTH TRUST
3117 N 79TH ST
MESA, AZ 85207

SLEDER AMANDA MARIE
225 N STANDAGE ST UNIT 99
MESA, AZ 85201

TODD LESLIE
225 N STANDAGE UNIT 98
MESA, AZ 85201

MELDRUM KIM LANI
225 N STANDAGE UNIT 93
MESA, AZ 85201-6276

COLLINS CAROLYN
255 N STANDAGE
MESA, AZ 85201

TOPPING BERNARD R
PO BOX 772
MANAISTEE, MI 49660

MICHELENA MICHAEL/EDITH
225 N STANDAGE RD 63
MESA, AZ 85201

GROYER GLENDA GAY
225 N STANDAGE UNIT 56
MESA, AZ 85201

MANGAN JOHN P & MARTHA P
2712 VERDE VISTA DR
SANTA BARBARA, CA 93105-3031

MESA CITY OF
20 E MAIN ST STE 650
MESA, AZ 85211

STEIN JOEL D/HEILMAN JILL L
1222 W 1ST PL
MESA, AZ 85201

CAMPOS JESUS M
1252 W 1ST PL
MESA, AZ 85201

MARCENCO NICHITA/HERRMANN
EVELYN
1105 W 2ND ST
MESA, AZ 85201

ADLER JENNIFER
163 N BEVERLY
MESA, AZ 85201

FERGUSON ESTHER/GREGG
JORGEN
1135 W 2ND ST
MESA, AZ 85201

HOLT TIMOTHY M
1120 W 10TH PL
MESA, AZ 85201

AWDAHIR AHMED WELI
YUSUF/BARE FATUMA I
1154 W ARGON ST
MESA, AZ 85201

WESTROM TRUST
355 N BEVERLY
MESA, AZ 85201

STARRISE FUNDS LLC
1108 W 2ND PL
MESA, AZ 85201

CANIZALES MOISES
PO BOX 7502
TEMPE, AZ 85281

HARUSKA LARRY/JANA
310 N WESTWOOD
MESA, AZ 85201

JASPER CLYDE/FREDESVINDA TR
236 N WESTWOOD
MESA, AZ 85201

PEREZ CARLOS ENRIQUE
VILLATORO/VILLATORO IXCOY
KARLA CECILIA/EMILY JAZMYN
1033 W UNIVERSITY DR
MESA, AZ 85201

BEGGS WILLIAM R/BEGGS JOROSE
S
1041 W UNIVERSITY DR
MESA, AZ 85201

LENOX TONI/MICHAEL
1036 W 2ND ST
MESA, AZ 85201

BURNHAM WESLEY T/KAITLYN B
1062 W 4TH PL
MESA, AZ 85201

DKA WEALTH LLC
722 E GREENVILLE DR
WEST COVINA, CA 91790

HARRIS MICHELLE
ELYSE/LAWRENCE JAMES
225 N STANDAGE UNIT 87
MESA, AZ 85201

ALMA UNIVERSITY LLC
625 W DEER VALLEY RD STE 103
PHOENIX, AZ 85027

PERIC BOJAN
225 N STANDAGE UNIT 95
MESA, AZ 85201

GENDRON JESSICA
225 N STANDAGE UNIT 94
MESA, AZ 85201

225 N STANDAGE 90 LLC
22707 N WAGON WHEEL DR
SUN CITY WEST, AZ 85375

AMARILLAS PAULA
225 N STANDAGE UNIT 81
MESA, AZ 85201

TOOMBS ROBERT
225 N STANDAGE 73
MESA, AZ 85201

BJORK ANTHONY JOSEPH
2138 E RANCH CT
GILBERT, AZ 85296

GUTHRIE GWENDOLYN
1246 W 1ST PL
MESA, AZ 85201

HENRY E DELCI FAMILY TRUST
1209 W 1ST PL
MESA, AZ 85201

BEBO JEROLD EUGENE & JUDY
KAYE
1129 W 2ND ST
MESA, AZ 85201

YODER ZACHARY K
1163 W ARGON ST
MESA, AZ 85201

356 BEVERLY LLC
529 N 600 W
SAINT GEORGE, UT 84770

LOVELY OLEANDER FAMILY POOL
LLC
929 W 10TH PL
MESA, AZ 85201

CHURCH OF JESUS CHRIST LDS
CORP PRES BIS
50 E NORTH TEMPLE RM 2225
SALT LAKE CITY, UT 84150

FRIAR HOLDINGS 4 LLC
PO BOX 909
MESA, AZ 85211

AKERS PAUL C
218 N BEVERLY ST
MESA, AZ 85201

MADSEN DAVID/RAMONA
209 N BEVERLY
MESA, AZ 85201

MERRILL JOHN H/FELICIA
231 N BEVERLY
MESA, AZ 85201

VU DZHU H/LE TRINH T
205 N BEVERLY ST
MESA, AZ 85201

KIMBROUGH RICHARD G JR
222 N WESTWOOD
MESA, AZ 85201

KENNEY DONALD A/ LYNETTE B
249 N WESTWOOD
MESA, AZ 85201

