

site data (new pad a)

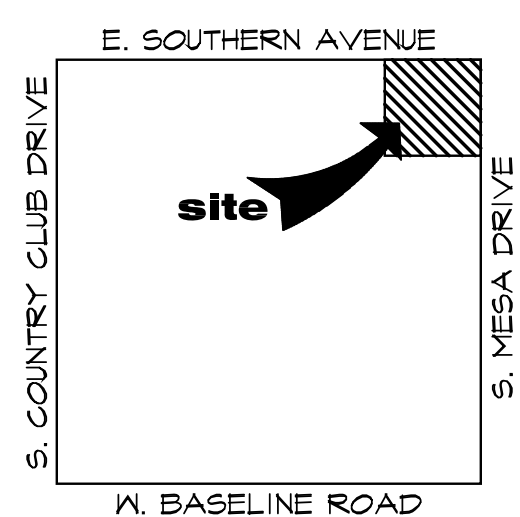
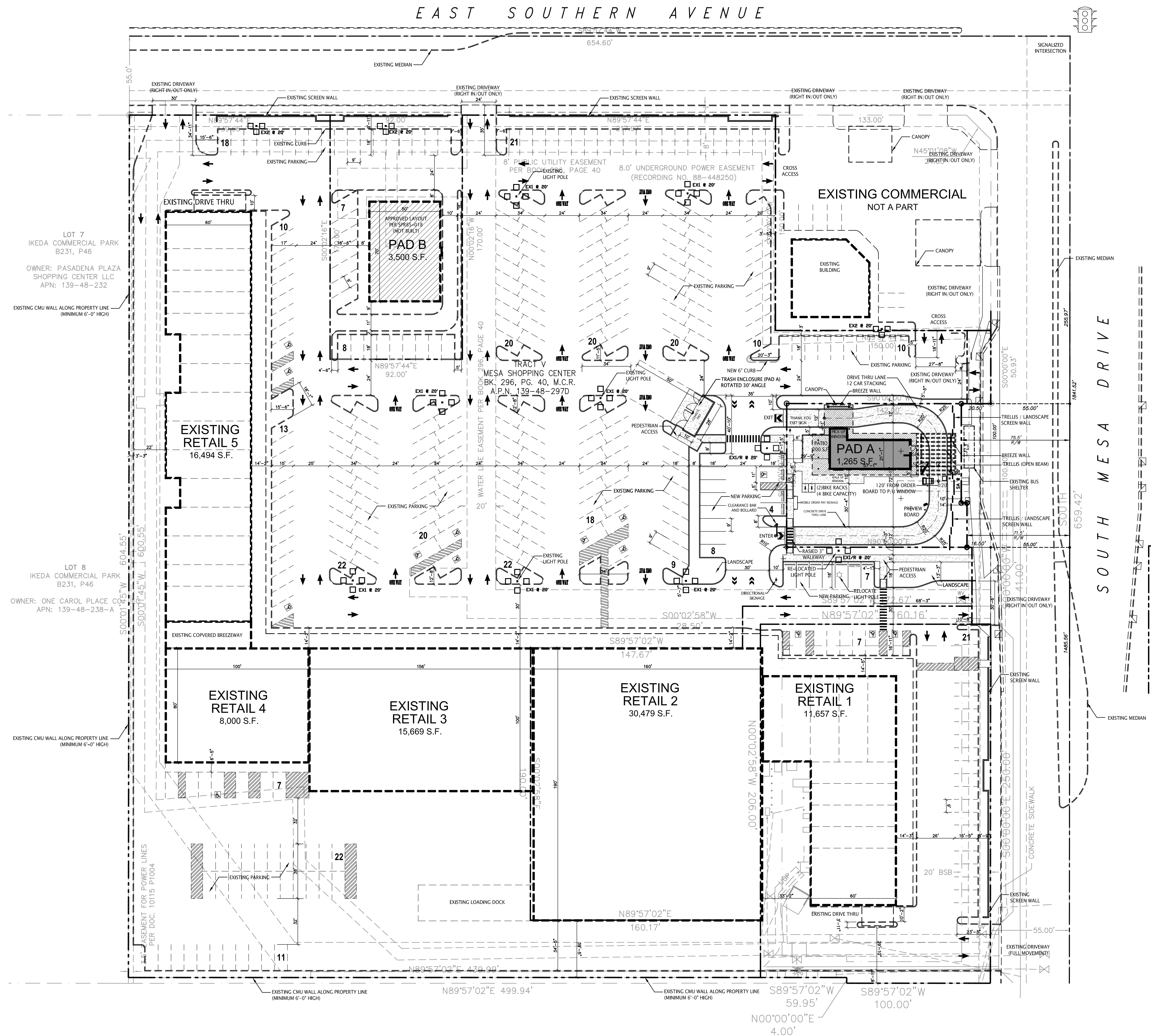
EXISTING ZONING: LC - LIMITED COMMERCIAL
 NET SITE AREA: 0.282 ACRES (12,274 S.F.)
 BUILDING AREA:
 PAD A (NEW): 1,265 S.F.
 LOT COVERAGE: 7,133 S.F. = 58.1%
 TOTAL PARKING REQUIRED: 14 SPACES
 EATING ESTABLISHMENTS
 INDOOR AREA: 1,265 S.F. @ 1/100 S.F. = 13 SPACES
 PATIO 200 S.F. @ 1/200 S.F. = 1 SPACE
 TOTAL PARKING PROVIDED: 14 SPACES*
 (10.0/1000)
 ACCESSIBLE SPACES REQUIRED: 1 SPACE
 ACCESSIBLE SPACES PROVIDED: 1 SPACE
 *SHARED PARKING WITH SHOPPING CENTER

project directory

PROPERTY OWNER:
 RED MOUNTAIN ASSET FUND II, LLC
 1234 EAST 17TH STREET
 SANTA ANA, CALIFORNIA 92701
 CONTACT: JOHN CLAY
 PHONE: (714) 460-1524
 E-MAIL: jclay@rmrginc.com
 PROPERTY OWNER REPRESENTATIVE:
 KERPAN PLANNING AND DESIGN, LLC
 4777 S. FULTON RANCH BLVD. UNIT 2138
 CHANDLER, ARIZONA 85248
 CONTACT: KEVIN D. KERPAN
 PHONE: (602) 329-0192
 E-MAIL: kevin@kerpanplanningdesign.com

site data (overall center)