CHEAP CASAS LLC
3264 E MORELOS CT
GILBERT, AZ 85295

SHIRROD TAYLOR M
433 N BEVERLY ST
MESA, AZ 85201

FALLIS TRACY/EMILEE
225 N STANDAGE UNIT 110
MESA, AZ 85201-6277

CROUT RYAN/GILLETTE JADE
225 N STANDAGE UNIT 92
MESA, AZ 85201

LAPIZCO CHRISTIAN/ANDRES
1228 W 1ST PL
MESA, AZ 85201

KLAUKA BRANDON
1240 W 1ST PL
MESA, AZ 85201

LIN SZU YU
21003 BROOKLINE DR
WALNUT, CA 91789

SPANN JEFF
3408 O ST SOUTHEAST
AUBURN, WA 98002

YEHL WHITNEY K
1126 W AUBURN ST
MESA, AZ 85201

336 BEVERLY LLC
529 N 600 W
SAINT GEORGE, UT 84770

BENNETT BRITTNEY
320 N BEVERLY ST
MESA, AZ 85201

KING WALLACE/LORI
1144 W 2ND PL
MESA, AZ 85201

RODRIGUEZ JAVIER/OLGA
AF/JAVIER C
1154 W 2ND PL
MESA, AZ 85201

MARTIN ZACHARY
1118 W 2ND PL
MESA, AZ 85201

QUIROZ STEPHEN/DARRELL
304 N WESTWOOD
MESA, AZ 85201

CASA RENTALS PROPERTY
MANAGEMENT LLC
333 N WESTWOOD
MESA, AZ 85201

MAIN WILLIAM ERIC/ISABELLE TR
1007 W 2ND PL
MESA, AZ 85201

YMP PROPERTY LLC
2456 E PUEBLO AVE
MESA, AZ 85204

1117 UNIVERSITY LLC
529 N 600 W
ST GEORGE, UT 84770

BOWLBY RUSSELL SHANE
5808 E BROWN RD UNIT 134
MESA, AZ 85205



Tim Boyle <timboy@gmail.com>

FW: Rezone - 325 N. Almaschool Comments, Brian Sandstrom

Joshua Grandlienard <joshua.grandlienard@mesaaz.gov>
To: Tim Boyle <tim@timboyle.com>
Cc: Evan Balmer <Evan.Balmer@mesaaz.gov>

Thu, Nov 30, 2023 at 7:26 AM

Good morning Tim,

Please see the comments below and attachment provided in opposition to ZON23-00378/DRB23-00377 Montorres.

Sincerely,

Josh Grandlienard, [AICP](#)

Planner II

480-644-4691

Joshua.Grandlienard@MesaAZ.gov

-
Standard business hours are 7:00 AM – 6:00 PM Monday through Thursday. City Hall is closed on Fridays.



From: Brian Sandstrom <brian.sandstrom@archistructdb.com>
Sent: Wednesday, November 29, 2023 7:42 PM
To: Joshua Grandlienard <joshua.grandlienard@mesaaz.gov>
Subject: Rezone - 325 N. Almaschool Comments, Brian Sandstrom

Hi Joshua

I received the rezone notification in the mail today. I plan to attend the DRB case, but in the event that work forces me to miss, I need / want to share my comments with you.

Generally speaking, I don't know how Tim has made it this far in the rezone efforts. There are numerous issues from the baseline zoning ordinance (parking proximity to entry, lack of parking islands, etc.). It's also anemic when it comes to meeting the City half-way in providing an upgrade to the development requirements in exchange for a rezone.

Reference Ordinance 5630 for example. Similar sized development that required a clubhouse and pool as part of the conditions. I DO NOT SUPPORT this case to move forward until this project develops more and brings an improvement to the area as part of being granted a rezone. Tim has done better on other projects and I'm confident he could design better here too.