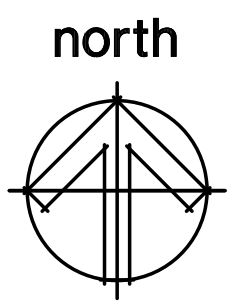
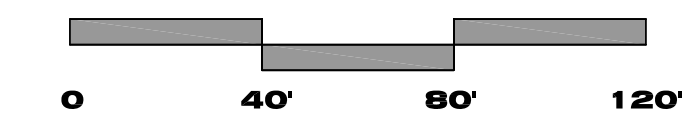
EXISTING ZONING: LC - LIMITED COMMERCIAL
 NET SITE AREA: 7.808 ACRES (340,117 S.F.)
 BUILDING AREA:
 RETAIL 1 (EXISTING): 11,657 S.F.
 RETAIL 2 (EXISTING): 30,479 S.F.
 RETAIL 3 (EXISTING): 15,669 S.F.
 RETAIL 4 (EXISTING): 8,000 S.F.
 RETAIL 5 (EXISTING): 16,494 S.F.
 PAD A (NEW): 1,265 S.F.
 PAD B (FUTURE): 3,500 S.F.
 TOTAL BUILDING AREA: 87,064 S.F.
 LOT COVERAGE: 313,486 S.F. = 92.2%
 TOTAL PARKING REQUIRED: 291 SPACES
 RETAIL 1, 3, 4, 5 (43,820 S.F.):
 GROUP COMMERCIAL BUILDINGS @ 1/275 S.F.
 43,820 @ 1/275 S.F. = 160 SPACES
 RETAIL 2 (30,479 S.F.):
 GROUP COMMERCIAL BUILDINGS @ 1/375 S.F.
 30,479 @ 1/375 S.F. = 82 SPACES
 PAD A (1,265 S.F.):
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 INDOOR AREA: 1,265 S.F. @ 1/100 S.F. = 13 SPACES
 PATIO 200 S.F. @ 1/200 S.F. = 1 SPACE
 PAD B (3,500 S.F.):
 EATING ESTABLISHMENTS
 INDOOR AREA: 3,500 S.F. @ 1/100 S.F. = 35 SPACES
 TOTAL PARKING PROVIDED: 335 SPACES
 (4 SPACES / 1000)
 ACCESSIBLE SPACES REQUIRED: 8 SPACES
 ACCESSIBLE SPACES PROVIDED: 16 SPACES



vicinity map
 scaler: n.t.s.

NOTE:
 THIS SITE PLAN HAS BEEN PREPARED WITHOUT THE AID
 OF A SURVEY. ALL PROPERTY BOUNDARIES ARE ROUGH
 APPROXIMATIONS. THIS DRAWING IS TO BE USED FOR
 CONCEPTUAL PURPOSES ONLY AND IT IS NOT TO BE THE
 BASIS FOR ANY LEGALLY BINDING DOCUMENTATION.

site plan
 scale: 1" = 40'-0"



Kerpan
 planning and design

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 Unit 2138
 Chandler, Arizona 85248
 Phone: (602) 329-0192

Plaza Mesa Shopping Center: New PAD A
 1230 S. Mesa Drive
 Mesa, Arizona 85210

PRELIMINARY
 NOT FOR
 CONSTRUCTION OR RECORDING

Red Mountain Group

Project number: 22038

Date: September 9, 2024

MP-1

site data (new pad a)

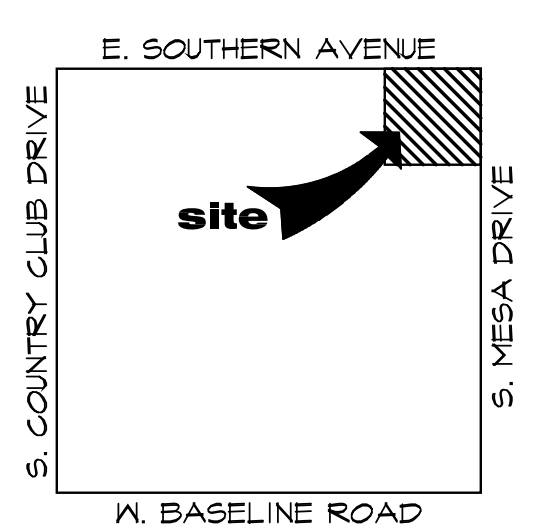
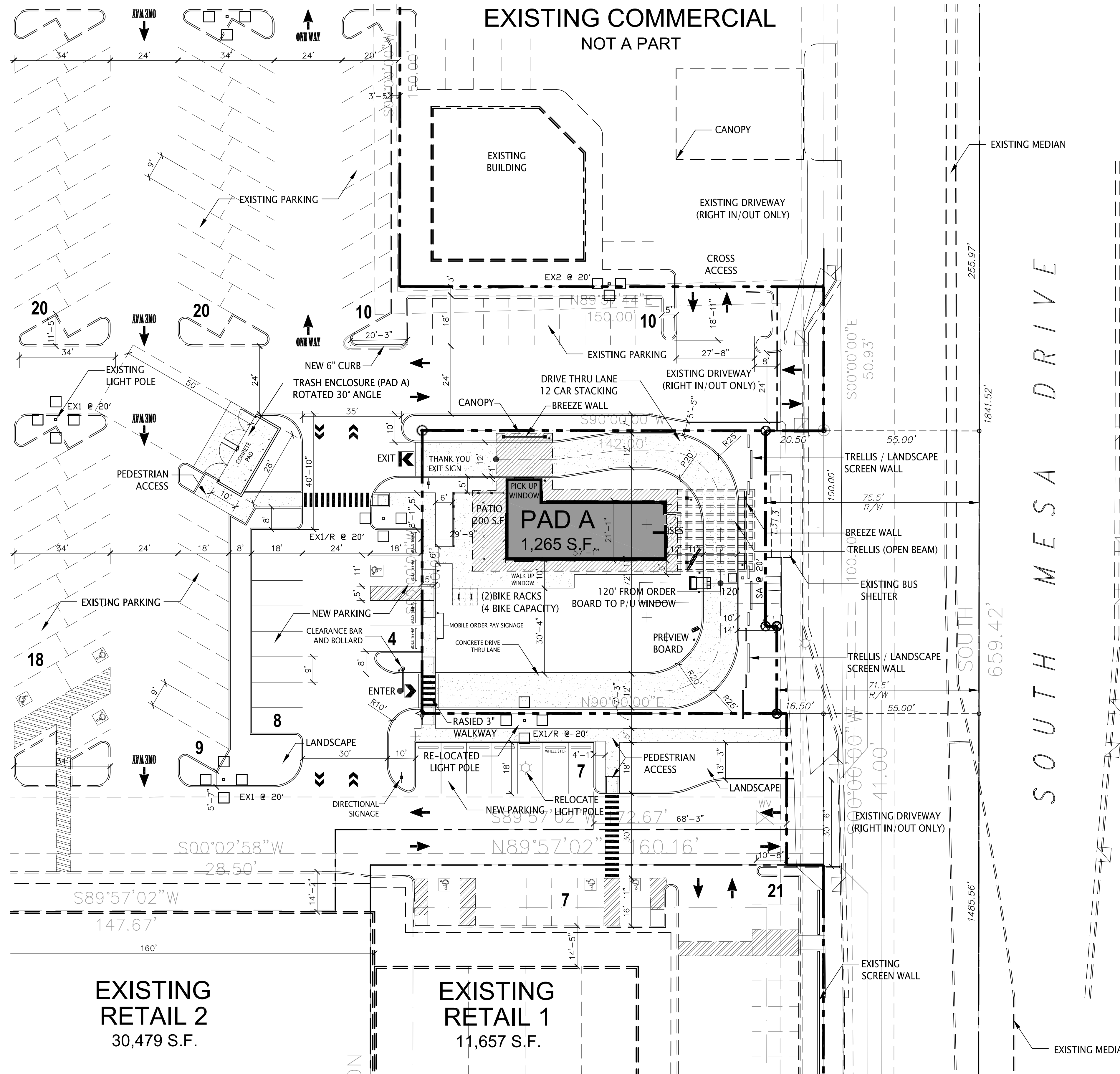
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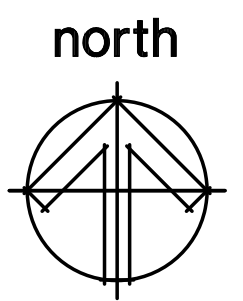
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site plan

scale: 1" = 20'-0"
 0 20' 40' 60'