Happy to answer any questions or provide clarification to any comments noted herein. Please make this part of permanent record if I am unable to attend. My address for the record is [345 & 355 N. Beverly, Mesa AZ, 85201](#).

Please confirm receipt.

Thank you.

Brian Sandstrom - Principal

P: 602.750.0445

E: brian.sandstrom@archistructdb.com

www.archistructdb.com

NOTE: This email and any attachment are confidential and may be privileged. We do not intend to waive any privilege by sending it to you. If you have received this email in error; please do not read, use, or disseminate it or any information contained or attached to it.



325 N. Almaschool Rd._Rezone Comments_B.Sandstrom_23_1129.pdf

1817K

Tim Boyle

From: Brian Sandstrom <brian.sandstrom@archistructdb.com>
Sent: Tuesday, December 13, 2022 9:23 PM
To: Tim Boyle
Subject: 325 N. Almaschool Rd. - Alternate Sketch
Attachments: 325 N. Almaschool Rd. Siting Sketch.pdf

Hi Tim

Sharing a few thoughts with you. This is basically what I just sent you on text. By no means is this what I am saying what I think has to happen, or design direction of any kind. This is just a sketch that hits on the points I raised on our call (maximizing open space, providing an amenity, reducing paving / hardscape, optimizing the ground level for a more communal experience amongst residents within the development).

This also brings some cost saving opportunities for the developer:

- Minimizes building envelope area
- Minimizes building pad preparation
- Localizes utilities all into one area
- Provides residents more economy for utility usage in the summertime (less building envelope exposed)

You could literally bring some Alan on the elevations / facades with this and make an award winning design. This sites perfect to allow upper floors to get some large glass areas because it's all north-facing. Not that a laundromat is exciting, but in 10 years, it might redevelop into something hip like a trendy restaurant, right?

Brian Sandstrom - Principal
P: 602.750.0445
E: brian.sandstrom@archistructdb.com
www.archistructdb.com

Tim Boyle

From: Brian Sandstrom <brian.sandstrom@archistructdb.com>
Sent: Friday, December 16, 2022 7:21 PM
To: Tim Boyle
Subject: Re: 325 N. Almaschool Rd. - Alternate Sketch

Hi Tim

Yeah, not trying to design your project.

For me, the site doesn't provide a great design solution as presented. I'll continue voicing my concerns as presented in that: Tons of asphalt / hardscape. Nothing exciting, very limited open space when you look into the site. Just lots of paving. Parking spaces don't work as shown btw. Need planter islands. Quality standards the City has imposed on other developments who wanted to zone out of NC or OC doesn't measure up on what I see in your plan. Architectural statement is bizarre and not cohesive. You have flat parapets and such on one elevation, then gables and other funky statements on other elevations. Somewhat hodgepodge. The Alan is way better, and should be brought to this site (say Alan 2.0)? Not designing, but saulying this design is rough and not refined. Colors are funky, but that's more minor to the overall design.

Anyway, I care, I hope you understand where I'm coming from. Hoping you can work something up that addresses the items raised above. DR, P&Z, and Council to go.

Brian
602.750.0445

From: Tim Boyle <tim@atmosarch.com>
Sent: Friday, December 16, 2022 11:25:44 AM
To: Brian Sandstrom <brian.sandstrom@archistructdb.com>
Subject: Re: 325 N. Almaschool Rd. - Alternate Sketch

Brian,
I appreciate you sharing your expertise.

We tried a version like this, but trash truck maneuvering takes out a chunk, 16 parking spaces for both the commercial spaces and the units above them takes out a bigger chunk, and we prefer to have garage doors face each other in a drive aisle so you don't see long rows of doors from outside. The client also wanted the mixed-use space and the residential space to be a little more separate.

Warm regards,

Tim

Get [Outlook for iOS](#)

From: Brian Sandstrom <brian.sandstrom@archistructdb.com>

Sent: Tuesday, December 13, 2022 9:23:18 PM

To: Tim Boyle <tim@atmosarch.com>

Subject: 325 N. Almaschool Rd. - Alternate Sketch

Hi Tim

Sharing a few thoughts with you. This is basically what I just sent you on text. By no means is this what I am saying what I think has to happen, or design direction of any kind. This is just a sketch that hits on the points I raised on our call (maximizing open space, providing an amenity, reducing paving / hardscape, optimizing the ground level for a more communal experience amongst residents within the development).