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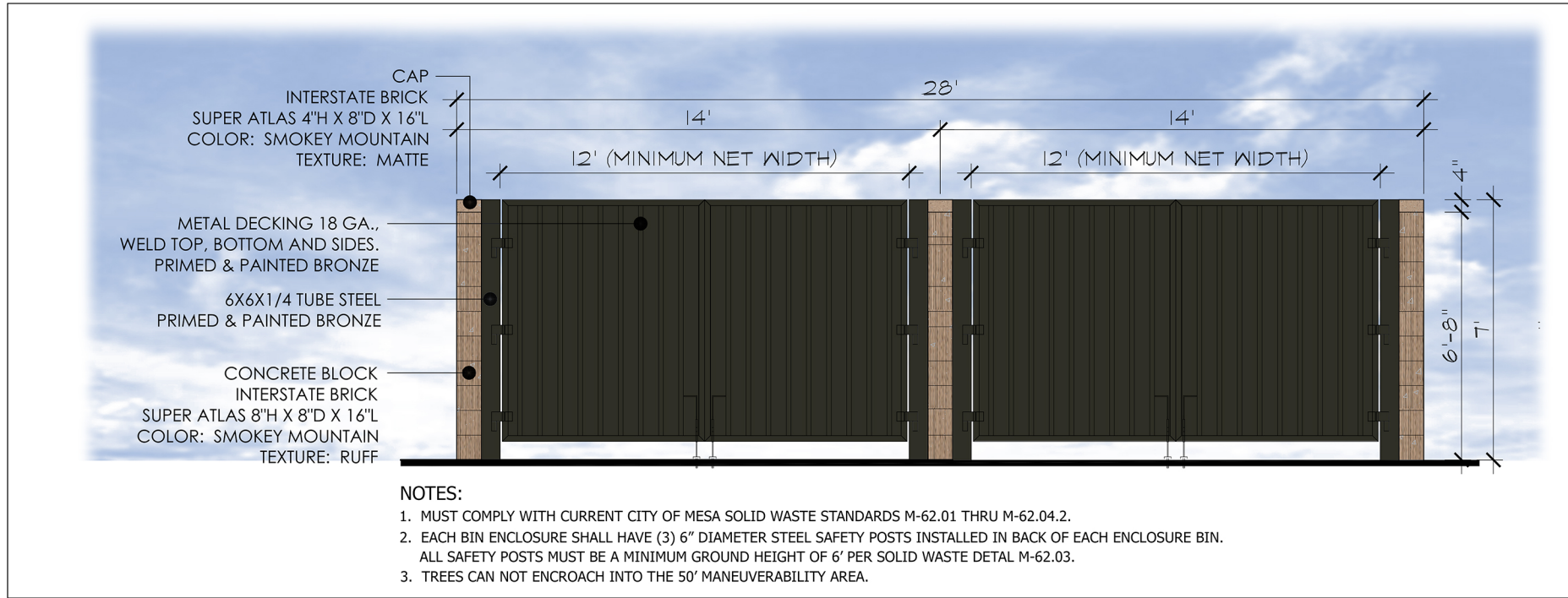
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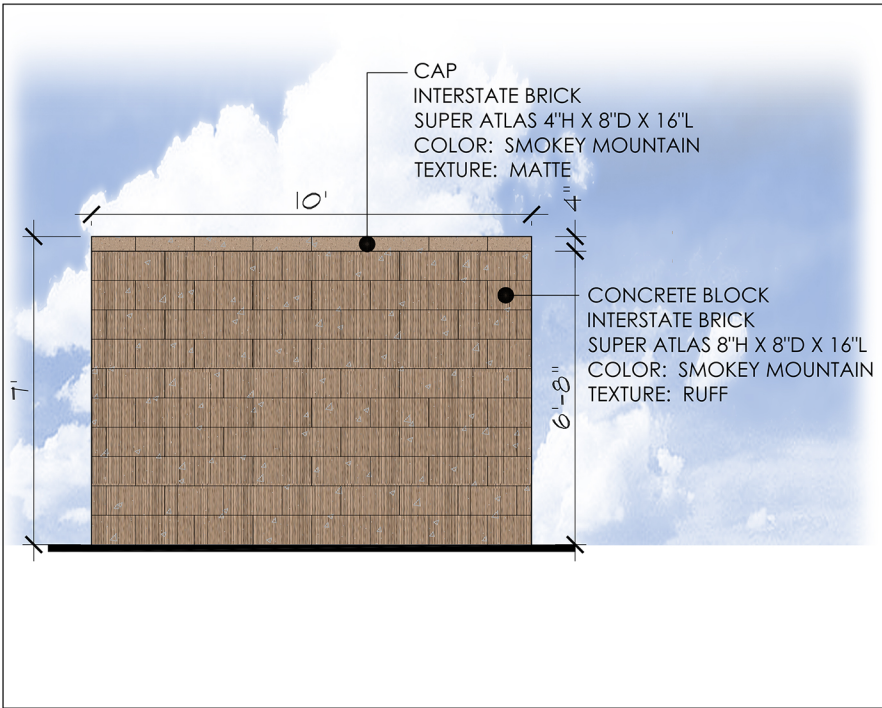
Date: September 9, 2024

SP-1



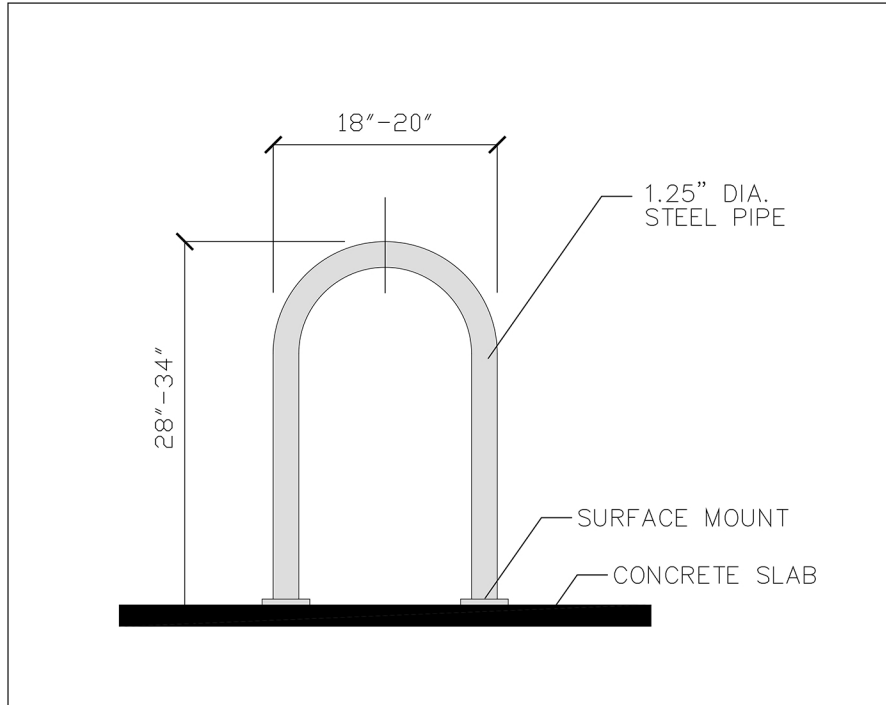
trash enclosure - gate elevation

scale: 1/2" = 1'-0"



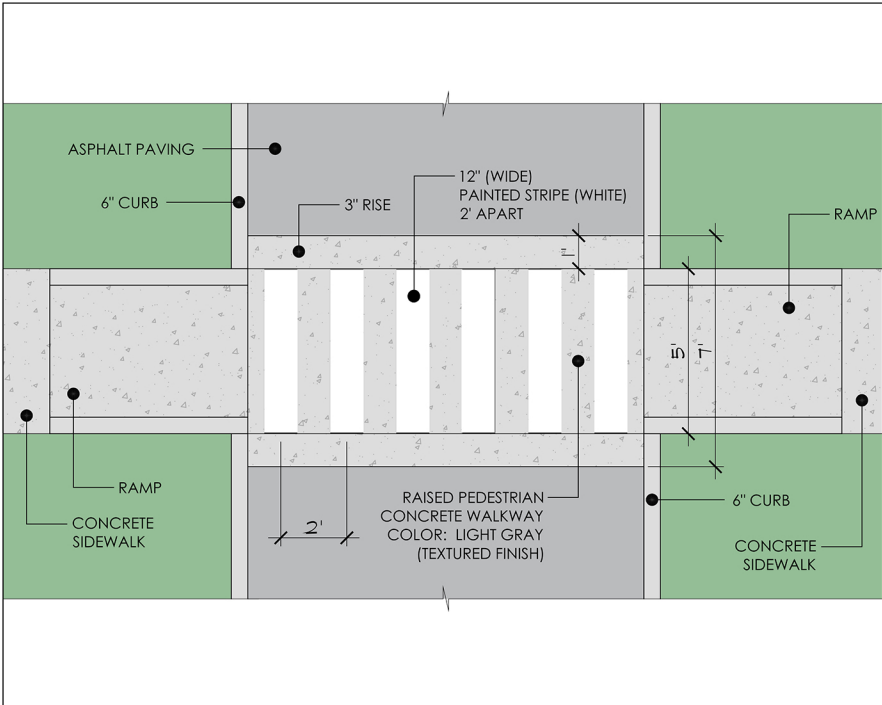
trash enclosure - side elevation

scale: 1/2" = 1'-0"



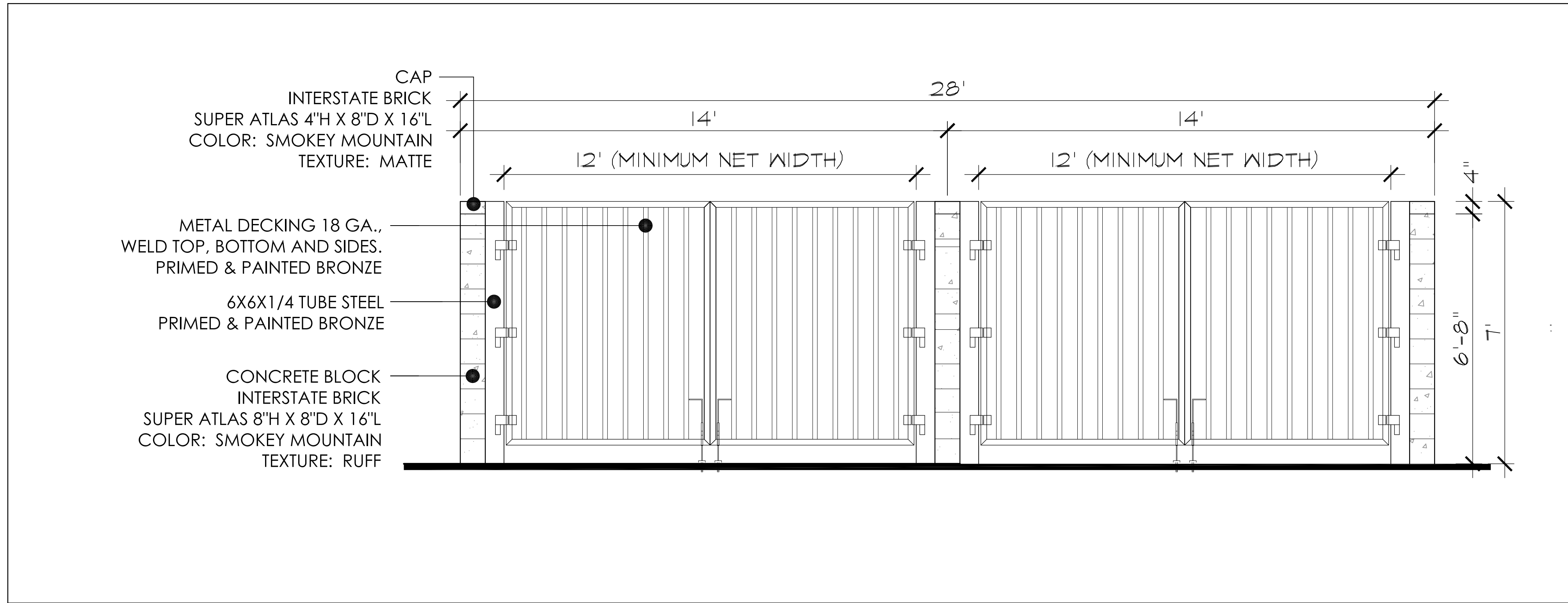
bicycle rack elevation

scale: 1-1/2" = 1'-0"