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Brian Sandstrom - Principal

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602.888.4671 www.atmosarch.com tim@atmosarch.com

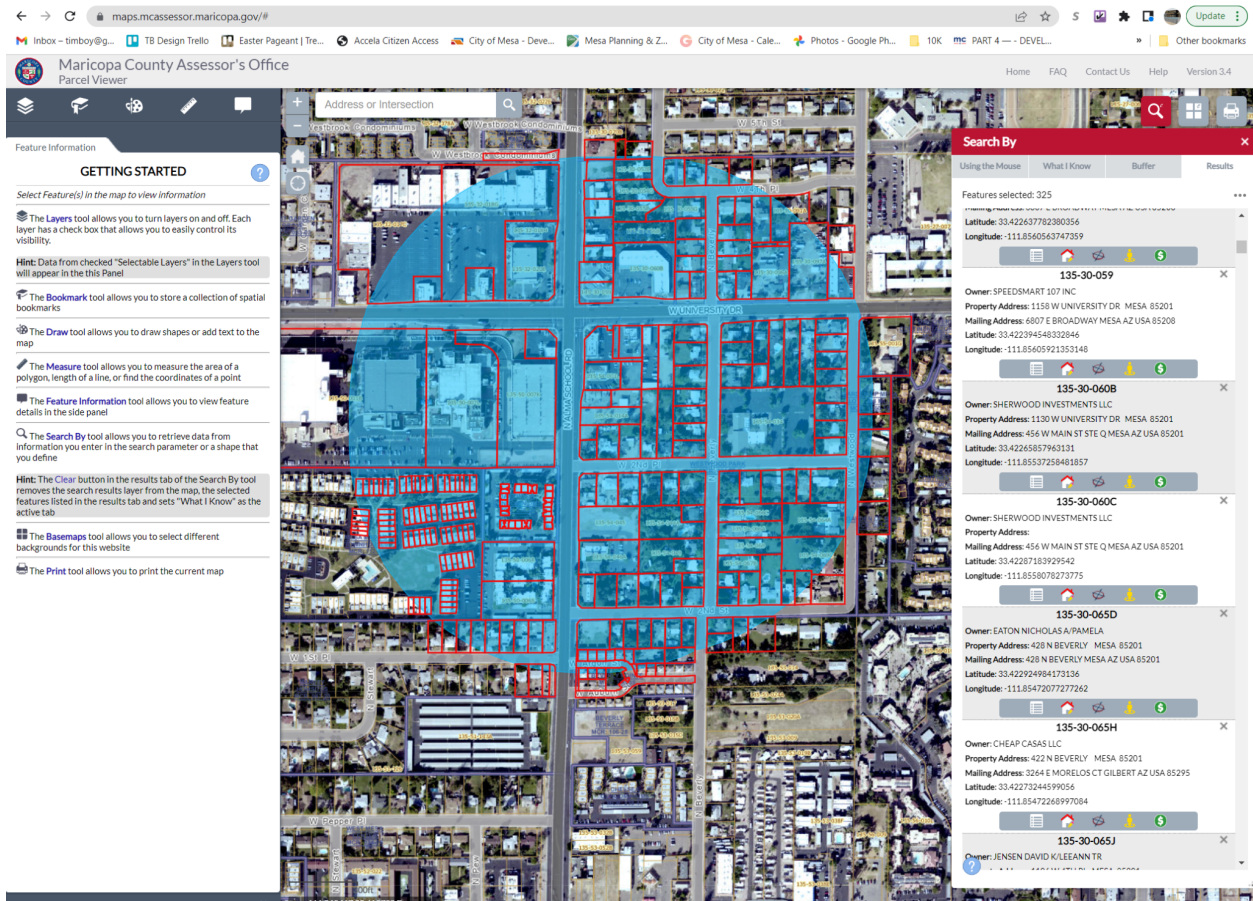
325 N Alma School, Mesa Community Notification Plan

Letters with a summary of the project and the site plan and elevations were sent to property owners within 1000' of this project, and Neighborhood Associations or HOA within a mile. They were invited to participate in an online ZOOM community meeting:

Time: Dec 13, 2022 07:00 PM Arizona

<https://asu.zoom.us/j/81429736029>

Password: 325



Community Meeting Plan
25 Nov 2022