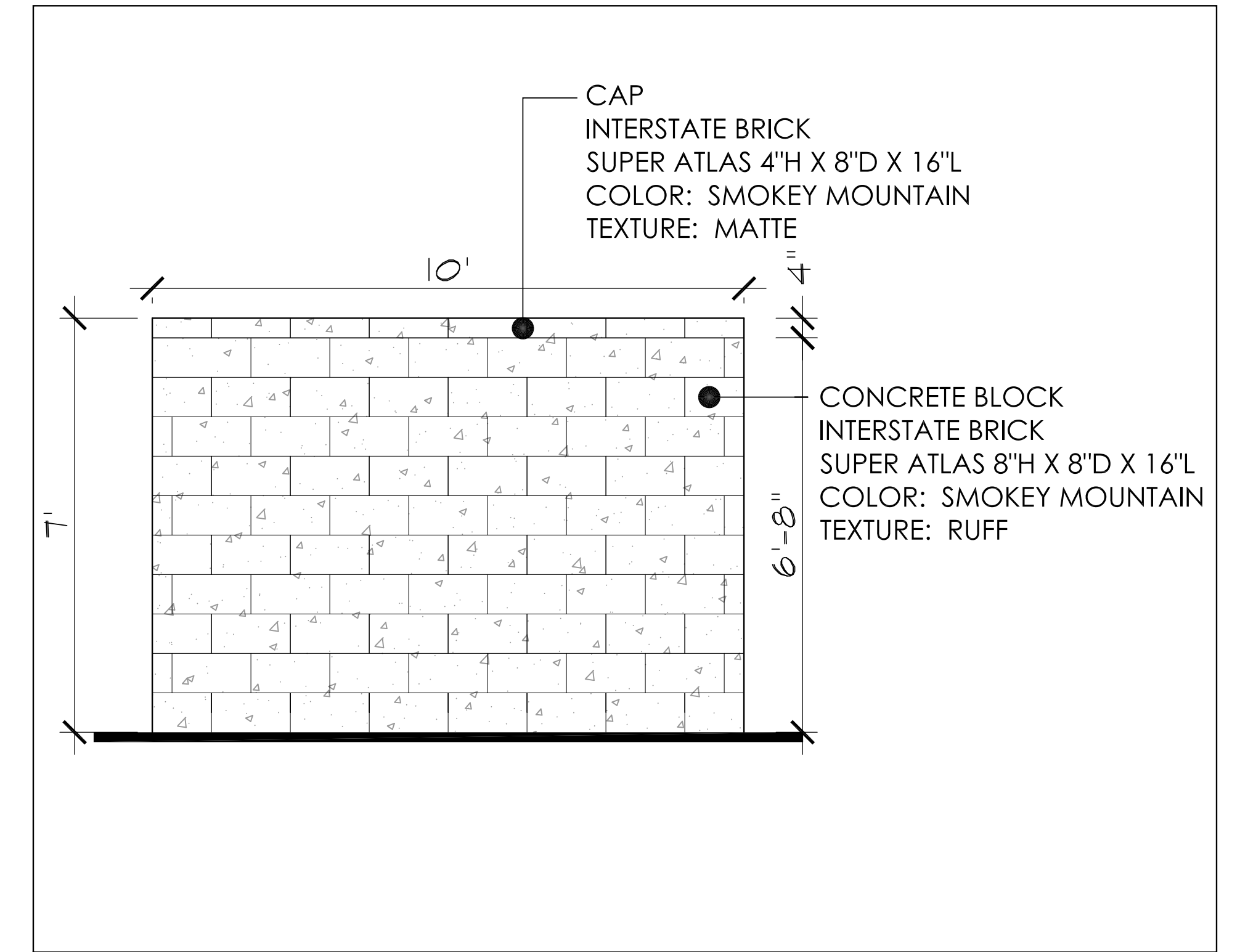
pedestrian crossing (pavement detail)

scale: 3/8" = 1'-0"



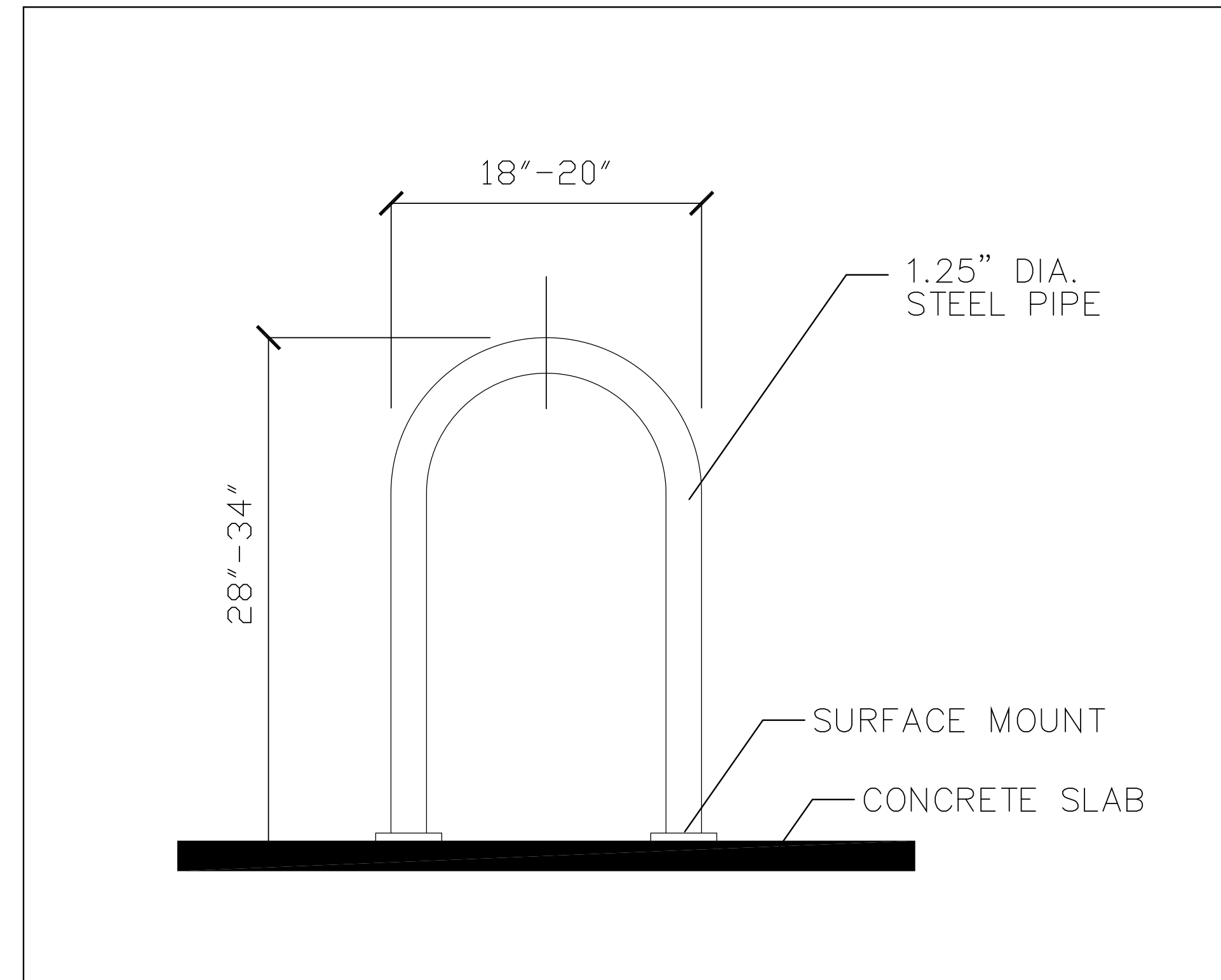
trash enclosure - gate elevation

scale: 1/2" = 1'-0"



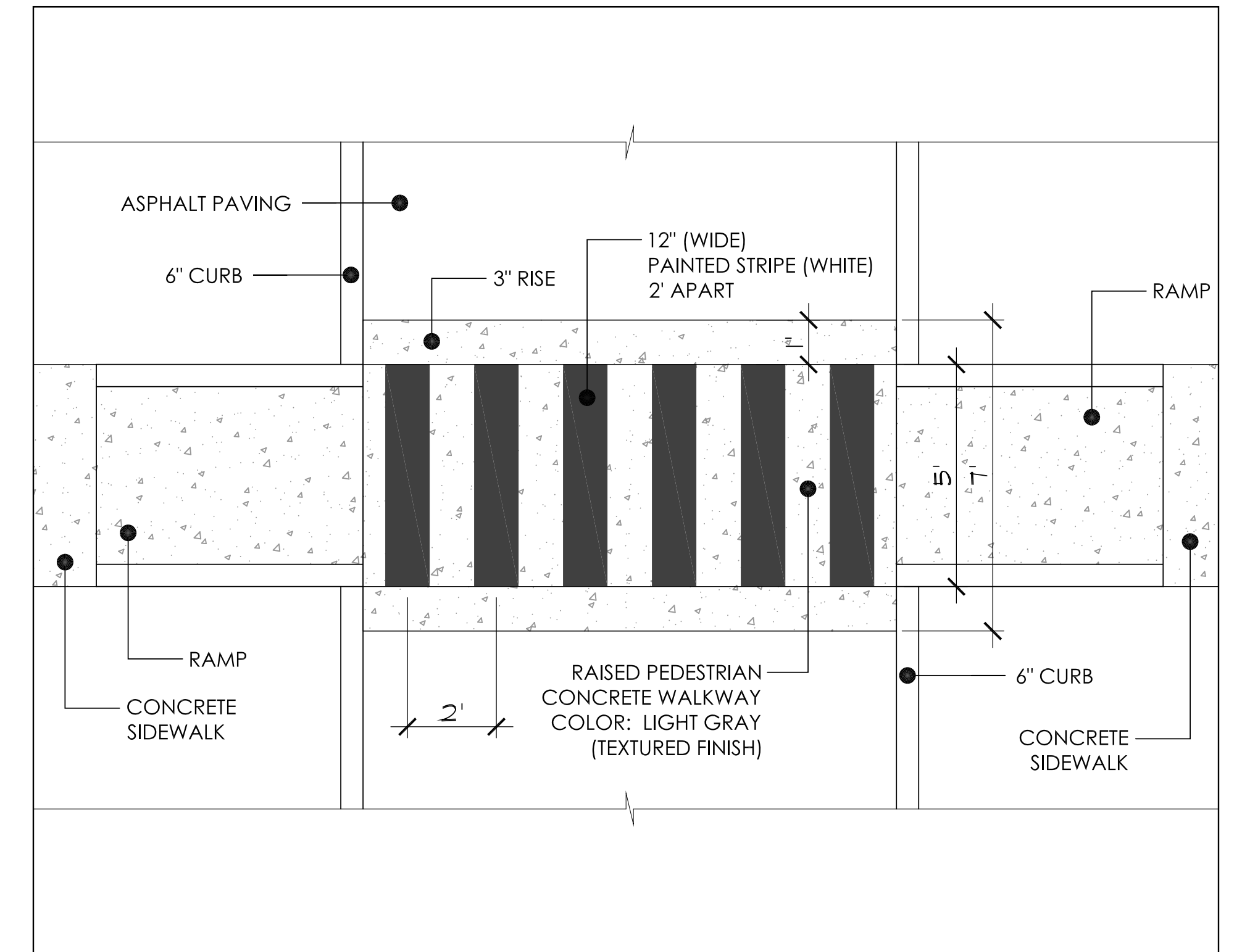
trash enclosure - side elevation

scale: 1/2" = 1'-0"



bicycle rack elevation

scale: 1-1/2" = 1'-0"



pedestrian crossing (pavement detail)

scale: 3/8" = 1'-0"

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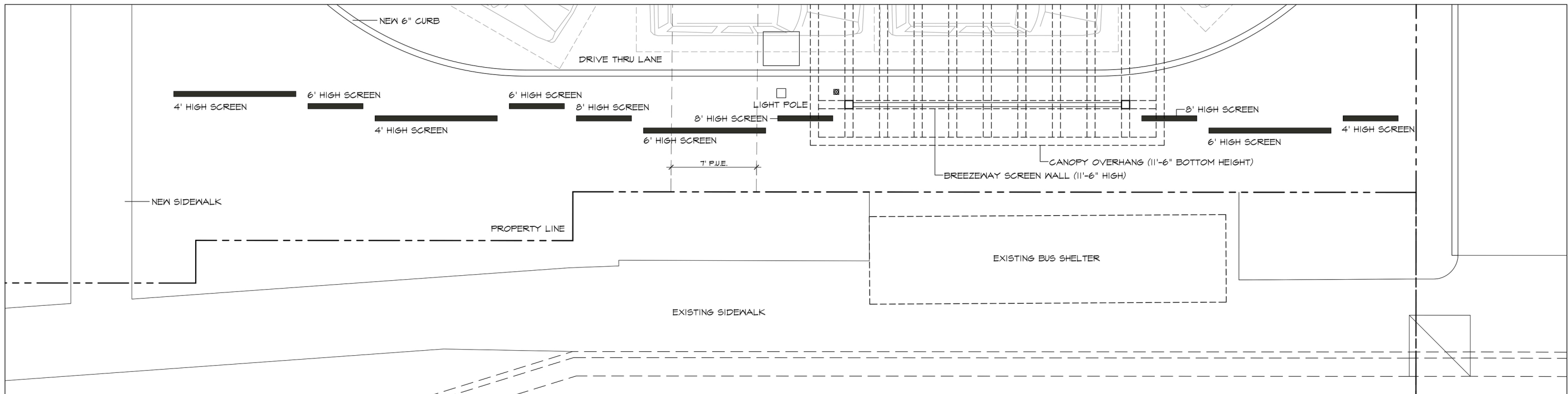
Date: July 16, 2024

SD-1



elevation: trellis / landscape screen wall along Mesa Drive

scale: 1/4" = 1'-0"



plan view: trellis / landscape screen wall along Mesa Drive

scale: 1/4" = 1'-0"

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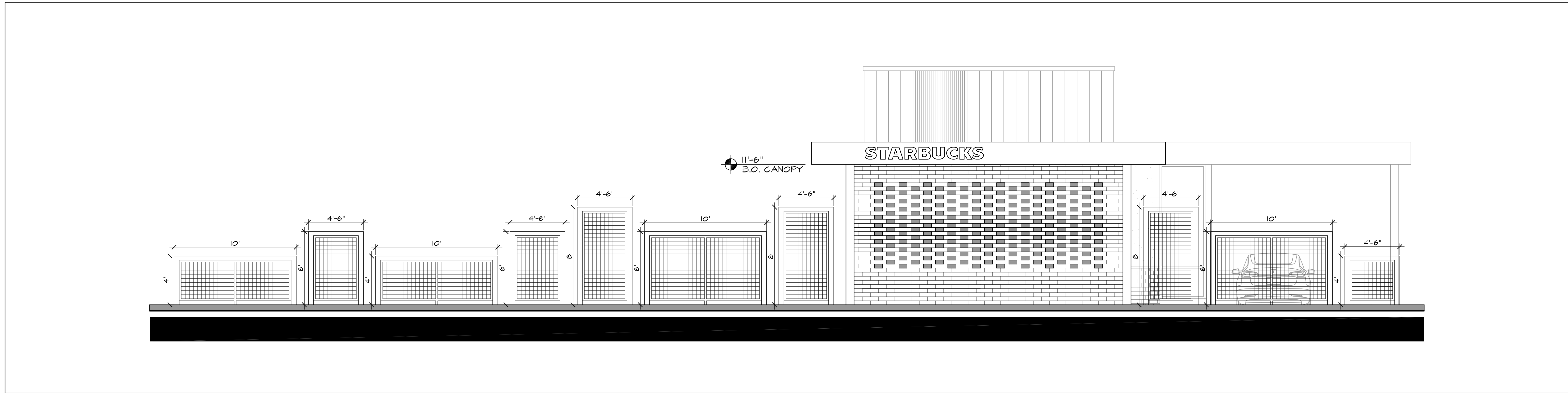
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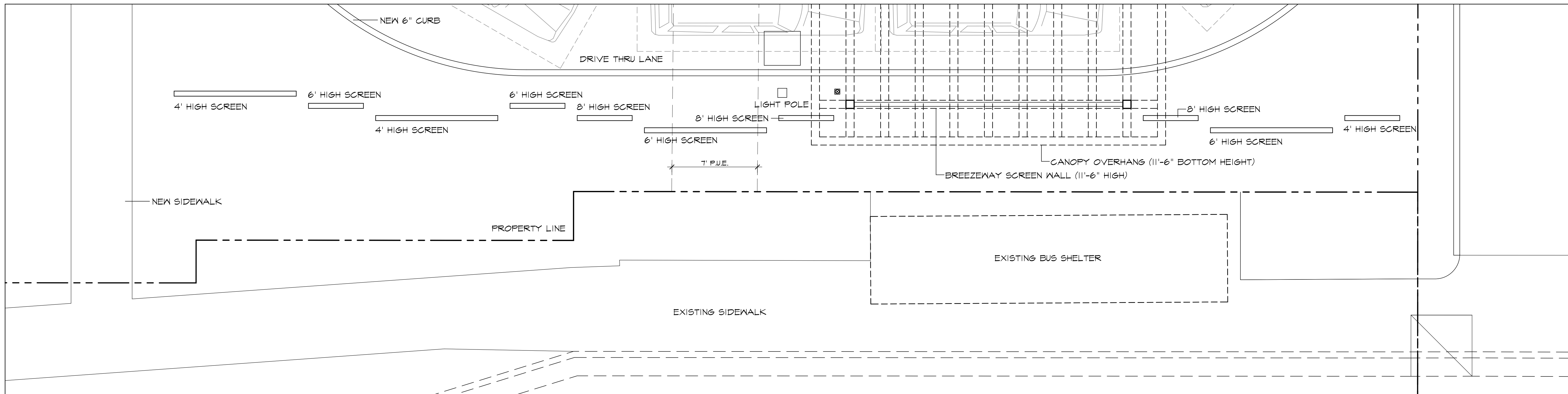
Date: July 16, 2024

SD-2



elevation: trellis / landscape screen wall along Mesa Drive

scale: 1/4" = 1'-0"



plan view: trellis / landscape screen wall along Mesa Drive

scale: 1/4" = 1'-0"

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SD-2